

LBA REALTY

ONE CULVER

10000 W. WASHINGTON BOULEVARD

CULVER CITY, CA 90232

~~FACADE PACKAGE - PERMIT / PRICING SET~~

**SITE PLAN REVIEW MODIFICATION TO CHANGE USE FROM
RESTAURANT/RETAIL TO OFFICE FOR A GROUND LEVEL TENANT SPACE.**

LBA REALTY

OWNER

3347 Michelson Drive

Suite 200

Irvine, California 92612

Telephone: 949.833.0400

www.LBArealty.com

Gensler

ARCHITECT

500 S. Figueroa Street

Los Angeles, CA 90071

Telephone: 213.327.3600

Facsimile: 213.327.3601

Contact: Ryan Spruston



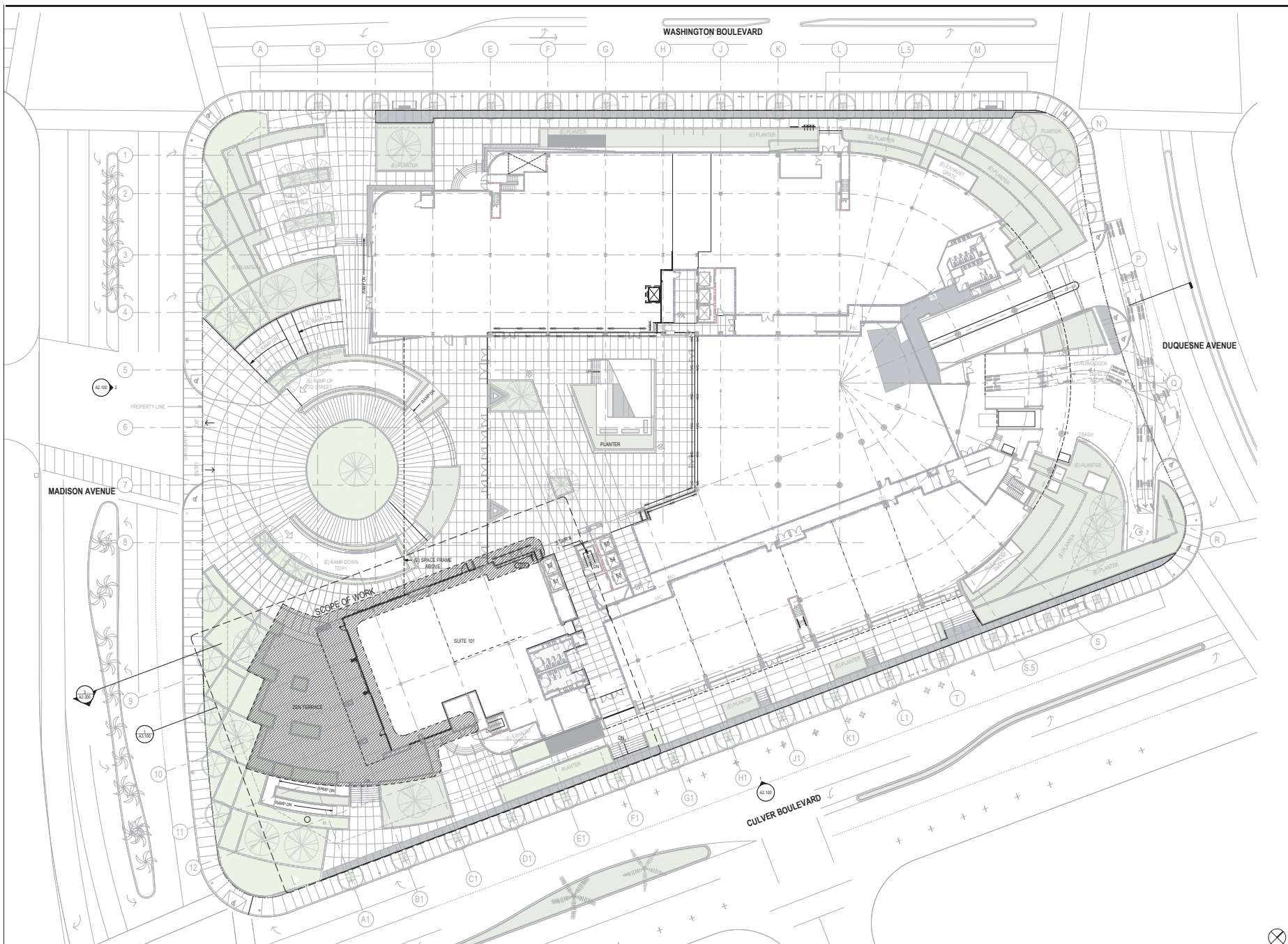
**FACADE PACKAGE - PERMIT / PRICING SET
DECEMBER 02, 2020**

SHEET NUMBER	SHEET NAME	ISSUANCE
		RECORD
		PERMIT / PRICING SET

GENERAL		
G0.000	COVER	-
G0.001	DRAWING INDEX	X
G0.002	PROPOSED DEMOLITION, EXTERIOR ELEVATIONS & SECTIONS	-
G0.003	GENERAL NOTES	-
G0.004	PROPOSED INTERIORS	-
G0.005	PROPOSED INTERIOR ELEVATIONS & SECTIONS	-
G0.006	PROPOSED INTERIOR PLAN - LEVEL 01/02	-

DEMOLITION		
DM1.001	DEMOLITION PLAN - LEVEL 01	X

ARCHITECTURE		
A0.000	GENERAL NOTES & DETAILS	-
A1.001	CONSTRUCTION PLAN - LEVEL 01	X
A2.000	EXTERIOR VIEWS - CULVER BLVD	X
A2.001	EXTERIOR VIEWS - ENTRY	X
A2.002	AXONOMETRIC - CULVER BLVD	X
A2.003	AXONOMETRIC - WASHINGTON BLVD	X
A2.004	AXONOMETRIC - LEVEL 01	X
A2.005	BUILDING ELEVATIONS - NORTH & SOUTH	X
A2.006	BUILDING SECTIONS - EAST / WEST	X
A2.011	INTERIOR ELEVATION - ATRIUM SOUTH	X
A3.000	ENLARGED PLAN - SUITE 101 & ZEN TERRACE	X
A3.001	FURNITURE PLAN	X
A3.110	ENLARGED PLANS & ELEVATIONS - EXTERIOR WALL	X
A3.111	ENLARGED PLANS & ELEVATIONS - EXTERIOR WALL	X
A4.000	WALL SECTIONS - SUITE 101 ENCLOSURE	X
A4.101	WALL SECTIONS - SUITE 101 ENCLOSURE	X
A5.000	EXTERIOR DETAILS - TYPICAL STOREFRONT	X
A5.001	EXTERIOR DETAILS - TYPICAL STOREFRONT	X



1 CONSTRUCTION PLAN - LEVEL 01

1. NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.

2. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER ON ANY MATERIALS/ABATEMENT WORK TO BE COMPLETED UNDER SEPARATE CONTRACT WITH OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE SCHEDULING, SEQUENCE AND SCOPE OF THIS PROJECTS DEMOLITION AND CONSTRUCTION WITH THE ABATEMENT SCOPE AND SCHEDULE, ASSISTING THE OWNER TO ENSURE COMPLETELY DEFINED WORK IS COMPLETED FOR USE OF THE ABATEMENT CONTRACTOR.

3. GENERAL CONTRACTOR TO COORDINATE SCHEDULE OF REMOVAL OF EXISTING ELEMENTS WITH INSTALLATION OF NEW EXTERIOR SCOPE. SEE SHEET G-20 FOR DEMOLITION NOTES.

4. REF. G-002 FOR GRAPHIC SYMBOLS & ABBREVIATIONS, G-003 FOR GENERAL NOTES.

5. (F) FIRE PROOFING WHEN OCCURS TO REMAIN, GC SHALL PROTECT, PATCH AND REPLACE WHERE REQUIRED FOR ATTACHMENT.

FLOOR PLAN LEGEND



WALL TYPES

GENERAL NOTES

LEGEND

SHEET NOTES

**NOT FOR
CONSTRUCTION**

Project Name
ONE CULVER
10000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90232

Project Number
05.9438.000

Description
CONSTRUCTION PLAN - LEVEL 01

Scale
1/16" = 1'-0"

A1.201



- (N) ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM FRAMED GLASS DOORS
- (E) BOARD FORMED CONCRETE TO REMAIN
- (E) METAL COLUMN ENCLOSURE TO REMAIN
- (N) FURNITURE, UMBRELLAS, PLANTERS LOCATED ON ZEN TERRACE

NOTE: SCOPE ON ZEN TERRACE ONLY INCLUDES
FF&E ITEMS. RE A3.101 FOR SCHEDULE OF FF&E
ITEMS.
ALL SITE WORK IS EXISTING TO REMAIN.



- (E) BOARD FORMED CONCRETE TO REMAIN
- (N) BRASS METAL, PAINTED TO MATCH CURTAIN WALL AND CANOPY
- (N) FF&E UMBRELLA

- (N) ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM FRAMED GLASS DOORS
- (E) METAL COLUMN ENCLOSURE TO REMAIN
- (N) ALUMINUM FOLDING GLASS WALL SYSTEM
- (N) FF&E TABLES & CHAIRS
- (N) FF&E FIBERGLASS PLANTER
- (E) CONCRETE PLANTER TO REMAIN

NOTE: SCOPE ON ZEN TERRACE ONLY INCLUDES
FF&E ITEMS. RE A3.101 FOR SCHEDULE OF FF&E
ITEMS.
ALL SITE WORK IS EXISTING TO REMAIN.

