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VICINITY MAP



PROJECT SUMMARY

ADDRESS	3906 TILDEN AVE, CULVER CITY 90232
LEGAL DESCRIPTION	EX OF ST LOT 7 ROBERT JONES WALNUT GROVE TRACT
ZONE	RMD
APN	4213-003-019
TOTAL SITE AREA	8,960.07 SQ FT (PER SURVEY)
PROPOSED SITE COVERAGE BY STRUCTURES	69%
EXISTING TOTAL GROSS FLOOR AREA	3,327 SQ FT
PROPOSED TOTAL GROSS FLOOR AREA	13,108 SQ FT (NOT INCLUDING PARKING)
FLOOR AREA	
1 ST FLR	5,550 SQ FT
MEZZANINE	3,450 SQ FT
2 ND FLR	4,108 SQ FT
PARKING	6,164 SQ FT (INCLUDING RAMP)
EXISTING USE	3 SINGLE STORY SINGLE FAMILY DWELLINGS WITH ATTACHED PARKING
PROPOSED USE	5 UNIT CONDOMINIUM BUILDING, 2 STORIES WITH MEZZANINE OVER SUBTERRANEAN PARKING
REQUIRED PARKING	2 PER UNIT + 1 GUEST + 1 ADA
PROPOSED PARKING	2 PER UNIT + 1 GUEST + 1 ADA = 12 SPACES
REQUIRED BICYCLE PARKING	2 SHORT-TERM + 10 LONG-TERM (2 WITH PRIVATE ACCESS PER UNIT)
PROPOSED BICYCLE PARKING	2 SHORT-TERM + 10 LONG-TERM (2 WITH PRIVATE ACCESS PER UNIT)
REQUIRED LANDSCAPE	MIN. 75% OF THE SUBJECT AREA
PROPOSED LANDSCAPE	75% OF THE SUBJECT AREA
REQUIRED OPEN SPACE	100 SQ FT OF PRIVATE SPACE PER UNIT, TOTAL OF 500SQFT
PROPOSED OPEN SPACE	TOTAL OF 5,878 SQFT
NUMBER & SIZES OF RESIDENTIAL UNITS	5 UNITS (EXCLUDING PARKING & ROOF DECK)
UNIT 1	2,175 SQ FT
UNIT 2	2,232 SQ FT
UNIT 3	2,587 SQ FT
UNIT 4	2,588 SQ FT
UNIT 5	2,537 SQ FT
REQUIRED STORAGE	100 (IN CUBIC FEET) PER UNIT
PROPOSED STORAGE	APPROX. 102 PER UNIT (IN CUBIC FEET)

NOTES

PROJECT CONDITIONS

- Each unit shall have its own:
 - gas meter and electric meters,
 - garage security door, as applicable,
 - seismic gas shut-off valve,
 - fire extinguisher.
- The applicant shall provide a fire alarm system per NFPA 72 with central station monitoring and legible from the public right-of-way. Size and font shall meet the Fire and Building code requirements.
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FIRE DEPARTMENT NOTES

- The applicant shall provide fire sprinklers per National Fire Protection Association (NFPA) 13 in the parking area and per NFPA 13R in the dwelling units. The applicant shall contact Culver City Fire Department for location of the double detector check assembly (DDCA) and the Fire Department Connection (FDC).
- The applicant shall provide a fire alarm system per NFPA 72 with central station monitoring and legible from the public right-of-way. Size and font shall meet the Fire and Building code requirements.
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PUBLIC WORKS ENGINEERING DIVISION

- Two (2) sets of on-site improvement plans prepared by a civil engineer registered in the State of California shall be submitted to the Engineering Division for review, approval and permitting. Among other things, the on-site improvement plans shall include detailed on-site drainage and grading of the site indicated by topographical lines and spot elevations. The plans shall be approved for on-site construction only.
- The applicant shall provide a geotechnical report from a State licensed geotechnical engineer, as part of the Site Improvement Plan, regarding the suitability of the on-site soils to support the proposed construction. The report shall also include a liquefaction analysis and a determination of the adequate pavement and base requirements for the drive aisles and parking areas.
- Two (2) sets of off-site improvement plans prepared by a civil engineer registered in the State of California shall be submitted to the Engineering Division for review, approval and permitting for all proposed improvements within the public right-of-way. Separate plans shall be submitted for street improvements, street light improvements, traffic signal, signage and striping, and sewer improvements. Landscaping and irrigation plans for the public right-of-way area and related medians shall be included in the street improvement plans.
- Applicant shall pay an initial plan check fee in the amount of \$750.00 each upon submission of the on-site improvement and off-site improvement plans for review. Additional plan check and permit fees will be determined per the Engineering Division's Schedule of Fees and Charges.
- Upon completion of rough grading and prior to excavation for footings, the geotechnical and civil engineers shall submit certifications and final reports in accordance with the California Building Code. These certifications and reports shall clearly state the soil composition and indicate that the pad grade is per plan and not subject to the Engineering Division for review prior to the issuance of any building permits.
- Drainage devices, concrete curb and gutter, sidewalk, and drive approach, roadway pavement shall be designed to the latest edition of the American Public Works Association (APWA) Standard Plans.
- Dirt hauling and construction material deliveries or removal are prohibited during the morning (7:00 A.M. to 9:00 A.M.) and afternoon (4:00 P.M. to 6:00 P.M.) peak traffic periods.
- All staging and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The applicant shall obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.
- Prior to the commencement of any excavation, the applicant shall install a temporary construction fence around the site. The height and fence material are subject to approval by the City Engineer.
- The construction contractor shall advise the Public Works Inspector of the schedule and shall meet with the inspector prior to commencement of work.
- Due to the change of use and increased activity that projects are subject to the City's Street Facility Change. This change shall be paid prior to the issuance of the Building permit.
- Prior to the issuance of a building permit, the applicant shall obtain the approval of the City's Environmental Programs and Operations Manager for the size, location, and type of equipment needed for the adequate storage and disposal of all solid and recyclable waste generated by the project.
- A Construction Traffic Management Plan shall be prepared by a traffic or civil engineer registered in the State of California. The Construction Traffic Management Plan shall be submitted to the City's Public Works Department for review and approval by the City Engineer prior to the issuance of any Project development, grading, or excavation permit. The Construction Traffic Management Plan shall also be reviewed by the City's Fire and Police Departments. The Construction Traffic Management Plan shall contain but not be limited to the following:
 - The name and telephone number of a contact person who can be reached 24 hours a day regarding construction traffic complaints or emergency situations.
 - A list of all vehicles, equipment, and emergency response organizations and procedures for the continuous coordination of construction activity, potential delays, and any alerts related to unanticipated conditions or delays, with local police, fire, and emergency response agencies. Construction shall include the assessment of any alternative access routes that might be required through the Project Site, and maps showing access to and within the Project Site and to adjacent properties.
 - Procedures for the training and certification of the flag persons used in implementation of the Construction Traffic Management Plan.
 - The location, times, and estimated duration of all roadway closures, traffic detours, use of protective devices, warning signs, and staging or queue areas.
 - The location and travel routes of off-site staging and parking locations.
- Flag persons with certified training shall be provided for work site traffic control to minimize impacts to traffic flow and to ensure the safe movement of vehicles into and out of the Project Site.
- Construction vehicles shall not be permitted to stage or queue where they would interfere with vehicular and pedestrian traffic or block access to adjacent businesses.
- Off-site staging locations shall be approved by the City Engineer and be of enough length to accommodate large trucks without being unduly disruptive to traffic operations. The drivers of these trucks shall be in radio or phone communication with on-site personnel who shall advise the drivers when to proceed from the staging location to the site.
- Construction-related vehicles are prohibited from parking on public streets.
- All curb paint shall be refreshed prior to issuance of final certificate of occupancy.
- A street tree shall be planted in the parkway on Tilden Avenue according to the Urban Forest Master Plan.
- Landscaping shall be done per the City's Landscaping Guidelines.
- During construction, pedestrian access along the project's frontage shall always be maintained.
- All existing driveway approaches shall be maintained and reconstructed with full-height curb, gutter, and sidewalk.
- All existing driveway approaches shall be maintained and reconstructed with full-height curb, gutter, and sidewalk.
- Project shall remove and replace all existing sidewalk along the project's frontage. All new sidewalk shall be ADA compliant.

TENTATIVE MAP

- The final map shall be prepared by a surveyor, or civil engineer, licensed and authorized to do such work, by the State of California.
- The final map shall conform to the conditionally approved tentative map approved by the Planning Commission and City Council.
- Approval of tentative map shall be for a period of three years after City Council approval. However, approval of the tentative map shall be voided if the approval of the project's Site Plan Review expires.
- Durable monuments shall be set at all perimeter boundaries corner. At least two monuments shall be set on the prolongation of the property's boundaries with the corners of Tilden and Melton. All required boundary monuments shall be installed prior to the recording of the final map. Centesimal monuments shall be "tied" to at least four (4) points, with lead and tape, and contain the notes filed with the Engineering Division.
- The required color vehicle survey assessment shall be shown on the final final map.
- All public improvements, as required by the approved Site Plan Review, shall be completed and approved prior to the final approval of the final map by the City Council. Construction shall be completed and approved by the City, to satisfaction of the City, to satisfaction of the City, to satisfaction of the City.
- The final map shall be submitted to the Los Angeles County Department of Public Works for review, approval, and recordation. After approval of the technical aspect of the map by Los Angeles County, and prior to recordation, the final map shall be approved by the City Council. A copy of the final map check package as submitted to Los Angeles County shall also be submitted concurrently to the Culver City Engineering Division for review.

COMMENTS

- A Preliminary Construction Management Plan and Pedestrian Protection Plan shall be submitted as part of the formal application before the Planning Commission and/or City Council.

PUBLIC WORKS/BICYCLE REQUIREMENTS

- Secure bicycle racks shall be provided in accordance with the City's Bicycle Parking Requirements. The bicycle parking shall be provided as follows: two (2) long-term parking spaces – two per unit; and, two (2) short-term parking spaces.
- The long-term spaces shall be provided in individual bike lockers or bike racks in a secure locking enclosure, accessible only to the bicycle owners, and shall be located so they are protected from weather, easily accessed and are visible to promote safety and enhance security. If long-term bike parking is not located on the ground floor, the elevator closest to the bike parking area shall be at least 6 feet in depth to accommodate bicycles. If not located on the ground floor, long-term bike parking shall be located within 50' walking distance of an elevator.
- The short-term spaces shall be provided on the project site, using one (1) "Inverted-U" Bicycle Rack or similar. The short-term bicycle parking spaces shall be provided within 50' walking distance of the main pedestrian entrance to the building.
- Bicycle parking location, layout and equipment shall comply with the City's approved Bicycle and Pedestrian Master Plan Design Guide (except as noted in corridor 3 bicycle parking location, layout and equipment shall be reviewed to provide detailed information on the type of all bicycle parking provided, and detailed dimensions of the paths of travel, width, and the width of maneuvering area and clearances within the bicycle parking areas. Bicycle parking shall be installed only on all-weather surfaces.
- If an enclosure is constructed to secure long-term bicycle parking, the enclosure shall provide the following interior dimensions: parking area footprint length for each bicycle of 72" (width of 48" between bicycle parking areas, a minimum 30" separation between parallel bicycle racks; and, a minimum 24" separation between the bicycle rack and any adjacent enclosure wall. These requirements are consistent with the Association of Professional and Bicycle Professionals (APBP) recommended Bicycle Parking Guidelines, 2nd Edition.
- The development plans submitted for Building Permit shall provide detailed information on the type of all bicycle parking provided, and detailed dimensions of the paths of travel, width, and the width of maneuvering area and clearances within the bicycle parking areas. Bicycle parking shall be installed only on all-weather surfaces. The applicant may contact Christopher Evans, Culver City Public Works Department, at christopher.evans@culvercity.org for more information.
- Prior to issuance of any Public Works Department/Engineering Division Permit for the Project, the developer shall obtain a determination from the Public Works Department Administration staff that the final bicycle parking locations, the bicycle parking requirements.
- All required bicycle parking shall be installed, maintained, and managed by the developer or their successors and approved by the Public Works Director, or their designee, prior to issuance of any Certificate of Occupancy.

PUBLIC WORKS/EPO

- All project related solid and recyclable waste material handling shall be in accordance with Culver City Municipal Code Section 5.01.010 – "Solid Waste Management", which outlines the Environmental Programs and Operations Division's exclusive franchise for services.
- The applicant shall provide adequate trash and recycling capacity and shall comply with waste diversion goals per Assembly Bills 930, 1626, and 341 and the approved Trash/Recycling/Organic Waste Management Plan.
- The proposed trash enclosure(s)/rooms shall be sized accordingly to the project's trash demand per the approved Trash/Recycling/Organic Waste Management Plan (Waste Plan). Any revisions to the approved Waste Plan will require review by the Environmental Programs and Operations Division and approval by the Public Works Director.
- The City of Culver City shall provide all waste disposal and recycling services for all construction and demolition projects within city limits in accordance with CCMC 5.01.010.

MOBILITY AND TRAFFIC ENGINEERING

- The project will not require a traffic study.
- The project shall reconstruct the sidewalk and retain the landscaping strip along the project frontage on Tilden Avenue and Melton Avenue and construct the intersection corner in conformance with ADA requirements. Corner parking prohibitions shall be reinstated per existing conditions to allow for appropriate sight triangle.
- The project shall install the stop control marking (stop legend, stop bar, and centerline bar) on the Melton Avenue approach to Tilden Avenue using the most plastic.
- The project shall replace the stop sign on the Melton Avenue approach to Tilden Avenue with a retro-reflective sign that meets current requirements. The stop sign also needs to be relocated closer to the intersection without interfering with the corner curb ramp or power lines.
- The project shall upgrade lamppost of the existing corner street light to LED. If the street light is damaged, the project shall be responsible for its replacement.
- The project shall obtain an encroachment permit for any work within the public right-of-way accompanied by a traffic control plan in compliance with the CA MUTCD for review and approval by the City of Culver City Public Works Department.

BUILDING SAFETY

- Informational: All Building Safety/Division/Commission/Planning/Division discretionary reviews are preliminary. A complete code review will be done at the time of permit application.
- Informational: The Culver City Building Safety Division requires separate permits for building electrical plumbing and mechanical work.
- Informational: The building permit application shall consist of five sets architectural drawings, two sets structural drawings and calculations, two sets geotechnical reports.
- Informational: The electrical permit application shall submit two sets.
- Informational: The Culver City Fire Prevention Division issues its own permits for fire sprinkler and fire alarm systems. Please consult the Culver City Engineering Division (310) 255-5509.
- Informational: The Culver City Engineering Division issues its own permits for civil and grading work. Please consult the Culver City Engineering Division (310) 255-5509.
- Informational: Provide a copy of a title search to Building Safety to indicate any easements.
- Informational: All new utilities shall be underground and installed in the building construction. No overhead utilities shall be permitted.
- Informational: The construction permit application review time shall be a minimum of 15 City working days and may be extended at the option of staff.
- Informational: Any pedestrian protection will be reviewed by the Building Safety and Engineering Divisions. Provide a construction worker and construction vehicle warning, all materials storage and staging areas, construction vehicles, delivery trucks shall not park on neighboring property, nor shall they park in front or behind of any neighboring property without Culver City Public Works Department/Engineering approval.
- Informational: The overall construction permit application (drawings) shall indicate any construction staging areas proposed. The Culver City Public Works Department/Engineering Division will require a separate permit for the temporary use of any City right-of-way.
- Informational: Provide a separate permit for any activity which might impact pedestrians or driver's vehicles. The project is responsible for all trash generated during construction. Any graffiti shall be immediately painted over.
- Informational: Provide a screenshot on all issues of a property during construction. During construction, any violations of the project conditions of approval may result in administrative assessments and/or general stop work orders. Any type of damage to any adjacent property or any part of the City right-of-way will result in a general stop work order. A careful and detailed photo documentation of neighboring properties is required prior to the start of any major construction activities, provide a general stop work order. A careful and detailed photo documentation of neighboring properties is required prior to the start of any major construction activities, provide a general stop work order. A careful and detailed photo documentation of neighboring properties is required prior to the start of any major construction activities, provide a general stop work order.
- Informational: The project shall comply with new 2019 Building Codes if submitted for plan check after 11/1/2020 including local code amendments after 11/2020.
- Where submitted after 12/2020, the project is considered a Category 1 Qualifying Project for the purpose of applying for CALGreen. For example, requirements include 20% water permeable surfaces, gray water, automatic irrigation controllers, enhanced construction waste reduction, and bug lighting. CCMC 15.02.1110.
- Informational: Pedestrian protection including a canopy as required: 5202 and 5306. A separate Street Use permit is required through the Public Works Department.
- A soils report is required for plan check submission.
- Parking layout shall include CALGreen requirements for EV/SEV spaces. Accessible EV/CS are not counted as accessible parking spaces. 4.106.4.2.
- Informational: Pedestrian egress via sloped surface from basement to follow Ramps CBC 12.2.
- Exterior entry ramps are to have a 5-foot-wide landing and 48-inch clear width.
- For multi-story units, one shall have an accessible powder room with path of travel from parking, and through out the ground floor of the unit, including kitchen. 1102A.3
- The 2019 Title 24 report will most likely require photovoltaic panels for the structure. Please plan accordingly and consult with your project engineer/architect.
- Exterior walls adjacent to property lines to be 1-hour construction. TSD.
- Openings of exterior walls adjacent to private property less than 10 feet to property line are limited to 25%, verify amount. T705.8

PROJECT:

3906 TILDEN
CULVER CITY
(N) 5-UNIT CONDOMINIUM

ARCHITECT:



DesignUniversal
ARCHITECTURE AND DESIGN

ROBERT THIBODEAU
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PH: 917.566.6477

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REVISION / ISSUE:	DATE:
1. PPR SUBMITTAL	5/15/2018
2. DESIGN UPDATE	01/11/2019
3. PLANNING DIVISION SUB.	02/20/2019
4. PLANNING DIVISION REVIS.	03/20/2019
5. DESIGN UPDATE	04/10/2019
6. DESIGN UPDATE	07/16/2019
7. PLANNING DIVISION RESUB.	10/01/2019
8. PLANNING DIVISION REVIS.	11/08/2019
9. PLANNING DIVISION RESUB.	04/13/2020
9. PLANNING DIV. CONDITIONS	06/23/2020
10. PLANNING DIV. REVIS.	07/16/2020

