

New 4-Unit Townhome Condominiums

4095 Sawtelle Boulevard

ENVIRONMENTAL PROGRAMS & OPERATION NOTES:

1. SOLID WASTE, RECYCLABLE WASTE MATERIAL & ORGANIC WASTE HANDLING SHALL BE PERFORMED EXCLUSIVELY BY THE CITY OR ITS AUTHORIZED AGENTS. THE CITY COUNCIL MAY REGULATE, BY ORDINANCE OR RESOLUTION, ALL ASPECTS OF SOLID WASTE, RECYCLABLE WASTE MATERIAL & ORGANIC WASTE HANDLING, INCLUDING, BUT NOT LIMITED TO, FREQUENCY OF COLLECTION, MEANS OF COLLECTION & TRANSPORTATION, LEVEL OF SERVICES, CHARGES, FEES & NATURE, LOCATION & EXTENT OF PROVIDING SOLID WASTE HANDLING SERVICES.

2. THE CITY OF CULVER CITY SHALL PROVIDE WASTE DISPOSAL & RECYCLING SERVICES FOR ALL CONSTRUCTION & DEMOLITION PROJECTS WITHIN THE CITY LIMITS IN ACCORDANCE WITH CCMC 5.01.010.

FLOOR	UNIT A (S.F.)	UNIT B (S.F.)	UNIT C (S.F.)	UNIT D (S.F.)
1	827	888	929	862
2	813	931	958	848
ROOF	35	29	29	35
GARAGE	461	461	475	451
TOTAL	2,136	2,309	2,391	2,196
PRIVATE DECK	197	247	247	197

TOTAL BUILDING AREA: 10,709 SQ. FT.

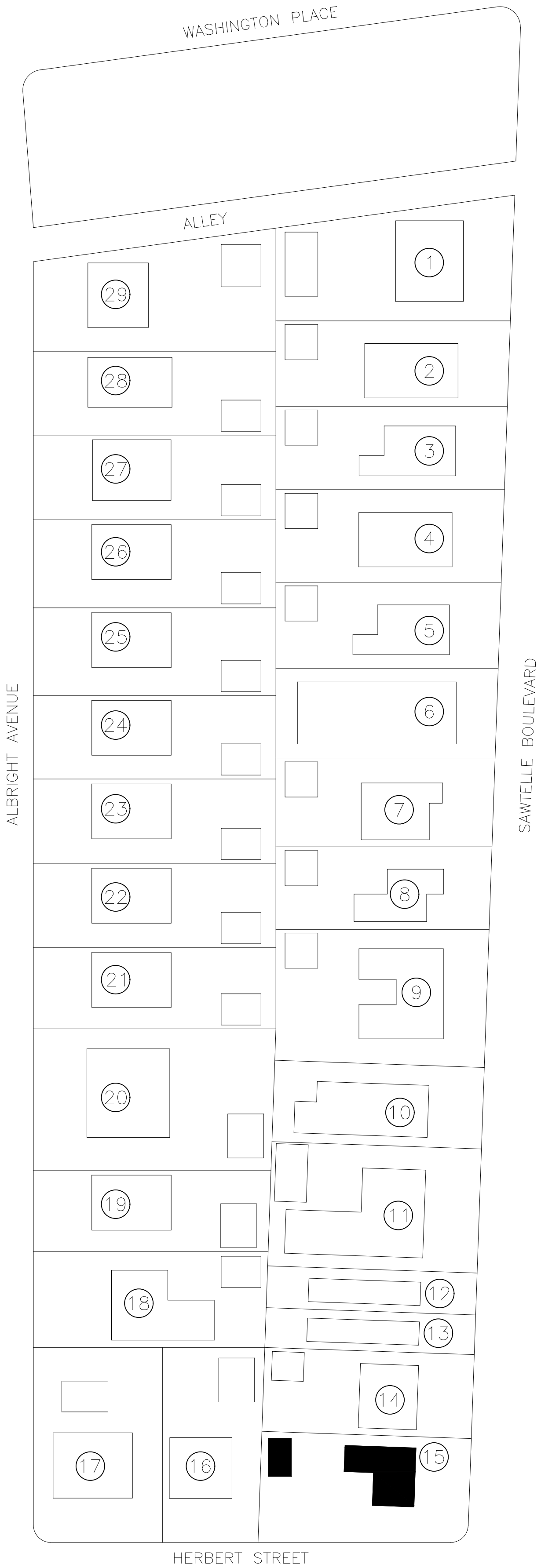
BUILDING AREA TABULATION

	EXISTING	ALLOWABLE	PROPOSED
NUMBER OF STORIES	1	2	2
HEIGHT	14'	30'	27'-3"
FLOOR AREA (SQ.FT.)	1,330	N/A	7,120
DENSITY	1	1:1,500=4	4
MAX. EXCAVATION AREA (SQ.FT.)	—	75%/4,863	80%/5,130
FRONT SETBACK	14'	1/2 HEIGHT	14'-1"
SOUTH SIDE SETBACKS	9'-2"	5'	5'
NORTH SIDE SETBACKS	5'-2"	5'	5'
REAR SETBACK	40'-4"	10'	15'

ZONING ANALYSIS

LOT NUMBER	FRONT SETBACK	BUILDING HEIGHT	UNIT COUNT	NUMBER OF FLOORS	LOT SIZE (S.F.)	LOT COVERAGE (S.F.)
1	25'	16'	1	1	7,397	1,380
2	24'	16'	1	1	6,846	1,390
3	23'	15'	1	1	6,775	1,137
4*	25'	19'	1	2	6,705	1,884
5	23'	16'	1	1	6,634	1,217
6*	15'	27'	4	2	6,564	3,250
7	23'	15'	1	1	6,493	1,137
8	25'	15'	1	1	6,422	1,151
9	22'	16'	1	1	7,201	1,852
10	21'	15'	2	1	5,000	1,629
11	18'	14'	4	1	7,500	2,688
12*	21'	22'	1	2	2,500	1,205
13	23'	13'	1	1	2,500	994
14	22'	15'	1	1	5,016	1,142
15	22'	14'	1	1	6,484	1,330
16	20'	16'	1	1	5,107	929
17	20'	14'	1	1	5,417	1,363
18	17'	14'	1	1	5,492	1,975
19	20'	15'	1	1	5,665	1,495
20*	18'	26'	1	2	9,566	2,101
21	23'	16'	1	1	6,233	1,218
22	23'	16'	1	1	6,330	1,397
23	24'	16'	1	1	6,394	1,137
24	22'	15'	1	1	6,459	1,737
25	22'	16'	1	1	6,524	1,528
26	22'	16'	1	1	6,589	1,135
27	23'	15'	1	1	6,554	1,137
28	24'	15'	1	1	6,718	1,442
29	23'	15'	1	1	7,387	1,136
AVERAGE	21.8'	16.3'	1.24	1.14	6,223.2	1,486.8

*EXISTING 2-STORY DEVELOPMENTS
AVERAGE 2-STORY FRONT SETBACK: 19.75'
AVERAGE 2-STORY BUILDING HEIGHT: 23.50'



- PROJECT ADDRESS :
4095 SAWTELLE BOULEVARD
CULVER CITY, CALIFORNIA 90066
- OWNER'S ADDRESS :
4095 SAWTELLE, LLC.
7525 ETHEL AVENUE, SUITE K
LOS ANGELES, CALIFORNIA 90025
(310) 550-7902
- ARCHITECT'S ADDRESS :
SOUTHERN CALIFORNIA ARCHITECTS (SCALA)
2050 S. BUNDY DRIVE, SUITE 288
NORTH HOLLYWOOD, CALIFORNIA 91605
(818) 430-8483
- LANDSCAPE ARCHITECT'S ADDRESS :
SOLA, INC.
380 N. PALM STREET, SUITE B
BREA, CALIFORNIA 92821
(562) 905-0800

PROJECT DIRECTORY

- PROJECT DESCRIPTION :
DEVELOPMENT OF NEW 4-UNIT ATTACHED RESIDENTIAL TOWNHOMES WITH SUBTERRANEAN PARKING (2 SPACES SPACES PER UNIT + 1 STANDARD GUEST PARKING SPACE + 1 VAN ACCESSIBLE GUEST PARKING SPACE).
DEDICATED PRIVATE OPEN SPACES & ROOF DECKS.
- BUILDING :
ZONE : RMD
APN : 4233-030-011
LEGAL DESCRIPTION : TRACT: 5670
LOTS: 121 & 122
LOT AREA : 6,484 SQ. FT.
- CODE DATE :
GOVERNING CODE : 2019 CALIFORNIA BUILDING CODE, 2019 CAL-GREEN, 2019 CMC, 2019 CPC, 2019 CEC, CALIFORNIA ENERGY CODE, CULVER CITY MUNICIPAL CODE
OCCUPANCY : R2-APARTMENTS/U-GARAGE
CONSTRUCTION TYPE : VA-APARTMENTS/I-GARAGE
FIRE SPRINKLERS : GARAGE=NFPA-13
DWELLING UNITS=NFPA-13R

BUILDING / CODE SUMMARY

- ARCHITECTURAL SHEETS
- T1.0 TITLE SHEET & GENERAL NOTES
 - T1.1 RENDERINGS
 - SD1.0 SITE PLAN
 - D1.0 DEMOLITION PLAN
 - A1.1 SUBTERRANEAN GARAGE PLAN
 - A1.2 FIRST FLOOR PLAN
 - A1.3 SECOND FLOOR PLAN
 - A1.4 ROOF PLAN
 - A4.1 EXTERIOR ELEVATIONS
 - A4.2 EXTERIOR ELEVATIONS
- LANDSCAPE SHEETS
- LP-1 LANDSCAPE PLAN - GROUND LEVEL
 - LP-2 LANDSCAPE PLAN - ROOF DECK
 - LP-3 LANDSCAPE DETAILS
 - LI-1 IRRIGATION PLAN - GROUND LEVEL
 - LI-2 IRRIGATION PLAN - ROOF DECK
 - LI-3 IRRIGATION DETAILS
- CIVIL SHEETS
- C-0 EXISTING SURVEY
 - C-1 RAMP DESIGN - PARKING GARAGE PLAN
 - C-2 RAMP ANALYSIS
 - C-3 RAMP ANALYSIS



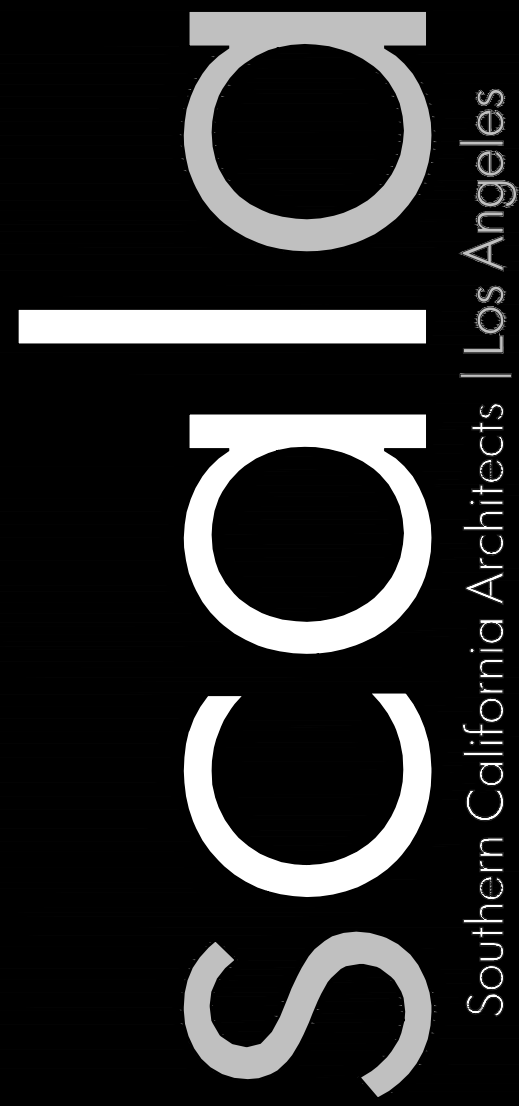
VICINITY MAP

NEIGHBORHOOD DEVELOPMENT DATA

NEIGHBORHOOD MAP

NOT TO SCALE

SHEET INDEX



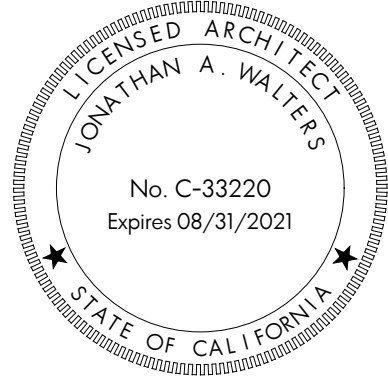
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310.550.7902