Date	Description
12/12/2020	PCN001 / PENDING SET

[Signature]

**NOT FOR
CONSTRUCTION**

Project Name
ONE CULVER
10000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000

Description
**EXTERIOR VIEWS - CULVER
BLVD**

Scale
12" = 1'-0"

A2.000



- (E) ATRIUM STRUCTURE AND GLAZING TO REMAIN
- (E) BOARD FORMED CONCRETE TO REMAIN
- (E) COMPOSITE METAL PANEL
- (N) METAL PANEL CANOPY, PAINTED
- (N) METAL PANEL, PAINTED TO MATCH STOREFRONT MULLIONS AND CANOPY
- (N) ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM FRAMED GLASS DOORS
- (E) METAL COLUMN ENCLOSURE TO REMAIN
- (E) CONCRETE PAVING TO REMAIN

Date Description
12/02/2010 PC/MET /PENDING SET

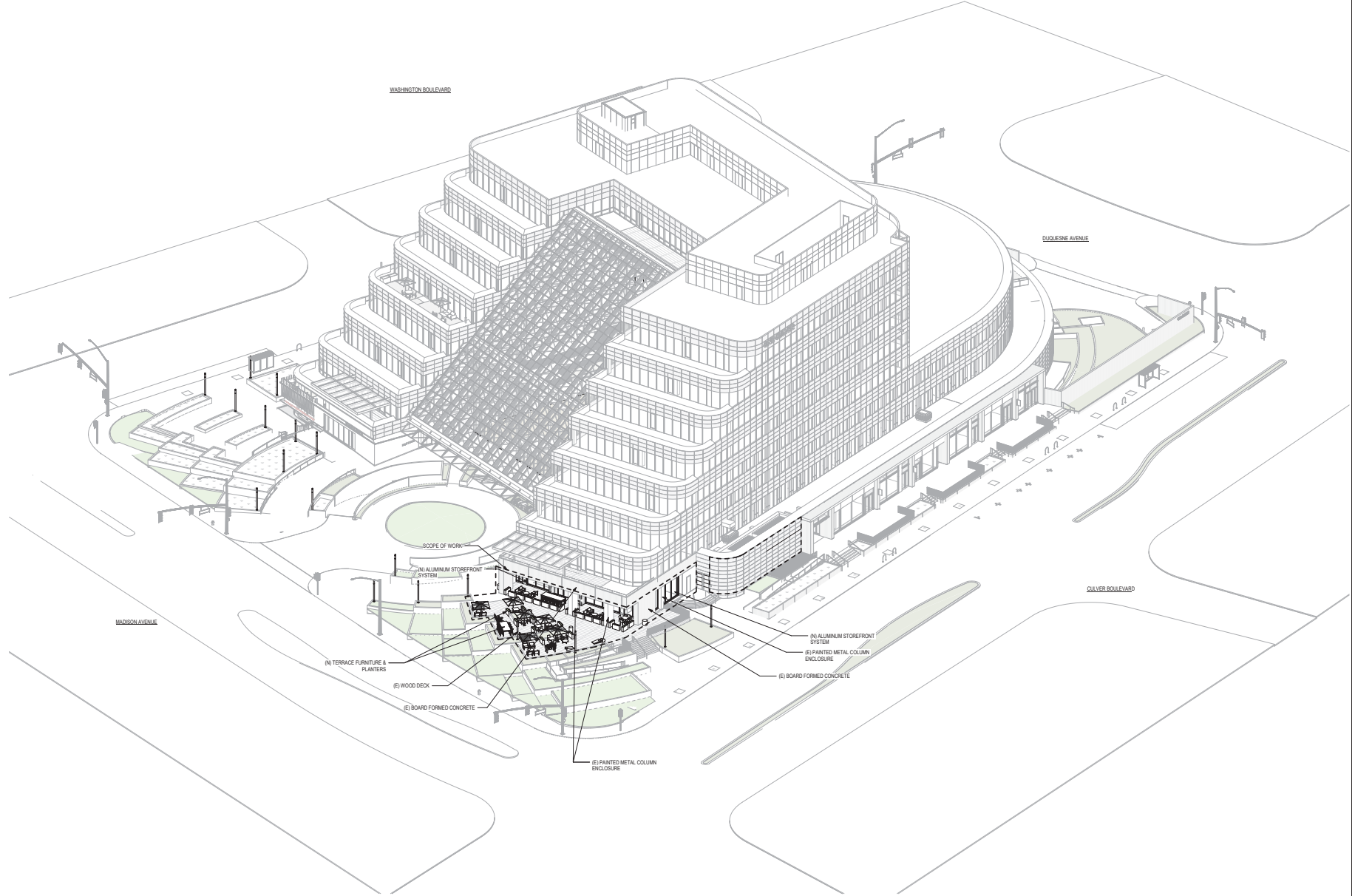
Scale/Signature

NOT FOR
CONSTRUCTION

Project Name
ONE CULVER
10000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000
Description
EXTERIOR VIEWS - ENTRY

Scale
1/2" = 1'-0"

A2.001



Date Description
12/22/2010 PENDING / PENDING SET

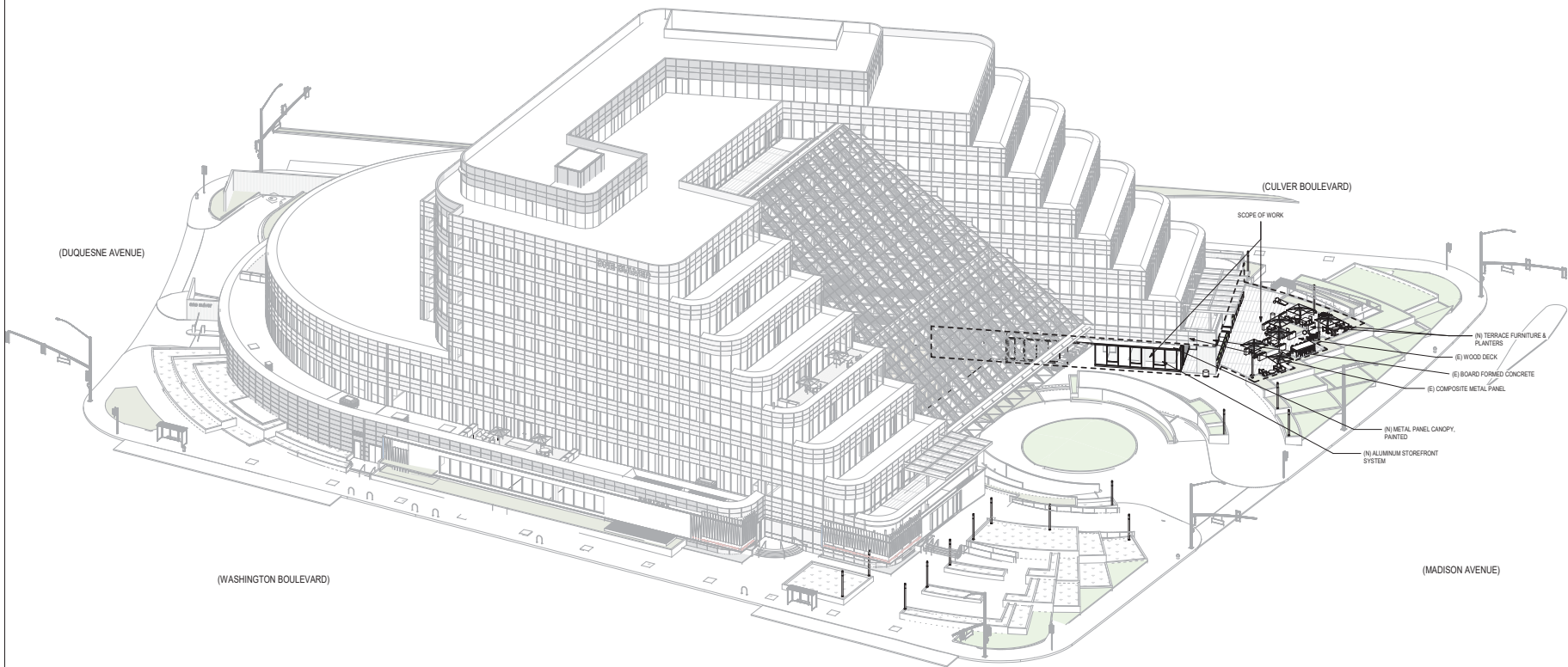
Scale/Signature

NOT FOR CONSTRUCTION

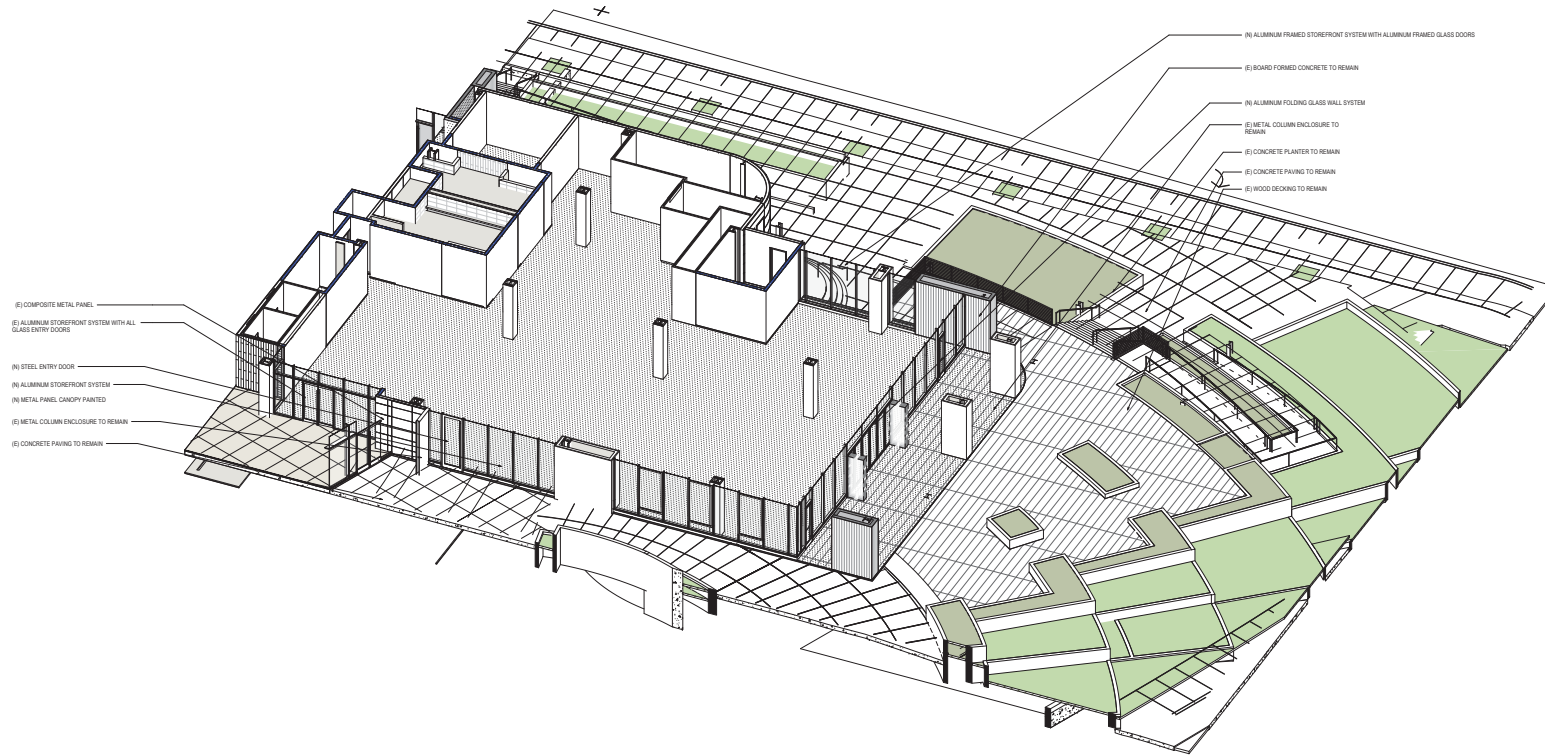
Project Name
ONE CULVER
1000 W WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000
Description
AXONOMETRIC - CULVER BLVD