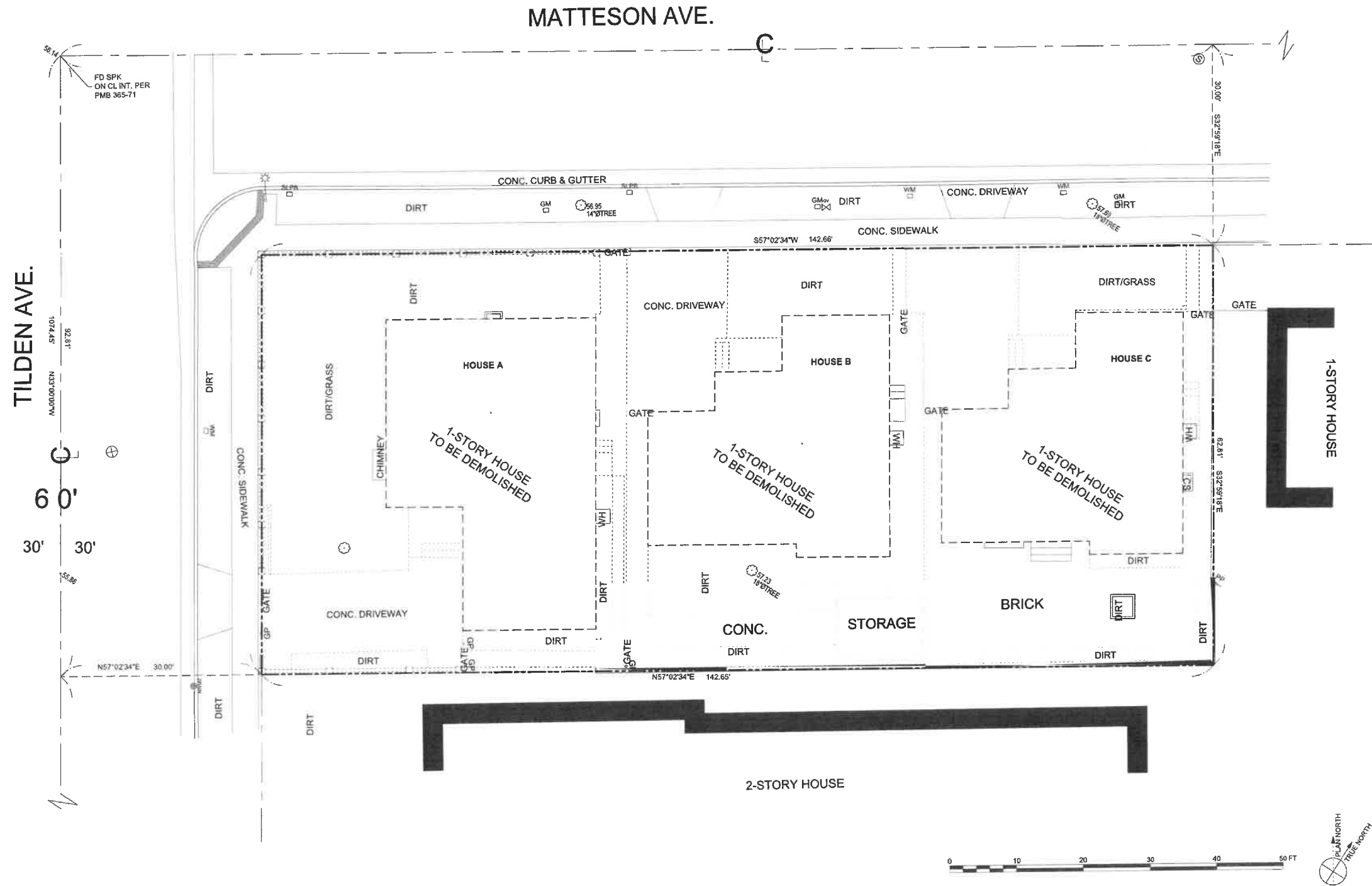
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DATE: 07/16/2020 DRAWN: SBD SCALE: AS NOTED

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EXISTING & DEMO PLAN



NOTES
 ALL EXISTING STRUCTURES AND HARDSCAPE TO BE DEMOLISHED

DEMO PLAN
 Scale: 1/8" = 1'-0"
 1

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3906 TILDEN
 CULVER CITY
 (N) 5-UNIT CONDOMINIUM

ARCHITECT:


DesignUniversal
 ARCHITECTURE AND DESIGN

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EXISTING ELEVATIONS

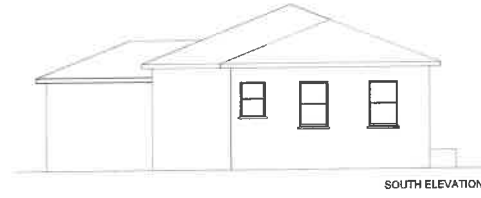
DATE: 07/16/2020 DRAWN: SBD SCALE: AS NOTED



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

3 HOUSE C
 Scale: 1/8" = 1'-0"



NORTH ELEVATION



WEST ELEVATION

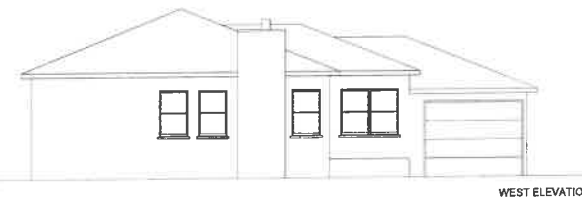


SOUTH ELEVATION

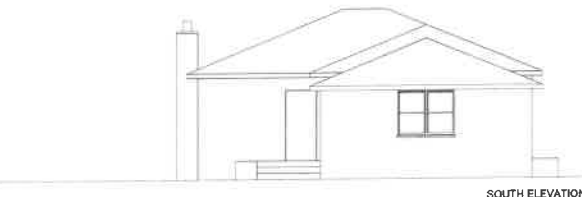


EAST ELEVATION

2 HOUSE B
 Scale: 1/8" = 1'-0"



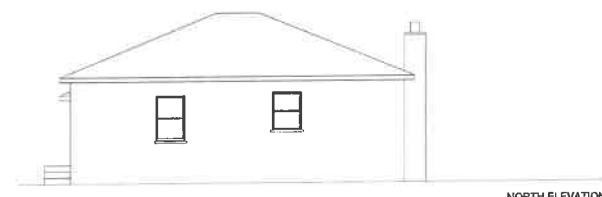
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

1 HOUSE A
 Scale: 1/8" = 1'-0"

NOTES
 ALL EXISTING STRUCTURES AND HARDSCAPE TO BE DEMOLISHED



A-0.3

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3906 TILDEN
 CULVER CITY
 (N) 5-UNIT CONDOMINIUM

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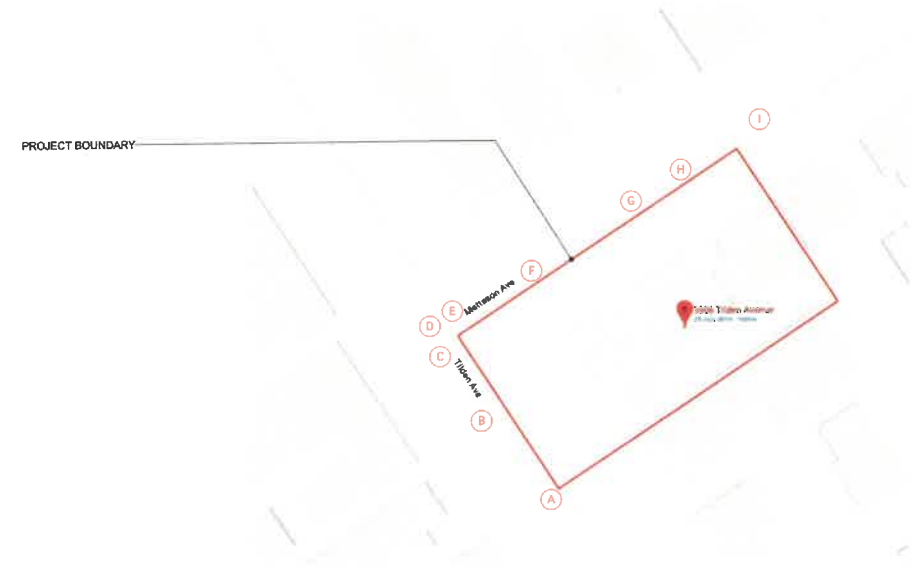
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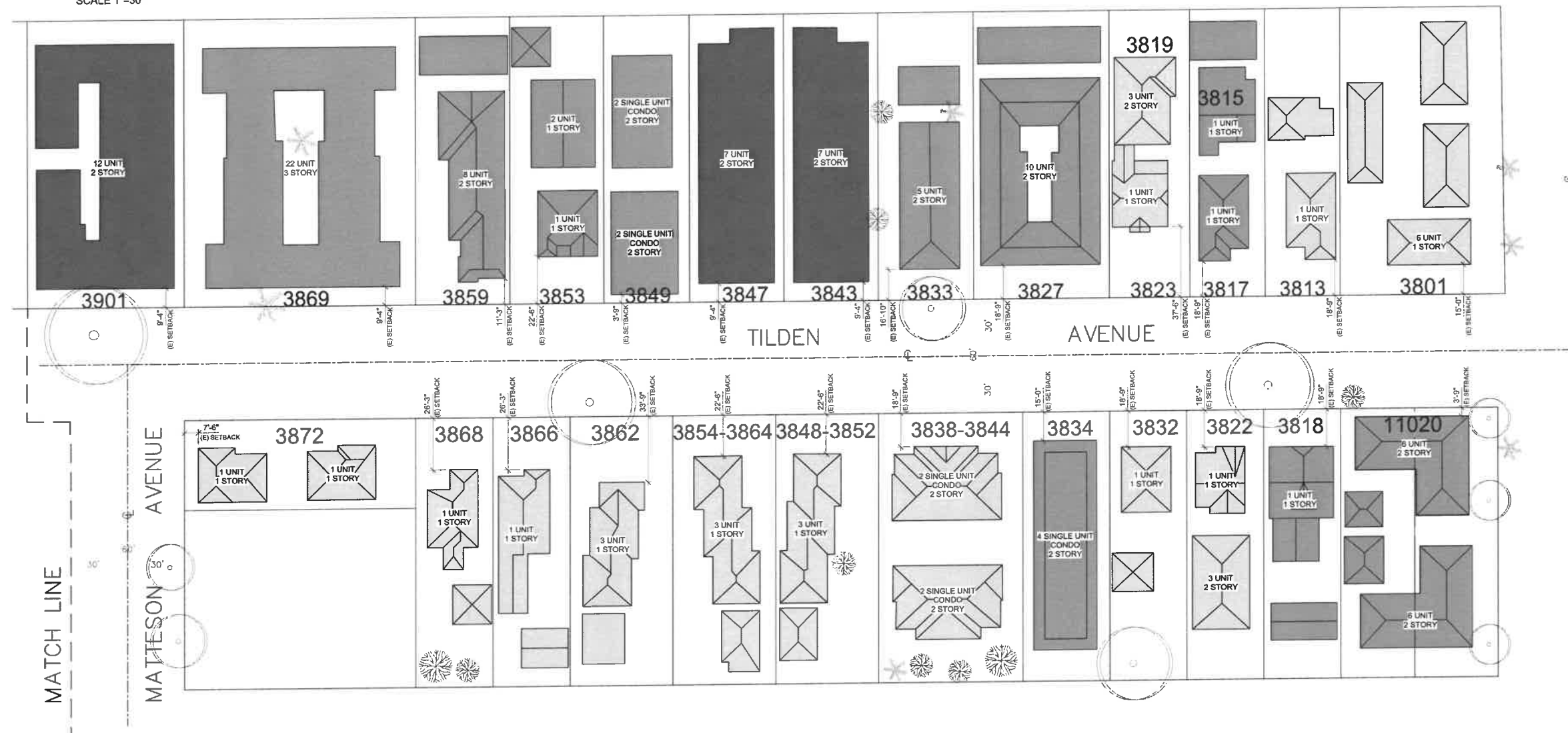
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5. DESIGN UPDATE	04/10/2019
6. DESIGN UPDATE	07/18/2019
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9. PLANNING DIV. CONDITIONS	06/23/2020
10. PLANNING DIV. REVIS.	07/16/2020

EXISTING SITE PHOTOS

DATE: 07/16/2020 DRAWN: SBD SCALE: NTS



A-0.4



	PROPERTY ADDRESS	LOT SIZE S.F.	BUILDING FOOTPRINT AREA S.F.	LOT COVERAGE RATIO S.F.	BUILDING ELEV. FT.
WEST SIDE	3801-3811 TILDEN AVE.	13295	4195	31.5%	17.94
	3813 TILDEN AVE.	6080	1824	30%	15.47
	3817 TILDEN AVE.	6080	3089	50.8%	15.80
	3823 TILDEN AVE.	6507	2558	39.3%	18.04
	3827 TILDEN AVE.	10944	6465	59.1%	24.22
	3833 TILDEN AVE.	7723	3163	41%	24.31
	3843 TILDEN AVE.	7600	5258	69.2%	23.41
	3847 TILDEN AVE.	7600	5258	69.2%	23.78
	3849 TILDEN AVE.	6933	3845	55.4%	21.29
	3853 TILDEN AVE.	7600	3136	41.2%	17.40
	3859 TILDEN AVE.	7600	4011	52.8%	34.10
EAST SIDE	3869 TILDEN AVE.	18667	9588	51.3%	30.22
	3901 TILDEN AVE.	12587	8287	65.8%	21.54
	11020 VENICE BLVD.	9033	5255	58.2%	24.24
	3818 TILDEN AVE.	5851	2553	43.6%	25.19
	3822 TILDEN AVE.	5852	2378	40.6%	26.69
	3832 TILDEN AVE.	5822	1354	23.2%	15.97
	3834 TILDEN AVE.	6570	3715	56.5%	27.90
	3838-3844 TILDEN AVE.	10960	4316	39.4%	27.38
	3848-3852 TILDEN AVE.	7788	2549	32.7%	17.87
	3854-3860 TILDEN AVE.	7788	2632	33.8%	18.04
	3866 TILDEN AVE.	7791	2269	29.1%	16.37
3866 TILDEN AVE.	5840	2187	37.4%	16.72	
3868 TILDEN AVE.	5840	1527	26.1%	13.16	
3874 TILDEN AVE.	5858	1972	33.6%	10.66	

BLOCK SUBJECT TO TYPOLOGIES	
NUMBER OF LOTS ON BLOCK	53
AVERAGE LOT COVERAGE	43.6%
PREVAILING (MOST FREQUENT)	40%
AVERAGE BUILDING HEIGHT	19.76'
PREVAILING (MOST FREQUENT)	17'-23'

NOTE:
ALL BUILDING HEIGHTS CALCULATED FROM ELEVATION OF BACK OF WALK AT MID POINT OF EACH RESPECTIVE LOT FRONTAGE TO HIGHEST PROJECTED POINT AT ROOF.

LEGEND
AVERAGE PERCENTAGE OF LOT COVERAGE

[Light Gray Box]	21 - 40%
[Medium Gray Box]	41 - 60%
[Dark Gray Box]	61 - 80%

TYPOLGY SURVEY
3906 TILDEN AVENUE
CULVER CITY, CA. 90232

LEGAL DESCRIPTION:
LOT 7, ROBERT JONES WALNUT GROVE TRACT, M.B. 7, PAGE 185.

HARVEY A. GOODMAN
CIVIL ENGINEER
834 17TH STREET
SANTA MONICA, CA. 90403
TEL: (310)829-1037

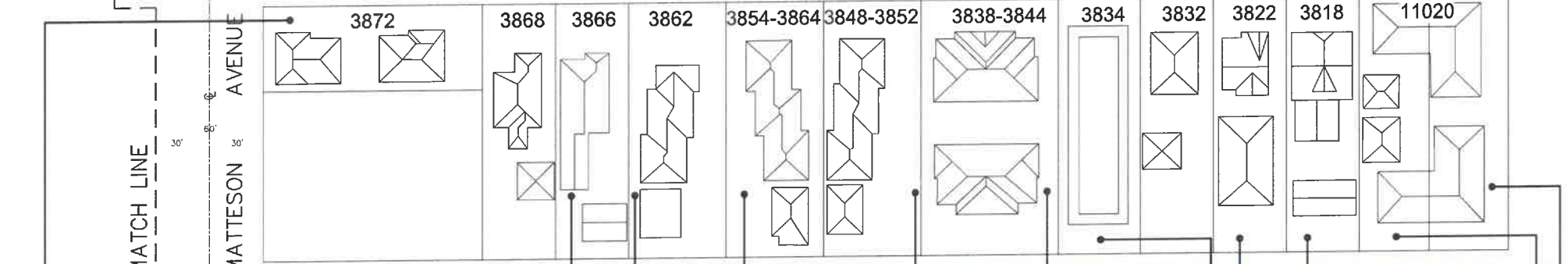
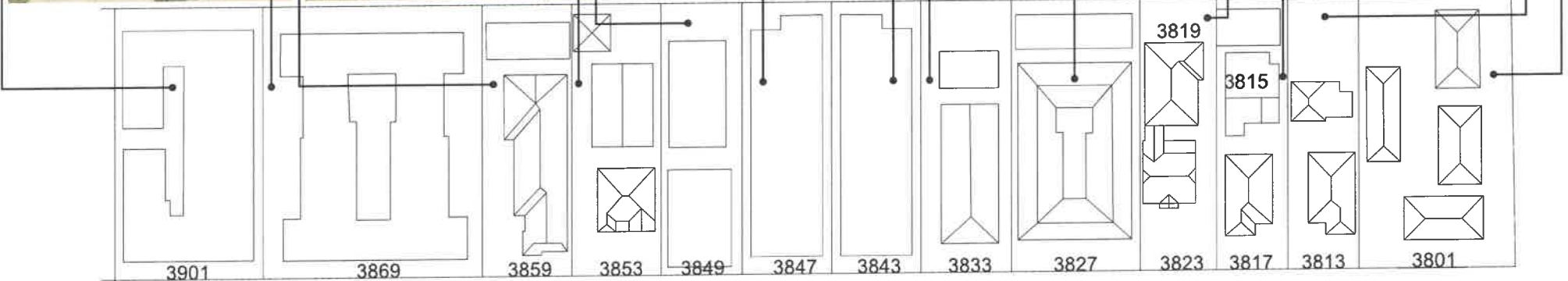
DRAWN BY:
AYY

CHECKED BY:
H. A. GOODMAN

DATE:
MAY 15, 2018

SCALE:
1" = 30'

SHEET NO.
1
SHEET 1 OF 2



PROJECT:
3906 TILDEN
 CULVER CITY
 (N) 5-UNIT CONDOMINIUM

ARCHITECT:


