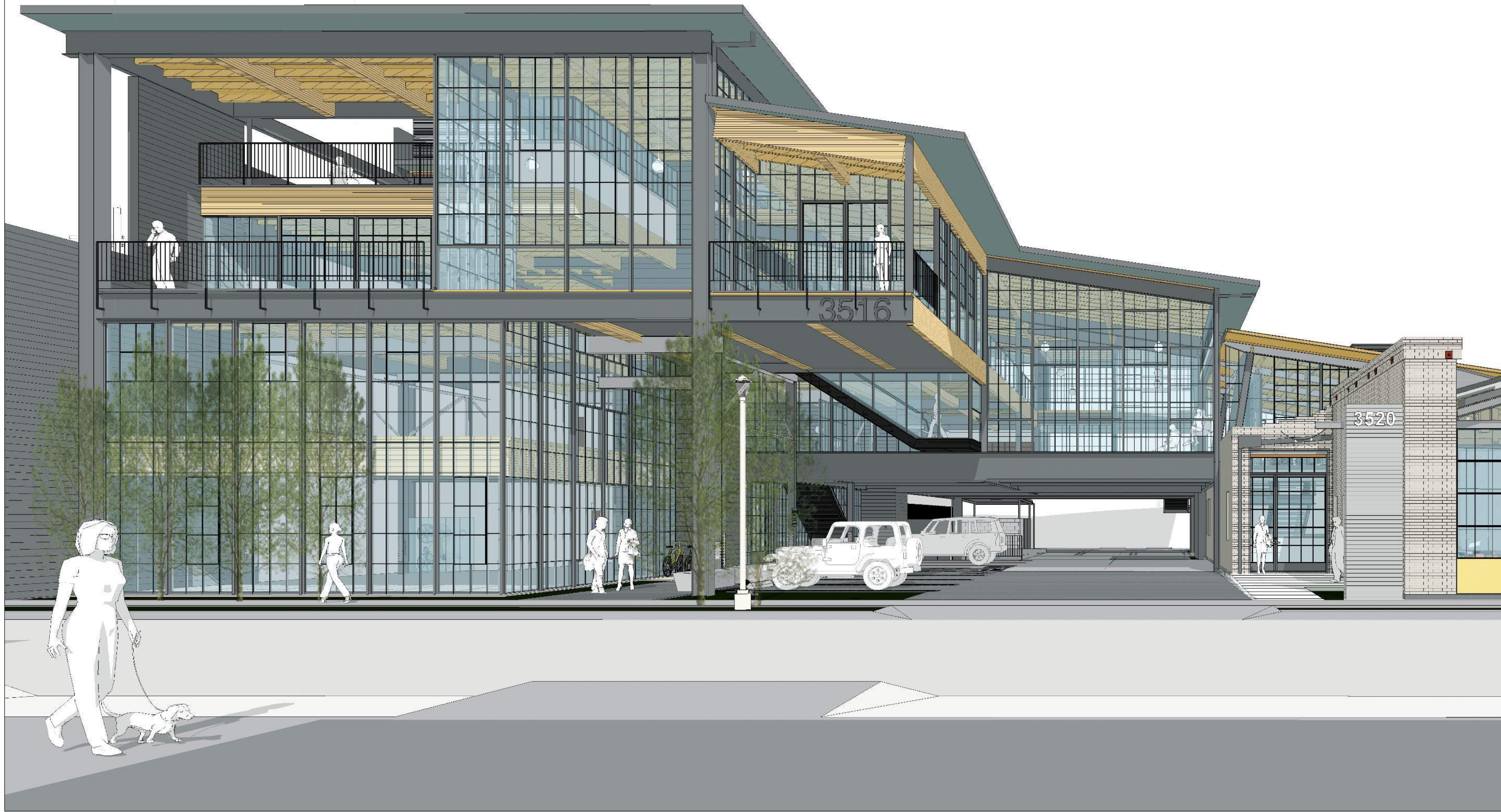


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# SCHAEFER 3516

## CORE & SHELL

### PERMIT SET

#### SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET  
CULVER CITY, CA 90232

#### OWNER:

**REDCAR PROPERTIES LTD**  
2341 MICHIGAN AVE  
SANTA MONICA, CA 90404

#### ARCHITECT:



**RAC**  
3048 N COOLIDGE AVE  
LOS ANGELES, CA 90039  
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CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED  
IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

#### CONSULTANTS:

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LANDSCAPE ARCHITECT  
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CIVIL ENGINEER  
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213.418.0200

#### SEALS OR APPROVALS

#### ISSUE & REVISION RECORD:

ISSUE	DATE	REV

#### DRAWING TITLE:

**COVER**

SCALE AT ARCH D (24 x 36):