Scale

FOR REFERENCE ONLY



FOR REFERENCE



Date Description
12.02.2010 PCH/MS/PRG/SET

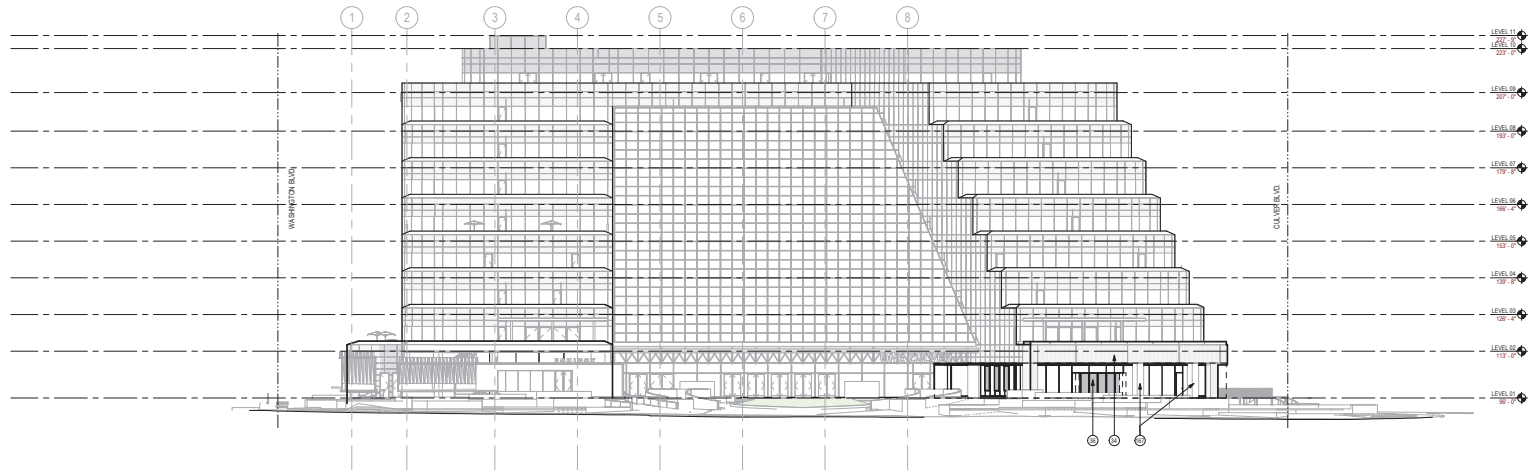
Signature

**NOT FOR
CONSTRUCTION**

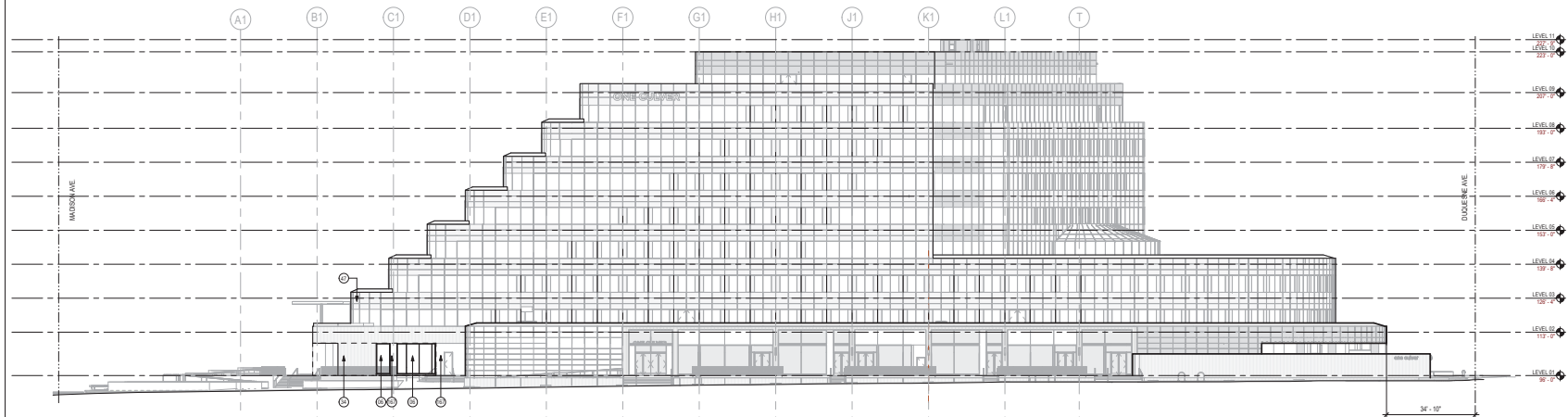
Project Name
ONE CULVER
1000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000
Description
AXONOMETRIC - LEVEL 01

Scale
NOT TO SCALE

A2.004

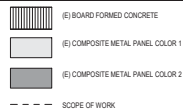


2 EXTERIOR ELEVATION - MADISON AVENUE
 SCALE: 1/8" = 1'-0"

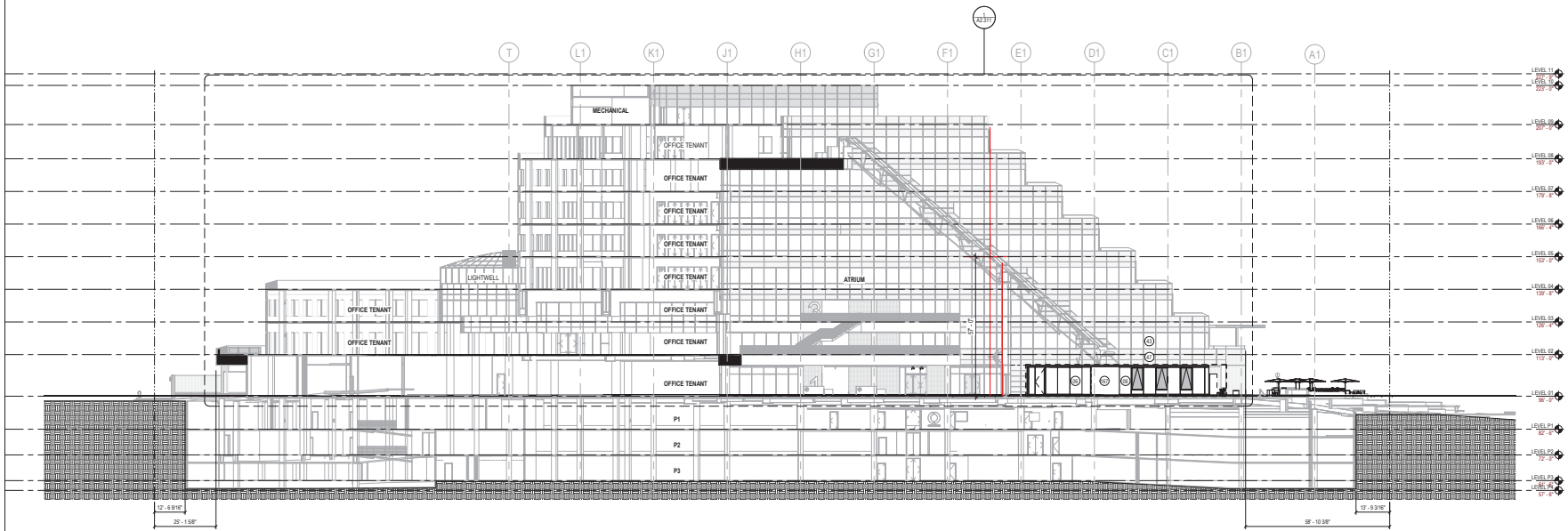


1 EXTERIOR ELEVATION - CULVER BOULEVARD
 SCALE: 1/8" = 1'-0"

1. SEE A2.300 SERIES DRAWINGS FOR MORE INFORMATION.



06 (N) EXTERIOR ALUMINUM STOREFRONT SYSTEM
 34 (E) BOARD FORMED CONCRETE WALL
 40 FUTURE RETAIL STOREFRONT BY TENANT, GC TO PROVIDE BARRICADE WITH GRAPHIC FILM
 41 (E) METAL CLADDING PANELS
 187 (E) BRASS METAL CLADDING