DesignUniversal
 ARCHITECTURE AND DESIGN
 ROBERT THIBODEAU
 824 VENICE BLVD
 VENICE, CA 90291
 PH: 310.452.8161
 FX: 310.452.8171

OWNER:
 1485 PH LLC
 380 LENOX AVE, #6J
 NEW YORK, NY 10027
 PH: 817.566.6477

CONTRACTOR:

SOILS ENGINEER:
 HILLSIDE INSPECTIONS, INC.
 7622 GODDARD AVE
 LOS ANGELES, CA 90045
 PH: 424.781.7152
 EMAIL: INFO@HILLSIDEINSPECTIONS.COM

SURVEYOR:
 M & G CIVIL ENGINEERING & LAND SURVEYING
 347 S. ROBERTSON BLVD.
 BEVERLY HILLS, CA 90211
 PH: 310.659.0871
 FX: 310.659.0845

STRUCTURAL ENGINEER:
 KMS STRUCTURAL DESIGN ENGINEERING
 1377 S BEVERLY GLEN BLVD #308
 LOS ANGELES, CA 90024
 PH: 310.497.0744
 EMAIL: KMSSTRUCTURAL@AOL.COM

CIVIL ENGINEER:
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 834 17TH STREET UNIT 5
 SANTA MONICA, CA 90403
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 FX: 310.829.5662

REVISION / ISSUE:	DATE:
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10. PLANNING DIV. REVIS.	07/16/2020

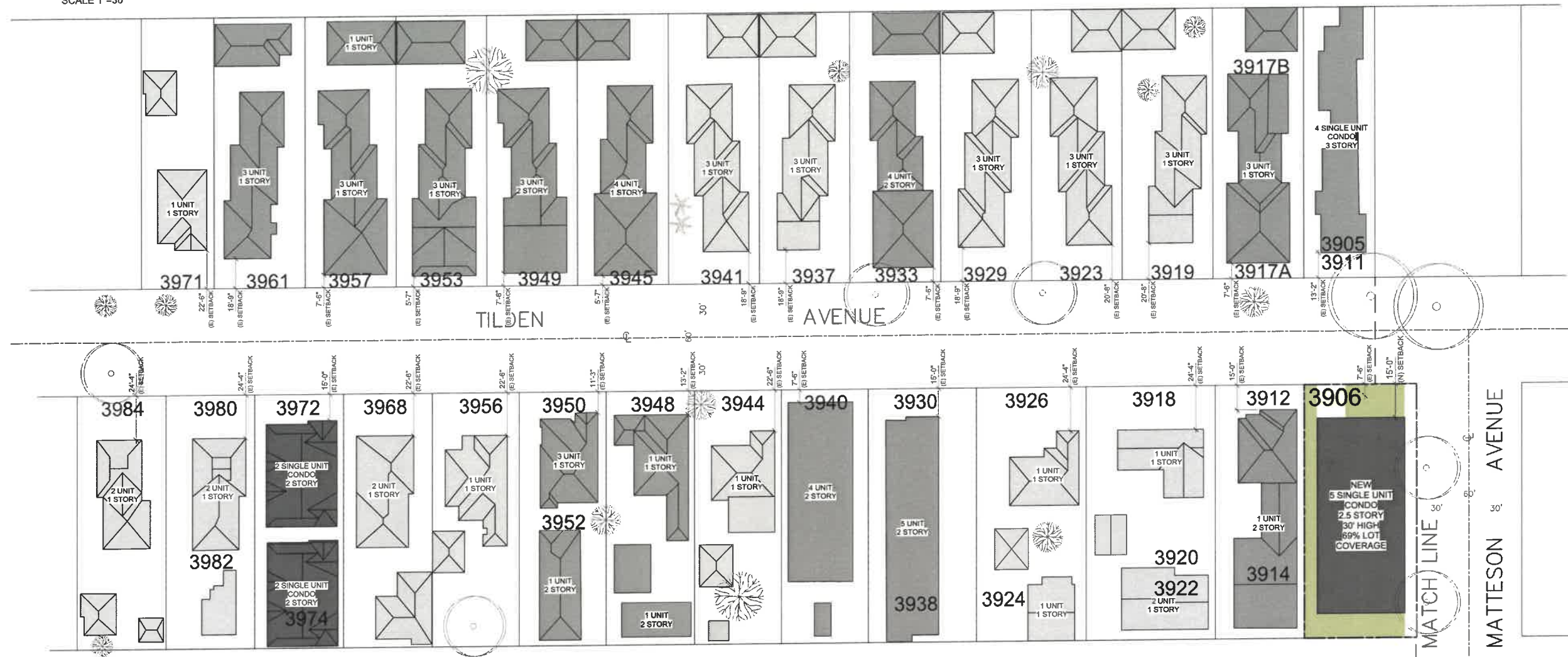
NEIGHBORHOOD PHOTOS

DATE: 07/16/2020
 DRAWN: SBD
 SCALE: NTS

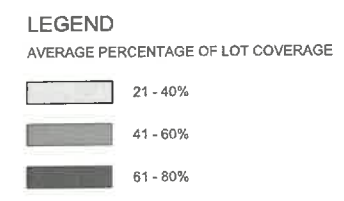
A-0.5



SCALE 1"=30'



	PROPERTY ADDRESS	LOT SIZE S.F.	BUILDING FOOTPRINT AREA S.F.	LOT COVERAGE RATIO S.F.	BUILDING HEIGHT FT.
WEST SIDE	3905-3911 TILDEN AVE.	6080	2867	47%	31.59
	3917A-3917B TILDEN AVE.	7776	4119	53%	17.08
	3919 TILDEN AVE.	7776	3089	39.7%	17.78
	3923 TILDEN AVE.	7776	3160	40.6%	16.92
	3929 TILDEN AVE.	7776	3153	40.5%	17.17
	3933 TILDEN AVE.	7776	3931	50.5%	28.23
	3937 TILDEN AVE.	7776	3116	40%	17.27
	3941 TILDEN AVE.	7776	3127	40.2%	16.70
	3945 TILDEN AVE.	7776	3852	49.5%	19.37
	3949 TILDEN AVE.	7776	3814	49%	17.21
	3953 TILDEN AVE.	7776	4132	53.1%	17.05
	3957 TILDEN AVE.	7776	4093	52.6%	17.15
	3961 TILDEN AVE.	7796	3449	44.2%	17.58
	3971 TILDEN AVE.	6232	1656	26.5%	16.35
	3906 TILDEN AVE. (EXISTING)	8963	4170	46.5%	16.64
	3912 TILDEN AVE.	7135	3733	52.3%	21.67
	EAST SIDE	3918-3922 TILDEN AVE.	10390	3480	33.5%
3924-3926 TILDEN AVE.		8847	2641	29.8%	14.43
3930-3938 TILDEN AVE.		8678	3676	42.3%	26.14
3940 TILDEN AVE.		6992	3868	55.3%	18.79
3944 TILDEN AVE.		6992	2261	32.3%	18.73
3948 TILDEN AVE.		6992	3199	45.7%	16.50
3950 TILDEN AVE.		6992	3052	43.6%	23.30
3956 TILDEN AVE.		6992	2154	30.8%	14.54
3968 TILDEN AVE.		7135	2394	33.5%	15.44
3972 TILDEN AVE.		7127	4670	65.5%	29.46
3980-3982 TILDEN AVE.		7135	2325	32.6%	15.57
3984 TILDEN AVE.		7135	2194	30.7%	15.50



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TYPOLGY SURVEY
3906 TILDEN AVENUE
CULVER CITY, CA. 90232

LEGAL DESCRIPTION:
LOT 7, ROBERT JONES WALNUT
GROVE TRACT, M.B. 7, PAGE 185.

DRAWN BY:
AYV

CHECKED BY:
H. A. GOODMAN

DATE:
MAY 15, 2018

SCALE:
1" = 30'

SHEET NO.
2
SHEET 2 OF 2

PROJECT:
3906 TILDEN
 CULVER CITY
 (N) 5-UNIT CONDOMINIUM

ARCHITECT:


DesignUniversal
 ARCHITECTURE AND DESIGN

ROBERT THIBODEAU
 624 VENICE BLVD
 VENICE, CA 90291
 PH: 310.452.8161
 FX: 310.452.8171

OWNER:
 1485 PH LLC
 380 LEXOX AVE, #6J
 NEW YORK, NY 10027
 PH: 917.596.6477

CONTRACTOR:

SOILS ENGINEER:
 HILLSIDE INSPECTIONS, INC.
 7622 GODDARD AVE
 LOS ANGELES, CA 90045
 PH: 424.781.7152
 EMAIL: INFO@HILLSIDEINSPECTIONS.COM

SURVEYOR:
 M & G CIVIL ENGINEERING & LAND SURVEYING
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 PH: 310.659.0871
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STRUCTURAL ENGINEER:
 KMS STRUCTURAL DESIGN ENGINEERING
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 EMAIL: KMSSTRUCTURAL@AOL.COM

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 FX: 310.828.5662

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8. PLANNING DIVISION REVIS.	04/13/2020
9. PLANNING DIV. CONDITIONS	09/23/2020
10. PLANNING DIV. REVIS.	07/16/2020

NEIGHBORHOOD PHOTOS

DATE: 07/16/2020 DRAWN: SBD SCALE: NTS

A-0.6



TENTATIVE TRACT MAP NO. 82562

IN THE CITY OF CULVER CITY
 COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA

SCALE 1"=20'

PROPOSED PROJECT:

5 UNIT CONDOMINIUM DEVELOPMENT
 SUBTERRANEAN GARAGE WITH
 2 SPACES PER UNIT & 1 GUEST SPACE
 11 TOTAL PARKING SPACES

NOTES:

PROJECT ADDRESS:
 3906 TILDEN AVE.
 CULVER CITY, CA 90232

ASSESSOR PARCEL NUMBER:
 4213-003-019

EXISTING ZONE:
 RMD

EXISTING USE:
 3 RESIDENTIAL BUILDINGS WITH
 1 UNIT PER BUILDING

EXISTING STREET TREES TO REMAIN.

ALL ON-SITE TREES INTERFERING WITH
 CONSTRUCTION TO BE REMOVED.

THE ENTIRE SITE SHALL DRAIN TO
 TILDEN AVENUE WITHOUT FLOWING
 OVER THE SIDEWALK, TO THE SATISFACTION
 OF THE CITY ENGINEER.

SANITARY SEWER AND ALL UTILITIES ARE
 EXISTING AND AVAILABLE.

OWNER/SUBDIVIDER SHALL COMPLY
 WITH ALL REQUIREMENTS FROM THE
 CITY OF CULVER CITY DEPARTMENT
 OF ENVIRONMENTAL AND PUBLIC
 WORKS MANAGEMENT.

NO RESIZING OF EXISTING PUBLIC UTILITIES
 PROPOSED

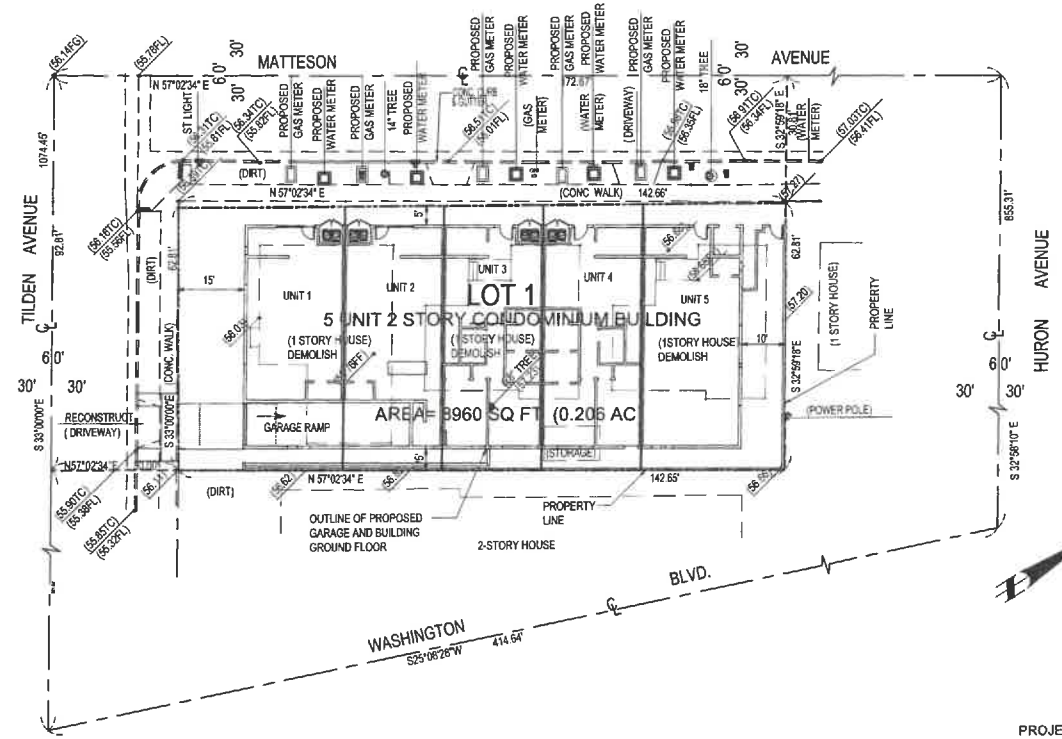
FEMA FLOOD ZONE "X" - 12/21/18
 AREA OF MINIMAL FLOOD HAZARD

ELEVATIONS SHOWN ARE BASED ON A
 TOPOGRAPHIC SURVEY PERFORMED
 BY: M&G CIVIL ENGINEERING AND LAND SURVEYING
 CYNTHIA A. DELEON RCE C-31604

EXISTING UTILITIES EASEMENT PER DEED REC. IN
 BOOK 5182, PAGE 225, RECORDS OF LOS ANGELES
 COUNTY. EASEMENT IS NOT LOCATABLE.

BEING A PROPOSED SUBDIVISION OF A PORTION OF LOT 7 OF ROBERT F. JONES' WALNUT GROVE TRACT, AS PER
 MAP RECORDED IN BOOK 7, PAGE 185 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR CONDOMINIUM PURPOSES



MAP MODIFIED MARCH 14, 2020
 MAP MODIFIED APRIL 30, 2019
 MAP PREPARED JANUARY 26, 2019

MAP PREPARED BY:
 DIRECT ALL CORRESPONDENCE TO:

HARVEY A. GOODMAN CIVIL ENGINEER
 834 17TH STREET UNIT 5
 SANTA MONICA, CA 90403
 PHONE: (310) 829-1037
 FAX: (310) 828-5062



Harvey A. Goodman

THIS MAP WAS PREPARED BY ME,
 OR UNDER MY DIRECT SUPERVISION,
 AND SHOW ALL EASEMENTS OF RECORD
 AS REPORTED IN THE TITLE REPORT
 PREPARED BY FIDELITY NATIONAL TITLE
 COMPANY DATED MARCH 19, 2018.

OWNER/SUBDIVIDER:

1485 PH LLC, A NEW YORK
 LIMITED LIABILITY COMPANY
 380 LENOX AVENUE 6J
 NEW YORK, NY 10027

ATTN: MR. LEWIS FUTTERMAN
 (917) 566-6477
 LEWFUTT@AOL.COM

GEOTECHNICAL ENGINEER:

HILLSIDE INSPECTIONS, INC.
 7622 GODDARD AVE.
 LOS ANGELES, CA 90045
 (424) 781-7152

BENCHMARK:

BM ID 125 (NAVD 1988)
 S & W AT INTERSECTION OF MATTESON AVE
 AND PROSPECT AVE
 ELEV. 61.06 PER RSB 164/42-45



VICINITY MAP
 NOT TO SCALE

TENTATIVE TRACT MAP NO. 82562

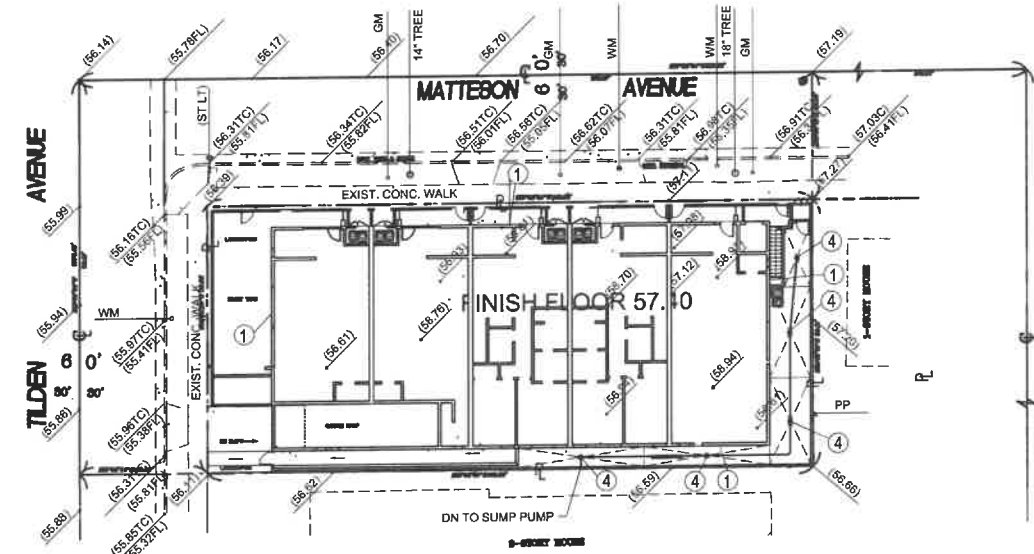
IN THE CITY OF CULVER CITY
 COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA

SCALE 1"=20'

MAP PREPARED BY:
 DIRECT ALL CORRESPONDENCE TO:
 HARVEY A. GOODMAN CIVIL ENGINEER
 834 17TH STREET UNIT 5
 SANTA MONICA, CA 90403
 PHONE: (310) 829-1037
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Harvey A. Goodman



- ① OUTLINE OF PROPOSED STRUCTURE
- ② GARAGE OUTLINE
- ③ TRENCH DRAIN
- ④ YARD OR AREA DRAIN
- ⑤ SUMP PUMP AND PIT
- R PROPERTY LINE

CONCEPTUAL GRADING PLAN

MAP REVISED MARCH 13, 2020
 MAP PREPARED FEBRUARY 20, 2019

SHEET
1
 OF 2 SHEETS

TENTATIVE TRACT MAP NO. 82562

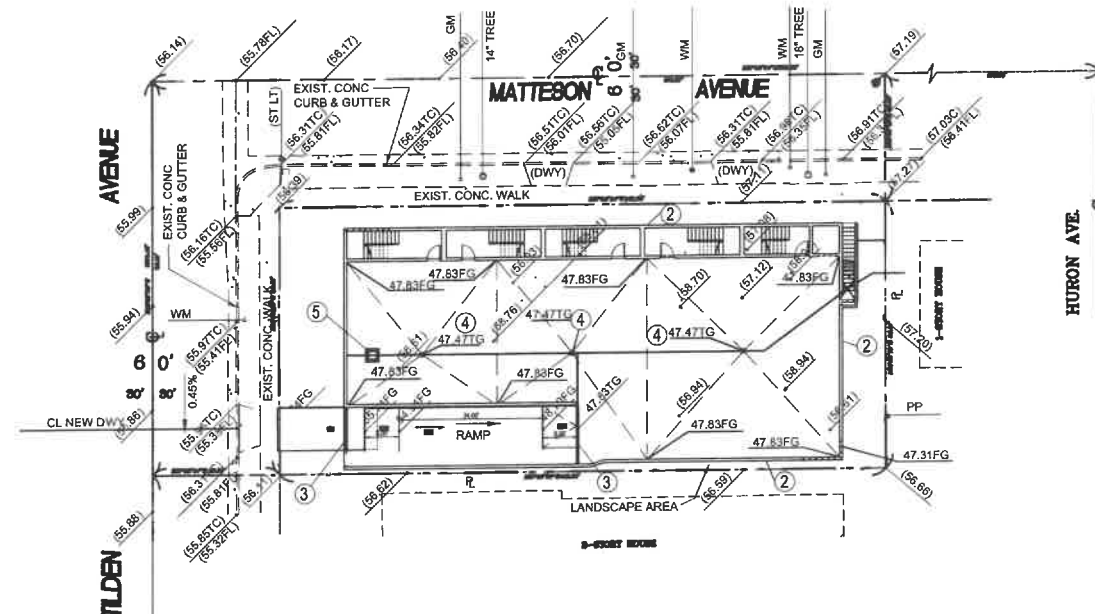
IN THE CITY OF CULVER CITY
 COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA

SCALE 1"=20'

MAP PREPARED BY:
 DIRECT ALL CORRESPONDENCE TO:
 HARVEY A. GOODMAN CIVIL ENGINEER
 834 17TH STREET UNIT 5
 SANTA MONICA, CA 90403
 PHONE: (310) 829-1037
 FAX: (310) 828-5052



Harvey A. Goodman



EARTHWORK SUMMARY
 EXCAVATION 1900 CU. YD.
 EMBANKMENT 0 CU. YD.