DRAWN  
BY: **RAC**

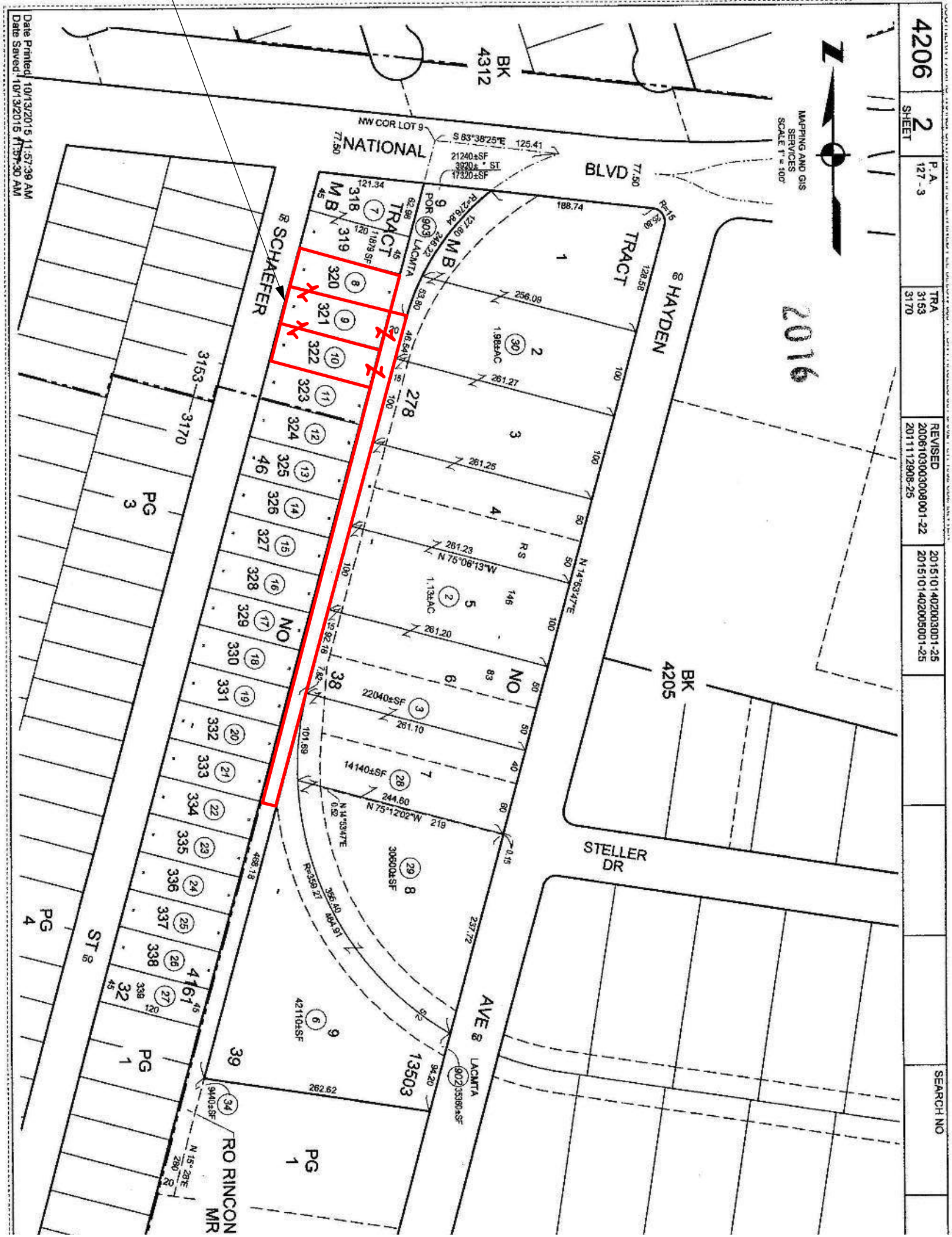
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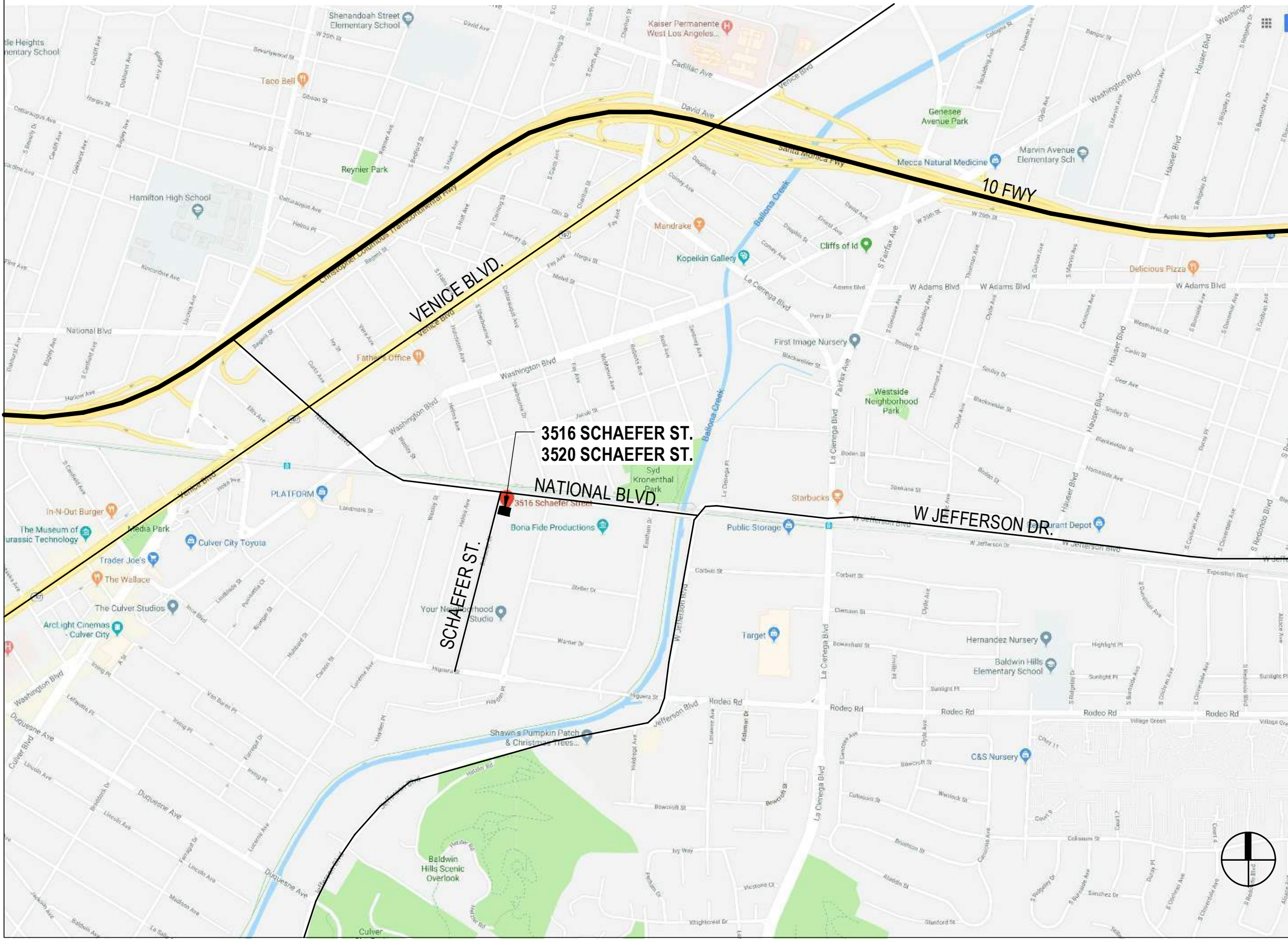