MESSIHA ENGINEERING SERVICES

9854 NATIONAL BOULEVARD, SUITE 474
LOS ANGELES, CA 90034
310.717.3020
FAX 773.829.0158

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rev. date description

New 4-Unit Townhomes

4095 Sawtelle Boulevard
Los Angeles, CA. 90066

project

TITLE SHEET & NEIGHBORHOOD MAP

title

AS NOTED
scale JANUARY 31, 2019
project date

D.BIBAWI
project manager JANUARY 25, 2021
plot date

19-003
job no. T1.0
sheet



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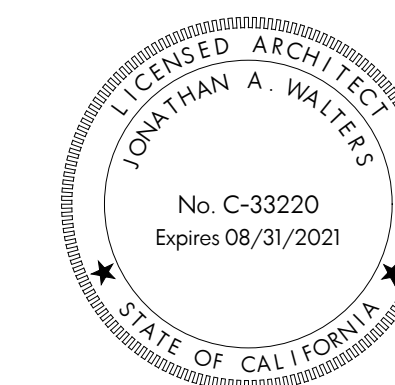
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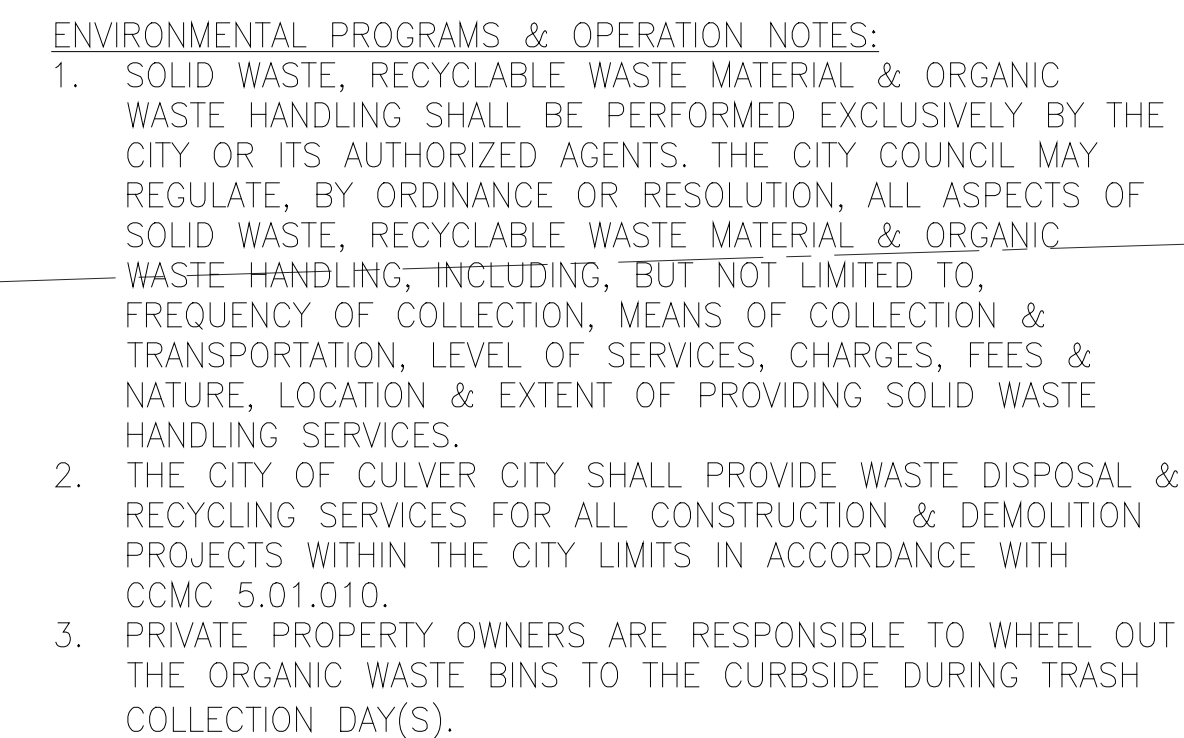
New 4-Unit Townhomes

4095 Sawtelle Boulevard
Los Angeles, CA. 90066

project

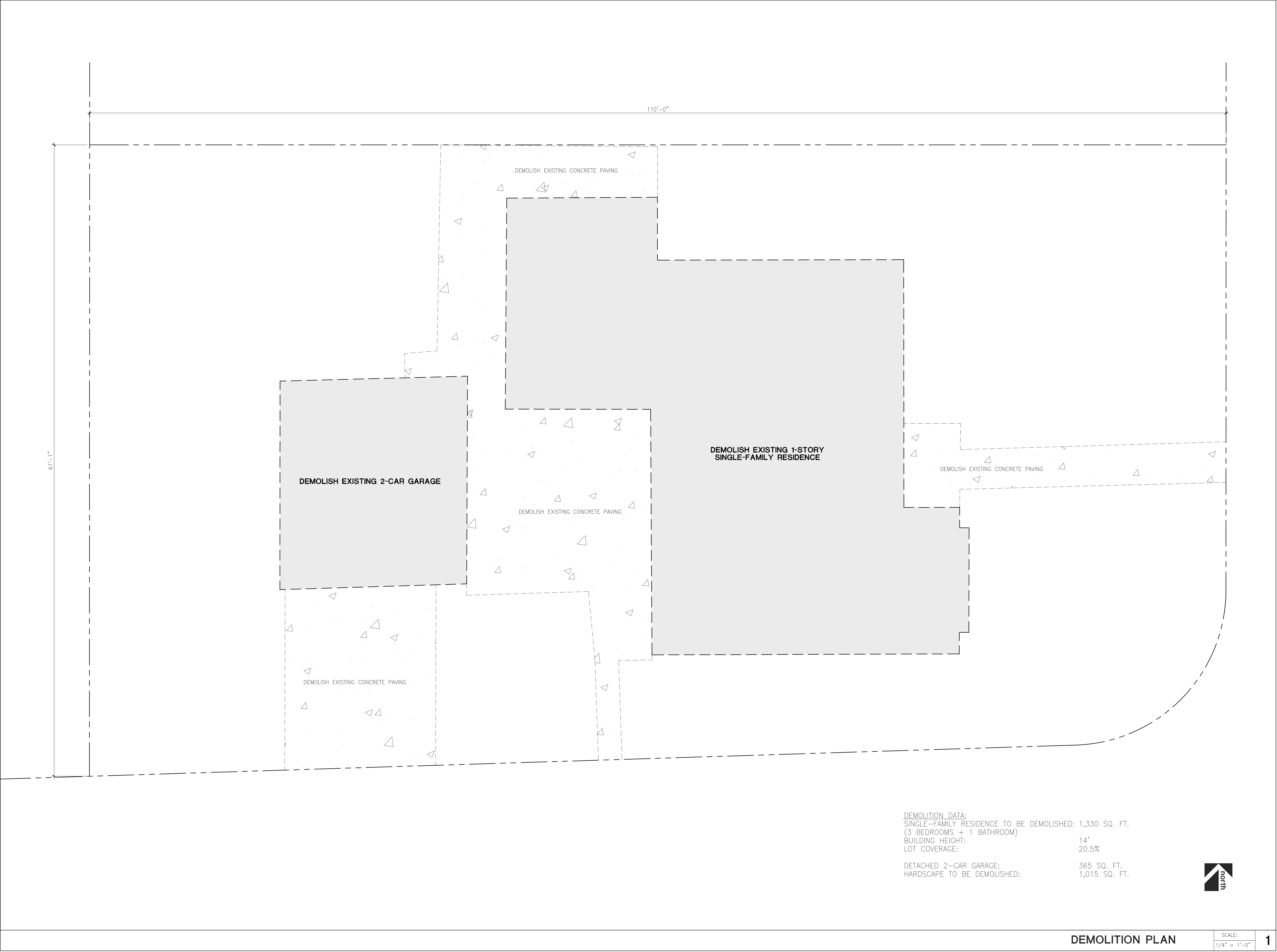
RENDERINGS

title	
AS NOTED	JANUARY 31, 2019
scale	project date
D.BIBAWI	JANUARY 25, 2021
project manager	plot date
19-003	T1.1
job no.	sheet



15'	10'	5'	1' 0'	
				SCALE:
				$3/16" = 1'-0"$

sheet



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LICENSED ARCHITECT

JOAH HAN A. WALTERS

No. C-33220
Expires 08/31/2021

STATE OF CALIFORNIA

rev. date description

New 4-Unit
Townhomes

4095 Sawtelle Boulevard
Los Angeles, CA. 90066

project

DEMO PLAN

title

AS NOTED

JANUARY 31, 2019

scale project date

D.BIBAWI

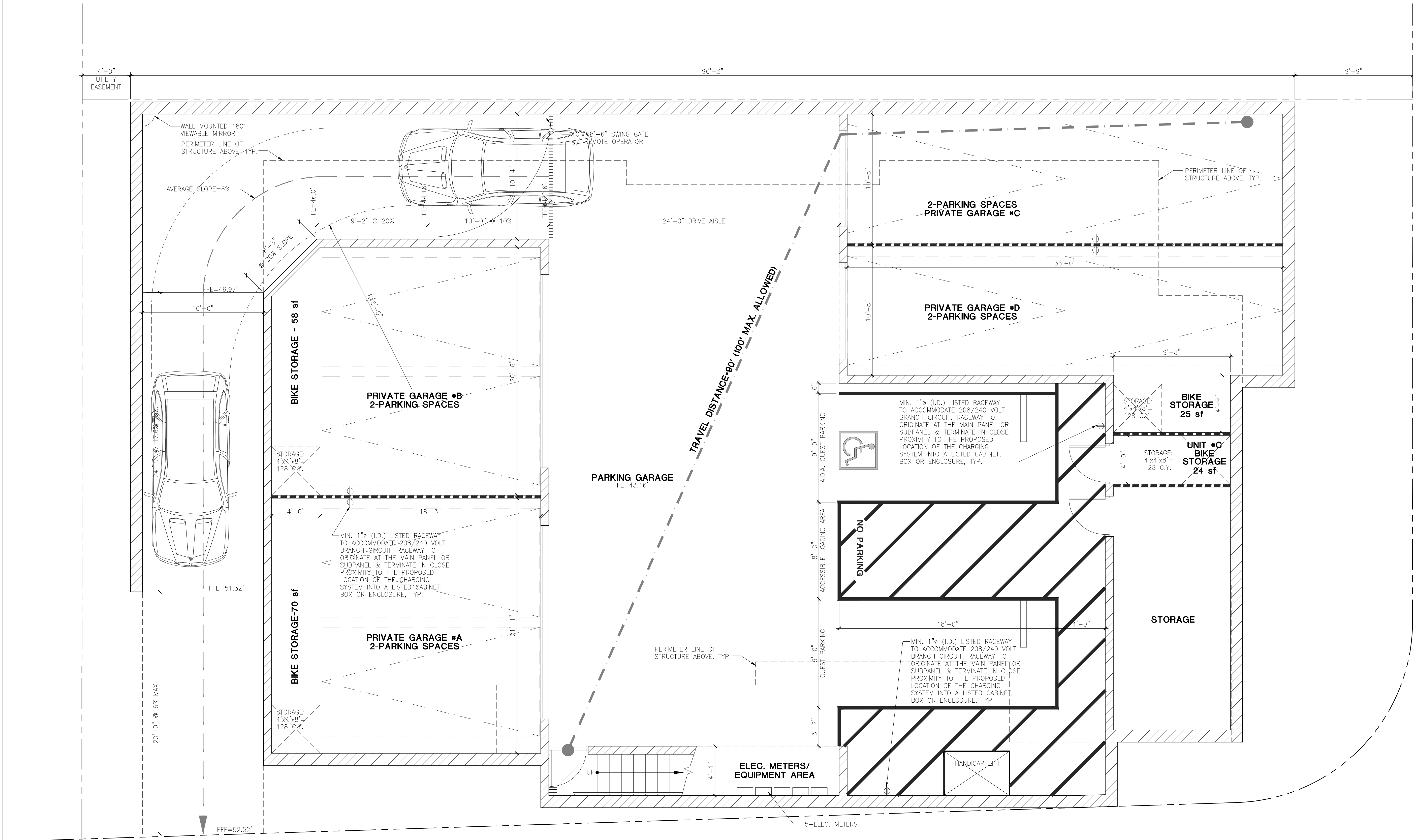
JANUARY 25, 2021

project manager plot date

19-003

D1.0

job no. sheet



BASEMENT/GARAGE PLAN

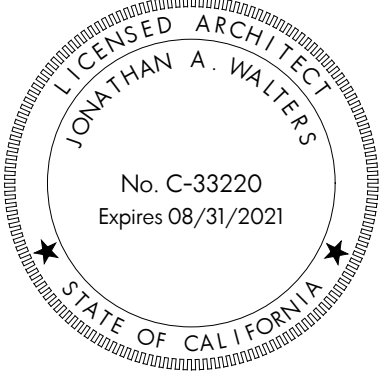
SCALE:
1/4" = 1'-0"

1

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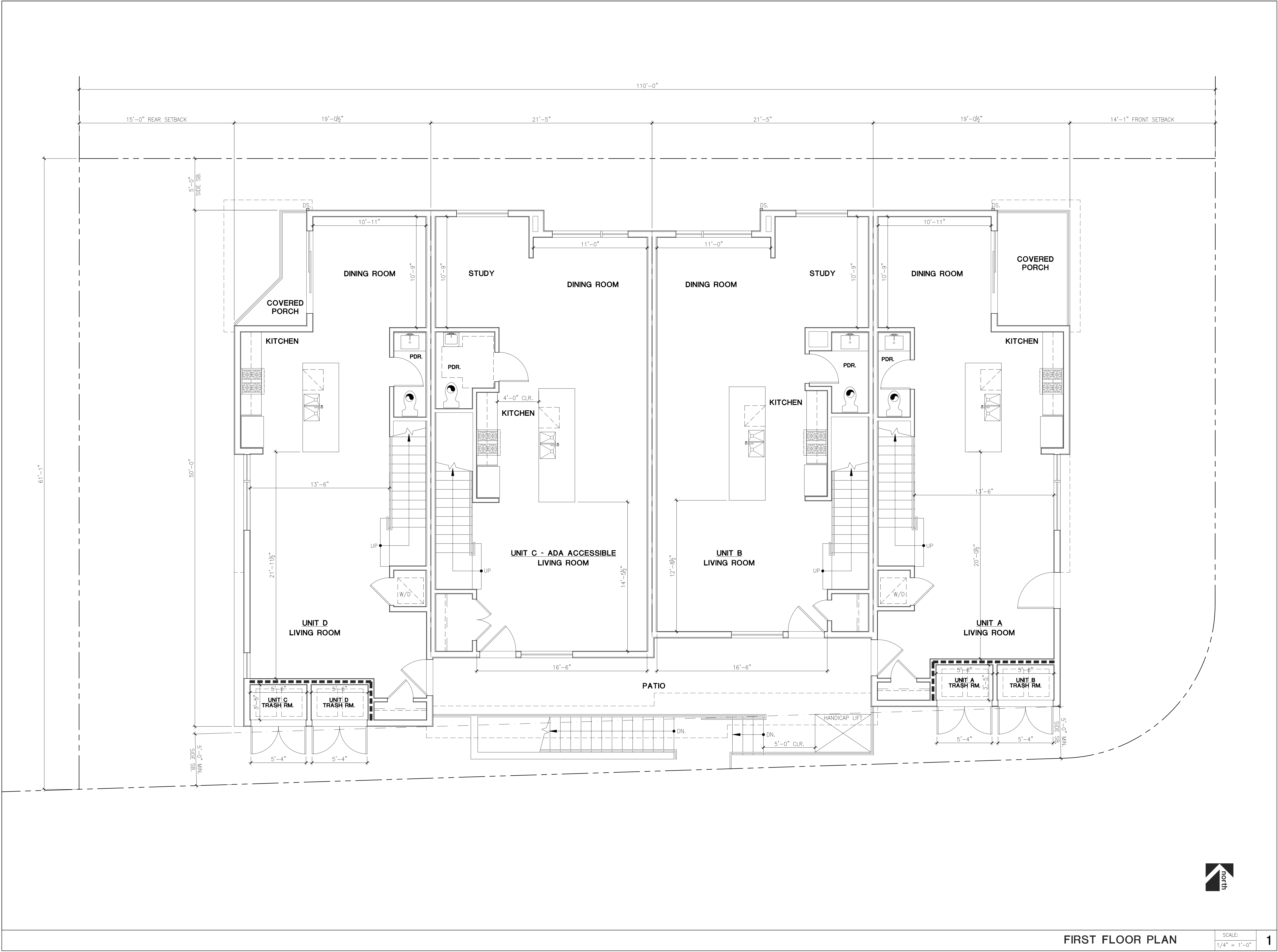
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New 4-Unit Townhomes 4095 Sawtelle Boulevard Los Angeles, CA. 90066		
project		

GARAGE PLAN	
title	
AS NOTED	JANUARY 31, 2019 project date
D.BIBAWI project manager	JANUARY 25, 2021 plot date
19-003	A1.1 sheet
job no.	