- ① OUTLINE OF PROPOSED STRUCTURE
- ② GARAGE OUTLINE
- ③ TRENCH DRAIN
- ④ YARD OR AREA DRAIN
- ⑤ SUMP PUMP AND PIT
- R PROPERTY LINE

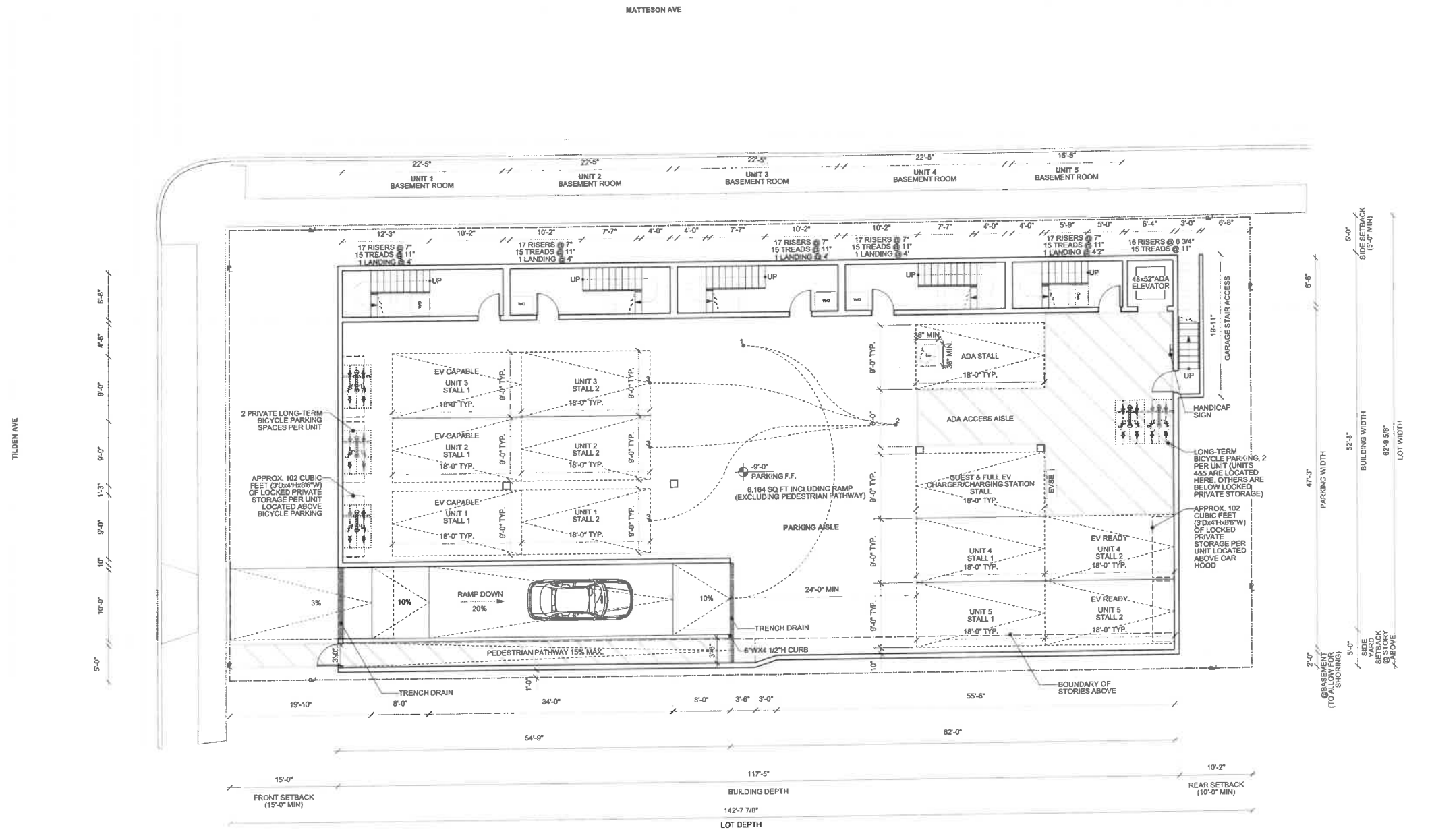
CONCEPTUAL GARAGE GRADING PLAN

MAP REVISED MARCH 13, 2020
 MAP PREPARED FEBRUARY 20, 2019

SHEET
2
 OF 2 SHEETS

REVISION / ISSUE:	DATE:
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6. DESIGN UPDATE	07/16/2019
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8. PLANNING DIVISION REVIS.	04/13/2020
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10. PLANNING DIV. REVIS.	07/16/2020

BASEMENT PLAN

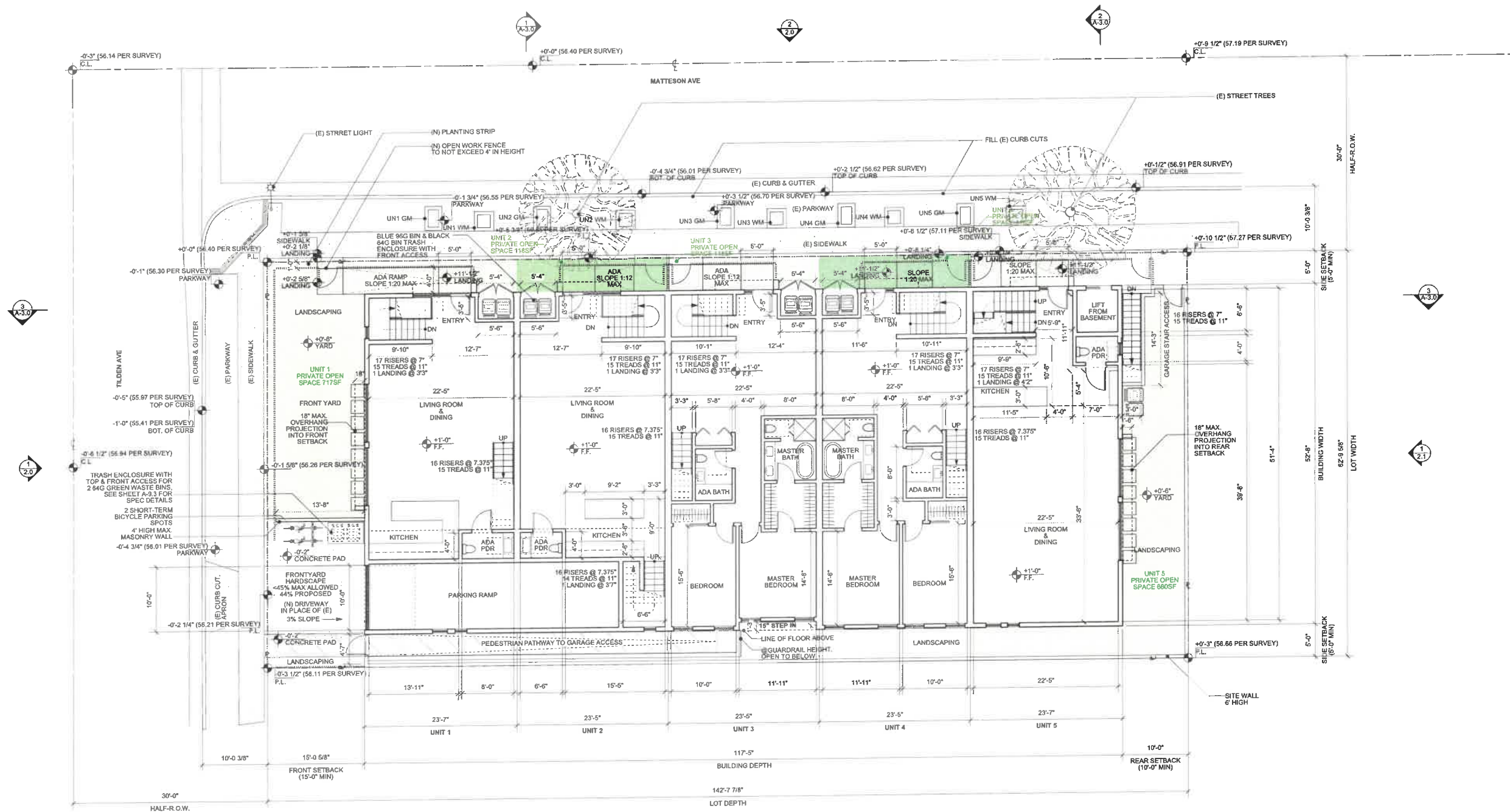


NOTES
 RESIDENTIAL PARKING SHALL BE CONSTRUCTED WITH THE INFRASTRUCTURE NECESSARY TO ALLOW FOR FUTURE INSTALLATION OF ELECTRONIC VEHICLE (EV) CHARGING STATION SHOULD RESIDENTS IN THE FUTURE REQUEST OR NEED EV CHARGING STATIONS AT THEIR PARKING STALLS.
 EACH UNIT SHALL HAVE ITS OWN GARAGE SECURITY DOOR, AS APPLICABLE; SEISMIC GAS SHUT OFF VALVE; AND GAS, WATER, AND ELECTRIC METER.
 SPACES WILL BE DOUBLED STRIPED

BASEMENT PARKING PLAN: RAMP OPTION
 Scale: 1/8" = 1'-0" 1

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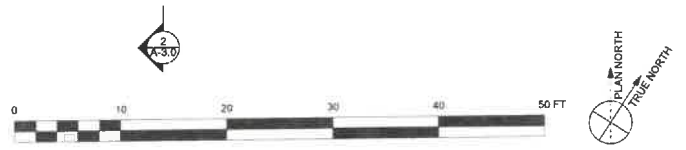
FIRST FLOOR PLAN



NOTES
 ENVIRONMENTAL PROGRAMS AND OPERATIONS NOTES

- SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING SHALL BE PERFORMED EXCLUSIVELY BY THE CITY OR ITS AUTHORIZED AGENTS. THE CITY COUNCIL MAY REGULATE, BY ORDINANCE OR RESOLUTION, ALL ASPECTS OF SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING, INCLUDING BUT NOT LIMITED TO, FREQUENCY OF COLLECTION, MEANS OF COLLECTION AND TRANSPORTATION, LEVEL OF SERVICES, CHARGES, FEES, AND NATURE, LOCATION AND EXTENT OF PROVIDING SOLID WASTE HANDLING SERVICES.
- THE CITY OF CULVER CITY SHALL PROVIDE WASTE DISPOSAL AND RECYCLING SERVICES FOR ALL CONSTRUCTION AND DEMOLITION PROJECTS WITHIN CITY LIMITS IN ACCORDANCE WITH CULVER CITY MUNICIPAL CODE 5.01.010.
- AUTOMATED ORGANIC WASTE CARTS ARE THE RESPONSIBILITY OF THE TENANT(S) OR HOMEOWNER(S) TO ROLL OUT TO THE STREET DURING DESIGNATED TRASH COLLECTION DAY.

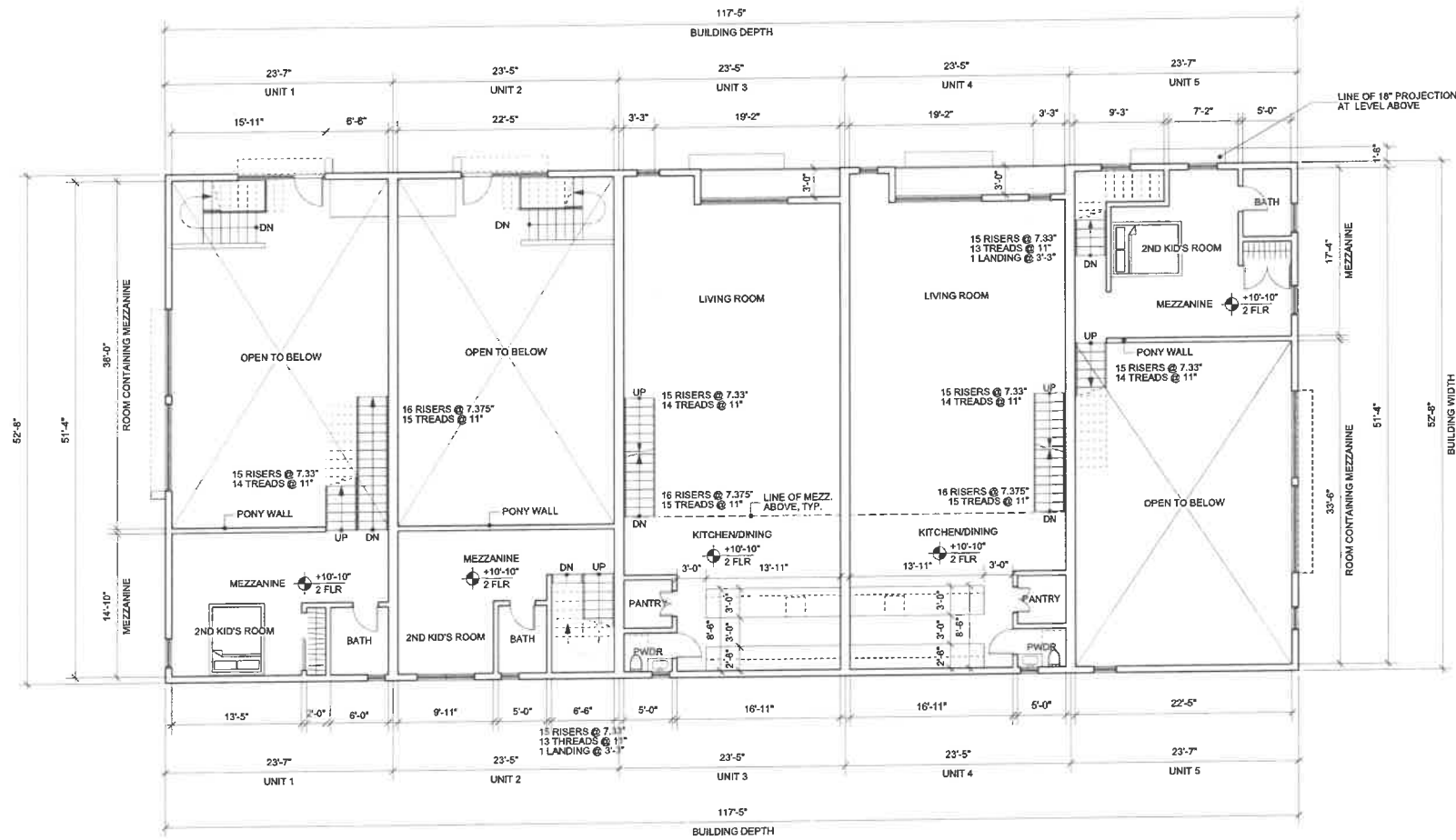
ALL EXISTING DRIVEWAY APPROACHES WHICH WILL NO LONGER BE NECESSARY DUE TO THIS PROJECT SHALL BE REMOVED AND REPLACED WITH FULL HEIGHT SIDEWALK, PARKWAY, AND CURB AND GUTTER. IN COMPLIANCE WITH 17.320.035 C.1b.1, TANDEM PARKING SPACES WILL ONLY BE ASSIGNED TO A SINGLE UNIT



CONCEPTUAL SITE PLAN / GROUND FLOOR PLAN
 Scale: 1/8" = 1'-0"

REVISION / ISSUE:	DATE:
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MEZZANINE FLOOR PLAN



NOTES
 PER CODE SECTION 505.2.3.1 OPENNESS. EXCEPTION: MEZZANINES OR PORTIONS THEREOF ARE NOT REQUIRED TO BE OPEN TO THE ROOM IN WHICH THE MEZZANINES ARE LOCATED, PROVIDED THAT THE OCCUPANT LOAD OF THE AGGREGATE AREA OF THE ENCLOSED SPACE IS NOT GREATER THAN 10 RESIDENTIAL OCCUPANT LOAD PER TABLE 1004.1.2:
 200 SQUARE FEET/OCCUPANT
 10 OCCUPANTS → 2000 SF.