ASSESSOR'S MAP

PROJECT LOCATION



VICINITY MAP



DESCRIPTION OF WORK

1. REINFORCEMENT OF EXISTING CRANEWAY BUILDING ON LOT 320.
2. DEMOLITION OF EXISTING BUILDING ON LOT 321; 2,963 SF OF EXISTING BUILDING TO BE REALLOCATED AS NEW BUILDING SF.
3. DEMOLITION OF +/- 45 LF OF GUARDRAIL TO BE REMOVED ALONG THE NORTH ELEVATION OF EXISTING BUILDING 3520 SCHAEFER LOT 322 (SCH I).
4. 3520 SCHAEFER LOT 322 (SCH II), 135 SF OF NORTH DECK TO BE ENCLOSED AS INTERIOR SPACE TO JOIN WITH 3516 SCHAEFER BUILDING ADDITION.
5. NEW BUILDING ADDITION TO EXISTING 3520 SCHAEFER LOT 322 (SCH I); THREE STORIES PLUS MEZZANINE, TYPE V-B SPRINKLERED ON LOT 321 AND LOT 320 (SCH II).
6. NEW FIRE SPRINKLER SYSTEM FOR 3520 SCHAEFER LOT322 (SCH II).
7. NEW PAVING AND PARKING STRIPING. TANDEM PARKING SUBJECT TO ADMINISTRATIVE USE PERMIT.
8. NEW OPEN PARKING STACKERS SUBJECT TO PLANNING COMMISSION APPROVAL.
9. NEW SITE LANDSCAPING
10. SITE PLAN REVIEW DEFERRED TO PLANNING COMMISSION BASED ON DIRECTOR DETERMINATION

PARKING SUMMARY

**(0) PARKING STALLS REQUIRED FOR (E) 3520 SCHAEFER**  
**SEE PERMIT# B16-0850**

**(0) EXISTING PARKING STALLS** UNDER PERMIT # A-995, A-2535, A-2871, AND 37115  
**REFER TO SHEETS R001, R002 & A010 FOR HISTORIC PERMIT(S)**

EXISTING AREA = 7,501 SF  
CHANGE OF USE = 7,501 (1/350) = 21 STALLS **CREDIT**

BUILDING ADDITION AREA  
16,950 SF (1/350) = **(27) PARKING STALLS REQUIRED PER SECTION 17.320 TITLE 17 CCMC**

**PROVIDED PARKING STALLS INCLUDE:**  
(2) ADA VAN WITH LOADING  
(16) PARKING STACKER  
(9) OFF STREET, ON GRADE PARKING

**(27) TOTAL PARKING STALLS PROVIDED & REQUIRED**

**\*\*REFER TO CHANGE OF USE PARKING BASIS AND REQUIRED PARKING CALCULATIONS DIAGRAM ON SHEET A110\*\***

PLUMBING SUMMARY

**(2) UNISEX SINGLE ACCOMMODATION FACILITIES PROVIDED, (1) REQUIRED, FOR (E) 3520 SCHAEFER**  
**SEE PERMIT# B16-0850**

**NEW**  
**B OCCUPANCY -**  
(PER TABLE A, CPC CH 4 TABLE 4-1. GROUP B OCCUPANCY)

SERVED AREA = 16,950 SF / 200 = 85 OCCUPANTS (43 MALE, 42 FEMALE)

(6) UNISEX SINGLE ACCOMMODATION FACILITIES PROVIDED PER CPC SEC 422.2 SEPARATE FACILITIES, EXCEP. 3

**WC:** 1-50 **M** = 1 REQ'D, 2 PROV.  
31-50 **F** = 3 REQ'D, 3 PROV.

**LAV:** 1-75 **M** = 1 REQ'D, 2 PROV.  
1-50 **F** = 1 REQ'D, 3 PROV.

**URINAL:** 1-100 **M** = 1 REQ'D, 1 PROV.

NOTE: THREE (3) SINGLE OCCUPANT USE WOMENS RESTROOMS PROVIDED. ONE (1) SINGLE OCCUPANT USE MENS RESTROOMS PROVIDED. ONE (1) ADDITIONAL SINGLE OCCUPANT SHARED FACILITY IS PROVIDED FOR TENANT CONVENIENCE.

TYPE OF CONSTRUCTION

EXISTING: IIB, UNSPRINKLERED  
PROPOSED: VB, SPRINKLERED

OCCUPANCY & USE

**EXISTING**  
F2 OCC - FACTORY MODERATE-HAZARD USE

**NEW CHANGE OF USE**  
B OCC - CREATIVE OFFICE

OCCUPANT LOAD \*\*REFER TO SHEET A010\*\*

<b>3516 DESIGN OCCUPANCY</b>	
GARAGE / COVERED AREA	28 OCCUPANTS
FIRST FLOOR	24 OCCUPANTS
SECOND FLOOR	71 OCCUPANTS
THIRD FLOOR	72 OCCUPANTS
THIRD FLOOR MEZZ=	27 OCCUPANTS
	222 OCCUPANTS

**3520 DESIGN OCCUPANCY (NO CHANGE)**

FIRST FLOOR	45 OCCUPANTS
SECOND FLOOR	28 OCCUPANTS
	73 OCCUPANTS

APPLICABLE CODES

TITLE 19  
TITLE 24  
TITLE 24  
TITLE 24  
TITLE 24  
TITLE 24  
TITLE 24  
TITLE 24  
TITLE 24  
TITLE 24  
TITLE 24  
2016 NFPA 72  
2016 NFPA 13  
CCMC TITLE 17  
  