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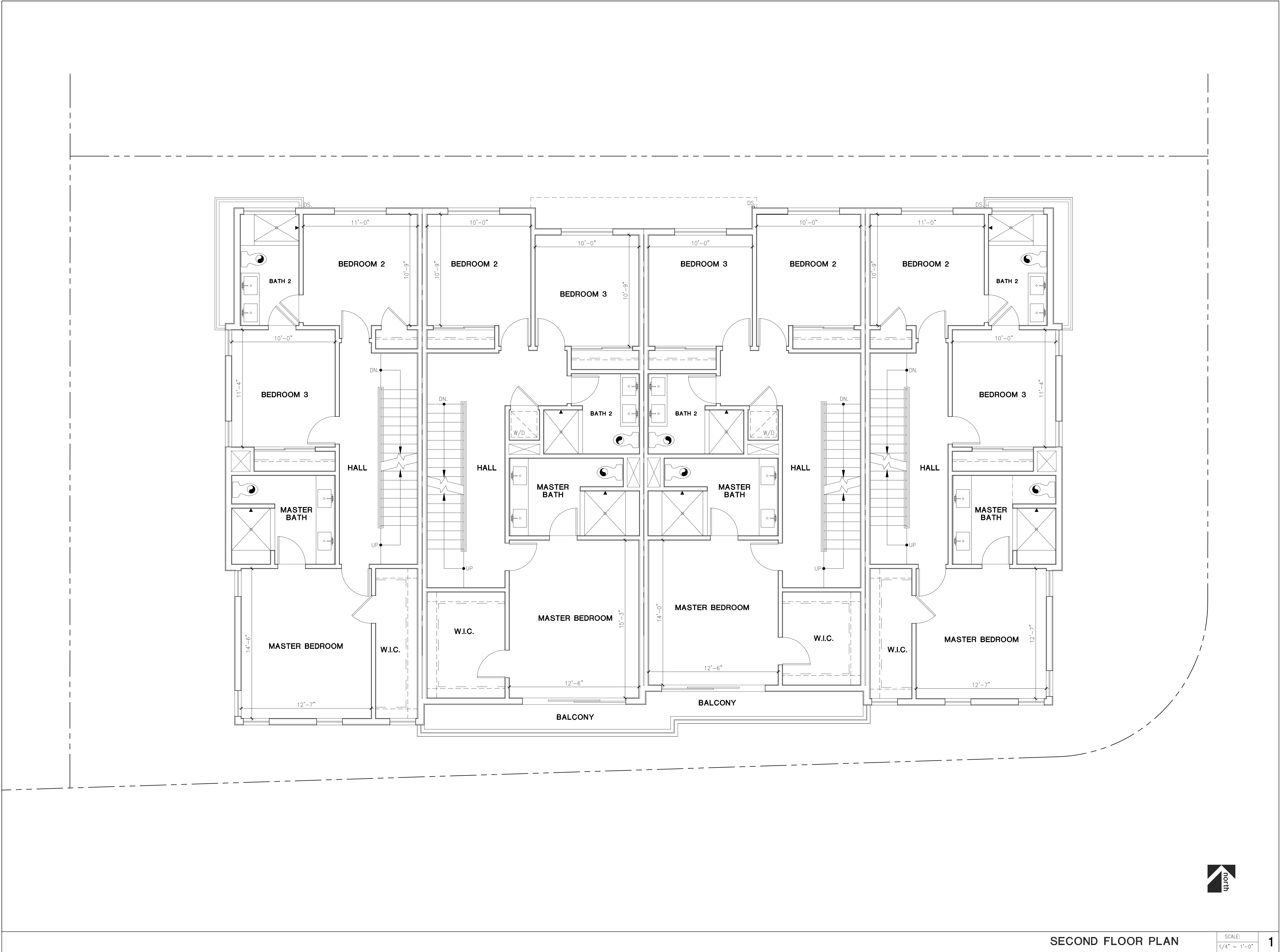
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LICENSED ARCHITECT
JOANNA A. WATERS
No. C-33220
Expires 08/31/2021
STATE OF CALIFORNIA

rev.	date	description
New 4-Unit Townhomes 4095 Sawtelle Boulevard Los Angeles, CA. 90066 project		
1st FLOOR PLAN		
title		
AS NOTED	JANUARY 31, 2019	project date
D.BIBAWI	JANUARY 25, 2021	plot date
19-003	A1.2	
job no.	sheet	

FIRST FLOOR PLAN

SCALE:
1/4" = 1'-0"



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No. C-33220
Expires 08/31/2021
STATE OF CALIFORNIA

rev.	date	description

New 4-Unit
Townhomes

4095 Sawtelle Boulevard
Los Angeles, CA. 90066

project

2nd FLOOR PLAN

title

AS NOTED
scale

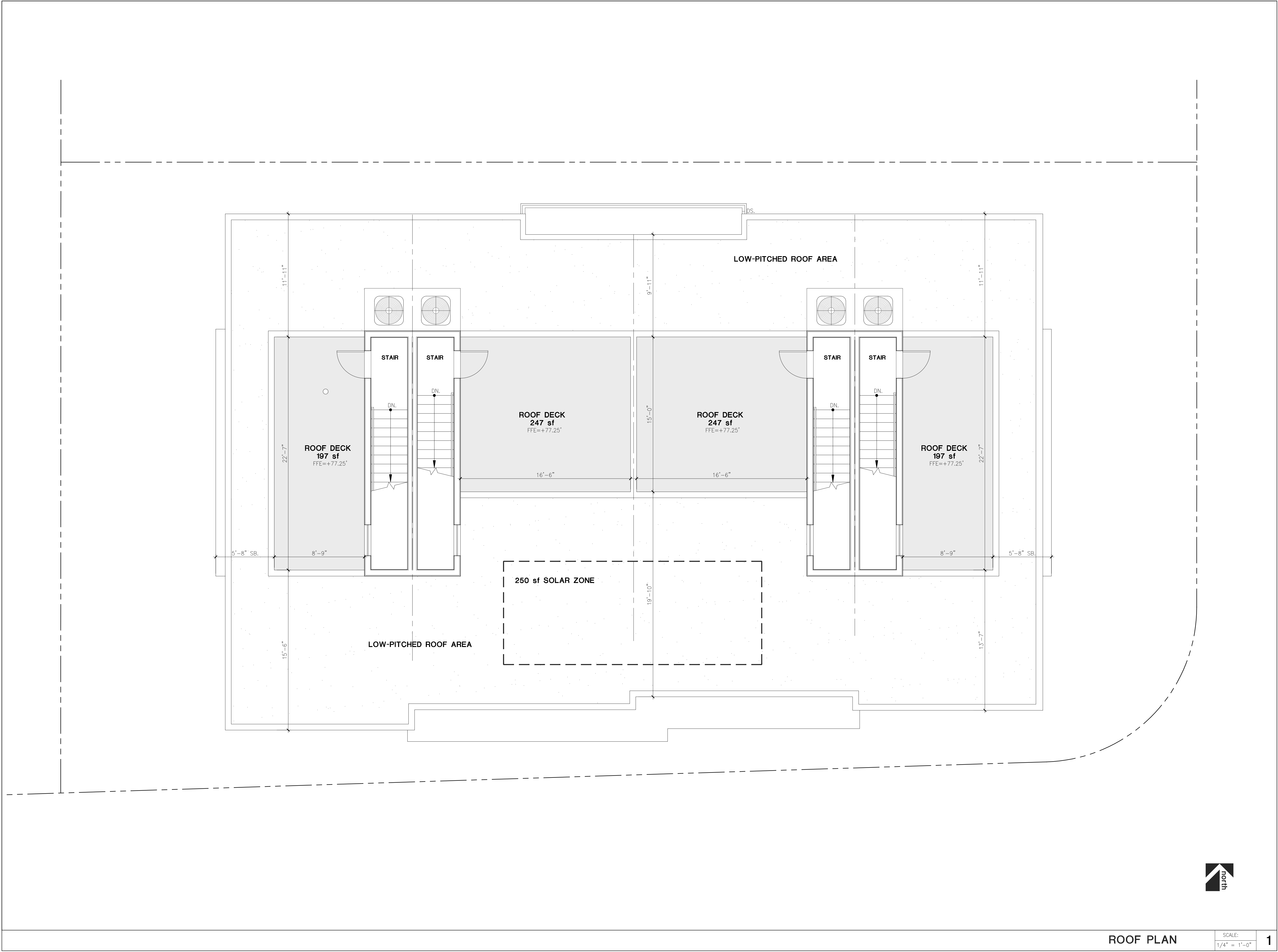
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JANUARY 31, 2019
project date

JANUARY 25, 2021
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A1.3
sheet



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STATE OF CALIFORNIA

rev.	date	description
New 4-Unit Townhomes 4095 Sawtelle Bouelvard Los Angeles, CA. 90066		

ROOF PLAN

title

AS NOTED

scale

D.BIBAWI

project manager

19-003

job no.