3 CONSTRUCTION BUILDING SECTION - E-W - LOOKING SOUTH
SCALE: 1/8" = 1'-0"

- (E) BOARD FORMED CONCRETE
(E) COMPOSITE METAL PANEL COLOR 1
(E) COMPOSITE METAL PANEL COLOR 2
--- SCOPE OF WORK

- (N) EXTERIOR ALUMINUM STOREFRONT SYSTEM
(E) GLAZING SYSTEM
(E) METAL GLAZING PANELS
(E) BRASS METAL CLADDING

GENERAL NOTES

LEGEND

SHEET NOTES

Date Description
03.02.2020 PC/MET/FRONTING SET

Sheet Signature

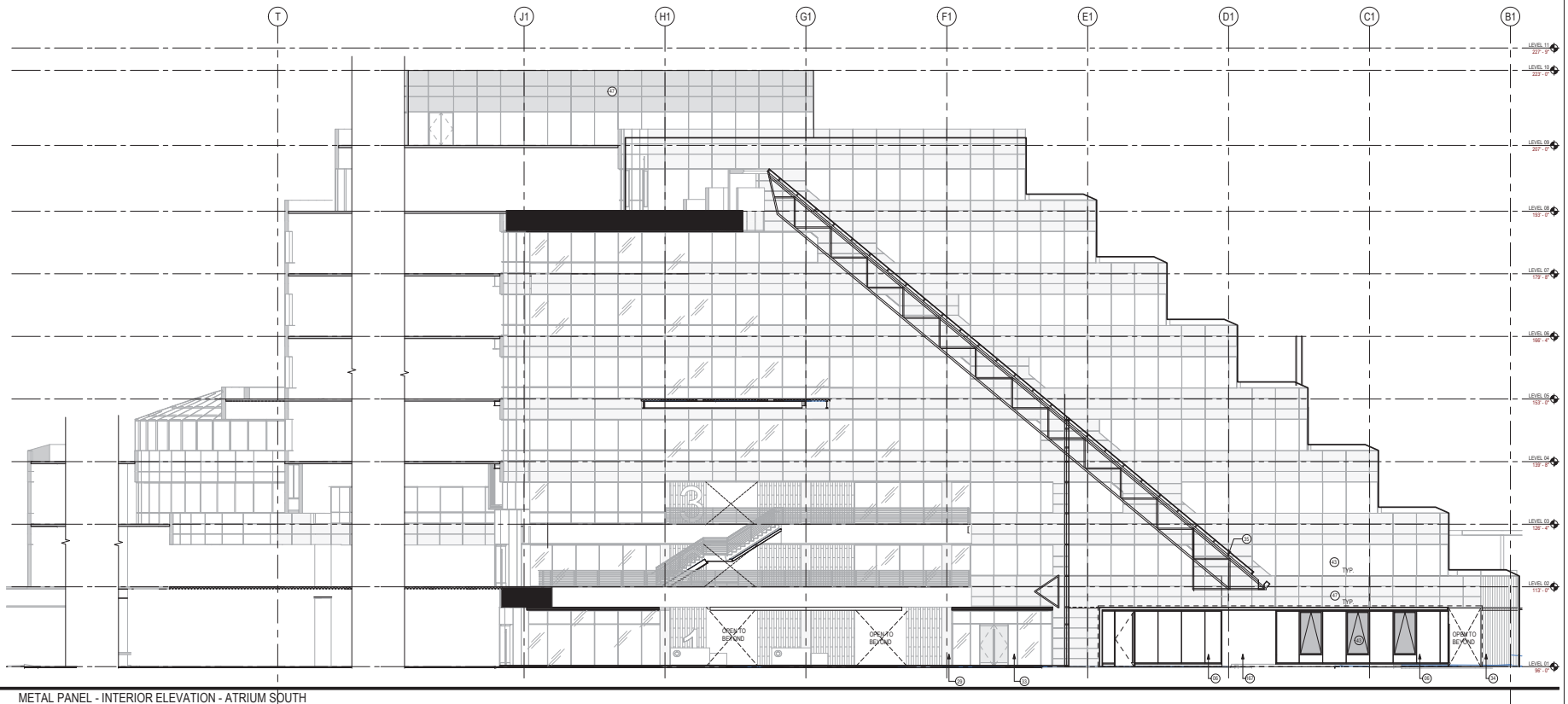
**NOT FOR
CONSTRUCTION**

Project Name
ONE CULVER
1000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000

Description
BUILDING SECTIONS -
EAST-WEST

Scale
As indicated

A2.200



1 METAL PANEL - INTERIOR ELEVATION - ATRIUM SOUTH
SCALE: 1/8" = 1'-0"

ALL DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY PRIOR TO
PROCURING AND FABRICATING NEW MATERIALS.

- (S) BOARD FORMED CONCRETE
(F) COMPOSITE METAL PANEL COLOR 1
(F) COMPOSITE METAL PANEL COLOR 2
--- SCOPE OF WORK
- (S) EXTERIOR ALUMINUM STATIONARY SYSTEM
(S) COLUMN WRAPPED OUT METAL COMPOSITE PANEL CLADDING
(S) ALL GLASS ENTRY EXTERIOR SYSTEM
(S) BOARD FORMED CONCRETE WALL
(S) SPACE FRAME & ATRIUM GLAZING SYSTEM TO REMAIN
(S) GLAZING SYSTEM
(S) METAL CLADDING PANELS
(S) BRASS METAL CLADDING

Date Description
12/22/2020 PC/MS/ PRELIM SET

Scale Signature

NOT FOR
CONSTRUCTION

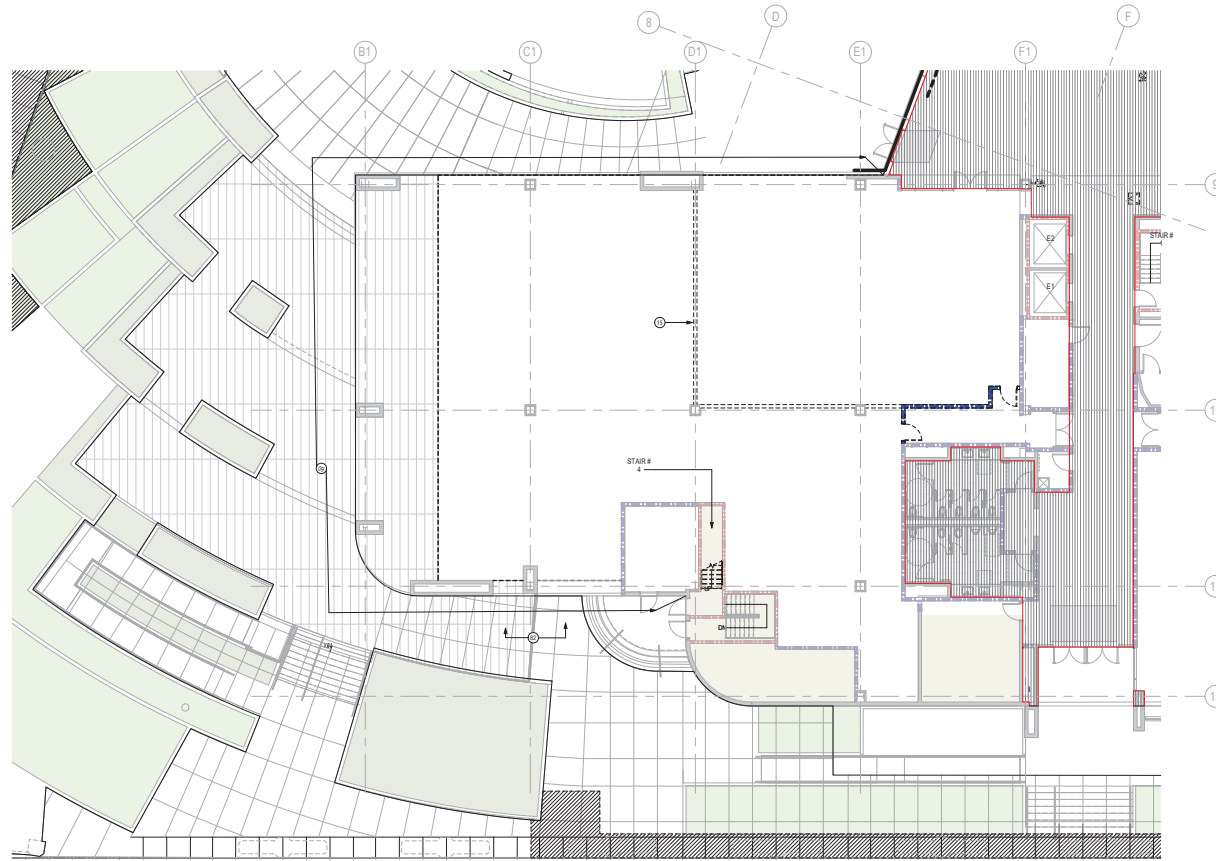
Project Name
ONE CULVER
1000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000

Description
INTERIOR ELEVATION - ATRIUM
SOUTH

Scale
As indicated

A2.311

© 2020 Gensler



1 DEMOLITION PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

- A. CONTRACTOR TO V.P.F. THE CONDITION OF STUD WALL FRAMING AND IF THE EXISTING METAL FRAMING IS ADEQUATE FOR SUPPORT OF SPECIFIED NEW CONSTRUCTION A FINISH.
- B. CONTRACTOR TO EVALUATE EXISTING FIRE-RATED PARTITIONS AND REMOVE/REPAIR/REPLACE WALL CONSTRUCTIONS AS NECESSARY TO MAINTAIN DESIGNATED FIRE RATING.
- C. ALL WORK ADJACENT TO OCCUPIED SPACES MUST BE COORDINATED WITH OMBERTENANT.
- D. FOR ALL WORK THAT AFFECTS ADJACENT TENANTS, CONTRACTOR MUST SECURE THE TENANT'S SPACE AT ALL TIMES.
- E. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER ON ANY MATERIALS/ANALYSIS WORK TO BE COMPLETED UNDER SEPARATE CONTRACT WITH OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE SCHEDULING, SEQUENCE, AND SCOPE OF THE PROJECT'S DEMOLITION AND CONSTRUCTION WITH THE ABATEMENT SCOPE AND SCHEDULE, ASSISTING THE OWNER TO ENSURE CONSIDERABLY DEFINED BOUNDS OF WORK FOR ISOLATION OF THESE SCOPES FOR PHASING.
- F. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLES AND DEVICES, AND MECH AND HVAC EQUIP. UNLESS OTHERWISE NOTED.
- G. COORDINATE SCHEDULE OF REMOVAL OF EXTERIOR ENVELOPE ELEMENTS WITH INSTALLATION OF NEW EXTERIOR SCOPE.
- H. SEE SHEET 05.260 FOR DEMOLITION NOTES.

- NO WORK IN THIS AREA
- (E) PARTITION TO BE DEMOLISHED
- (E) NON-RATED PARTITION TO REMAIN
- (E) 2-HR RATED PARTITION TO REMAIN
- (E) 1-HR RATED PARTITION TO REMAIN

- (E) DOOR TO BE DEMOLISHED
- (E) DOOR TO REMAIN

05. REMOVE (E) ALUMINUM GLAZING SYSTEMS AND ASSOCIATED DOORS (AS SHOWN PATTERNS).
15. REMOVE (E) INTERIOR PARTITION AND ASSOCIATED DOORS AND WINDOWS (AS SHOWN). REMOVE ALL FLOOR FINISHES (TYP) AND CARPET. FLOOR FINISHES AND REPAIRS/REPLACE WALLS AND FLOOR AS REQUIRED. NOT ALL WALLS ARE SHOWN. SEE ALSO SUBCONTRACTOR TO V.P.F.
02. PROTECT IN PLACE (E) GRANITE PANELS AND STUD FRAMING. LEAVE WALL FEATURES BY OTHERS UNDER SEPARATE PERMIT.