CCMC  
TITLE 24  
  
CCR, PUBLIC SAFETY, STATE FIRE MARSHALL REGULATIONS  
CCR, PART 1 - 2016 BUILDING STANDARDS ADMINISTRATIVE CODE  
CCR, PART 2 - 2016 CALIFORNIA BUILDING CODE, VOL 1 & 2 (CBC)  
CCR, PART 3 - 2016 CALIFORNIA ELECTRICAL CODE (CEC)  
CCR, PART 4 - 2016 CALIFORNIA MECHANICAL CODE (CMC)  
CCR, PART 5 - 2016 CALIFORNIA PLUMBING CODE (CPC)  
CCR, PART 6 - 2016 CALIFORNIA ENERGY CODE (CBSC)  
CCR, PART 9 - 2016 CALIFORNIA FIRE CODE (CFC)  
CCR, PART 10 - 2016 EXISTING BUILDING CODE (IN VOL. 2 CBC)  
CCR, PART 12 - 2016 CALIFORNIA REFERENCED STANDARDS  
NATIONAL FIRE ALARM AND SIGNALING CODE (CA AMENDED) SEE UL STD 1971 FOR "VISUAL DEVICES"  
STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED)  
LANDSCAPE, PARKING, PROPERTY DEVELOPMENT STANDARDS  
MECHANICAL PARKING DESIGN REQUIREMENTS, INDUSTRIAL ZONING DISTRICTS  
MANDATORY GOING GREEN MEASURES  
CCR PART 11 CALIFORNIA GREEN BUILDING STANDARDS

PROJECT SUMMARY

**TABLE 504.3 - ALLOWABLE BUILDING HEIGHT IN FEET**  
B OCCUPANCY / SPRINKLERED / TYPE V B = 43'-0"  
**TABLE 504.4 - ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE**  
B OCCUPANCY / SPRINKLERED / TYPE V B = 3  
**TABLE 506.2 - ALLOWABLE AREA FACTOR IN SQ. FT.**  
B OCCUPANCY / SPRINKLERED / TYPE V B = 36,000 SF

ALLOWED = 36,000 SF  
**PROPOSED = 25,833 SF**

**ADDRESS: 3512 SCHAEFER ST., CULVER CITY CA. 90232 (SCH II - LOT 320)**

YEAR BUILT: N/A  
ASSESSOR ID NUMBER: 4206-002-008  
LOT AREA: 5,400 SF  
LOT SIZE: 120' x 45'  
TRACK/LOT/BLOCK: TRACT NO. 4161 LOT 320  
ZONING: IG

(E) OCCUPANCY: F2  
(E) USE: COVERED STORAGE 'CRANEWAY'  
(E) STORIES: 1  
(E) HEIGHT: +/- 16'-0"  
(E) BUILDING SF: 4,538 SF  
(E) PARKING: 0

(N) OCCUPANCY: B  
(N) USE: CREATIVE OFFICE  
(N) STORIES: 3 STORIES PLUS MEZZ.  
(N) HEIGHT: 43'-0 MAX  
(N) ADDITIONAL SF: 7,793 SF  
(N) TOTAL SF: 12,331 SF

**ADDRESS: 3516 SCHAEFER ST., CULVER CITY CA. 90232 (SCH II - LOT 321)**

YEAR BUILT: 1950  
ASSESSOR ID NUMBER: 4206-002-009  
LOT AREA: 5,400 SF  
LOT SIZE: 120' x 45'  
TRACK/LOT/BLOCK: TRACT NO. 4161 LOT 321  
ZONING: IG

(E) OCCUPANCY: F2  
(E) USE: MANUFACTURING  
(E) STORIES: 1  
(E) HEIGHT: +/- 12'-0"  
(E) BUILDING SF: 2,963 SF  
(E) PARKING: 0

(N) OCCUPANCY: B  
(N) USE: CREATIVE OFFICE  
(N) STORIES: 3 STORIES PLUS MEZZ.  
(N) HEIGHT: 43'-0 MAX  
(N) ADDITIONAL SF: 1,521 SF  
(N) TOTAL SF: 4,484 SF

**ADDRESS: 3520 SCHAEFER ST., CULVER CITY CA. 90232 (SCH I - LOT 322)**  
**REFER TO PERMIT# B16-0850**

YEAR BUILT: 1930  
ASSESSOR ID NUMBER: 4206-002-010  
LOT AREA: 5,400 SF  
LOT SIZE: 120' x 45'  
TRACK/LOT/BLOCK: TRACT NO. 4161 LOT 322  
ZONING: IG

(E) OCCUPANCY: B  
(E) USE: CREATIVE OFFICE  
(E) STORIES: 2  
(E) HEIGHT: +/- 28'-3"  
(E) BUILDING SF: 5,979 SF  
(E) PARKING: 0

(N) OCCUPANCY: NO CHANGE  
(N) USE: NO CHANGE  
(N) STORIES: NO CHANGE  
(N) HEIGHT: NO CHANGE  
(N) ADDITIONAL SF: 135 SF  
(N) TOTAL SF: 6,114 SF

**ADDRESS: NOT AVAILABLE SPUR REMNANT (POR OF LOT 09)**

YEAR BUILT: N/A  
ASSESSOR ID NUMBER: 4206-002-035 (PORTION)  
LOT AREA: 17,581 SF  
LOT SIZE: VARIES  
TRACK/LOT/BLOCK: TRACT NO. 03153 POR OF LOT 09  
ZONING: IG  
(E) OCCUPANCY: N/A  
(E) USE: INDUSTRIAL  
(E) STORIES: N/A  
(E) HEIGHT: N/A