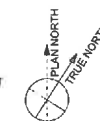
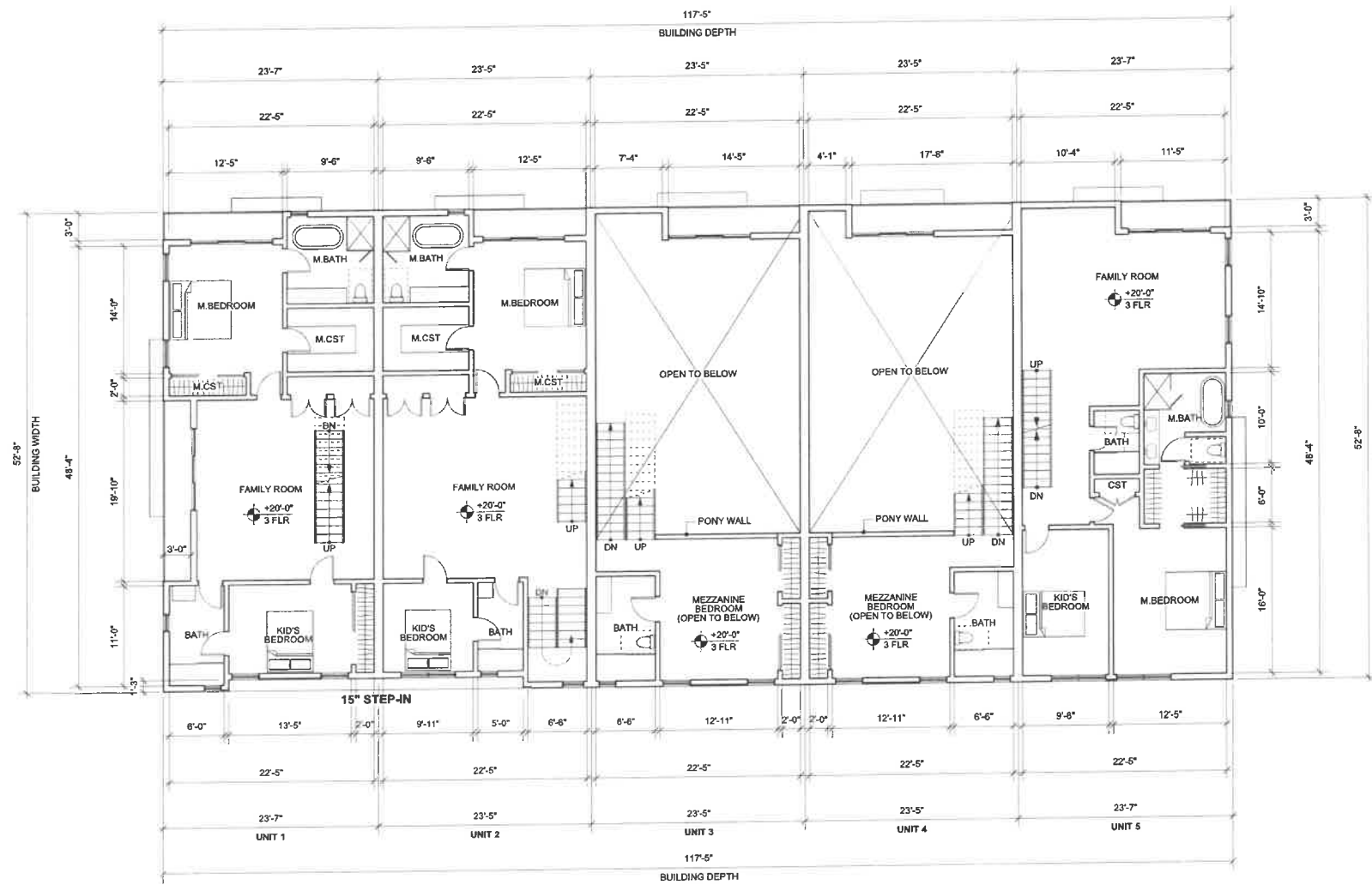
MEZZANINE FLOOR PLAN
 Scale: 1/8" = 1'-0" 1

DATE: 07/16/2020
 DRAWN: SBD
 SCALE: 1/8" = 1'-0"

A-1.2

REVISION / ISSUE:	DATE:
1. PPR SUBMITTAL	5/15/2016
2. DESIGN UPDATE	01/11/2019
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8. PLANNING DIVISION RESUB.	04/13/2020
9. PLANNING DIV. CONDITIONS	06/23/2020
10. PLANNING DIV. REVIS.	07/16/2020

SECOND FLOOR PLAN



NOTES
 505.2.3.1 MEZZANINES OR PORTIONS THEREOF ARE NOT REQUIRED TO BE OPEN TO THE ROOM IN WHICH THE MEZZANINES ARE LOCATED, PROVIDED THAT THE OCCUPANT LOAD OF THE ENCLOSED SPACE IS NOT GREATER THAN 10 RESIDENTIAL OCCUPANT LOAD PER TABLE 1004.1.2: 200 SQUARE FEET/OCCUPANT 10 OCCUPANTS -> 2000 SF.

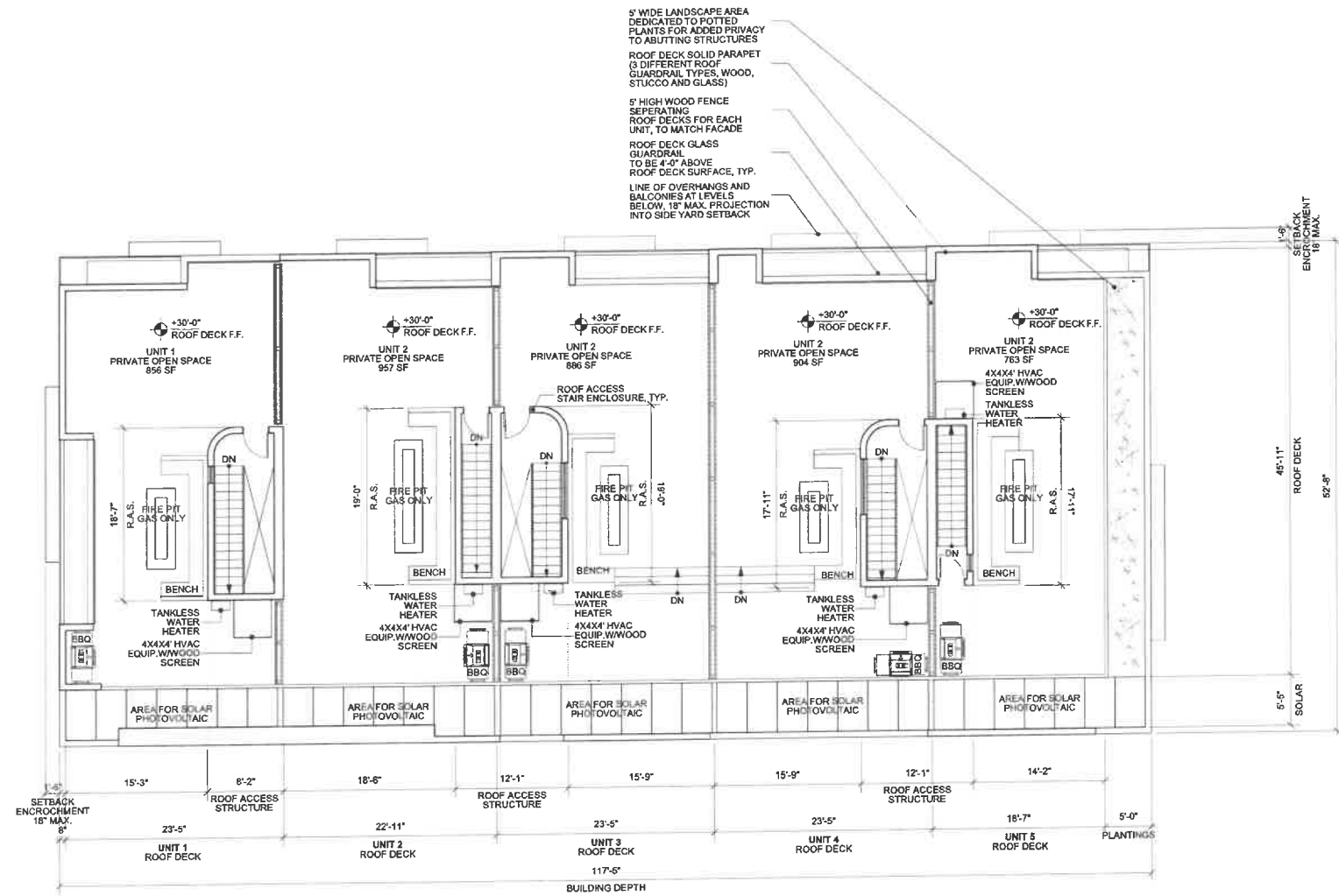
SECOND FLOOR PLAN
 Scale: 1/8" = 1'-0" 1

DATE: 07/16/2020 DRAWN: SBD SCALE: 1/8" = 1'-0"

A-1.3

REVISION / ISSUE:	DATE:
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5. DESIGN UPDATE	04/10/2019
6. DESIGN UPDATE	07/16/2019
7. PLANNING DIVISION RESUB.	10/01/2019
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9. PLANNING DIV. CONDITIONS	06/23/2020
10. PLANNING DIV. REVIS.	07/16/2020

ROOF PLAN



NOTES
 ROOF WILL BE PREPARED FOR INSTALLATION OF SOLAR PHOTOVOLTAIC

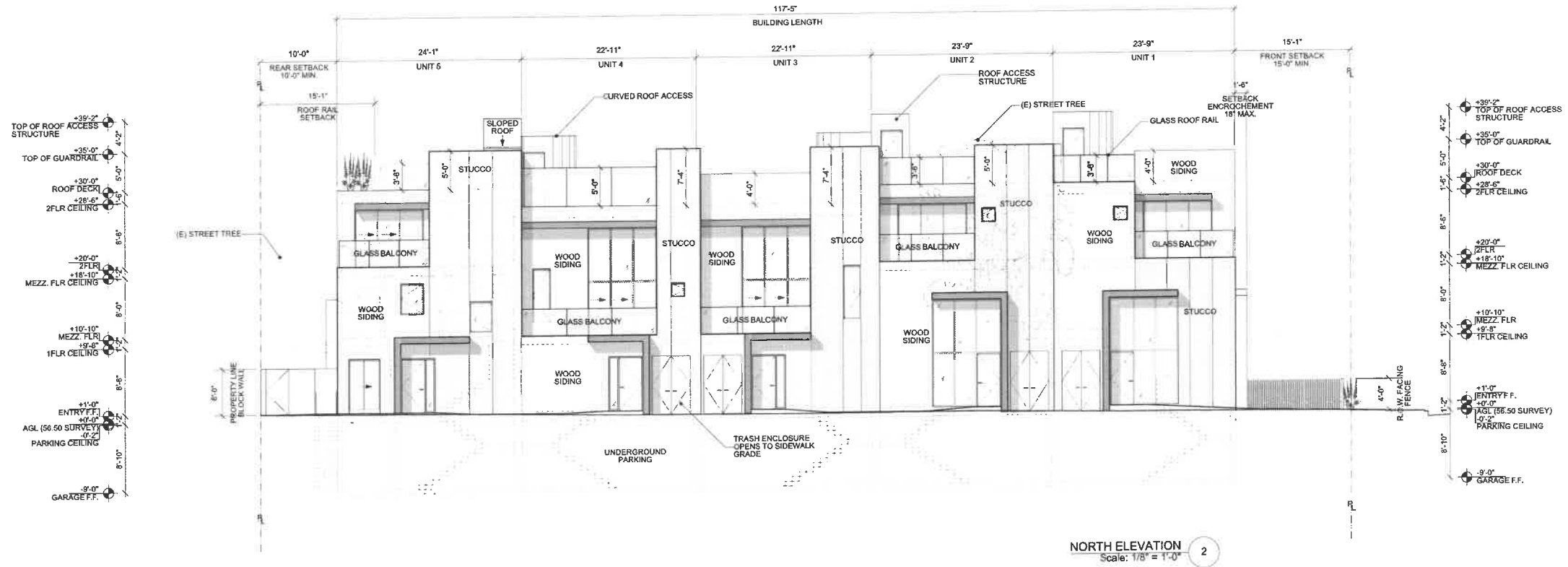


ROOF PLAN 1
 Scale: 1/8" = 1'-0"

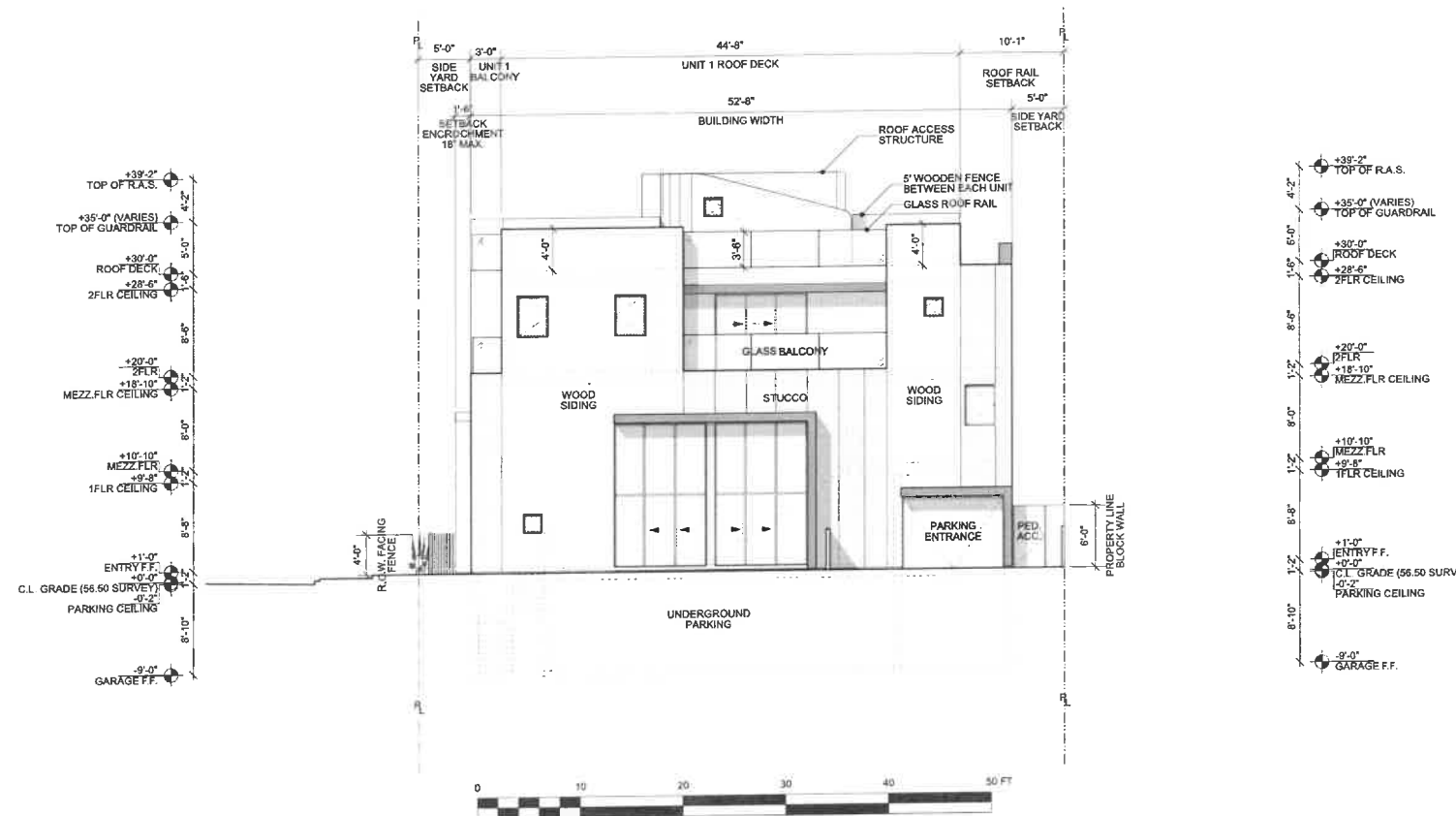
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11. PLANNING DIV. REVIS.	07/16/2020