GENERAL NOTES

LEGEND

SHEET NOTES

Date: 12/22/2010
Description: PC/MET/PHASING SET

Signature:

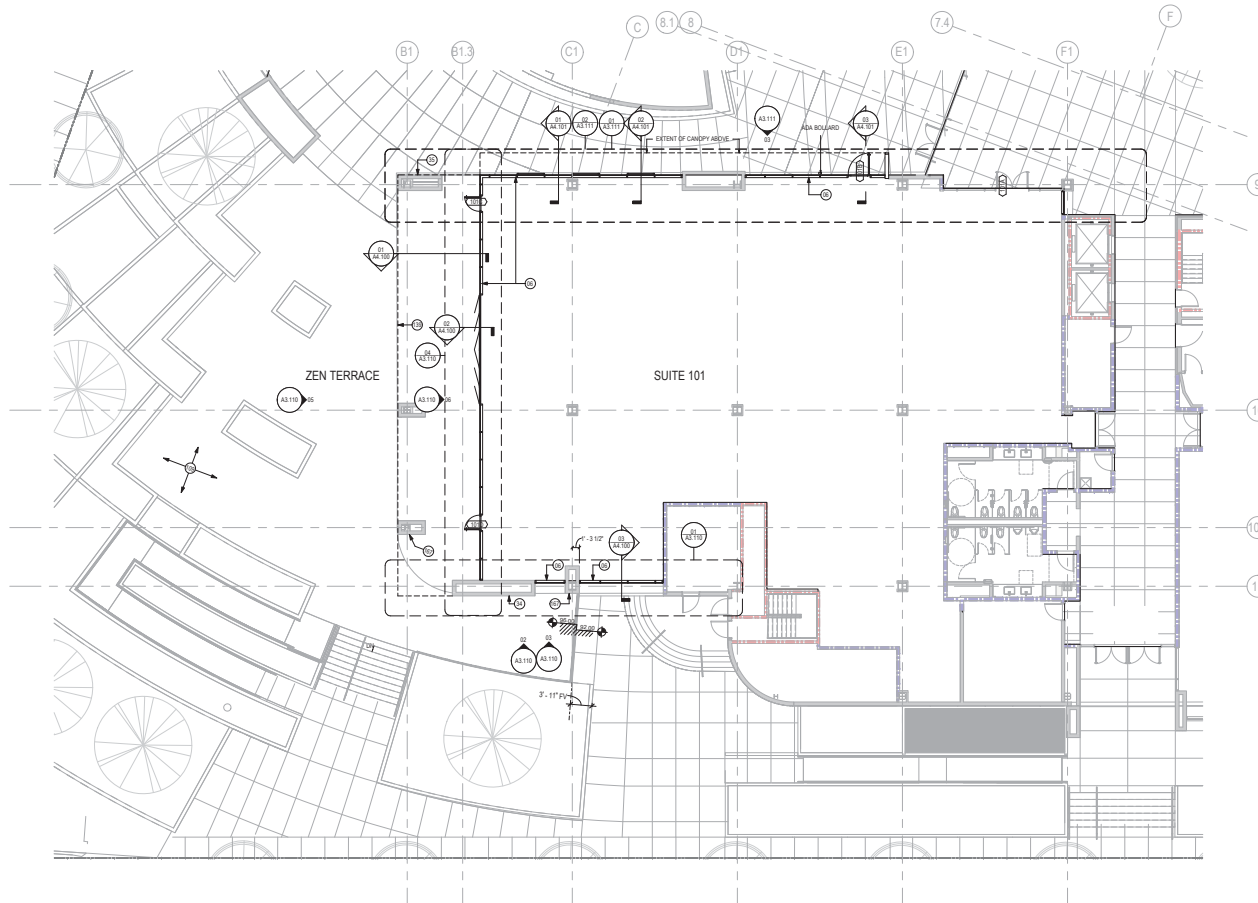
NOT FOR
CONSTRUCTION

Project Name:
ONE CULVER
1000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number:
05.9438.000

Description:
DEMOLITION PLAN - LEVEL 01

Scale:
As indicated

DM1.201



1 ENLARGED PLAN - SUITE 101 & ZEN TERRACE
SCALE: 1/8\"/>

FLOOR PLAN LEGEND

- PROPERTY LINE
- SCOPE OF WORK
- STORAGE/FRONT TYPE
REFER TO SHEETS A3.200
AND A3.201

WALL TYPES

- 1/2\"/>

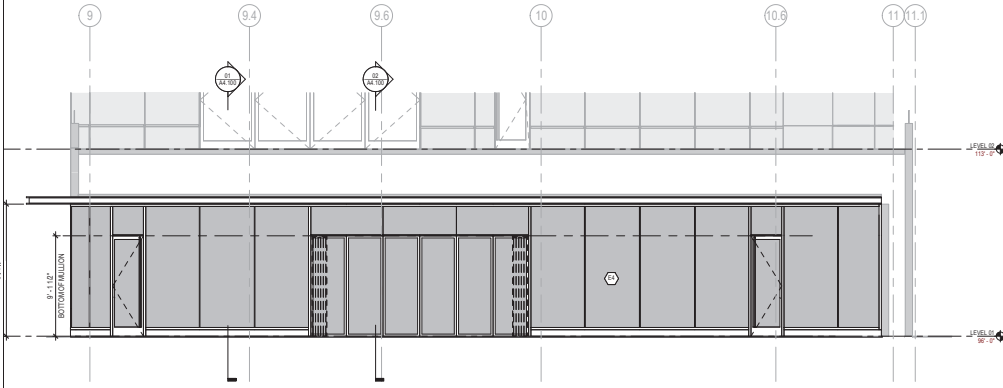
- 34 (E) BOARD FORMED CONCRETE WALL
- 34 (E) SPACE FRAME & ATRIUM GLAZING SYSTEM TO PERMANENT
- 105 (E) HANDRAIL TO BE PAINTED, COLOR TBD
- 105 (N) FIVE WOOD DOCKING ON JOIST JOISTS AT 18\"/>



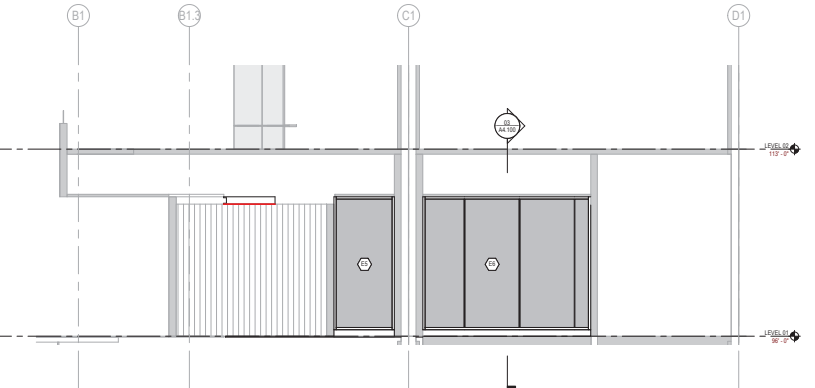
1 ENLARGED PLAN - ZEN TERRACE FURNITURE 1

SCALE: 1/4" = 1'-0"

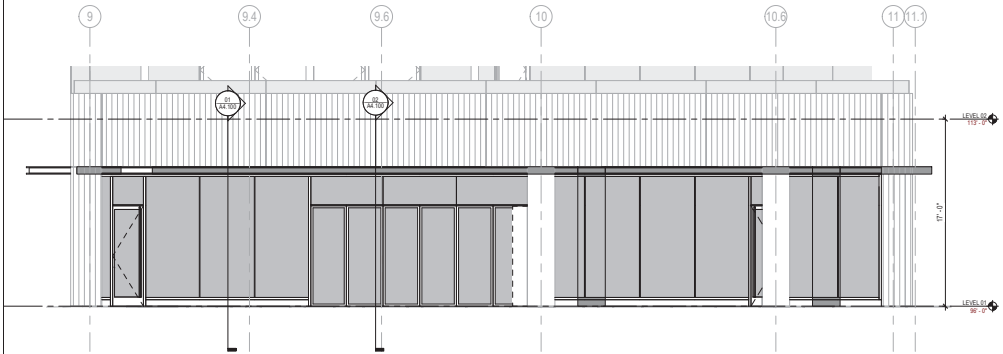
Type Mark	Image	Count	Manufacturer	Model	Description	Type Comments
ACC01AB		4	SMART AND GREEN	OUTDOOR BALL LAMP	LED LAMP OUTDOOR USE	1 PAIR (30 CM AND 50 CM DIA.)
ACC02		2	KYOTO SERIES	PLANTER	GREENFORM	ANTHRACITE GREY 28" DIAMETER HEIGHT
ACC03		6	SHADEMAKER	LIBRA UMBRELLA	COLOR SUNFLOWER STEM FINISH SILVER WITH STEEL BASE	6'-2" SQUARE
CH01		20	FERMOB	BELLEVUE LOUNGE	COTTON WHITE FRAME WITH FLANNEL GREY CUSHION	30" X 33" X 28"H
CH03		12	KNOLL	BERTOIA DINING CHAIR	WHITE FRAME FINISH WITH GRAY CUSHION	21.75" X 19.75" X 28.75"H
CH04		4	LANDSCAPE FORMS	AMERICANA LOUNGE CHAIR	CHARCOAL GREY HIGH DENSITY POLYETHYLENE	37.5" X 33.5" X 39.25"H
G01		1	RS	BARCELONA FOOTBALL TABLE	GRAY PAINT FINISH	59.5" X 34" X 36"H
G02		1	AMERICAN CORNHOLE	CORNHOLE BOARD	BALTIC BIRCH	24" X 12" X 12" (SET OF 2)
PL01		29	PLANTS, POTS, AND MORE	MILANO PLANTER	FIBERGLASS CHARCOAL FINISH	36" X 10" X 24"
REC01		3	FORMS AND SURFACES	UNIVERSAL WASTE BIN	STAINLESS STEEL SATIN FINISH TOP OPENING 10" DIA	36 GALLON
ST01		18	KNOLL	BERTOIA BARSTOOL	WHITE FRAME FINISH WITH GRAY CUSHION	21.75" X 22" X 39.5" H
TB01A		1	MAMAGREEN	AIKO TABLE	FRAME DRIFT LOOK WITH HPL TOP	120" X 48" X 41"H
TB01B		1	MAMAGREEN	AIKO TABLE	FRAME DRIFT LOOK WITH HPL TOP	144" X 48" X 41"H
TB02		6	SKAARGARDEN	OUJRO COFFEE TABLE	OUTDOOR TEAK	31.1" X 31.1" X 15"H
TB03		5	LANDSCAPE FORMS	PARC CENTER TABLE	POWDER COATED METAL SILVER	28" X 28" X 29"H
TB04		2	OBJECTS SIDE TABLE	KETTEL	773 MIST ALUMINUM	22.8" DIA. X 17.7" H