AREA OF WORK / SUMMARY

**3516 SCHAEFER**  
EXISTING: 7,501 SF  
DEMOLITION: 2,963 SF (AREA REALLOCATED)  
PROPOSED ADDITION: 9,449 SF  
TOTAL GSF: 16,950 SF (DOES NOT INCLUDE 135 SF @ LOT 322)

**3520 SCHAEFER**  
EXISTING: 5,979 SF  
DEMOLITION: +/- 45 LF OF GUARDRAIL  
PROPOSED ADDITION: 135 SF OF (E) NORTH DECK TO BE ENCLOSED AS INTERIOR SPACE  
TOTAL GSF: 6,114 SF

TOTAL AREA (INCLUDING DECKS, COVERED PARKING, AND 135 SF OF (N) INTERIOR SF ON SCH I):  
**25,020 SF**

NOTE: SITE WORK NOT INCLUDED

SCHAEFER 3516  
CORE & SHELL

3516 SCHAEFER STREET  
CULVER CITY, CA 90232

OWNER:

**REDCAR PROPERTIES LTD**  
2341 MICHIGAN AVE  
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ARCHITECT:



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SEALS OR APPROVALS

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ISSUE	DATE	REV

DRAWING TITLE:

**PROJECT INFORMATION**

SCALE AT ARCH D (24 x 36):  
12" = 1'-0"

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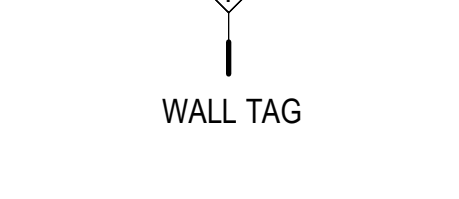