JANUARY 31, 2019

project date

JANUARY 25, 2021

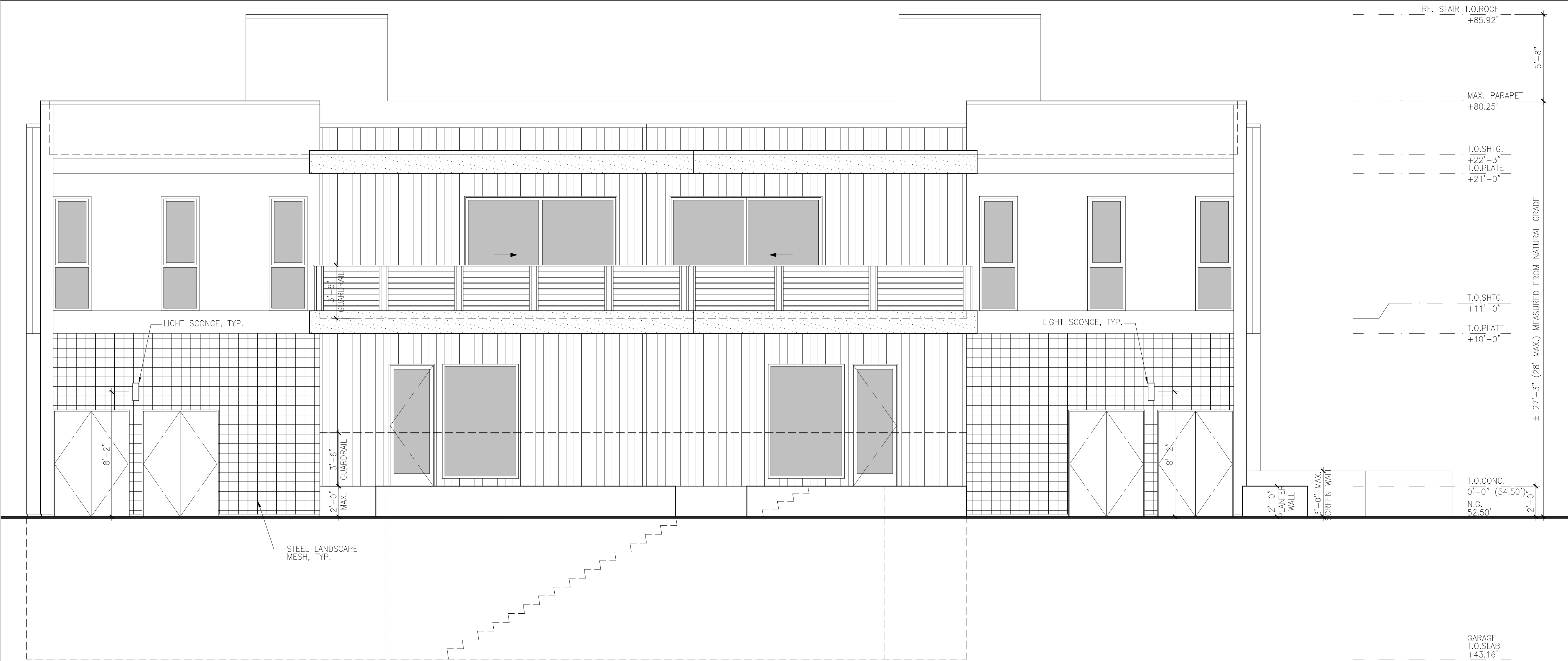
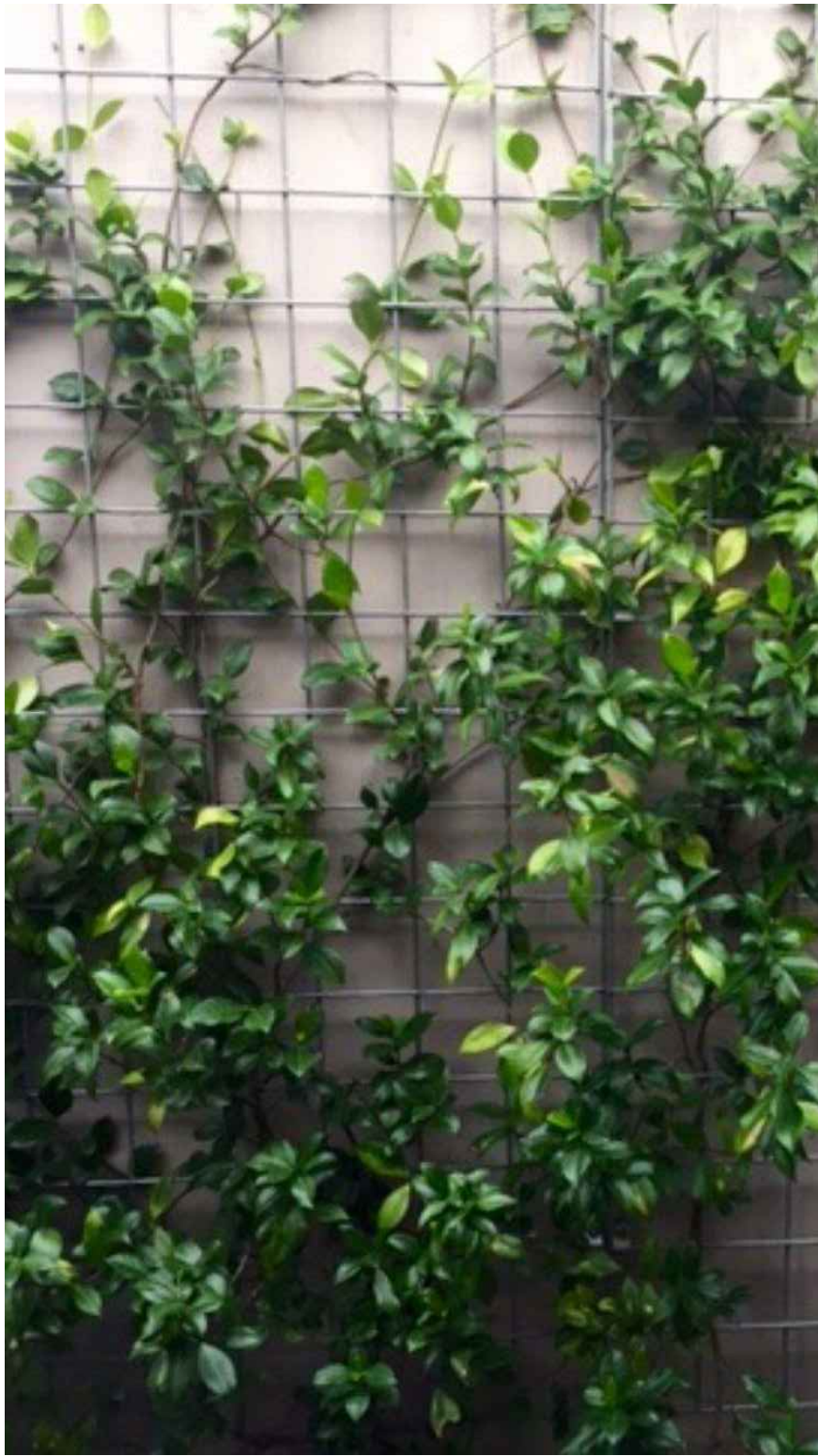
plot date

A1.4

sheet

ROOF PLAN

SCALE:
1/4" = 1'-0"



STL. LANDSCAPE MESH

SCALE:
NONE

4

	DESCRIPTION	MANUFACTURER	STYLE/CAT. NO.	COLOR/REMARKS
1A	ENGINEERING WOOD SIDING	PURA NFC OR APPROVED EQ.	5/16 x 7-5/16	COLOR: MYSTIC CEDAR (PU24) INSTALL PER MFR. INSTRUCTIONS
2A	7/8" EXTERIOR PLASTER CEMENT	OMEGA PRODUCTS OR APPROVED EQ.	SMOOTH-TROWELED PLASTER FINISH	ELASTOMERIC PAINT FINISH COLOR #5B/5C
3A	ALUMINUM FRAMED DOORS & WINDOWS	MILGARD OR APPROVED EQUAL	T.B.D.	BLACK FINISH TEMPERED & DUAL-GLAZED
3B	WOOD ENTRY DOOR	T.M. COBB OR APPROVED EQUAL	FRENCH WOOD SLAB	PAINT COLOR #5D TEMPERED & DUAL GLAZED
4A	PRE-FINISHED ALUM. DOWNSPOUTS	BY G.C.	RECTANG. EXTRUDED ALUMINUM	PRE-FINISH (MATCH ADJ. MATERIAL)
5A	PAINT ON METAL FLASHING & C.J.	DUNN EDWARDS OR APPROVED EQ.	SEMI-GLOSS	MATCH ADJ. MATERIAL
5B	PAINT ON PLASTER 1	DUNN EDWARDS OR APPROVED EQ.	SEMI-GLOSS	COLOR T.B.D. PRIME + ELASTOMERIC PAINT
5C	PAINT ON PLASTER 2	DUNN EDWARDS OR APPROVED EQ.	SEMI-GLOSS	COLOR T.B.D. PRIME + ELASTOMERIC PAINT
5D	PAINT ON ENTRY DR.	DUNN EDWARDS OR APPROVED EQ.	GLOSSY	COLOR T.B.D. SAND & PRIME
5E	PAINT ON METAL RAILINGS	DUNN EDWARDS OR APPROVED EQ.	GLOSSY	COLOR T.B.D. PRIME
5F	STAIN ON WOOD TRIM	BEHR STAINS OR APPROVED EQ.	DECK-PLUS SEMI-TRANSPARENT	COLOR TO MATCH #1A FINISH (SAND & PREP. WOOD AS REQ.)
6A	CLASS 'A' 4-PLY BUILT-UP ROOF	FIRESTONE BUILDING PRODUCTS OR APP. EQ.	ULTRA-WHITE CAP	COOL-ROOF I.C.C. #ESR-2831

NOTES:

- PROVIDE SAMPLES TO OWNER OF ALL INTERIOR & EXTERIOR FINISHES.
- ALL SIDING SHALL, TRIM, ETC. SHALL BE INSTALLED OVER 2-LAYERS OF 15 LB. BUILDING PAPER OR DUPONT "TYVEK" HOUSE-WRAP #1055-B (I.C.C. #ESR-2375). INSTALL PER MANUFACTURER.
- ALL SIDING, TRIM, ETC. SHALL BE MITERED & CAULKED AT JOINTS/SEAMS.
- UNLESS NOTED OTHERWISE, ALL ROOF & EXTERIOR DECK DRAINAGE SHALL OCCUR VIA INTERNAL CAST-IRON DRAIN. SEE PLUMBING PLANS.
- ALL MECHANICAL, PLUMBING, ETC. OUTLETS/EXHAUST LOCATIONS SHALL NOT OCCUR AT FRONT/ STREET ELEVATIONS OF THE WALL PLANES. PAINT ALL ITEMS TO MATCH WALL COLOR.
- PROVIDE ELASTOMERIC PAINT FINISH TO ALL EXPOSED CEMENT PLASTER. ELASTOMERIC PAINT TO CONTAIN 100% ACRYLIC BINDERS. APPLY TO A MINIMUM OF 12 MIL. DRY THICKNESS.
- ALL FINISH ROOFING SHALL MEET "COOL-ROOF" REQUIREMENTS. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION. ALL ROOFING MATERIAL SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE RADIANT BARRIER ON PLYWOOD ROOF SHEATHING OR OTHER APPROVED METHOD (PER TITLE 24 REPORT REQUIREMENTS).
- FASTENERS FOR ROOF COVERINGS SHALL COMPLY WITH CBC SECTION 1507.3.6.
- REFER TO TITLE 24 REPORT FOR INSULATION TYPES/VALUES. PROVIDE 1" OF AIR-SPACE BETWEEN INSULATION & ROOF SHEATHING.

EXTERIOR FINISH SCHEDULE

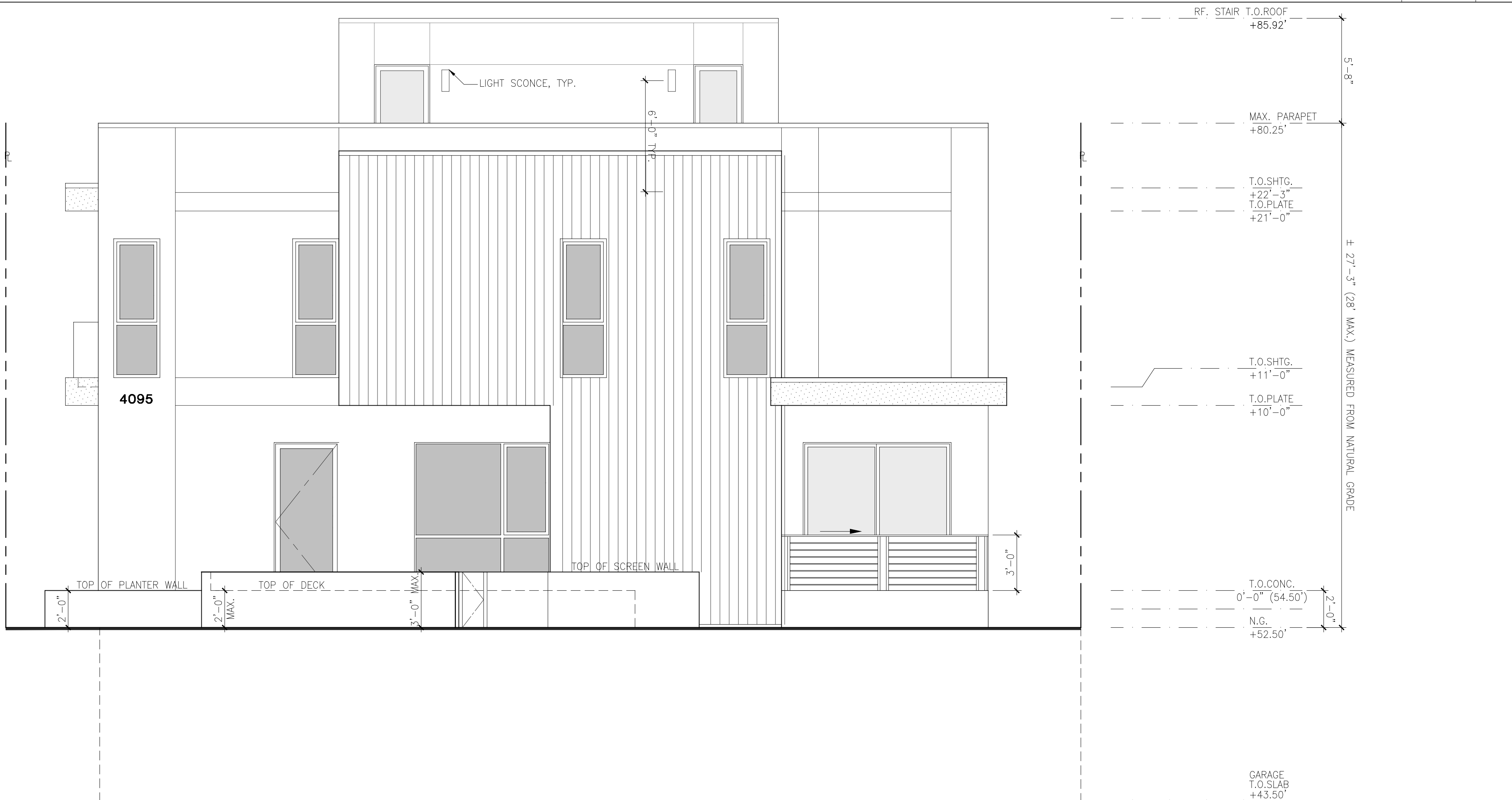
SCALE:
NONE

3

SOUTH EXTERIOR ELEVATION

SCALE:
1/4" = 1'-0"

1



EAST EXTERIOR ELEVATION

SCALE:
1/4" = 1'-0"

2

SCALD
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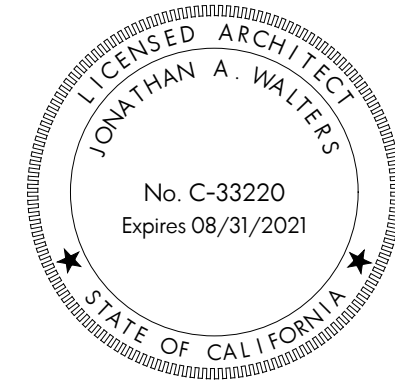
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rev. date description