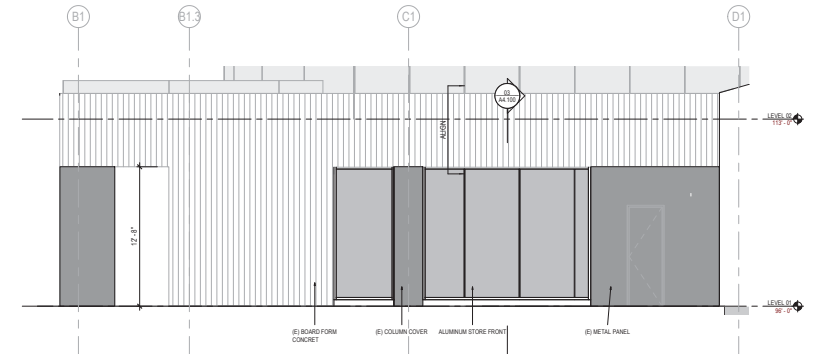
06 ENLARGED ELEVATION - SOUTH WALL GLAZING (MADISON AVE)
 SCALE: 1/4" = 1'-0"



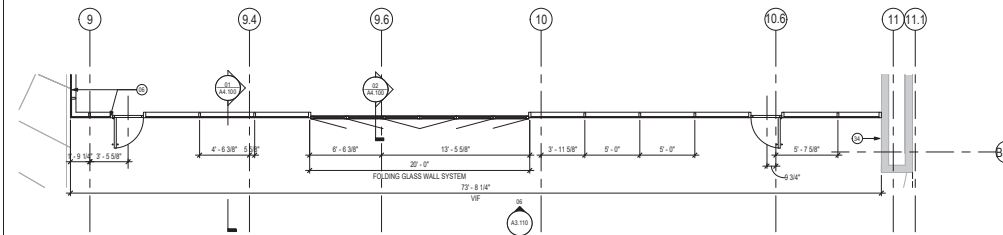
03 ENLARGED ELEVATION - EAST WALL GLAZING (CULVER BLVD)
 SCALE: 1/4" = 1'-0"



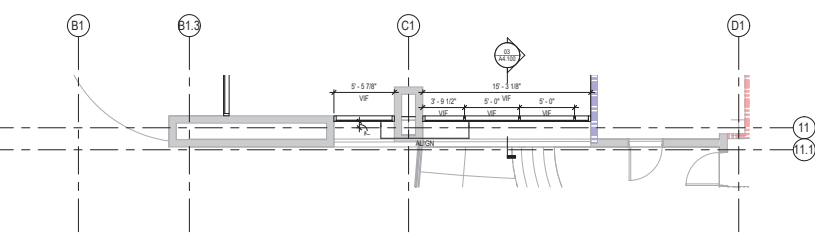
05 ENLARGED ELEVATION - SOUTH WALL (MADISON AVE)
 SCALE: 1/4" = 1'-0"



02 ENLARGED ELEVATION - EAST WALL (CULVER BLVD)
 SCALE: 1/4" = 1'-0"



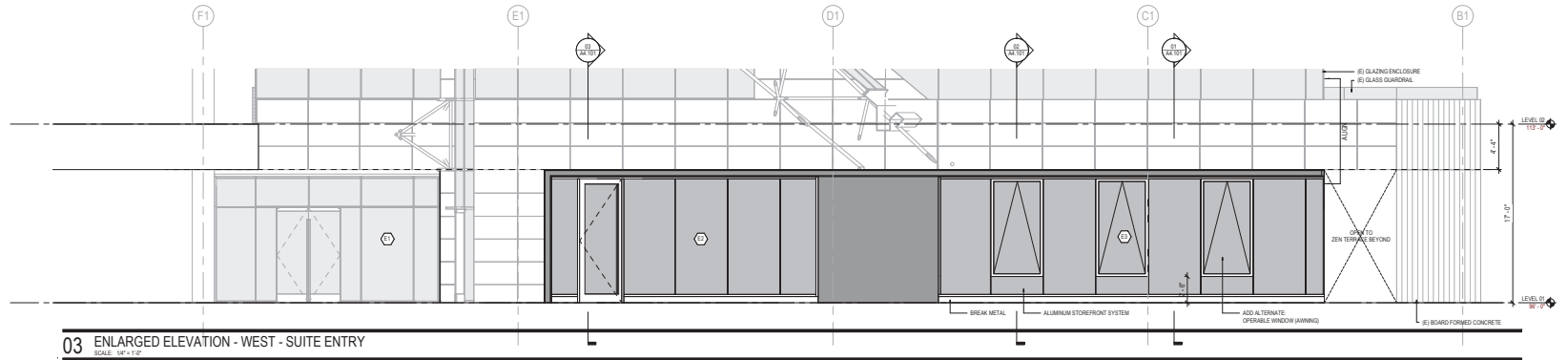
04 ENLARGED PLAN - SOUTH WALL (MADISON AVE)
 SCALE: 1/4" = 1'-0"



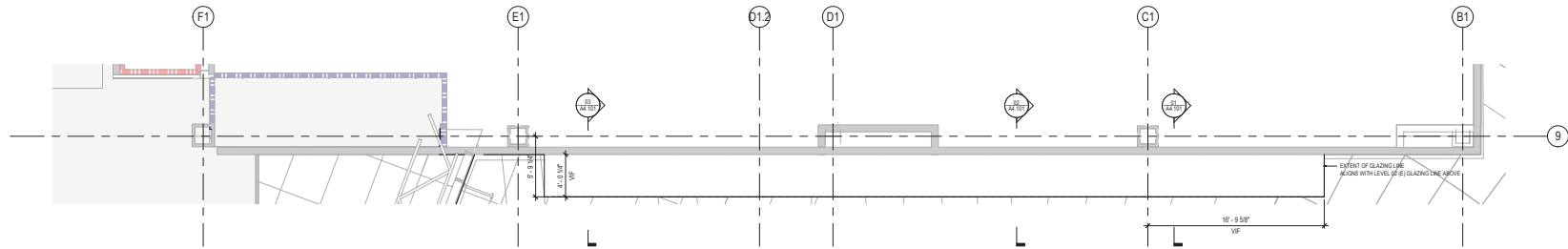
01 ENLARGED PLAN - EAST WALL
 SCALE: 1/4" = 1'-0"

- LEGEND**
- (E) BOARD FORMED CONCRETE
 - (E) COMPOSITE METAL PANEL COLOR 1
 - (E) COMPOSITE METAL PANEL COLOR 2
 - SCOPE OF WORK

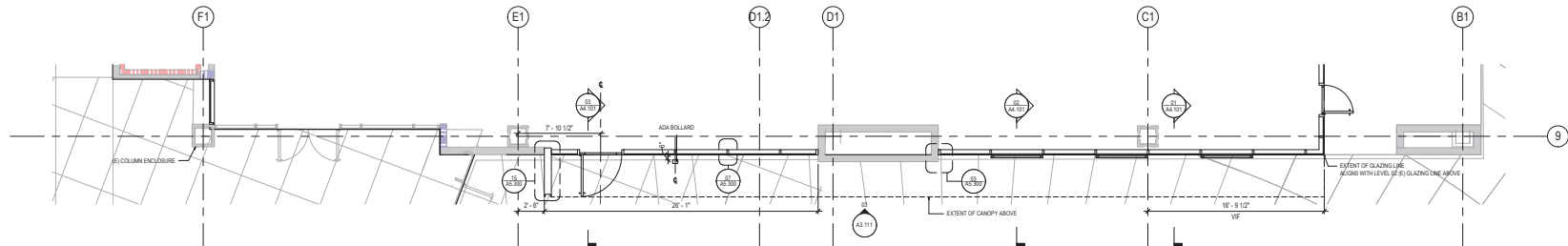
- SHEET NOTES**
- 06 FUTURE METAL STOREFRONT BY TENANT. GC TO PROVIDE BARRICADE WITH GRAPHIC FILM
 - 34 (E) BOARD FORMED CONCRETE WALL
 - 36 FUTURE METAL STOREFRONT BY TENANT. GC TO PROVIDE BARRICADE WITH GRAPHIC FILM
 - 108 LINE OF SIGHT MEDIA
 - 167 (E) BRASS METAL GLAZING
 - 179 PROVIDE CONCRETE WITH REMOTE JACK FOR FUTURE SIGNAGE



03 ENLARGED ELEVATION - WEST - SUITE ENTRY
 SCALE: 1/4" = 1'-0"



02 ENLARGED PLAN - WEST WALL - CANOPY
 SCALE: 1/4" = 1'-0"



01 ENLARGED PLAN - WEST WALL
 SCALE: 1/4" = 1'-0"

Δ Date Description
 12/2/2010 PC/MST/PRING SET

Sheet Signature

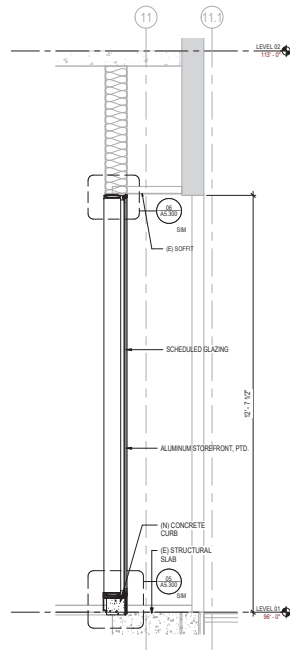
**NOT FOR
 CONSTRUCTION**

Project Name
ONE CULVER
 1000 W. WASHINGTON BOULEVARD
 CULVER CITY, CA 90230
 Project Number
 05.9438.000

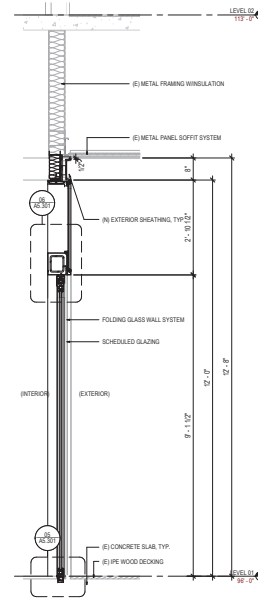
Description
 ENLARGED PLANS &
 ELEVATIONS - EXTERIOR WALL

Scale
 1/4" = 1'-0"