EXTERIOR ELEVATIONS



NORTH ELEVATION
 Scale: 1/8" = 1'-0" 2

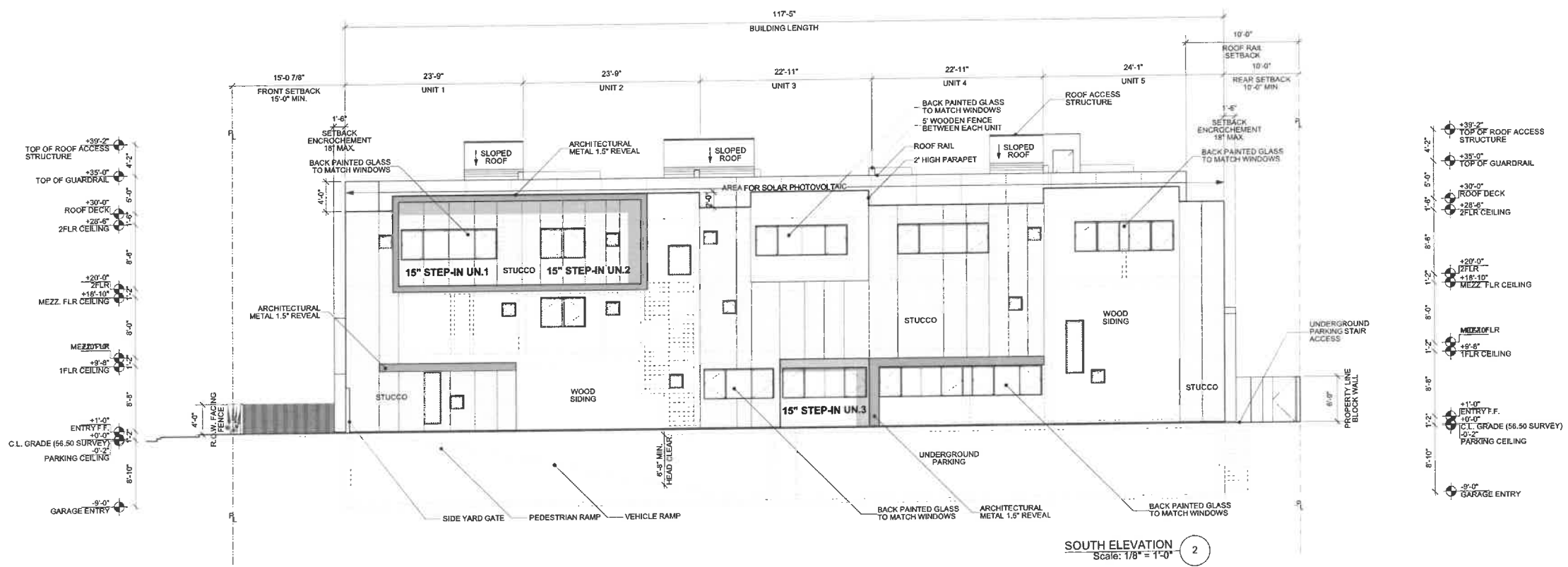


WEST ELEVATION
 Scale: 1/8" = 1'-0" 1

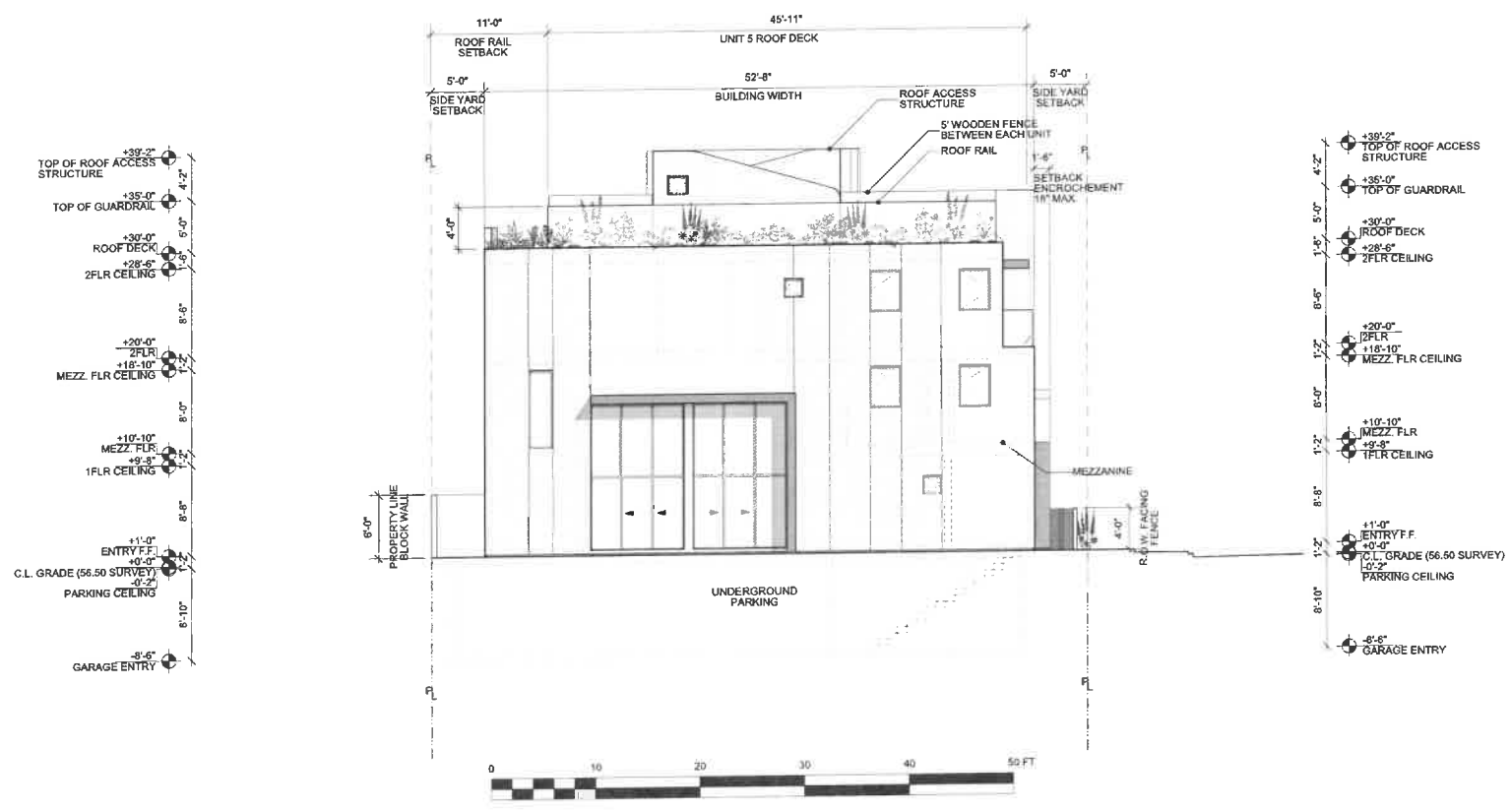


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EXTERIOR ELEVATIONS



SOUTH ELEVATION
 Scale: 1/8" = 1'-0" 2



EAST ELEVATION
 Scale: 1/8" = 1'-0" 1



ARCHITECT:
 ROBERT THIBODEAU
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 VENICE, CA 90291
 PH: 310.452.8161
 FX: 310.452.8171

OWNER:
 1485 PH LLC
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 NEW YORK, NY 10027
 PH: 917.566.6477

CONTRACTOR:

SOILS ENGINEER:
 HILLSIDE INSPECTIONS, INC.
 7622 GOODARD AVE
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 347 S ROBERTSON BLVD.
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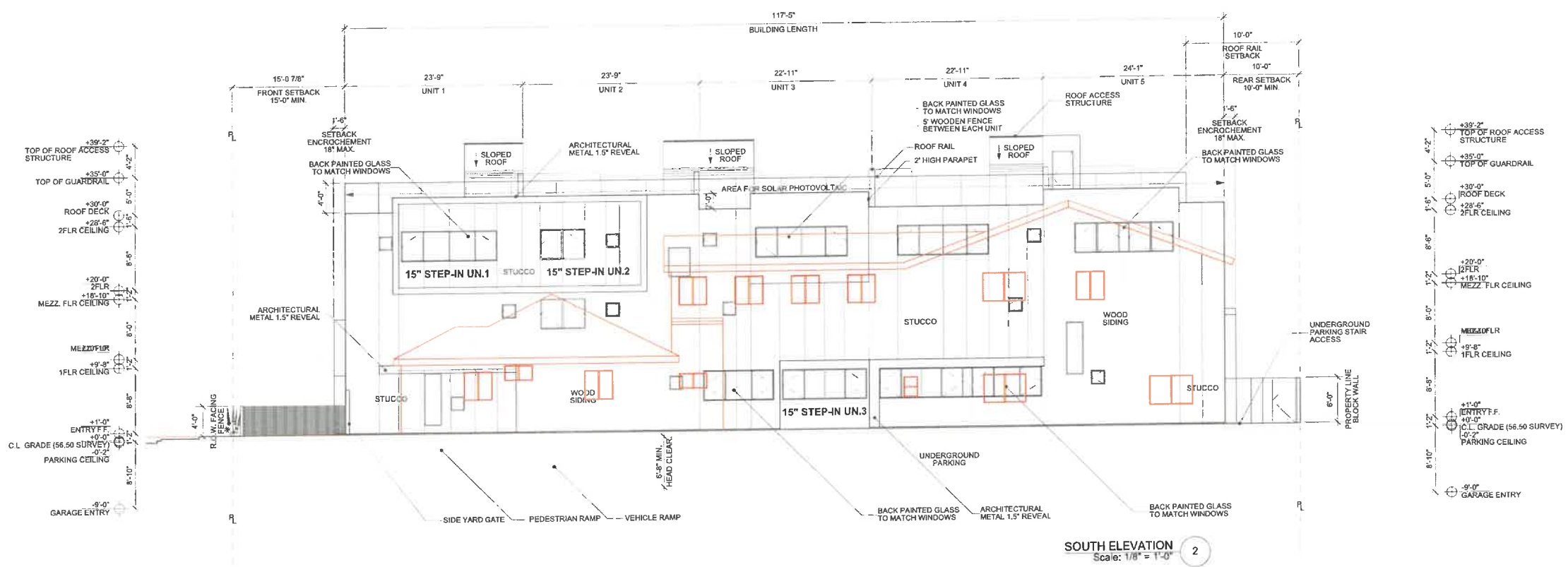
STRUCTURAL ENGINEER:
 KMS STRUCTURAL DESIGN ENGINEERING
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 834 17TH STREET UNIT 5
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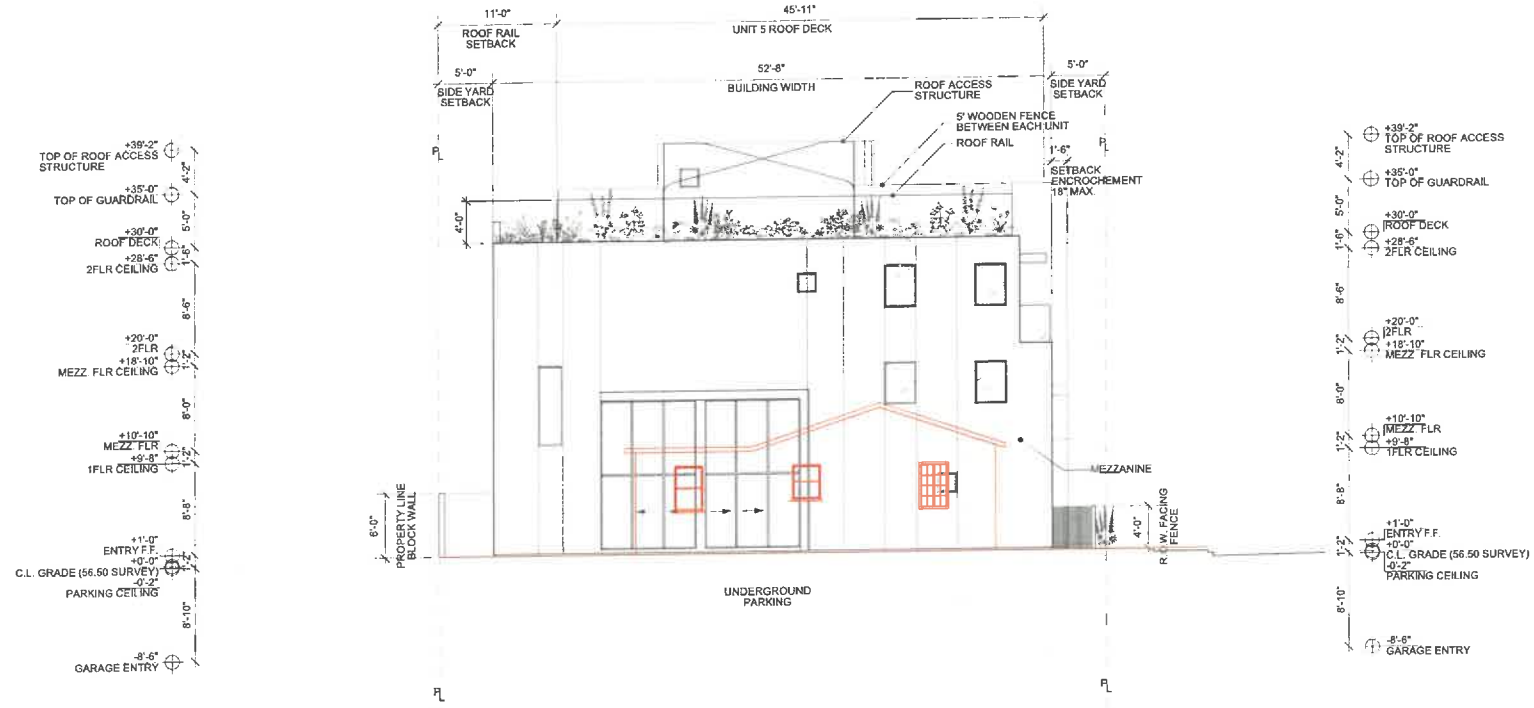
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NEIGHBORING WINDOW STUDY

DATE: 04/16/2019 DRAWN: SBD SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 Scale: 1/8" = 1'-0" 2



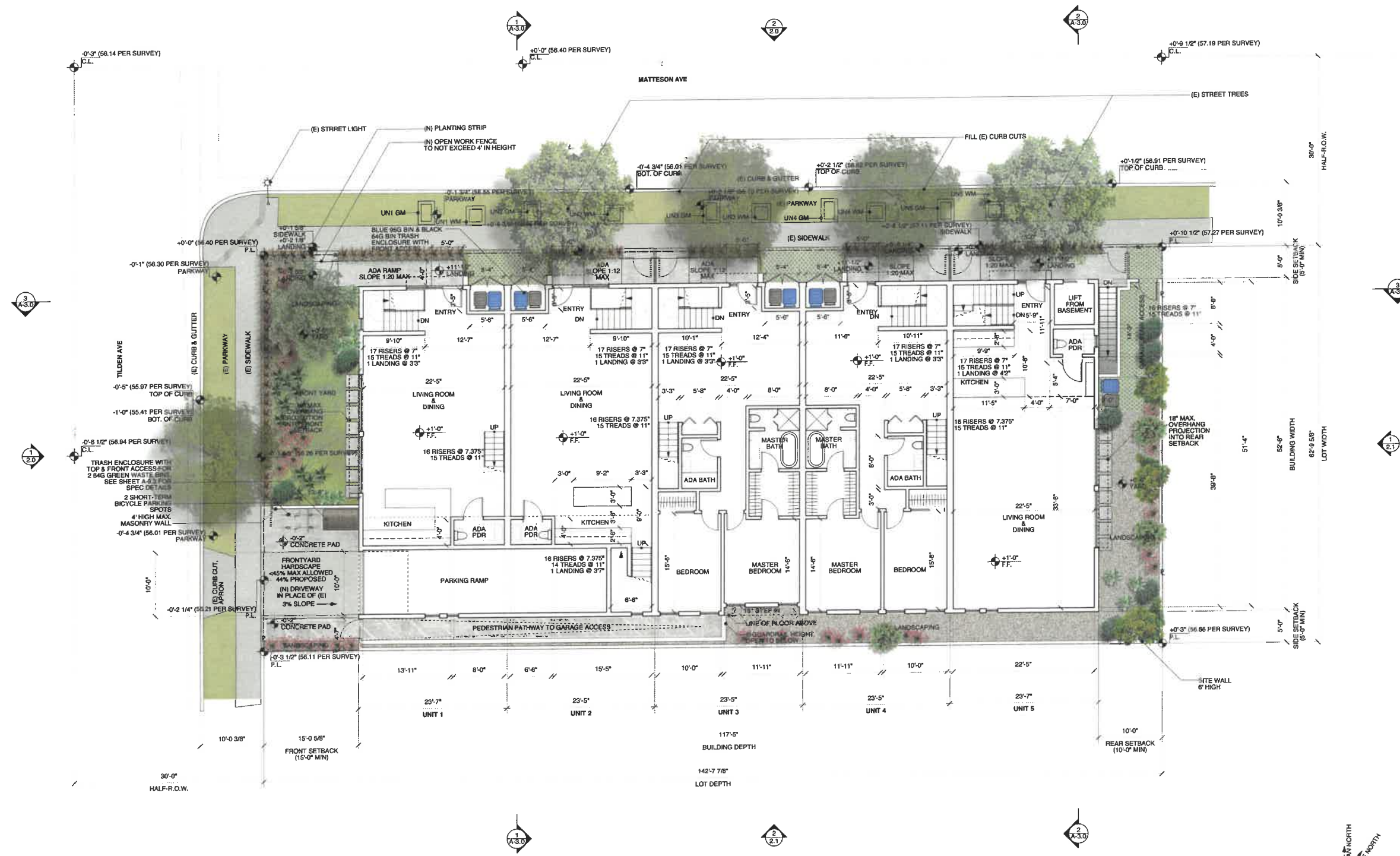
EAST ELEVATION
 Scale: 1/8" = 1'-0" 1



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COLORED SITE PLAN

DATE: 07/16/2020 DRAWN: SBD SCALE: NTS



NOTES
 ENVIRONMENTAL PROGRAMS AND OPERATIONS NOTES

- SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING SHALL BE PERFORMED EXCLUSIVELY BY THE CITY OR ITS AUTHORIZED AGENTS. THE CITY COUNCIL MAY REGULATE, BY ORDINANCE OR RESOLUTION, ALL ASPECTS OF SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING, INCLUDING BUT NOT LIMITED TO, FREQUENCY OF COLLECTION, MEANS OF COLLECTION AND TRANSPORTATION, LEVEL OF SERVICES, CHARGES, FEES, AND NATURE, LOCATION AND EXTENT OF PROVIDING SOLID WASTE HANDLING SERVICES.
- THE CITY OF CULVER CITY SHALL PROVIDE WASTE DISPOSAL AND RECYCLING SERVICES FOR ALL CONSTRUCTION AND DEMOLITION PROJECTS WITHIN CITY LIMITS IN ACCORDANCE WITH CULVER CITY MUNICIPAL CODE 5.01.010.
- AUTOMATED ORGANIC WASTE CARTS ARE THE RESPONSIBILITY OF THE TENANT(S) OR HOMEOWNER(S) TO ROLL OUT TO THE STREET DURING DESIGNATED TRASH COLLECTION DAYS.

ALL EXISTING DRIVEWAY APPROACHES WHICH WILL NO LONGER BE NECESSARY DUE TO THIS PROJECT SHALL BE REMOVED AND REPLACED WITH FULL HEIGHT SIDEWALK, PARKWAY, AND CURB AND GUTTER.
 IN COMPLIANCE WITH 17.320.035.C.1(d), TANDEM PARKING SPACES WILL ONLY BE ASSIGNED TO A SINGLE UNIT.