New 4-Unit Townhomes

4095 Sawtelle Boulevard
Los Angeles, CA. 90066

project

EXTERIOR ELEVATIONS

title

AS NOTED

scale

D.BIBAWI
project manager

19-003

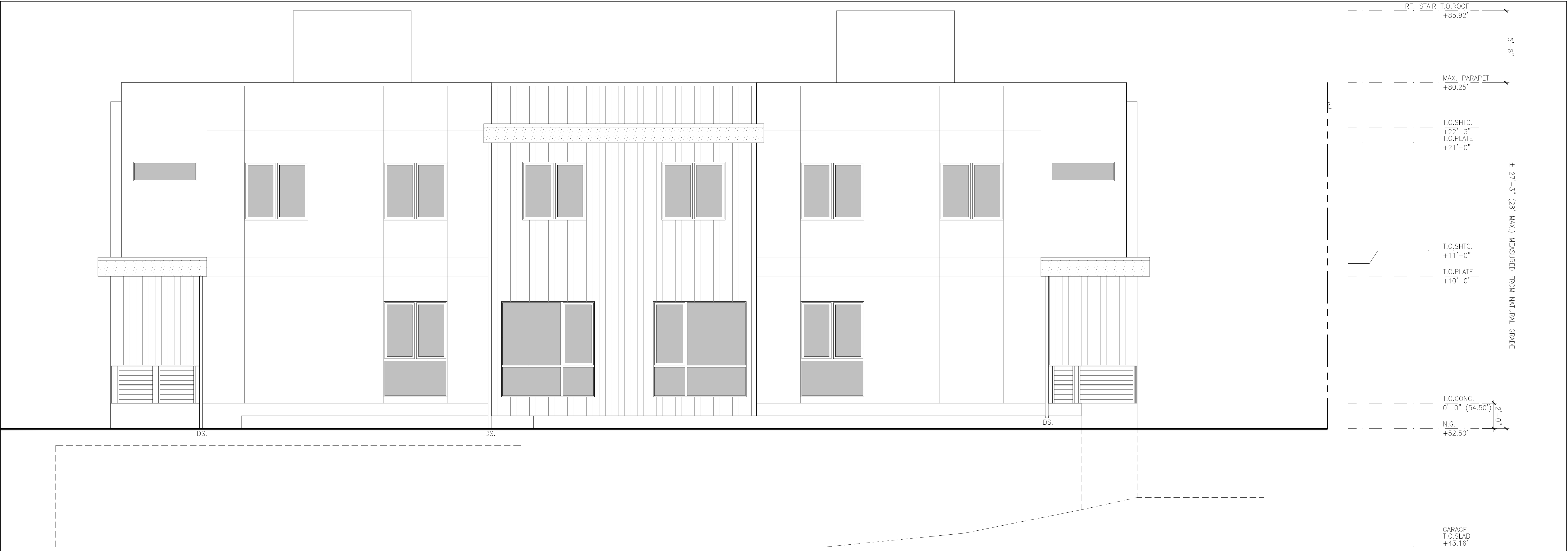
job no.

JANUARY 31, 2019
project date

JANUARY 25, 2021
plot date

A4.1

sheet



NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

1

	DESCRIPTION	MANUFACTURER	STYLE/CAT. NO.	COLOR/REMARKS
1A	ENGINEERING WOOD SIDING	PURA NFC OR APPROVED EQ.	5/16 x 7-5/16	COLOR: MYSTIC CEDAR (PU24) INSTALL PER MFR. INSTRUCTIONS
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3B	WOOD ENTRY DOOR	T.M. COBB OR APPROVED EQUAL	FRENCH WOOD SLAB	PAINT COLOR #5D TEMPERED & DUAL GLAZED
4A	PRE-FINISHED ALUM. DOWNSPOUTS	BY G.C.	RECTANG. EXTRUDED ALUMINUM	PRE-FINISH (MATCH ADJ. MATERIAL)
5A	PAINT ON METAL FLASHING & C.J.	DUNN EDWARDS OR APPROVED EQ.	SEMI-GLOSS	MATCH ADJ. MATERIAL
5B	PAINT ON PLASTER 1	DUNN EDWARDS OR APPROVED EQ.	SEMI-GLOSS	COLOR T.B.D. PRIME + ELASTOMERIC PAINT
5C	PAINT ON PLASTER 2	DUNN EDWARDS OR APPROVED EQ.	SEMI-GLOSS	COLOR T.B.D. PRIME + ELASTOMERIC PAINT
5D	PAINT ON ENTRY DR.	DUNN EDWARDS OR APPROVED EQ.	GLOSSY	COLOR T.B.D. SAND & PRIME
5E	PAINT ON METAL RAILINGS	DUNN EDWARDS OR APPROVED EQ.	GLOSSY	COLOR T.B.D. PRIME
5F	STAIN ON WOOD TRIM	BEHR STAINS OR APPROVED EQ.	DECK-PLUS SEMI-TRANSPARENT	COLOR TO MATCH #1A FINISH (SAND & PREP. WOOD AS REQ.)
6A	CLASS 'A' 4-PLY BUILT-UP ROOF	FIRESTONE BUILDING PRODUCTS OR APP. EQ.	ULTRA-WHITE CAP	COOL-ROOF I.C.C. #ESR-2831

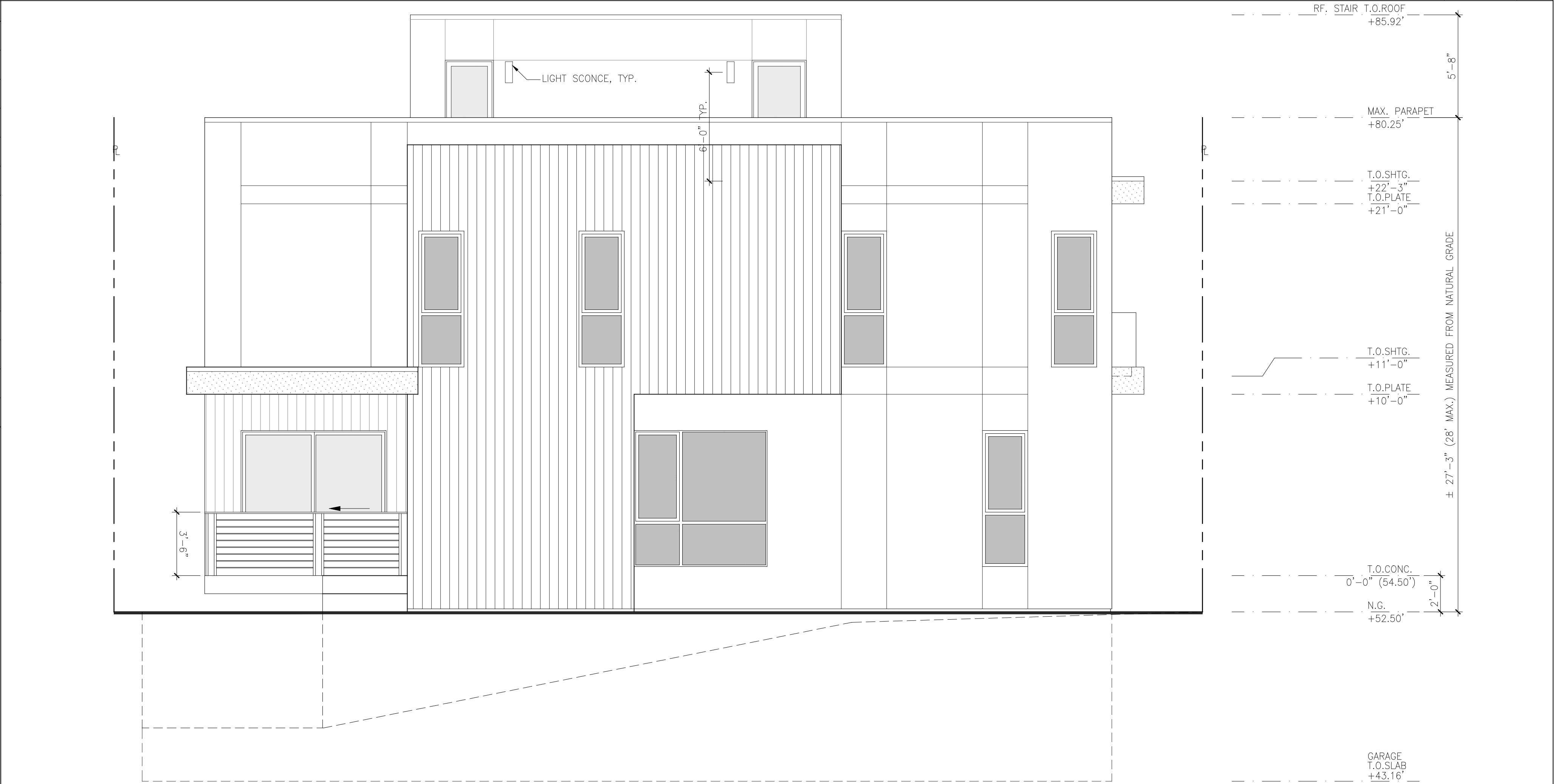
NOTES:

1. PROVIDE SAMPLES TO OWNER OF ALL INTERIOR & EXTERIOR FINISHES.
2. ALL SIDING SHALL, TRIM, ETC. SHALL BE INSTALLED OVER 2-LAYERS OF 15 LB. BUILDING PAPER OR DUPONT "TYVEK" HOUSE-WRAP #1055-B (I.C.C. #ESR-2375). INSTALL PER MANUFACTURER.
3. ALL SIDING, TRIM, ETC. SHALL BE MITERED & CAULKED AT JOINTS/SEAMS.
4. UNLESS NOTED OTHERWISE, ALL ROOF & EXTERIOR DECK DRAINAGE SHALL OCCUR VIA INTERNAL CAST-IRON DRAIN. SEE PLUMBING PLANS.
5. ALL MECHANICAL, PLUMBING, ETC. OUTLETS/EXHAUST LOCATIONS SHALL NOT OCCUR AT FRONT/ STREET ELEVATIONS OF THE WALL PLANES. PAINT ALL ITEMS TO MATCH WALL COLOR.
6. PROVIDE ELASTOMERIC PAINT FINISH TO ALL EXPOSED CEMENT PLASTER. ELASTOMERIC PAINT TO CONTAIN 100% ACRYLIC BINDERS. APPLY TO A MINIMUM OF 12 MIL. DRY THICKNESS.
7. ALL FINISH ROOFING SHALL MEET "COOL-ROOF" REQUIREMENTS. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION. ALL ROOFING MATERIAL SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE RADIANT BARRIER ON PLYWOOD ROOF SHEATHING OR OTHER APPROVED METHOD (PER TITLE 24 REPORT REQUIREMENTS).
8. FASTENERS FOR ROOF COVERINGS SHALL COMPLY WITH CBC SECTION 1507.3.6.
9. REFER TO TITLE 24 REPORT FOR INSULATION TYPES/VALUES. PROVIDE 1" OF AIR-SPACE BETWEEN INSULATION & ROOF SHEATHING.

EXTERIOR FINISH SCHEDULE

SCALE: NONE

3



WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

2

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STRUCTURAL ENGINEER

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LICENSED ARCHITECT
JOAH HAN A. WATERS
No. C-33220
Expires 08/31/2021
STATE OF CALIFORNIA

rev. date description

New 4-Unit Townhomes

4095 Sawtelle Boulevard
Los Angeles, CA. 90066

project

EXTERIOR ELEVATIONS

title

AS NOTED

JANUARY 31, 2019

scale

project date

D.BIBAWI

JANUARY 25, 2021

project manager

plot date

19-003

A4.2

job no.

sheet



FINISH SCHEDULE:

1. LA HABRA GLACIER WHITE P100 SMOOTH FINISH
2. LA HABRA BLUE GREY X 504 SMOOTH FINISH
3. PURA NFC COLOR MYSTIC CEDAR PU24
4. BLACK VINYL
5. "2x2" STEEL MESH (BLACK)



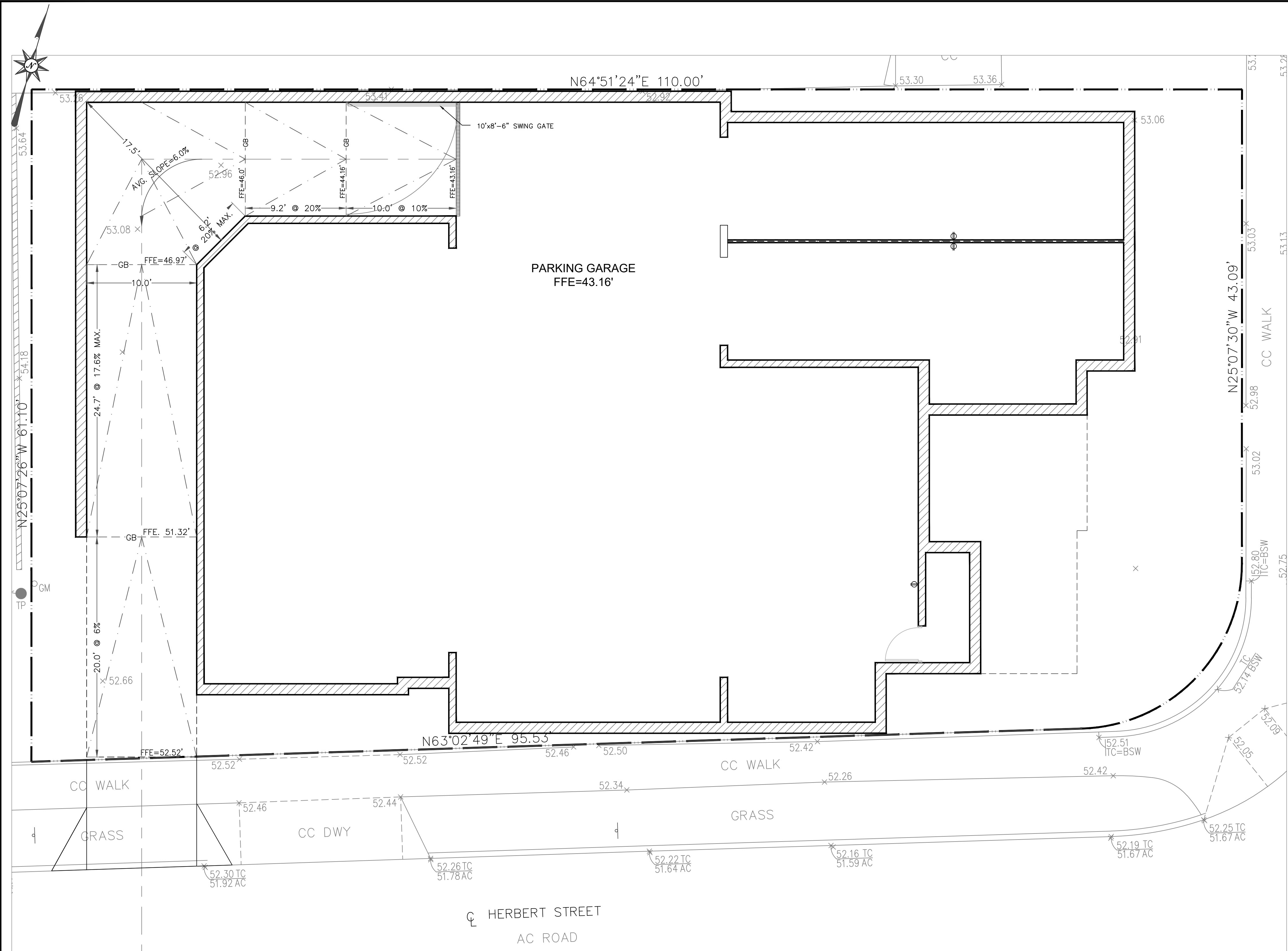
FINISH SCHEDULE:

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FINISH SCHEDULE:

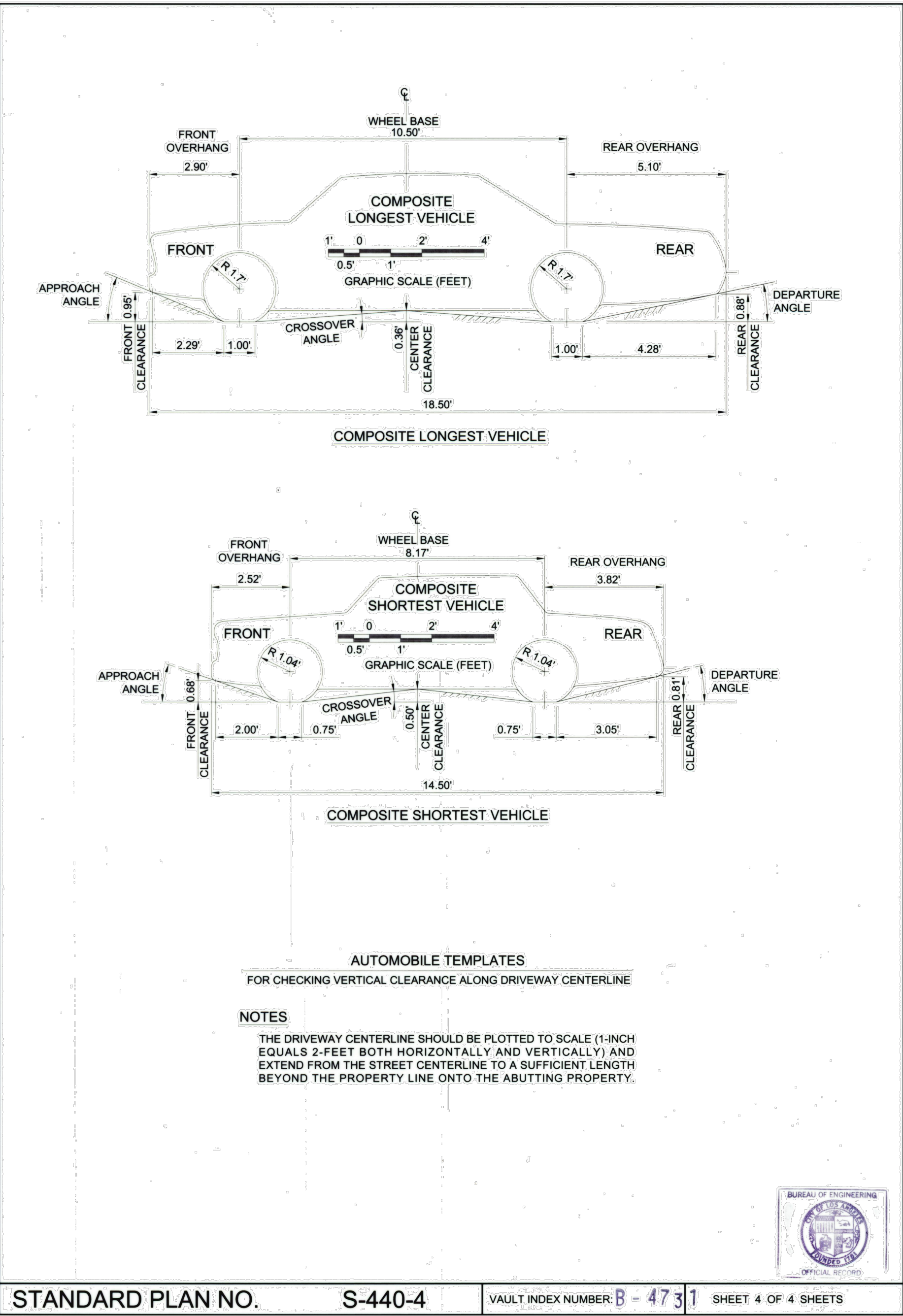
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3. PURA NFC COLOR MYSTIC CEDAR PU24
4. BLACK VINYL
5. "2x2" STEEL MESH (BLACK)



GARAGE PLAN
SCALE 1"=5'

- ABBREVIATIONS**
- GB GRADE BREAK
 - FFE FINISH FLOOR ELEVATION
 - AVG. AVERAGE
 - MAX MAXIMUM

DESIGN VEHICLE USED



STANDARD PLAN NO.	S-440-4	Vault Index Number: B - 4731	SHEET 4 OF 4 SHEETS
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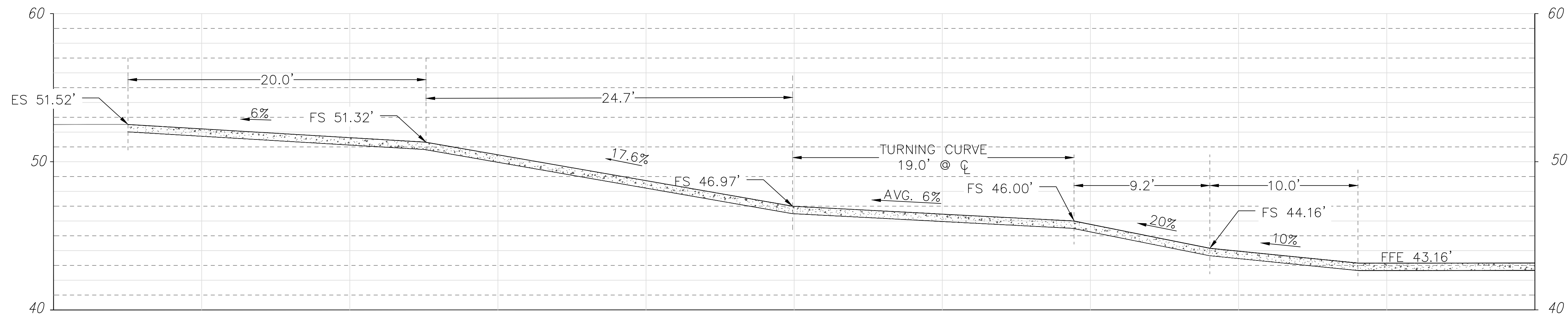
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**PARKING GARAGE
PLAN**

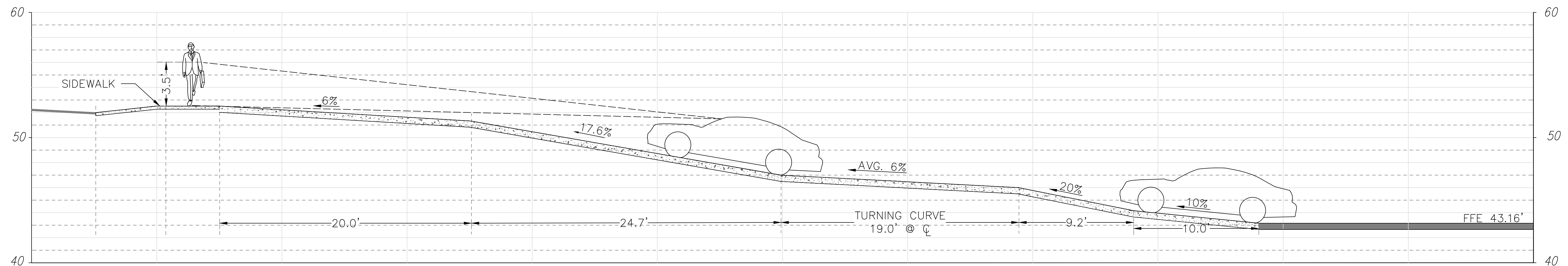
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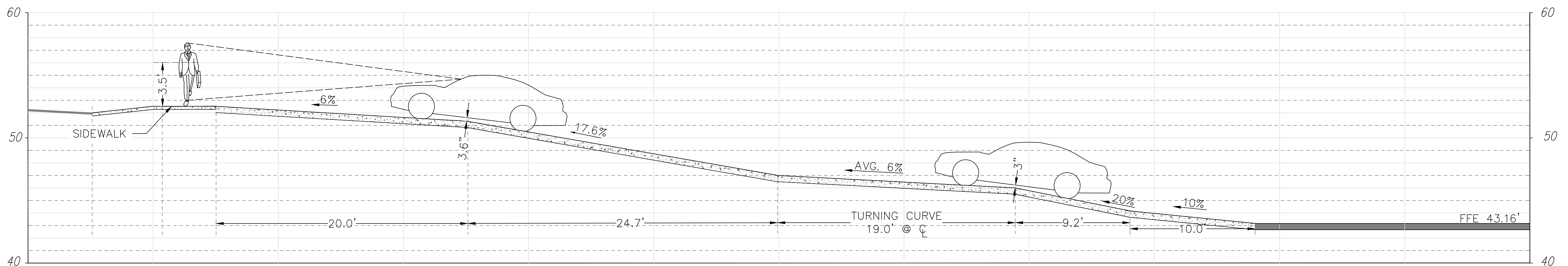
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JOB# 19-173



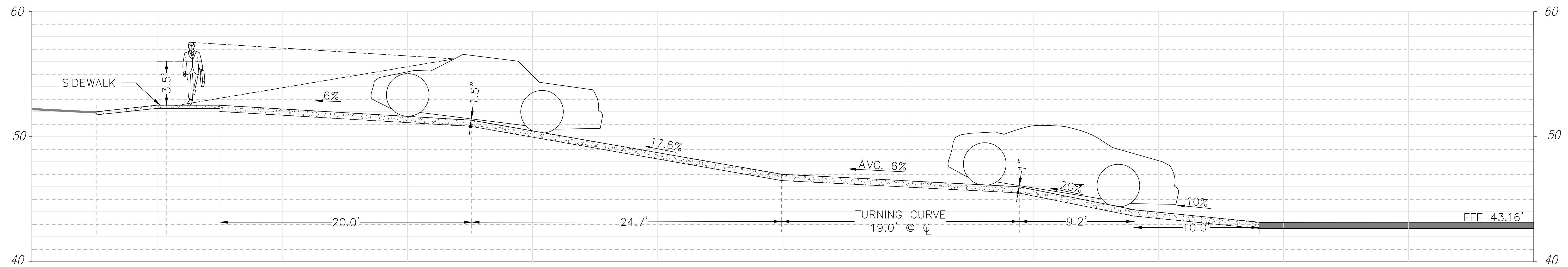
RAMP PROFILE
HORIZONTAL 1"=4'
VERTICAL 1"=4'



SIGHT DISTANCE - SHORTEST VEHICLE
HORIZONTAL 1"=4'
VERTICAL 1"=4'