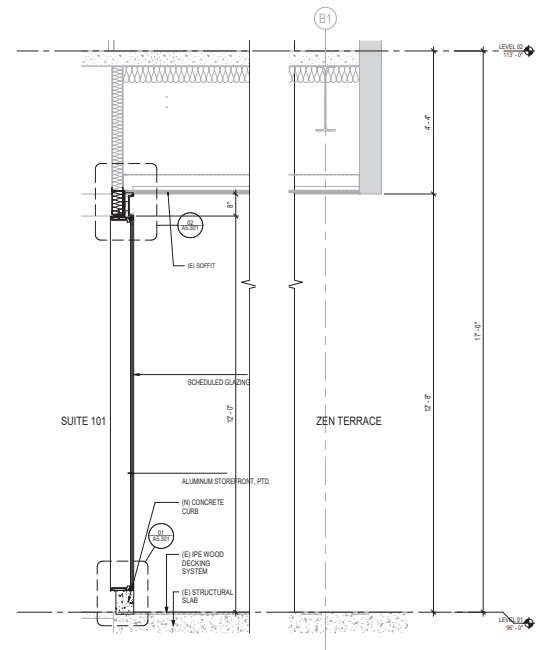
A3.111



03 SECTION - EAST WALL TYPICAL
SCALE: 3/4" = 1'-0"



02 SECTION - SOUTH WALL - FOLDING GLASS WALL SYSTEM
SCALE: 3/4" = 1'-0"



01 WALL SECTION - SOUTH WALL (MADISON AVE)
SCALE: 3/4" = 1'-0"

1. Date Description
12/22/2010 FOLDING GLASSING SET

1. Signature

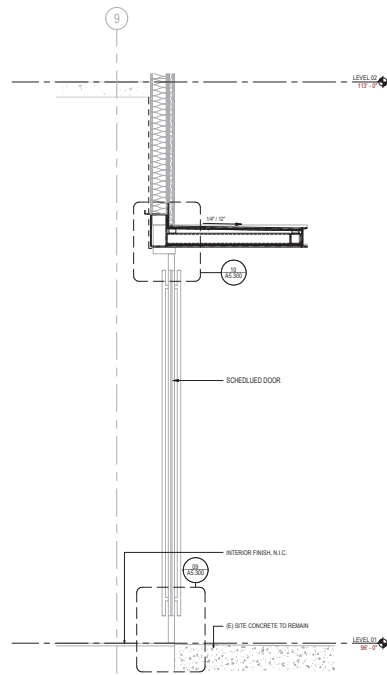
NOT FOR
CONSTRUCTION

Project Name
ONE CULVER
1000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000

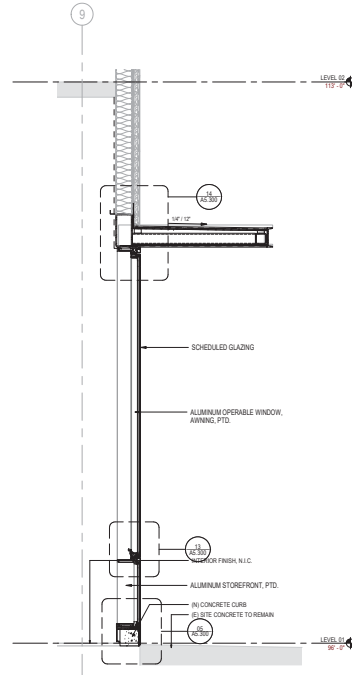
Description
WALL SECTIONS - SUITE 101
ENCLOSURE

Scale
NOT TO SCALE

A4.100

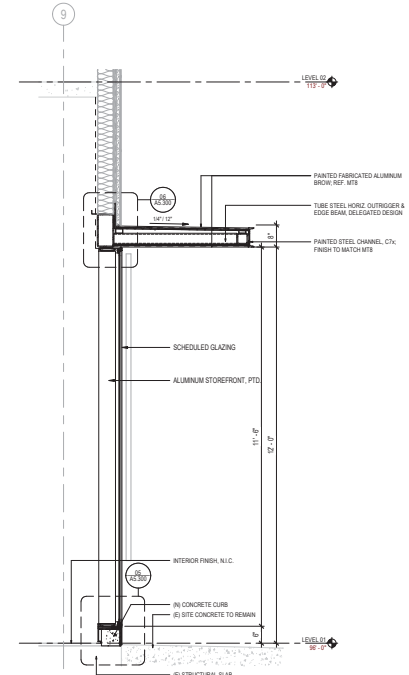


03 SECTION - WEST WALL - GRIDLINE E1 DOOR
SCALE: 3/4" = 1'-0"



* ADD ALTERNATE: OPERABLE WINDOW (ANNING)

02 SECTION - WEST WALL - GRIDLINE D1
SCALE: 3/4" = 1'-0"



01 SECTION - WEST WALL - GRIDLINE C1 TYP
SCALE: 3/4" = 1'-0"

Date Description
12/22/2010 PERMIT/ISSUING SET

Scale/Signature

NOT FOR CONSTRUCTION

Project Name
ONE CULVER
1000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000

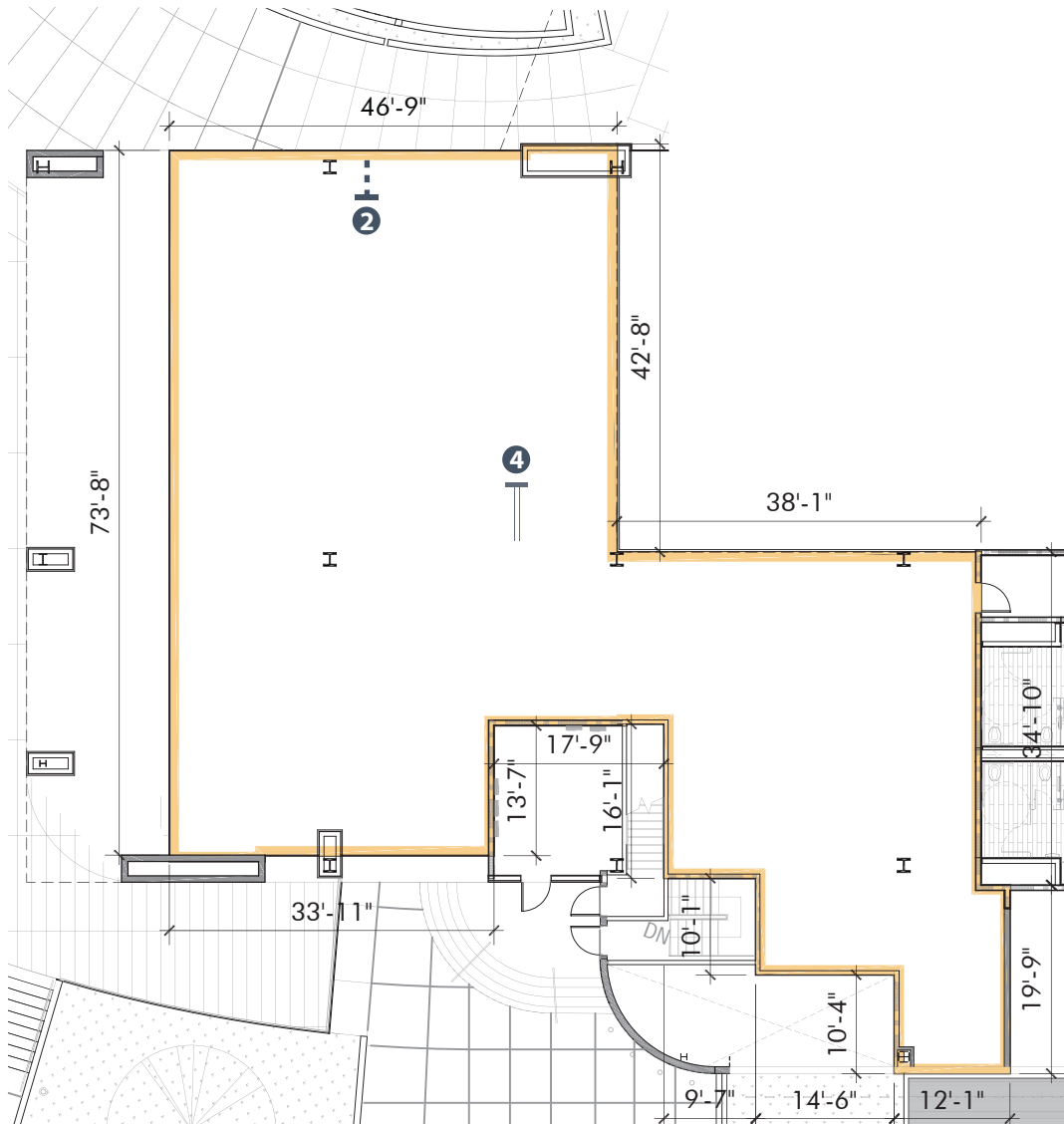
Description
WALL SECTIONS - SUITE 101
ENCLOSURE

Scale
3/4" = 1'-0"

A4.101



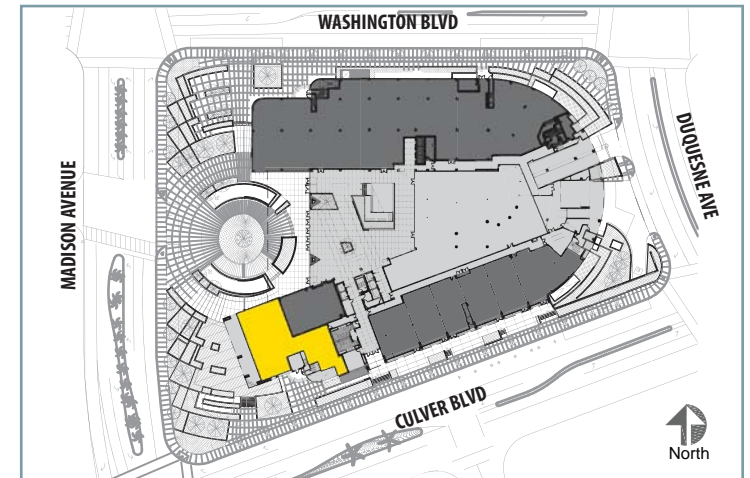




Enlarged Floor Plan

SCALE: 1"=20'-0"

GRAPHIC SCALE: 1"=20'



KEY PLAN

LEGEND

LEASABLE AREA	± 5,331 S.F.
Clear Distance Between Floor & Ceiling	±14'-6"
1 Water	1½" stubbed in w/ shut-off valve
2 Sanitary Waste	Shared 4" line (below slab)
3 Grease Waste	Shared 4" line (below slab)
4 Vent	3" vent stubbed into Premises
5 Gas	Gas manifold and nipple provided near truck loading area
6 Electrical	200A service at 120/208V, conduit & pullstring stubbed into Premises
7 Telephone/Data	Empty 2" conduit w/ pullstring stubbed into Premises
A Refrigerant Line Sets	Future linesets/wiring conduits from roof, zone for future condensing units on roof above
B	Future exhaust air duct to roof
C	Future outside air duct to roof
Fire Protection	Shared, per code for shell condition
Fire Alarm	Base building system