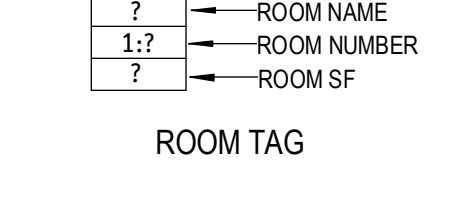
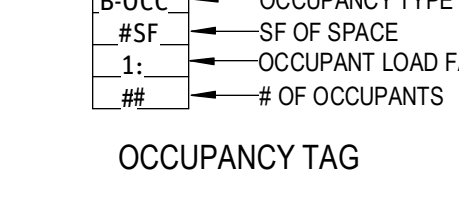
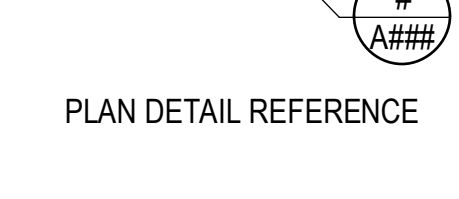
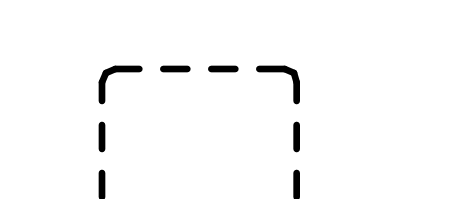
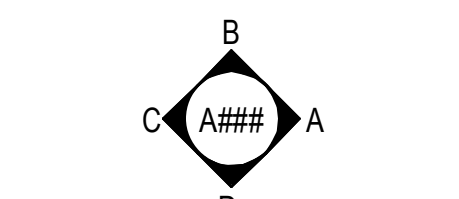
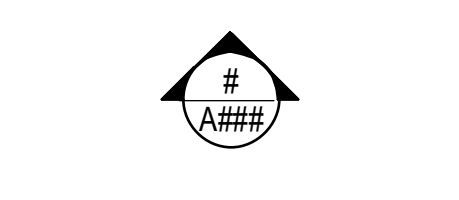
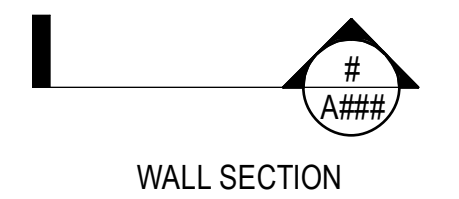
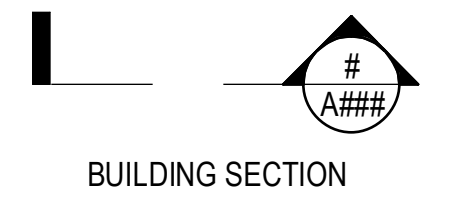
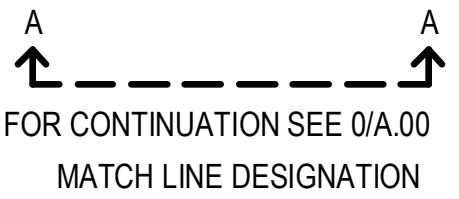
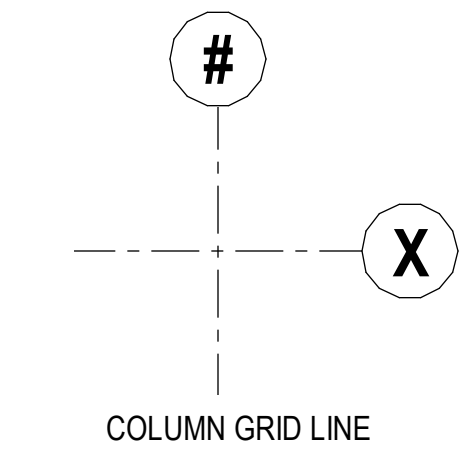
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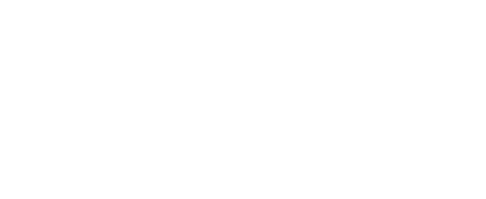
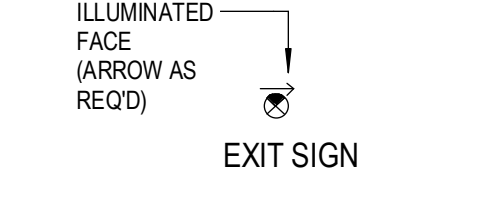
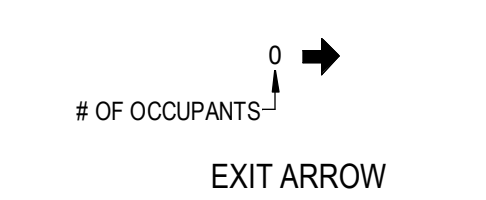
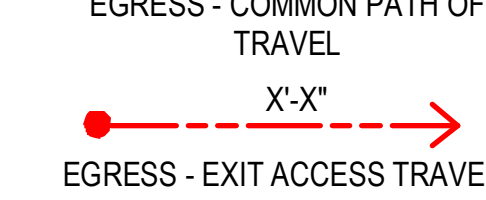
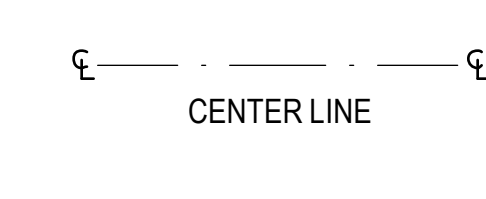
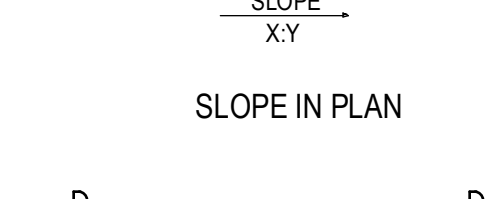
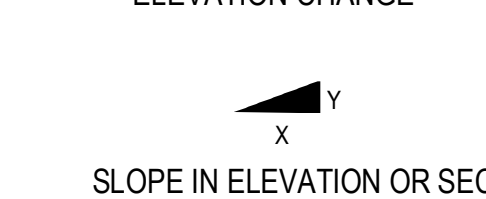
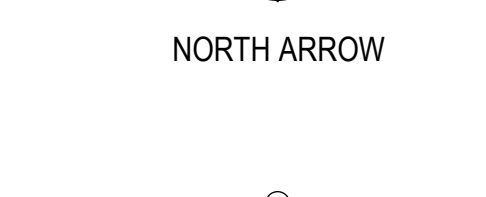
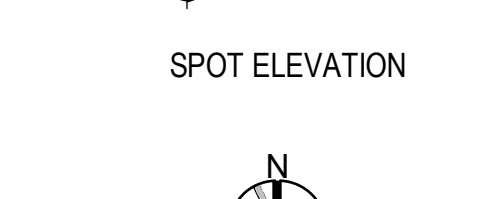
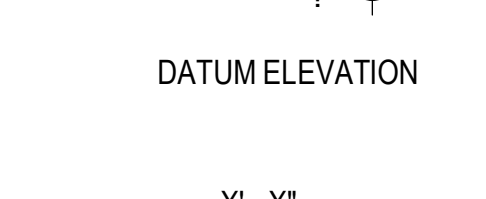
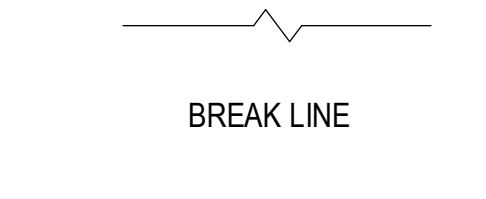
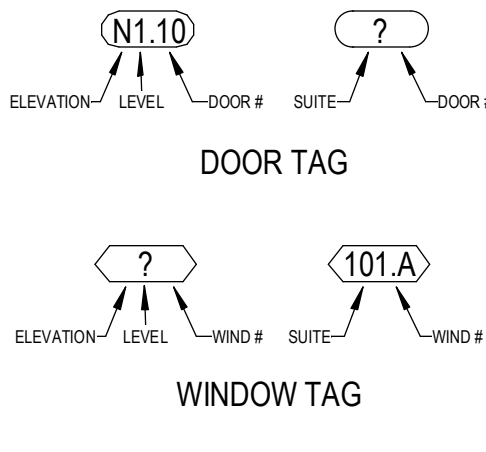