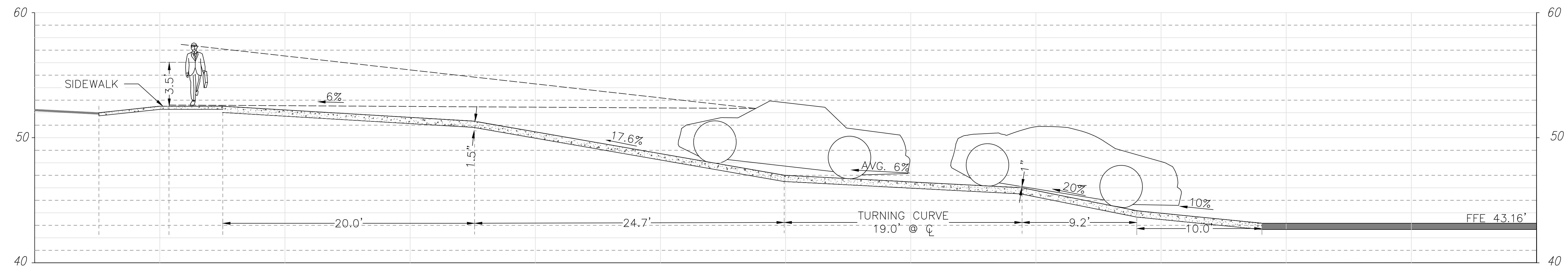


**SIGHT DISTANCE & UNDER CARRIAGE CLEARANCE
SHORTEST VEHICLE**
HORIZONTAL 1"=4'
VERTICAL 1"=4'



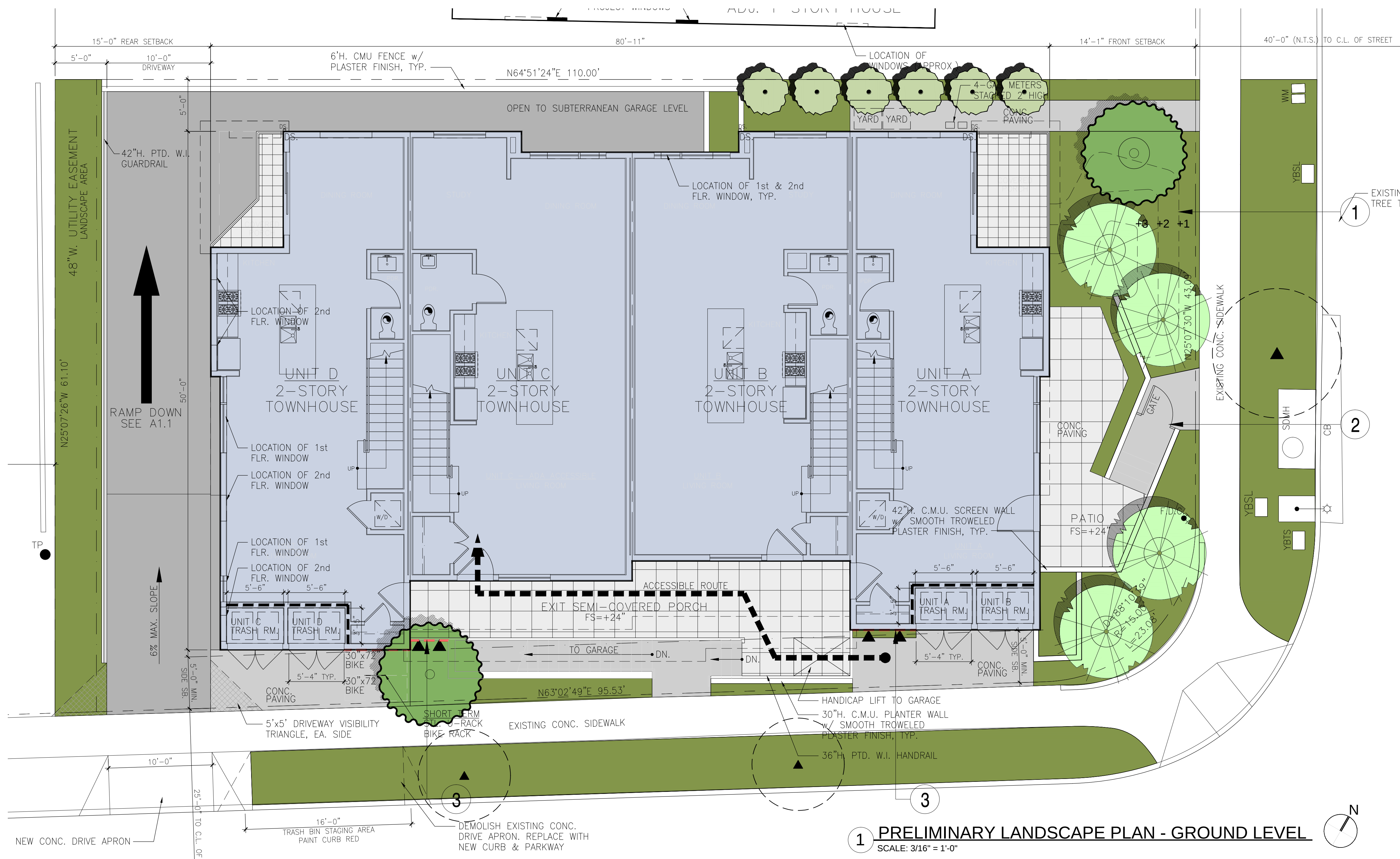
**SIGHT DISTANCE & UNDER CARRIAGE CLEARANCE
LONGEST VEHICLE**

HORIZONTAL 1"=4'
VERTICAL 1"=4'



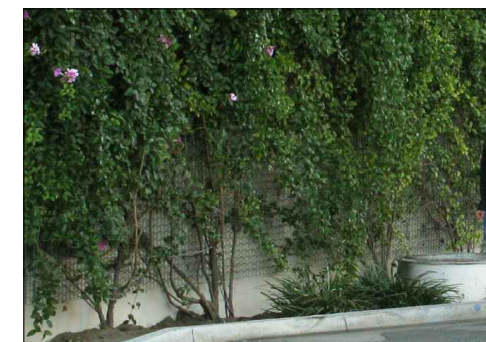
SIGHT DISTANCE-LONGEST VEHICLE

HORIZONTAL 1"=4'
VERTICAL 1"=4'



PLANTING LEGEND		
TREES	SIZE & QUAN.	WUCOLS
TRISTANIA CONFERTA BRISBANE BOX	36" BOX/ 2 EA.	MODERATE
CERCIDIUM HYBRID 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	24" BOX/ 4 EA.	LOW
LAURUS NOBILIS SWEET BAY	15 GAL./ 6 EA.	LOW
EXISTING STREET TREE TO REMAIN	3 EA.	
SHRUBS AND GROUNDCOVER		SIZE
WESTRINGIA FRUTICOSA COAST ROSEMARY	5 GAL.	
LEUCADENDRON 'JESTER' SUNSHINE CONEBUSH	5 GAL.	
AGAVE ATTENUATA FOX TAIL AGAVE	5 GAL.	
HESPERALOE PARVIFLORA RED YUCCA	5 GAL.	
DIETES BICOLOR FORTNIGHT LILY	5 GAL.	
SALVIA GREGII 'FURMAN'S RED' FURMAN'S RED AUTUMN SAGE	5 GAL.	
NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	5 GAL.	
CHONDRPETALUM TECTORUM 'EL CAMPO' EL CAMPO SMALL CAPE RUSH	5 GAL.	
ARMERIA MARITIMA COMMON SEATHRIFT	1 GAL.	
SENECIO MANDRALISCAE SENECIO	1 GAL.	
AGROSTIS PALLENS SOD.		
VINE	SIZE	
TRACHELOSPERMUM JASMINOIDES STAR JASMINE	5 GAL.	
NOTE ALL PROPOSED SHRUBS WILL BE A MINIMUM OF 5 GALLONS SIZE CONTAINER		

- KEY NOTES:
- LANDSCAPE MOUND
 - ENTRY GATE & FENCE
 - GREENSCREEN (WALL MOUNTED)
W/ STAR JASMINE



TREE TABULATION	
TOTAL TREE PROPOSED:	12 EA.
- 36" BOX:	2 EA.(20%)
- 24" BOX:	4 EA.(30%)
- 15 GAL.:	6 EA.(50%)

POTENTIAL LANDSCAPE AREA = (SITE) 6,484 SF. - (BUILDING) 3,442 SF. = 3,042 SF.
LANDSCAPE PROVIDED (SITE) = 1,150 SF.
GROUND FLOOR: 1,001 SF.
ROOF DECK: 149 SF.

TOTAL PROPOSED LANDSCAPE AREA:	1,917 SF.
GROUND FLOOR:	1,768 SF.
- ON SITE	1,001 SF.
- OFF SITE (PARKWAY)	767 SF.
ROOF DECK:	149 SF.

FRONT YARD: 769 SF.
NUMBER OF TREE REQUIRED: 2 EA. (1 SHADE TREE/ 500SF.)
NUMBER OF TREE PROVIDED: 4 EA.



Revisions

△	△
△	△
△	△
△	△

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ls@solainc.com www.solainc.com T. 213-383-1788 (Studio)

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LOS ANGELES, CA 90066

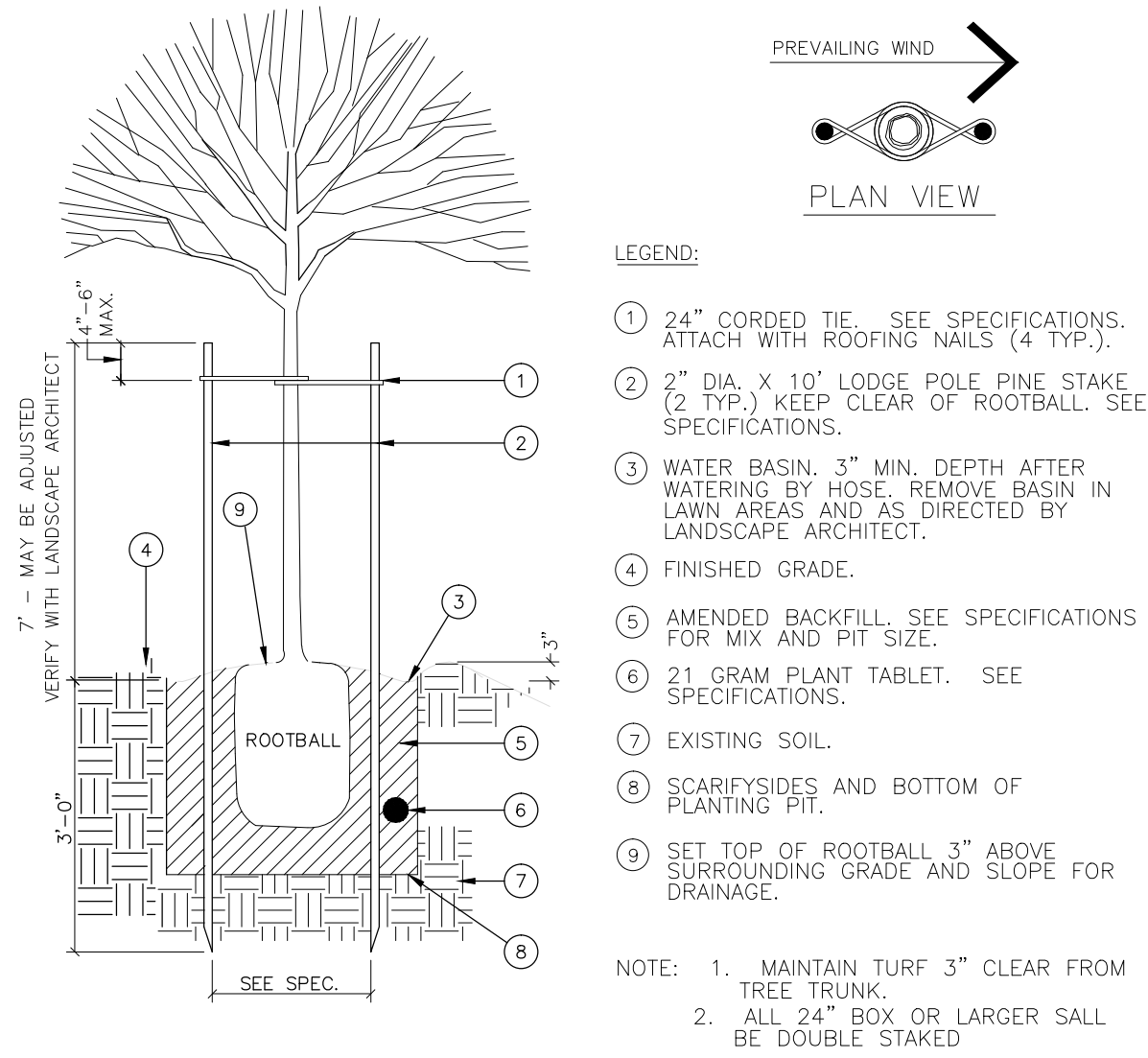
drawing title

PRELIMINARY LANDSCAPE PLAN
GROUND LEVEL

designed	project number
drawn	21928
checked	scale
reviewed	AS SHOWN
date	drawing number
01-25-2021	LP-1

LANDSCAPE PLANTING NOTES

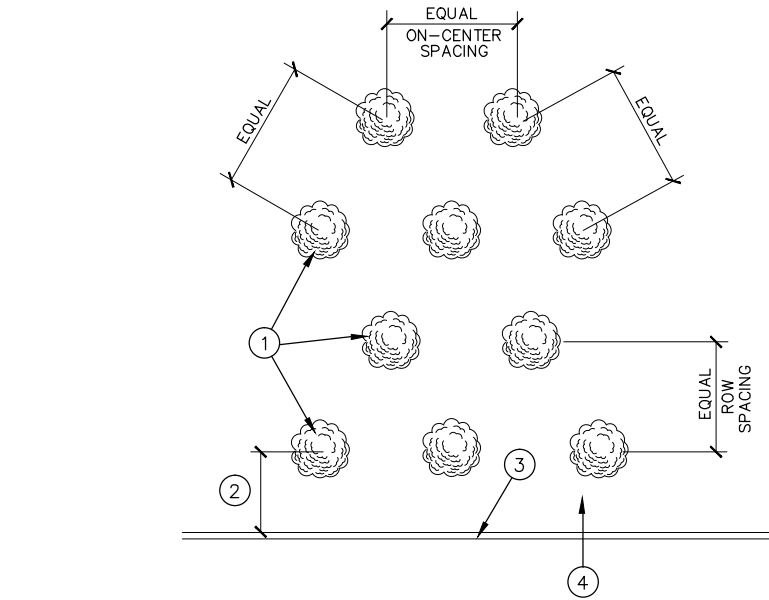
1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED BY THE LANDSCAPE DRAWINGS
2. ANY DEVIATION FROM THE PLAN IS TO HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
3. THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND OR GRASSES (INCLUDING THE ROOTS) EXISTING IN THE PROPOSED GROUND COVER AREA.
4. THE PROPOSED GROUND COVER AREA SHALL RECEIVE THE PRE-EMERGENT HERBICIDE SURFLAN 75W PER MANUFACTURER'S INSTRUCTIONS. APPLICATION OF THIS HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.
5. ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE FINISH GRADING IS THE RESPONSIBILITY OF THE LANDSCAPE DRAWINGS IS BY THE GENERAL CONTRACTOR FINISH GRADING WILL CONSIST OF RACKING ALL AREAS TO A SMOOTH GRADE, LOOSENING TO THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS OR CLOUDS OF 2" DIAMETER IS INCLUDED. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT CURBS AND SIDEWALKS.
6. GENERAL SOIL PREPARATION FOR ALL LANDSCAPE AREAS PLEASE SEE WALLACE LAB RECOMMENDATIONS.
7. ALL ROCK OR UNBROKEN SOIL CLOUDS OVER 1" IN DIAMETER BROUGHT TO THE SURFACE ARE TO BE REMOVED FROM THE SITE.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORTICULTURAL SOILS FERTILITY REPORT PRIOR TO SOIL PREPARATION AND PLANT INSTALLATION. SOIL CONDITIONING AMENDMENTS AND PLANTING BACKFILL MIXES SHALL BE IN ACCORDANCE TO WALLACE LABORATORIES, RECOMMENDATIONS. WALLACE LABORATORIES: (310)-615-0116, 365 Coral Circle, El Segundo, CA 90245
9. GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
10. WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING.
11. MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A 3" LAYER OF 1/2" TO 3/4" REDWOOD BARK.
12. AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE ARE TO BE REMOVED FROM THE SITE.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF THIRTY CALENDAR DAYS FROM THE DATE OF COMPLETION, ESTABLISHED BY THE OWNER OR HIS REPRESENTATIVE. ALL AREAS ARE TO BE KEPT WELL WATERED, FREE OF GRASSES AND TRASH DURING THIS MAINTENANCE PERIOD.
14. AN APPLICATION OF FERTILIZER (PER SOIL REPORT) IS TO BE MADE JUST PRIOR TO THE COMPLETION OF THE MAINTENANCE PERIOD, OR AT 30 DAYS INTERVALS IF MAINTENANCE PERIOD IS GREATER THAN 30 DAYS.
15. ALL TREES, SHRUBS AND PLANT MATERIAL (OTHER THAN FLATTED MATERIAL) LESS THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 MONTH; 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS. ALL MATERIAL LARGER THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR.
16. PROVIDE 3" LAYER WOOD BARK MULCH IN ALL SHRUB AND GROUND COVER AREAS.