LBA REALTY

3347 MICHELSON DRIVE, S. 200
IRVINE, CA 92612
T: 949.833.0400



ONE CULVER

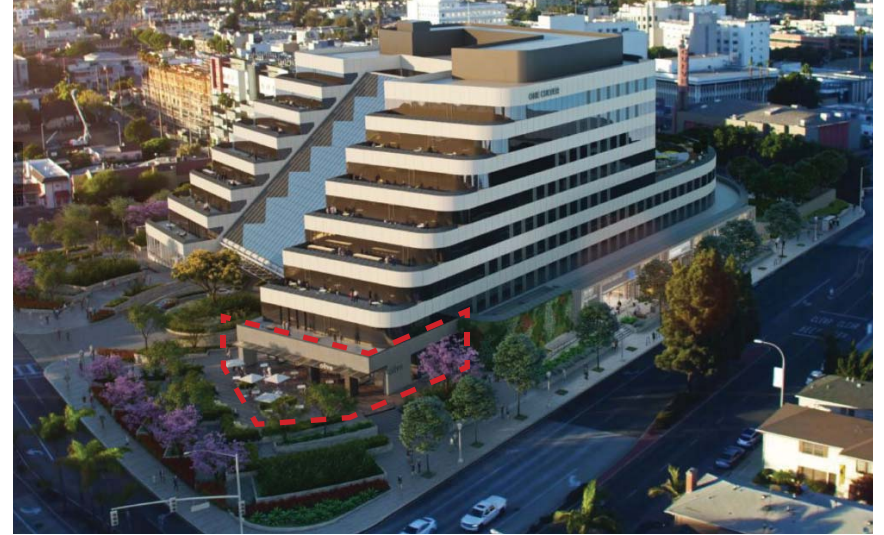
10000 W. WASHINGTON BOULEVARD
CULVER CITY, CALIFORNIA 90232

DISCLAIMER: This is the preliminary lease plan intended for discussion purposes only. Landlord reserves the right to make any changes to the plan including, without limitation, building and store sizes, tenant names and configuration, entrances and overall configuration. Landlord makes no warranties or representations concerning any matter contained on this plan, handwritten or in any other manner noted, nor shall tenant rely upon the same.

101



03/23/2018
18019TMA



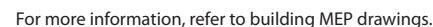
LBA REALTY
3347 MICHELSON DRIVE, S. 200
IRVINE, CA 92612
T: 949.833.0400



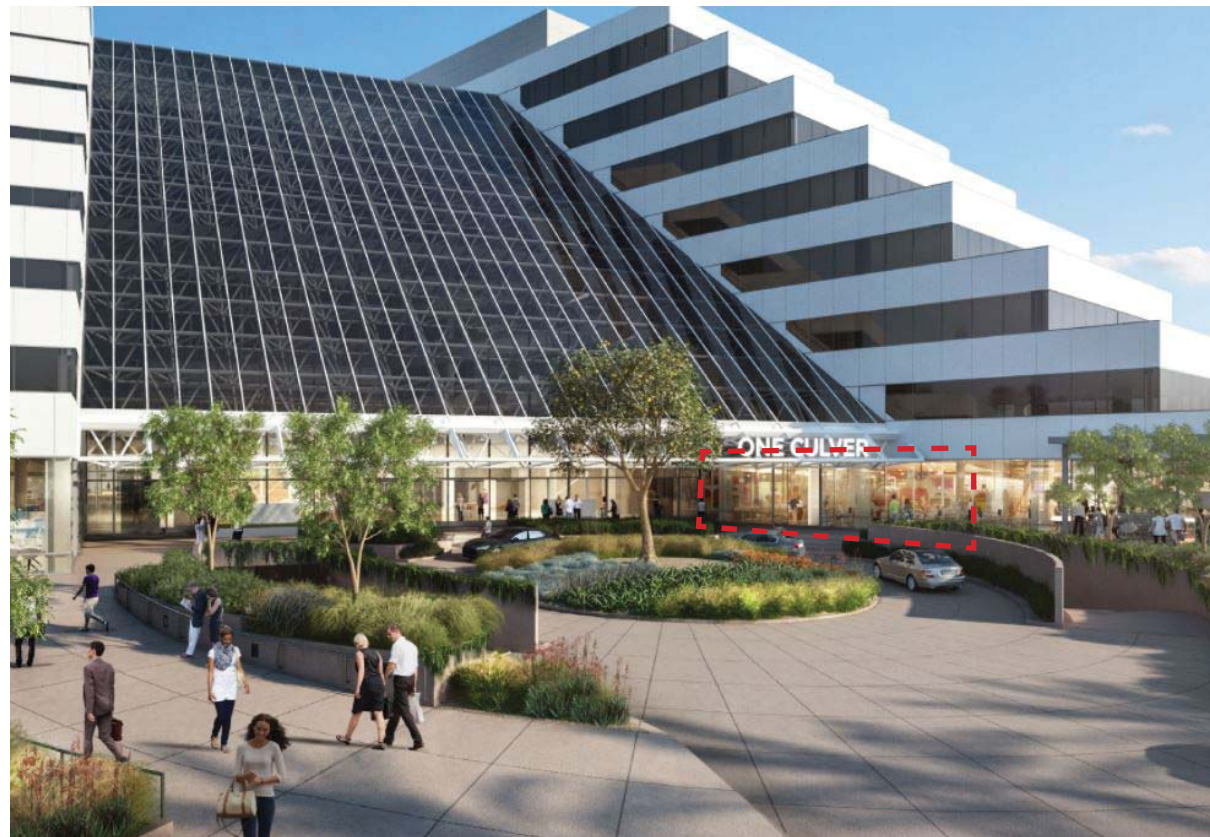
ONE CULVER
10000 W. WASHINGTON BOULEVARD
CULVER CITY, CALIFORNIA 90232

101

**McKently
Malak**
ARCHITECTS
03/23/2018
18019TMA



LEGEND	
LEASABLE AREA	± 2,759 S.F.
Clear Distance Between Floor & Ceiling	±14'-6"
1 Water	1½" stubbed in w/ shut-off valve
2 Sanitary Waste	Shared 4" line (below slab)
3 Grease Waste	Shared 4" line (below slab)
4 Vent	3" vent stubbed into Premises
5 Gas	Gas manifold and nipple provided near truck loading area
6 Electrical	200A service at 120/208V, conduit & pullstring stubbed into Premises
7 Telephone/Data	Empty 2" conduit w/ pullstring stubbed into Premises
A Refrigerant Line Sets	Future linesets/wiring conduits from roof, zone for future condensing units on roof above
B	Future exhaust air duct to roof
C	Future outside air duct to roof
Fire Protection	Shared, per code for shell condition
Fire Alarm	Base building system



LBA REALTY
3347 MICHELSON DRIVE, S. 200
IRVINE, CA 92612
T: 949.833.0400

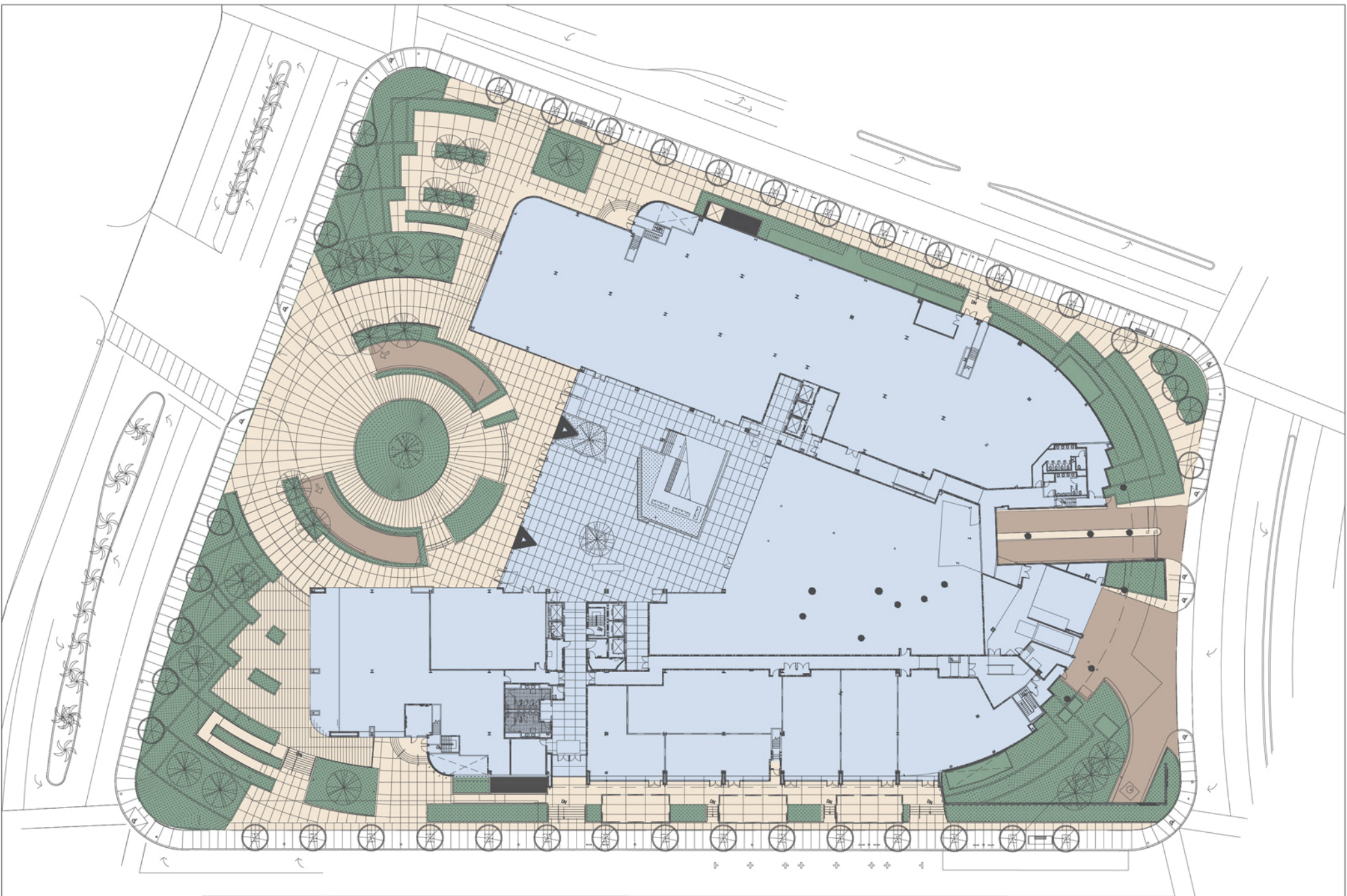


ONE CULVER
10000 W. WASHINGTON BOULEVARD
CULVER CITY, CALIFORNIA 90232

102

**McKently
Malak**
ARCHITECTS

03/23/2018
18019TMA



BUILDING

PARKING

LANDSCAPE

PEDESTRIAN