DRAFTING CONVENTIONS AND SYMBOLS

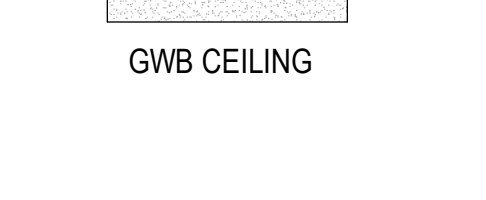
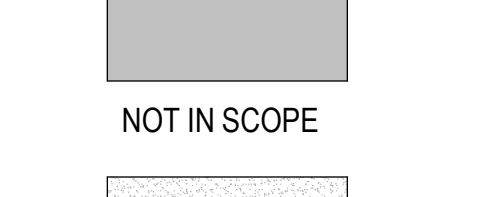
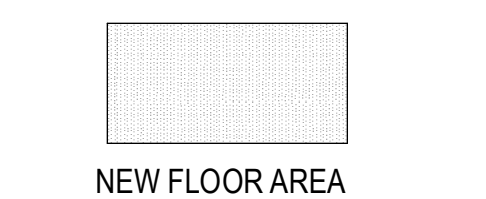
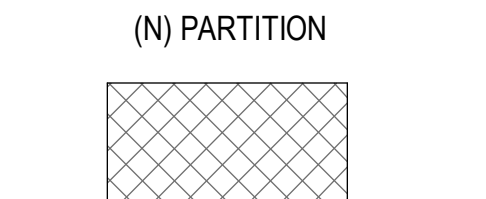
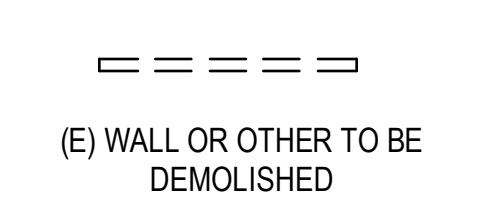
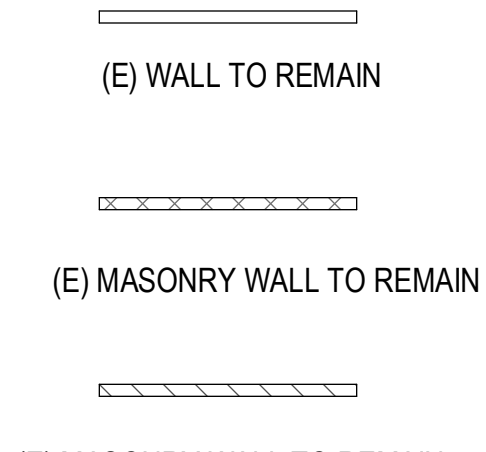
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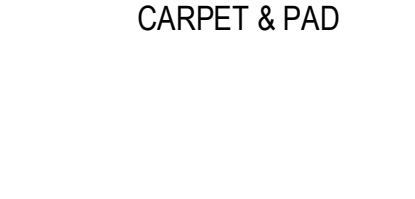
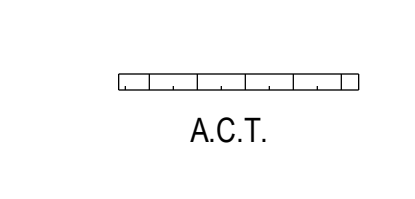
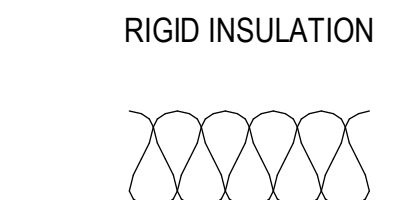
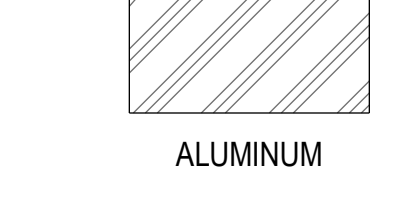
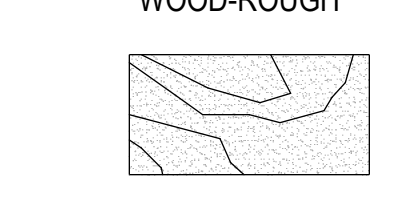
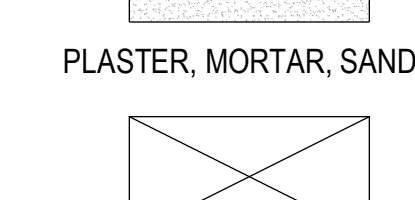
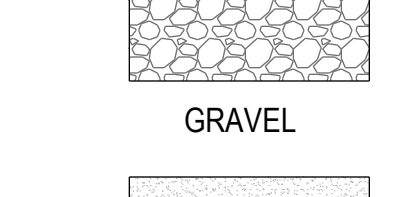
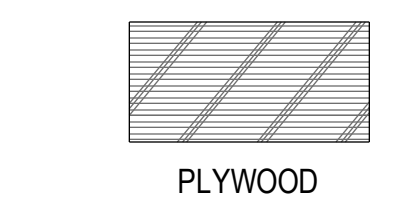
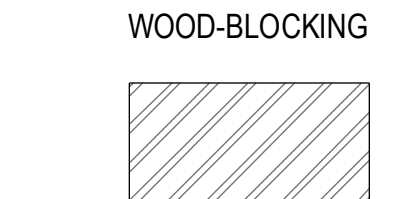
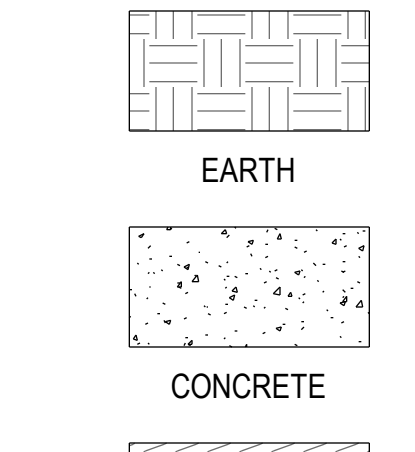
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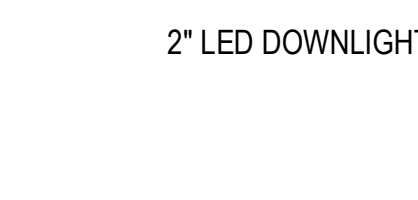
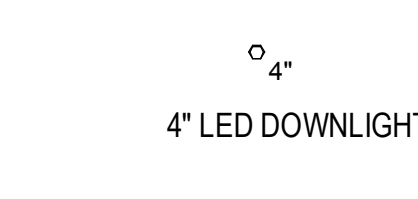
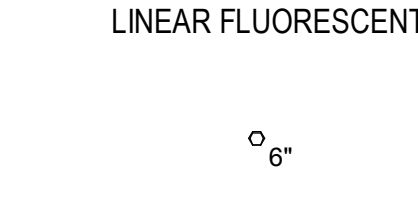
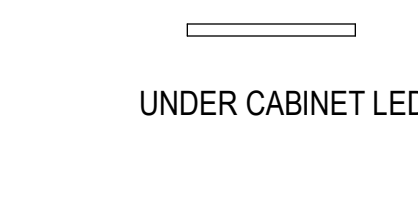
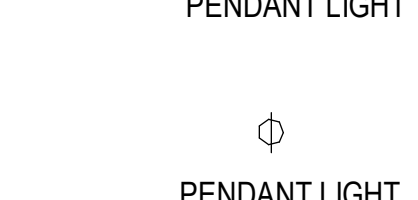
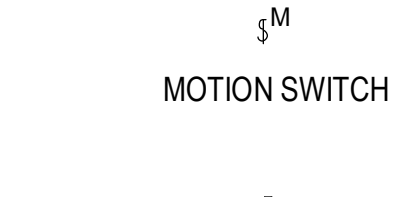
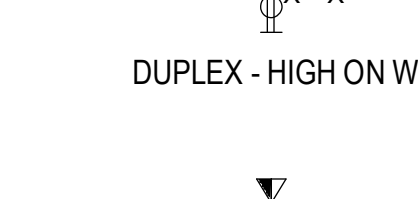
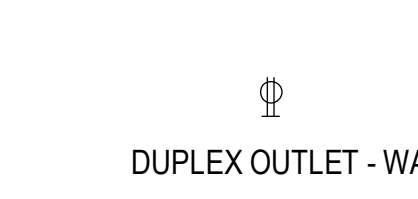
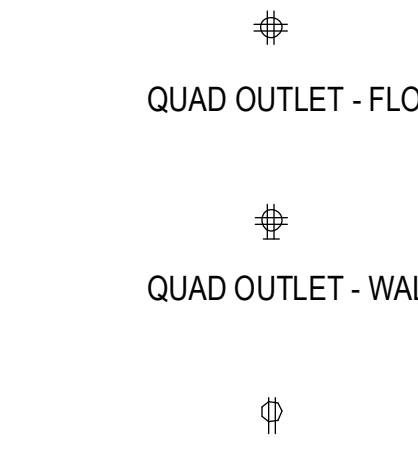
ARCHITECTURAL SYMBOLS