CONCEPTUAL SITE PLAN / GROUND FLOOR PLAN
 Scale: 1/8" = 1'-0"

A-9.0

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COLORED ELEVATIONS



NORTH ELEVATION
 Scale: 1/8" = 1'-0" 2



WEST ELEVATION
 Scale: 1/8" = 1'-0" 1

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COLORED ELEVATIONS



SOUTH ELEVATION
 Scale: 1/8" = 1'-0" 2



EAST ELEVATION
 Scale: 1/8" = 1'-0" 1

PROJECT:
3906 TILDEN
 CULVER CITY
 (N) 5-UNIT CONDOMINIUM

ARCHITECT:


DesignUniversal
 ARCHITECTURE AND DESIGN

ROBERT THIBODEAU
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 PH: 917.566.6477

CONTRACTOR:

SOILS ENGINEER:
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 347 S. ROBERTSON BLVD.
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 FX: 310.859.0845

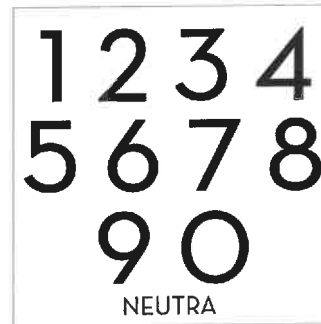
STRUCTURAL ENGINEER:
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 EMAIL: KMSSTRUCTURAL@AOL.COM

CIVIL ENGINEER:
 HARVEY A. GOODMAN CIVIL ENGINEER
 834 17TH STREET UNIT 5
 SANTA MONICA, CA 90403
 PH: 310.829.1937
 FX: 310.828.5062



Module	Height	Depth	Count	Notes
1-module	73 1/2"	36"	1	Open or recessed top
2-module	66 1/2"	36"	2	Open top
3-module	66 1/2"	54" (w/ 15")	3	Open top
4-module	66 1/2"	72" (w/ 15")	4	Open top
5-module	66 1/2"	90" (w/ 15")	5	Open top
6-module	66 1/2"	108" (w/ 15")	6	Open top

CITIBIN EXTRA-LARGE TRASH ENCLOSURE
 TRASH ENCLOSURE (FOR GREEN WASTE BINS ONLY)



BLACK METAL, NEUTRA STYLE
 UNIT ADDRESSES



PROJECT PERSPECTIVE 2

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MATERIALS SHEET

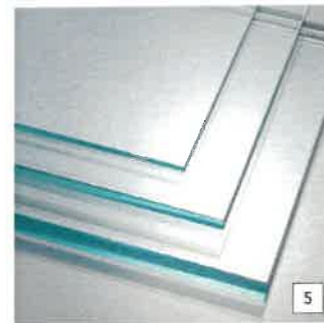
DATE: 07/16/2020
 DRAWN: SBD
 SCALE: NTS



PANTONE 7753 C
 FRONT DOORS & ROOF ACCESS DOORS



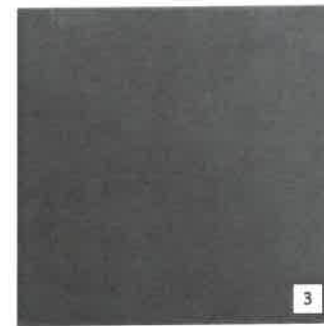
TEXTURED BLACK STUCCO PANELS
 PROPERTY LINE BLOCK WALL, ROOF STRUCTURES



SOLARBAN XL 70 / INSULATED GLASS
 WINDOWS, DOORS



SMOOTH NATURAL CONCRETE
 STAIRS, PAVERS, DRIVEWAY



NATURAL STEEL
 DOOR AND WINDOW FRAMES AND TRIMS



NATURAL STEEL
 OPEN WORK GROUND FLOOR FENCE



WESTERN RED CEDAR VERTICAL SIDING
 FACADE, ROOFTOP FENCE

MATERIALS 1

A-9.3

PROJECT:
3906 TILDEN
 CULVER CITY
 (N) 5-UNIT CONDOMINIUM

ARCHITECT:


DesignUniversal
 ARCHITECTURE AND DESIGN

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PHOTO SIMULATIONS

DATE: 07/16/2020 DRAWN: SBD SCALE: NTS



NORTH WEST FACING VIEW 4



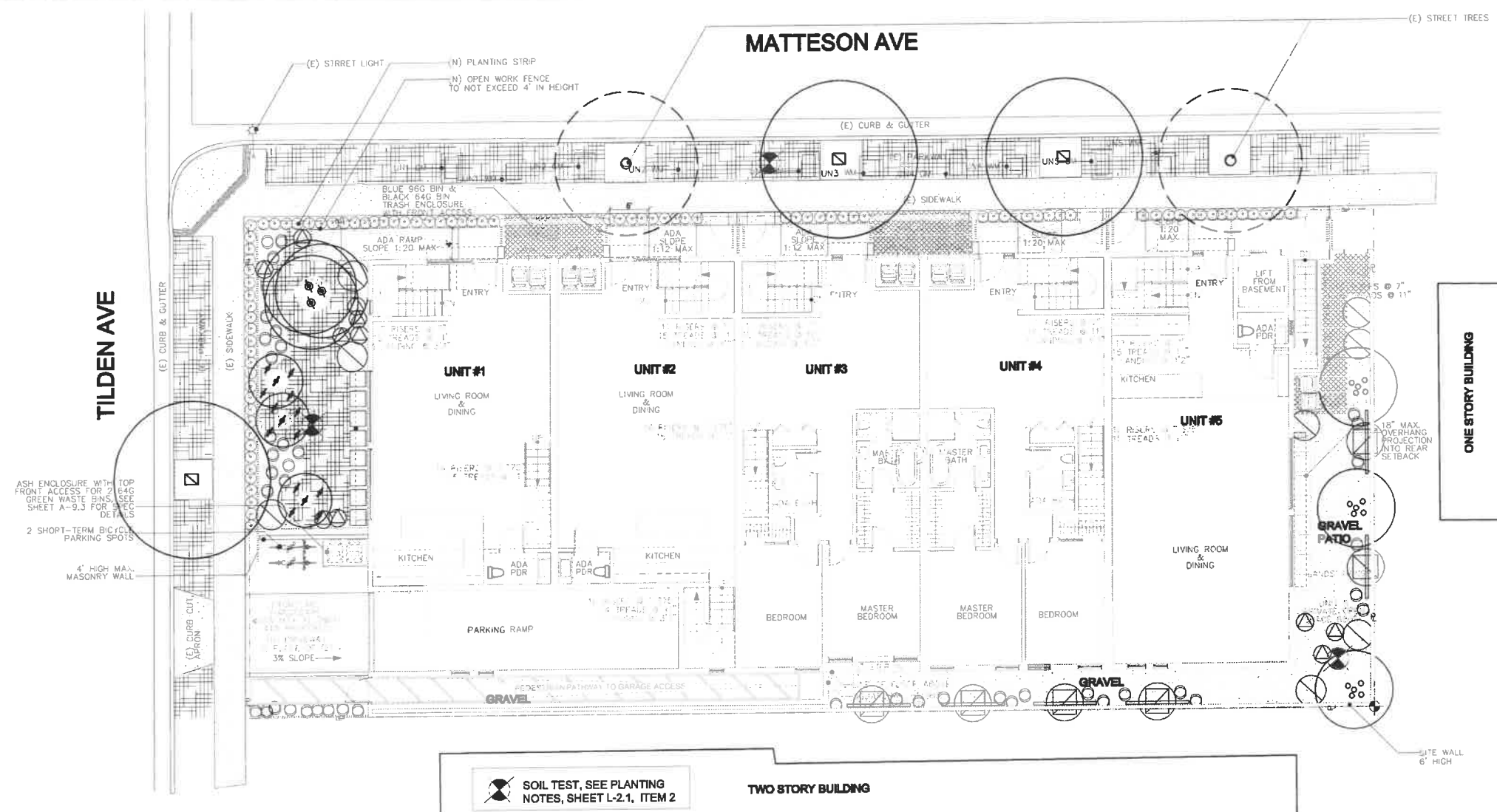
WEST FACING VIEW 2



NORTH EAST FACING VIEW 3

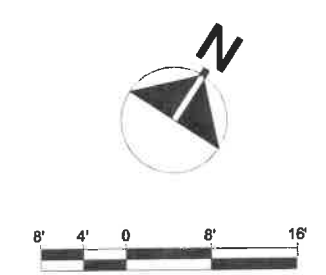


SOUTH WEST FACING VIEW 1



PLANT LEGEND

TREE	NAME	QTY	SIZE	NOTES	ETo ZONE	SHRUBS	NAME	QTY	SIZE	NOTES	ETo ZONE
	EXISTING (E) MAGNOLIA LOS ANGELES CITY STREET TREE TYPICAL	2	EXISTING	SINGLE TRUNK	H ESTABLISHED		ALOE PINK PERFECTION	9	5 GAL	EACH SYMBOL REPRESENT THREE PLANTS	L
	LAURUS NOBILIS SWEET BAY	3	15 GAL	SINGLE TRUNK	L		AGAVE ATTENUATA FOX TAIL	11	5 GAL		L
	LEPTOSPERMUM LAEVIGATUM TEA TREE	1	24" BOX	FREE FORM WHITE BLOOM	L		CALANDRINIA SPECTABILIS	36	1 GAL		L
	LOPHOSTEMON CONFERTUS BRISBANE BOX	2	24" BOX	SINGLE TRUNK DOUBLE STAKE	L		TECOMA CAPENSIS CAPE HONEYSUCKLE	6	15 GAL	SEE NOTE AND DETAIL FOR TRELIS SUPPORT	VL
							WESTRINGIA FRUTICOSA COAST ROSEMARY	7	5 GAL		L
						GC & VINES	NAME	QTY	SIZE	NOTES	ETo ZONE
							GAZANIA 'SILVER LEAK PINK'	-	FLAT	1,175 SQ FT TOTAL YELLOW IN PARKWAY, (780SQFT), ORANGE IN FRONT YARD	L
							GRAVEL			658 SQ FT	
							PHORMIUM JACK SPRATT	97	1 GAL		L
							GRASS CRETE W/ GRAVEL				



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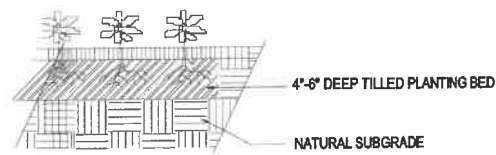
PLANTING PLAN

PROPOSED
5 UNITS CONDOMINIUM BUILDING
3906 TILDEN
CULVER CITY CA 90232

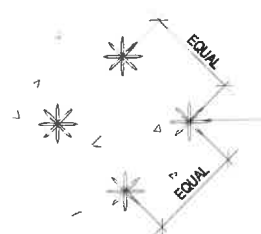
REVISION	DATE	BY

DATE: 07-16-2020
SCALE: 1/8" = 1'-0"
DRAWN BY: G.L.
SHEET:

L-2.0
4 OF 6 SHEETS



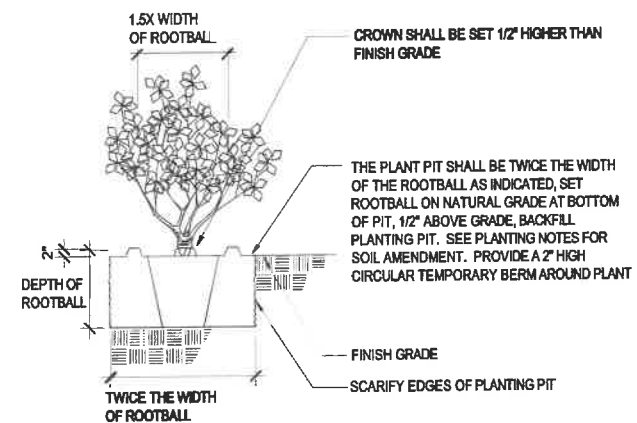
SECTION



PLAN

4'-6" DEEP TILLED PLANTING BED
NATURAL SUBGRADE
GROUND COVER PLANTS
PLANT GAZANIAS 8'-10" O.C.

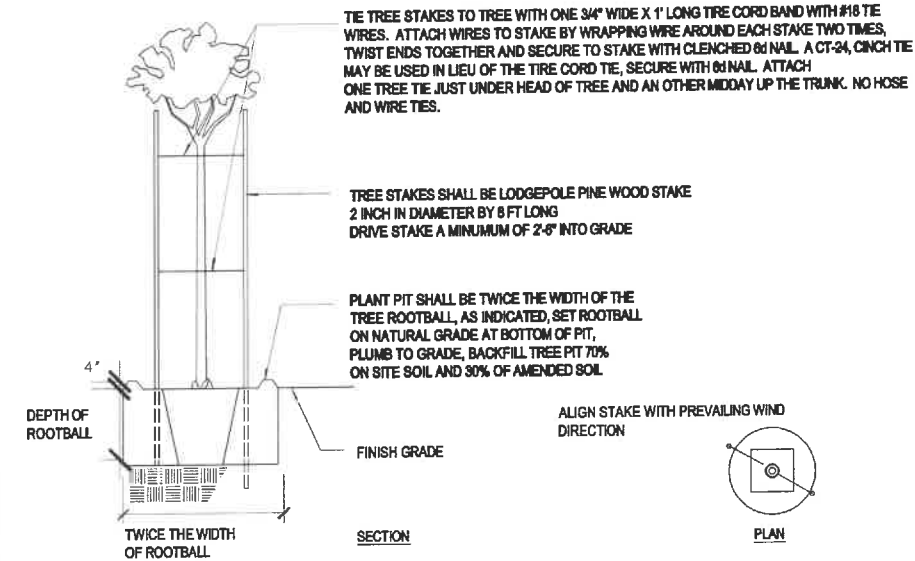
GROUND COVER NTS



SECTION

1.5X WIDTH OF ROOTBALL
CROWN SHALL BE SET 1/2" HIGHER THAN FINISH GRADE
THE PLANT PIT SHALL BE TWICE THE WIDTH OF THE ROOTBALL AS INDICATED, SET ROOTBALL ON NATURAL GRADE AT BOTTOM OF PIT, 1/2" ABOVE GRADE, BACKFILL PLANTING PIT. SEE PLANTING NOTES FOR SOIL AMENDMENT. PROVIDE A 2" HIGH CIRCULAR TEMPORARY BERM AROUND PLANT
DEPTH OF ROOTBALL
FINISH GRADE
SCARIFY EDGES OF PLANTING PIT
TWICE THE WIDTH OF ROOTBALL

SHRUB PLANTING NTS

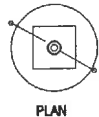


TIE TREE STAKES TO TREE WITH ONE 3/4" WIDE X 1' LONG TIRE CORD BAND WITH #16 TIE WIRES. ATTACH WIRES TO STAKE BY WRAPPING WIRE AROUND EACH STAKE TWO TIMES, TWIST ENDS TOGETHER AND SECURE TO STAKE WITH CLENCHED 6d NAIL. A CT-24, CINCH TIE MAY BE USED IN LIEU OF THE TIRE CORD TIE, SECURE WITH 6d NAIL. ATTACH ONE TREE TIE JUST UNDER HEAD OF TREE AND AN OTHER MIDDAY UP THE TRUNK. NO HOSE AND WIRE TIES.

TREE STAKES SHALL BE LODGEPOLE PINE WOOD STAKE 2 INCH IN DIAMETER BY 6 FT LONG DRIVE STAKE A MINIMUM OF 2'-6" INTO GRADE

PLANT PIT SHALL BE TWICE THE WIDTH OF THE TREE ROOTBALL, AS INDICATED, SET ROOTBALL ON NATURAL GRADE AT BOTTOM OF PIT, PLUMB TO GRADE, BACKFILL TREE PIT 70% ON SITE SOIL AND 30% OF AMENDED SOIL

ALIGN STAKE WITH PREVAILING WIND DIRECTION



PLAN

TREE PLANTING & DOUBLE STAKING DETAIL NTS

GENERAL LANDSCAPE NOTES

- SUBMITTALS:** MINIMUM 3 WEEKS PRIOR TO START OF WORK, CONTRACTOR SHALL SUBMIT TO PROJECT MANAGER THREE (3) COPIES OF CATALOG CUTS AND TECHNICAL SPECIFICATIONS FOR ALL MATERIALS PROPOSED FOR USE ON THIS JOB. PROPOSED MATERIALS SUBSTITUTIONS SHALL BE APPROVED BY PROJECT MANAGER BEFORE BRINGING TO SITE. SUBMIT SOURCE OF ANY IMPORT SOIL AND PROVIDE CURRENT AGRONOMIC SOIL TEST OF THE SOIL FOR REVIEW & APPROVAL OF PROJECT MANAGER. RESUBMIT ANY REJECTED SUBMITTALS UNTIL APPROVED BY PROJECT MANAGER.
- PLANT SUBMITTALS:** SUBMIT NAME OF NURSERY AND COLOR PHOTOGRAPH OF PLANT MATERIALS 15 GALLON SIZE AND GREATER WITH PERSON SHOWN IN PHOTO FOR SCALE. TREES SHALL BE LOCATED AT THEIR NURSERY SOURCES AND CONTRACTOR SHALL NOTIFY PROJECT MANAGER A MINIMUM OF 72 HOURS IN ADVANCE FOR PROJECT MANAGER TO INSPECT AND TAG TREES AT THE SOURCE.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND SKILLED WORKERS SUFFICIENT TO COMPLETE THE WORK IN THESE DRAWINGS. CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH ALL AFFECTED TRADES. CONTRACTOR SHALL VERIFY ALL SCALED DIMENSIONS AND QUANTITIES PRIOR TO START OF WORK AND INFORM PROJECT MANAGER OF ANY DISCREPANCIES BETWEEN THE CONTRACT DRAWINGS AND THE SITE CONDITIONS PRIOR TO STARTING WORK. DO NOT WORK IN AREAS WHERE DISCREPANCIES ARE NOTED UNTIL FURTHER INSTRUCTION BY PROJECT MANAGER. ALL WORK SHALL COMPLY WITH CURRENT APPLICABLE CODES AND REGULATIONS.**
- MAINTENANCE AND GUARANTEES:** UPON COMPLETION OF OWNER-ACCEPTANCE OF WORK, CONTRACTOR SHALL PERFORM ALL MAINTENANCE FOR 60 DAYS, DURING WHICH TIME CONTRACTOR WILL GUARANTEE ALL SHRUBS AND GROUNDCOVERS. ALL TREES WILL BE GUARANTEED FOR 1 YEAR.
- INSPECTIONS:** NOTIFY 72 HOURS IN ADVANCE FOR ALL WALK-THROUGHS IN ORDER TO HAVE WORK APPROVED.
- DELIVERIES AND STORAGE:** DELIVER MATERIALS TO THE SITE IN ORIGINAL MANUFACTURERS CONTAINERS WITH LABELS INTACT AND LEGIBLE. STORE MATERIALS AT JOB-SITE AT LOCATION APPROVED BY OWNER OR PROJECT MANAGER. REMOVE DAMAGED MATERIALS FROM THE JOB SITE AND PROMPTLY REPLACE AT NO ADDED COST TO OWNER. DO NOT DELIVER PLANT MATERIALS TO THE SITE UNTIL THE APPROVED DAY OF PLANTING. ALL PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY.
- PROTECTION:** FOR STREET TREE PROTECTION. PROTECT EXISTING STREET TREES, PLANT MATERIALS, STRUCTURES, AND UTILITIES UNLESS SPECIFICALLY DIRECTED IN THE CONTRACT DOCUMENTS OR BY AUTHORITY OF THE OWNER. IF DIRECTED TO DO SO, CONTRACTOR SHALL ERECT TEMPORARY FENCING AROUND EXISTING STREET TREES TO REMAIN.