TREE PLANTING-DOUBLE STAKING

SCALE: N.T.S.

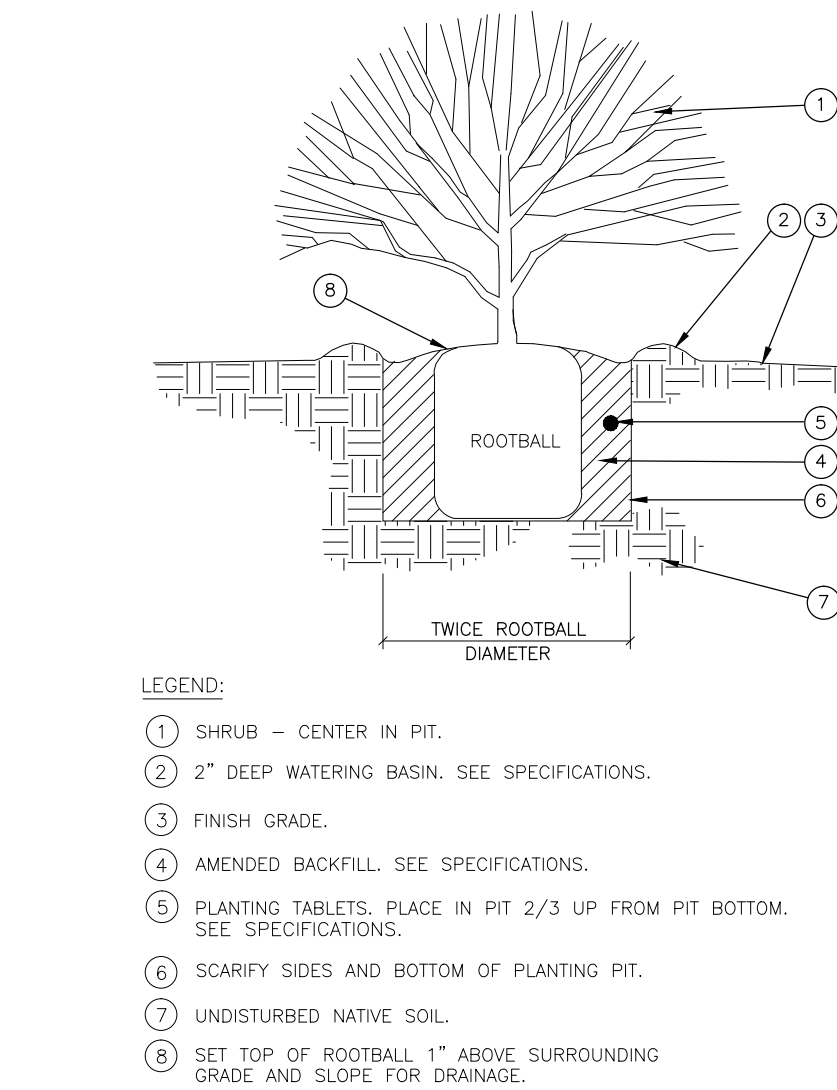
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SHRUBS/ GROUNDCOVER PLANTING

SCALE: N.T.S.

2

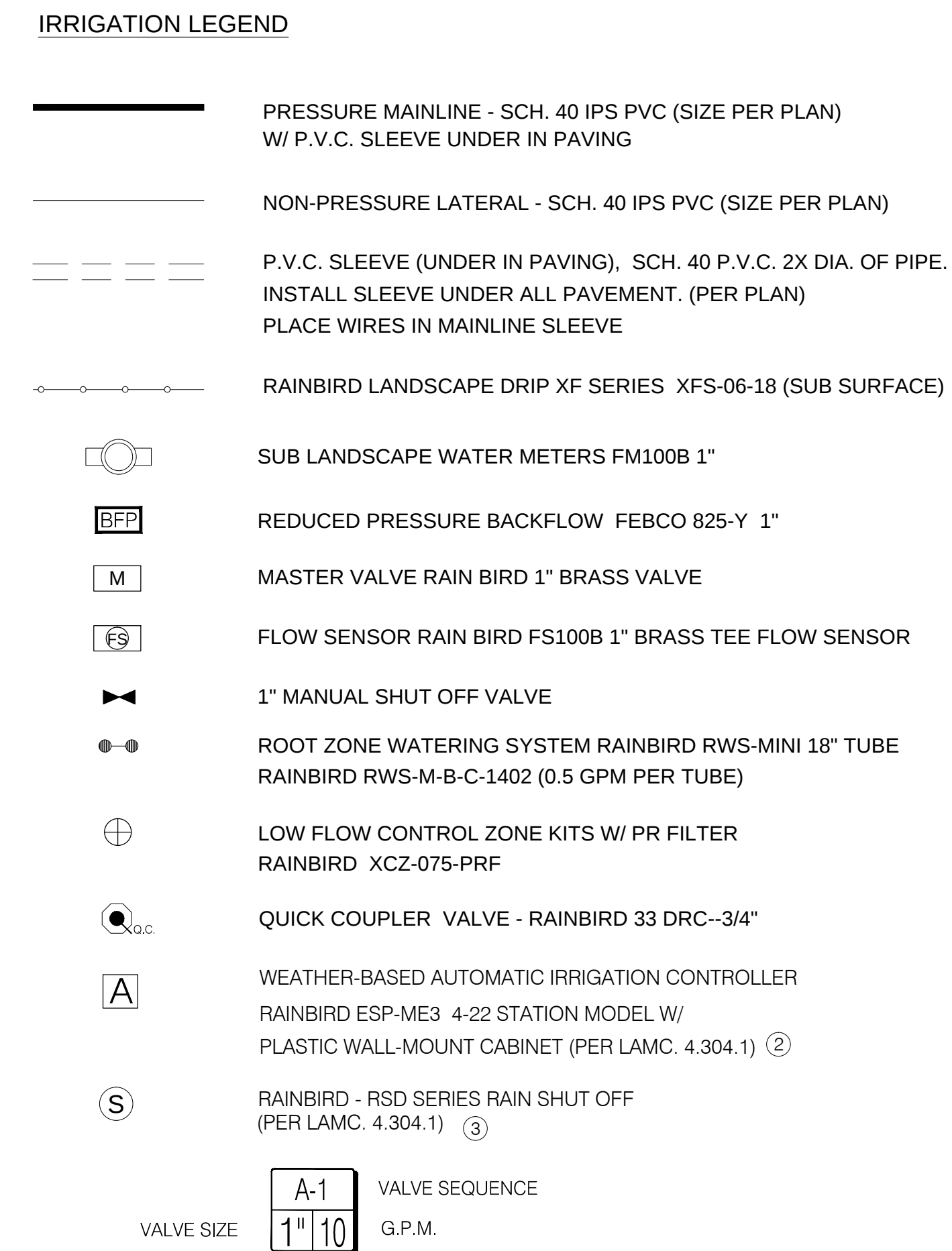


SHRUBS PLANTING

SCALE: N.T.S.

3

Revisions		
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4095 SAWTELLE BLVD. LOS ANGELES, CA 90066		
drawing title LANDSCAPE DETAILS		
	designed	project number
	drawn	scale AS SHOWN
	checked	drawing number LP-3
	reviewed	
	date 01-13-2021	



NOTES:

- "PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES."
- "CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR."
- WATER SUPPLY TYPE: DOMESTIC/ POTABLE WATER.

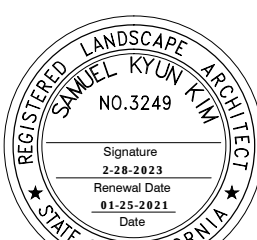
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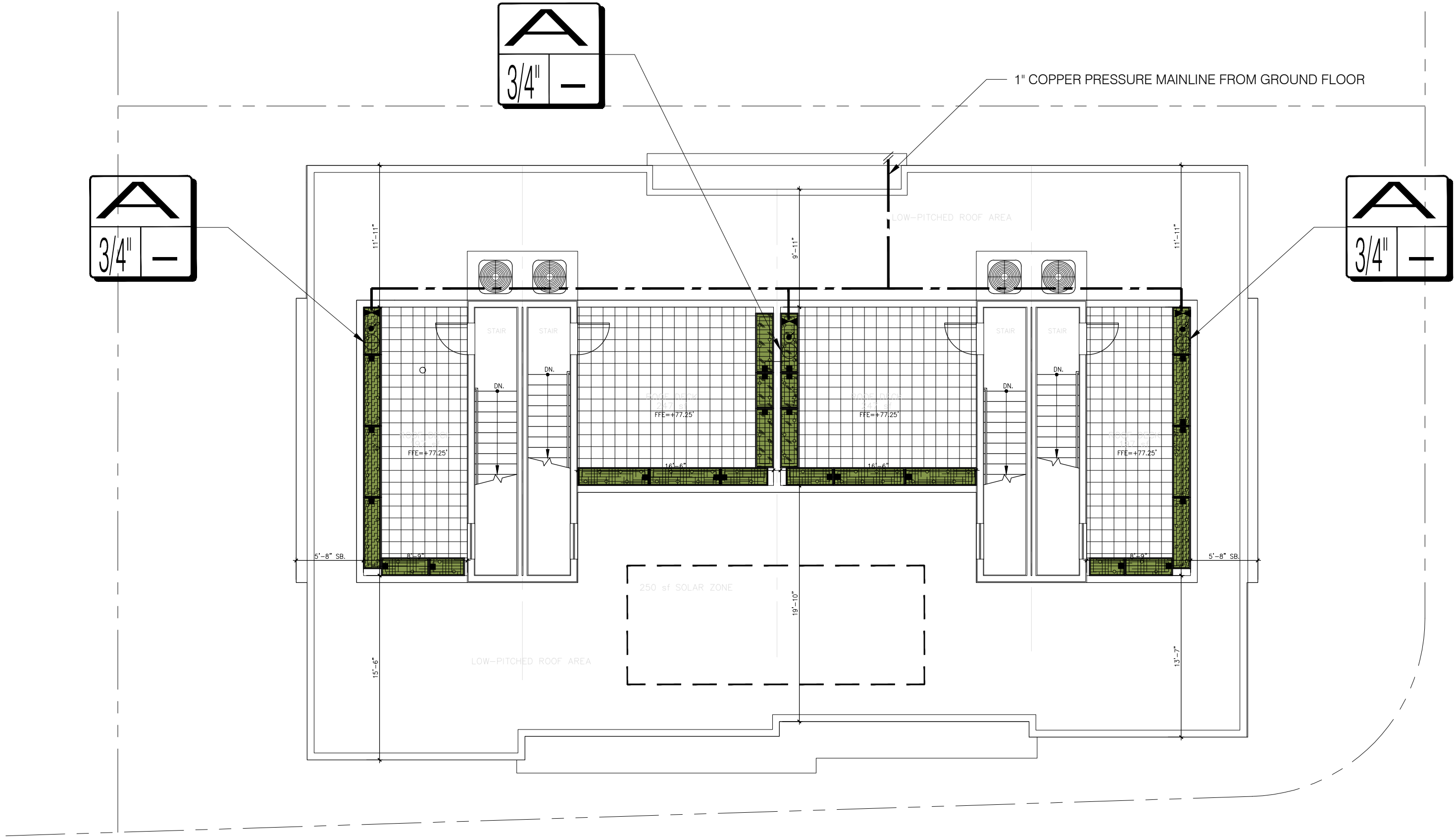


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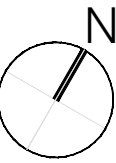
LOS ANGELES, CA 90066

drawing title										
PRELIMINARY IRRIGATION PLAN GROUND LEVEL										
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designed	project number 21928									
drawn	scale AS SHOWN									
checked	drawing number									
reviewed	LI-1									
date 01-25-2021										



- IRRIGATION LEGEND
- 1" COPPER PRESSURE MAINLINE UNDER SLAB BY PLUMBER
 - NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
 - RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
 - 1" MANUAL SHUT OFF VALVE
 - LOW FLOW CONTROL ZONE KITS W/ PR FILTER
RAINBIRD XCZ-075-PRF
 - QUICK COUPLER VALVE - RAINBIRD 33 DRC--3/4"
- VALVE SIZE
- | | |
|-------|----------------|
| A-1 | VALVE SEQUENCE |
| 1" 10 | G.P.M. |

1 PRELIMINARY IRRIGATION PLAN - ROOF LEVEL
SCALE: 3/16" = 1'-0"



Revisions		
△		△
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4095 SAWTELLE BLVD. LOS ANGELES, CA 90066		
drawing title PRELIMINARY IRRIGATION PLAN ROOF LEVEL		
REGISTERED LANDSCAPE ARCHITECT KYLE KIMBLE NO. 3249 STATE OF CALIFORNIA Signature 2-28-2021 Expiry Date 01-25-2021	designed	project number 21928
	drawn	scale AS SHOWN
	checked	drawing number LI-2
	reviewed	
	date 01-25-2021	