PLANTING NOTES

- ROUGH GRADING:** BRING PLANTING AREAS TO WITHIN 1/10TH OF FINISH GRADES BEFORE STARTING SOIL CONDITIONING OPERATIONS. CULTIVATE ALL PLANTING AREAS TO A FINELY DIVIDED CONDITION TO MINIMUM DEPTH OF 6" OR MORE BELOW FINISH GRADE. REMOVE FROM SITE ALL WEEDS AND STONES OVER 1" IN SIZE. DO NOT WORK SOIL WHEN EITHER TOO WET OR TOO DRY.
- SOIL TESTS:** PRIOR TO START OF PLANTING ACTIVITIES CONTRACTOR SHALL TAKE SOIL SAMPLES. SEE L-2.0 FOR LOCATIONS. FOR EACH SAMPLE TAKE TWO SCOOPS OR SOIL AT 6" AND 12" DEPTHS. BLEND THE TWO SCOOPS INTO A SINGLE ZIP-LOCK PLASTIC BAG. REPEAT PROCEDURE AT EACH LOCATION. FOR MORE INFORMATION ON HOW TO TAKE SOIL TESTS SEE WWW.BETTERSOILS.COM. SUBMIT THE BAGS TO WALLACE LABS IN EL SEGUNDO (310-615-0118) FOR AGRICULTURAL SUITABILITY TESTING AND RECOMMENDATIONS. THE BAGS SHALL BE CLEARLY LABELED WITH DATE OF EXTRACTION AND EXACT LOCATION ON SITE. SEND SAMPLES WITH LEGIBLE COPY OF PLANTING PLAN AND LEGEND TO THE LABORATORY. SUBMIT LAB'S REPORT AND RECOMMENDATIONS TO PROJECT MANAGER FOR REVIEW AND POSSIBLE REVISIONS TO PLANTING PLAN. CONTRACTOR SHALL PAY FOR ALL SOILS TESTING AND REPORTS REQUIRED FOR THE LANDSCAPE INSTALLATION.
- SOIL CONDITIONING:** CONDITION SOIL TO MINIMUM DEPTH OF 6" (OR AS REQUIRED BY THE SOIL LAB RECOMMENDATIONS). USE THE SOIL CONDITIONING MATERIALS RECOMMENDED BY THE SOIL LAB. IF ADDITIONAL AMENDMENTS ARE REQUIRED PER THE SOIL LAB, CONTRACTOR SHALL PAY FOR AND APPLY THEM. WATER SOIL AFTER SOIL CONDITIONING AND ALLOW TO SETTLE. WHEN SOIL HAS DRIED TO WORKABLE CONDITION, REGRADE, RAKE AND SMOOTH TO FINISH GRADES.
- FINISH GRADE SHALL BE SMOOTH, UNIFORM, AND FREE OF ABRUPT GRADE CHANGES AND DEPRESSIONS TO INSURE PROPER DRAINAGE. FINISH GRADE BELOW ADJACENT PAVING SHALL BE 2" IN SHRUB AREA. ENSURE PROPER SITE DRAINAGE. SURFACE DRAINAGE SHALL BE AWAY FROM ALL BUILDING FOUNDATIONS AT MINIMUM OF 2%.**
- WEED CONTROL:** CONTRACTOR SHALL GERMINATE AND DESTROY EXISTING WEED SEEDS IN ALL PLANTING AREAS PRIOR TO START OF PLANTING OPERATIONS.
- PLANTING:** PLANTING OPERATIONS MAY BEGIN AFTER IRRIGATION SYSTEM IS FULLY OPERATIONAL AND ITEMS 1. THROUGH 5. ABOVE ARE COMPLETED AND APPROVED. CONTRACTOR SHALL ARRANGE 72 HOURS IN ADVANCE OF DELIVERY OF PLANT MATERIALS TO THE SITE FOR PROJECT MANAGER TO APPROVE MATERIALS UPON DELIVERY TO SITE. PLANT LOCATIONS ON DRAWINGS ARE APPROXIMATE AND MAY BE RE-SPOTTED BY THE PROJECT MANAGER PRIOR TO PLANTING. PLANTING HOLES SHALL BE SLIGHTLY SHALLOWER THAN THE DEPTH OF THE ROOTBALL AND TWICE AS WIDE. REPLACE ANY PLANTS HAVING A BROKEN OR CRACKED ROOTBALL. CONTAINER PLANTS SHALL BE BACKFILLED WITH 70% CONDITIONED SITE SOIL (SEE SOIL TEST REPORT) AND 30% NITROLIZED WOOD COMPOST, WATER SETTLE IMMEDIATELY AFTER PLANTING. FORM WATERING BASIN SLIGHTLY LARGER THAN EACH PLANTING HOLE: 4" HIGH FOR TREES AND 2" HIGH FOR SHRUBS. AFTER PLANTING, PLANTS SHALL BE PLUMB WITH THE ROOT CROWN AT ITS NATURAL DEPTH WITH RESPECT TO FINISH GRADE. FOR ROOF TOP SOIL CONTAINER USE LIGHT WEIGHT SOIL, DO NOT USE RECYCLED SITE SOIL.
- TREE PLANTING:** TREES PLANTED NEXT TO CONCRETE OR CURBS SHALL BE MINIMUM 36" CLEAR FROM CURB FACE UNLESS OTHERWISE NOTED. A 24" DEEP ROOT BARRIERS SHALL BE INSTALLED ALONG CURB FACE OR CONCRETE PATHWAY WHEN TREES ARE PLANTED CLOSER THAN 36" TO THE ANY CONCRETE WORK.
- GROUND COVER PLANTING:** CONTRACTOR SHALL PLANT GROUNDCOVERS IN ALL PLANTING AREAS INDICATED ON PLAN AS WELL AS UNDER SHRUBS.
- MULCH:** CONTRACTOR SHALL INSTALL 3" DEPTH SHREDDED BARK MULCH IN ALL PLANTING AREAS. SUBMIT MATERIAL SAMPLE AND OBTAIN PROJECT MANAGER APPROVAL'S PRIOR TO INSTALLING.
- MAINTENANCE:** MAINTENANCE OPERATIONS INCLUDE THE IRRIGATION SYSTEM, WEEDING, TRIMMING, EDGING, RODENT CONTROL, PLANT REPLACEMENTS, FERTILIZING, AND ANY OPERATIONS NEEDED TO ASSURE NORMAL PLANT GROWTH INCLUDED POSSIBLE HAND WATERING DURING ESTABLISHMENT PERIOD. CONTRACTOR SHALL APPLY FERTILIZER USING TYPE AND RATE RECOMMENDED BY SOIL LAB.
- CONTRACTOR SHALL GUARANTEE ALL SHRUBS AND GROUND COVER MATERIALS FOR 60 DAYS OR FOR DURATION OF MAINTENANCE PERIOD AND ONE YEAR GUARANTEE FOR ALL TREES STARTING AFTER MAINTENANCE PERIOD AND SIGN OFF BY OWNER.**

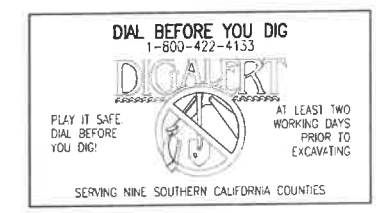
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818 507 8968

PLANTING DETAILS & NOTES

PROPOSED
5 UNITS CONDOMINIUM BUILDING
3906 TILDEN
CULVER CITY CA 90232

REVISION	DATE	BY

DATE: 07-15-2020
SCALE: 1/8" = 1'-0"
DRAWN BY: G.L.
SHEET:



L-2.1
5 OF 6 SHEETS

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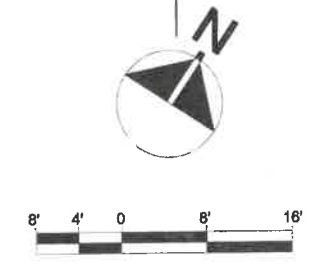
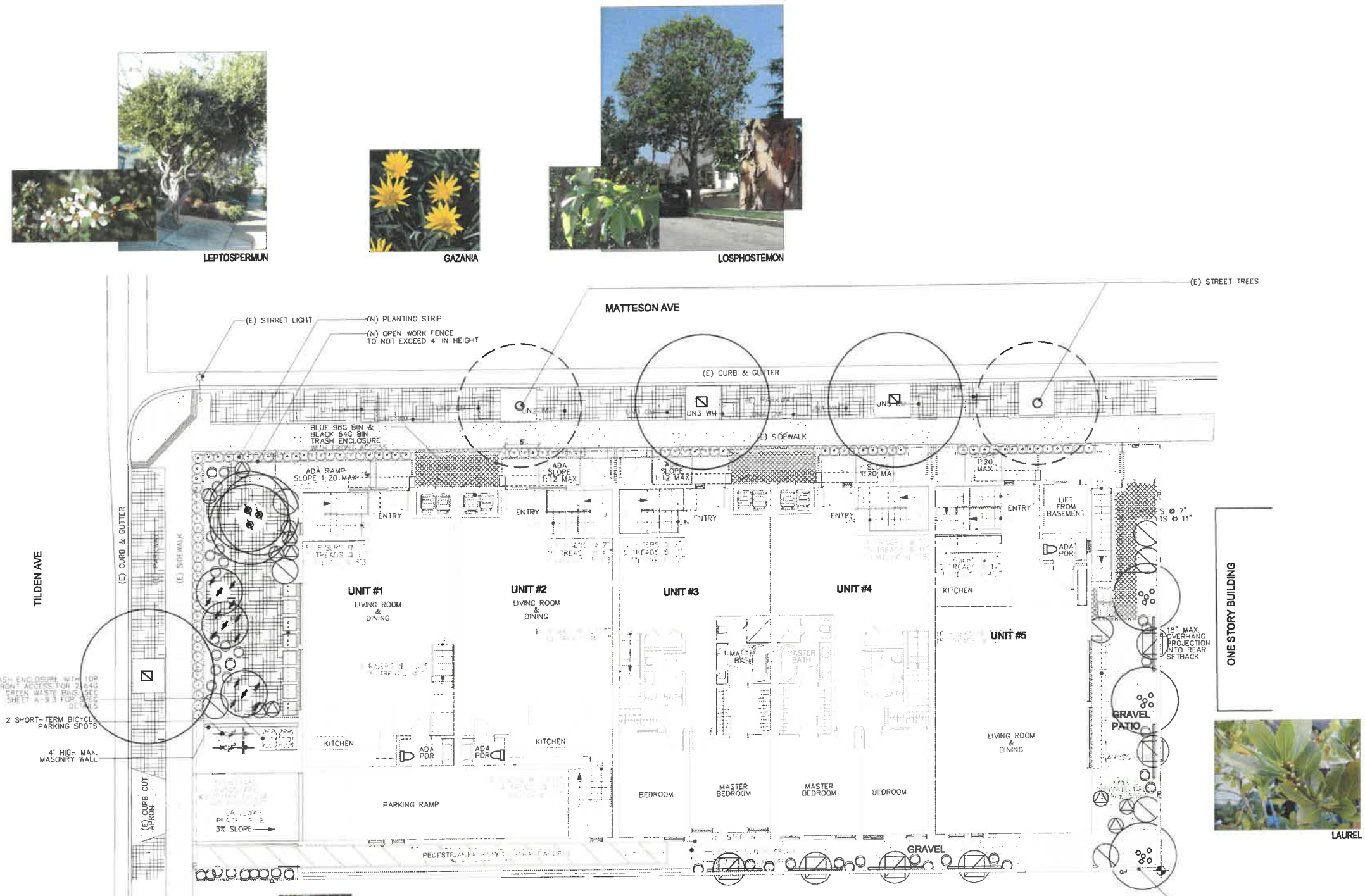
**PLANTING
 CONCEPT**

**PROPOSED
 5 UNITS CONDOMINIUM BUILDING
 3906 TILDEN
 CULVER CITY CA 90232**

REVISION	DATE	BY

DATE: 07-15-2020
 SCALE: 1/8" = 1'-0"
 DRAWN BY: GL
 SHEET:

PC-1.0



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 AT LEAST TWO
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 PRIOR TO
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 SERVING NINE SOUTHERN CALIFORNIA COUNTIES

ROOF
 PLANTING

PROPOSED
 5 UNITS CONDOMINIUM BUILDING
 3906 TILDEN
 CULVER CITY CA 90232

REVISION	DATE	BY

DATE: 07-15-2020

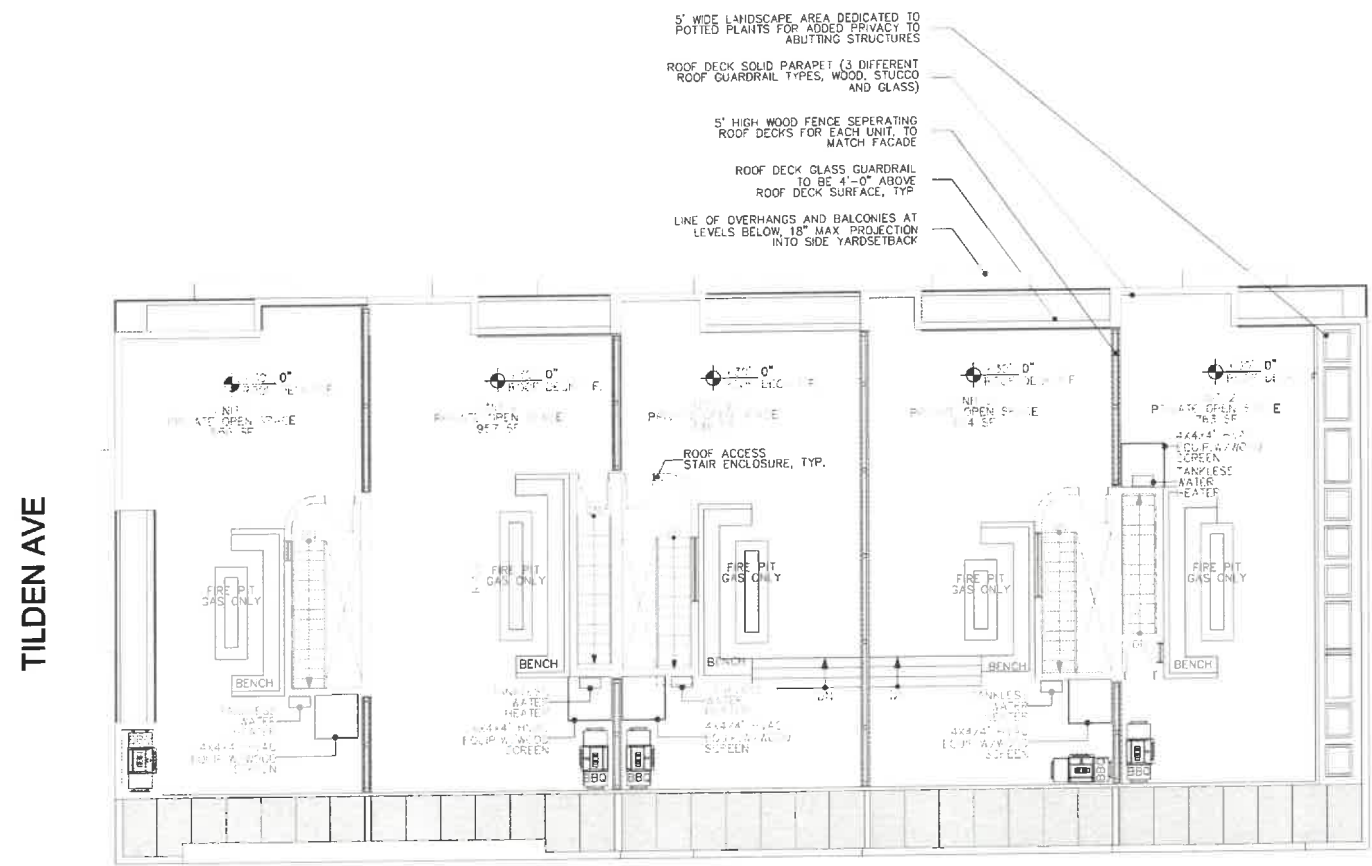
SCALE: 1/8" = 1'-0"

DRAWN BY: G.L.

SHEET:

RP-3.0

6 OF 8 SHEETS



KALANCHOE LUCIA



AGAVE 'OCTOPUS'



ALOE STRIATA



BULBINE



EUPHORBIA TIRUCALLI



FURCREAE



HESPERALOE



GRAPTOPETULUM



SENECIO





GRAPTOPETULUM



KALANCHOE BEHARENSIS

POT LEGEND:
 SELECTION FROM TOURNESOL SITEWORKS CATALOG OR EQUAL
 SQ FT PER CONTAINER SELECTION

-  MODEL UR-603030 OR 8.30 SQFT & 25.5 CY
-  MODEL UR-363030 OR 7.5 SQFT & 15 CY




COLORS SUGGESTED OR EQUAL: 'LEAF', ROYAL CARIBBEAN, 'CANARY', AND 'MANDARIN COPPER'

SOIL:
 USE LIGHT WEIGHT SOIL
 SEE PLANTING NOTES L-2.1

IRRIGATION:
 ALL THE POTS WILL BE HAND WATERED USING THE TOURNESOL SITE WORKS IRRIGATION TECHNOLOGY.
 RECTANGLES/MATCHING IRRIGATION: UR-603030 CWM R1614-2K, UR-363030 CWM R2020-2K


ROOF POT DESIGN
 16 MODEL UR-603030 225 SQFT
 16 MODEL UR-363030 112.5 SQFT
 TOTAL ROOF LANDSCAPE 337.5 SQFT

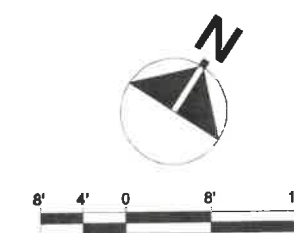
UR 603030
 POT PLANTING SCHEDULE AND OPTIONS:

- OPTION A**
 7 1GAL BULBINE PER PLANTER
- OPTION B**
 5-5GAL HESPERALOE PARVIFLORA
 RED YUCCA
- OPTION C**
 1-5GAL KALANCHOE BEHARENSIS
 FELT PLANT
 1-5GAL HESPERALOE PARVIFLORA
 RED YUCCA
 4-1 GAL SENECIO SERPENS

ALTERNATE OPTIONS FOR BETTER RESULT

UR 363030
 POT PLANTING SCHEDULE AND OPTIONS:

- OPTION A**
 1-5GAL EUPHORBIA TIRUCALLI
 'FIRE STICKS'
 1-5GAL ALOE STRIATA
 1-1 GAL OSCULERIA
- OPTION B**
 1-5GAL FURCREAE FOETIDA
 MAURITIUS HEMP
 2-1GAL OSCULERIA
- OPTION C**
 1-5GAL AGAVE VILMORIANA OCTOPUS AGAVE
 1-2GAL KALANCHOE LUCIA
 2-1 GAL GRAPTOPETALUM PARAGUAYENSE 'PINKY'



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