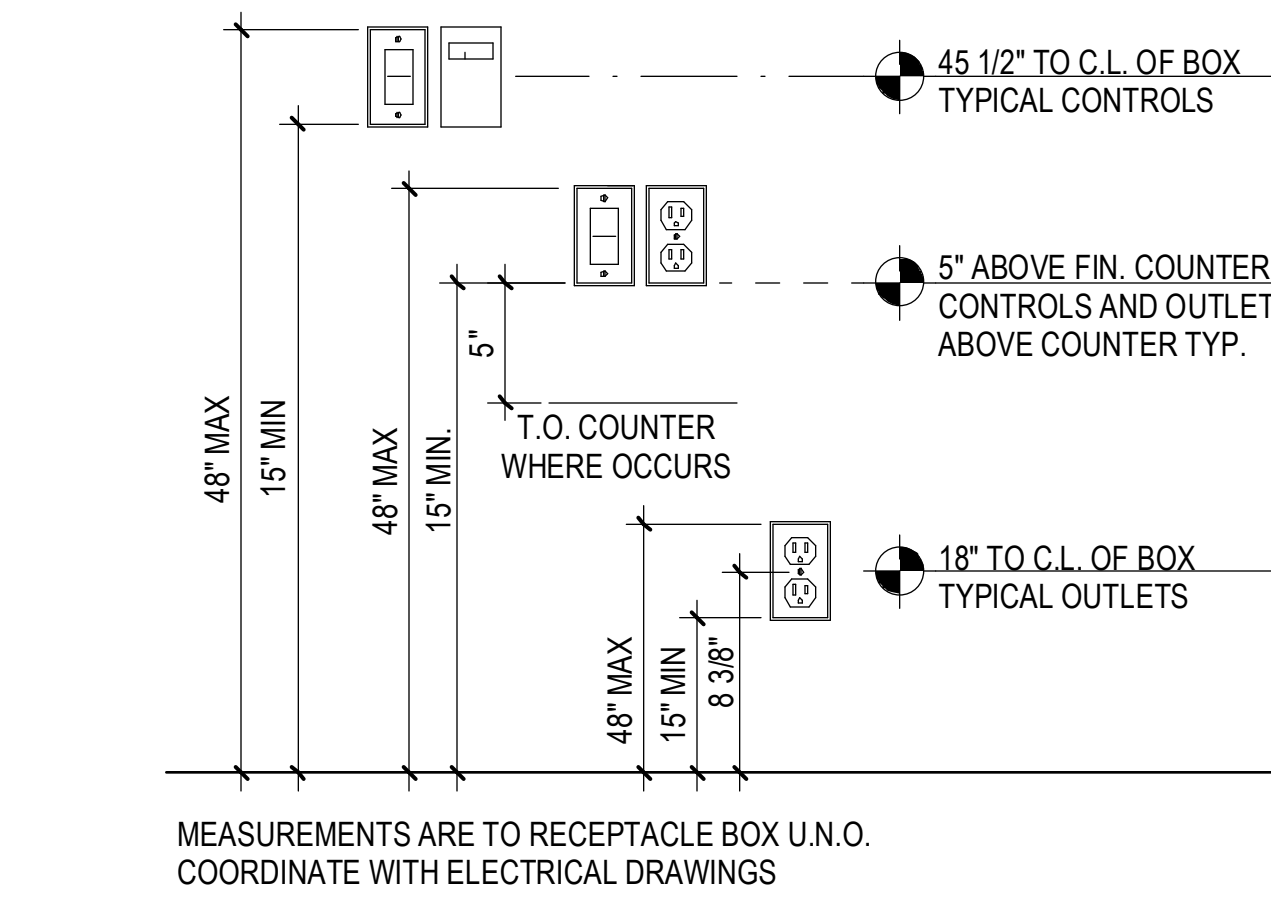
GRAPHIC HATCHES



ELECTRICAL SYMBOLS



TYPICAL MOUNTING HEIGHTS



ABBREVIATIONS

& L @ CL Ø ° #	AND ANGLE AT CENTERLINE DIAMETER DEGREE POUND	KIT. KIT	KITCHEN
ABV. ACOUST. A.C.T. A.F.F. AD ADJ. A.N.G.	ABOVE ACOUSTIC ACOUSTIC CEILING TILE ABOVE FINISHED FLOOR AREA DRAIN ADJUSTABLE AVERAGE NATURAL GRADE	LAM. L.T. MACH. MAX. M.E.P.	LAMINATE LIGHT MACHINE(D) MAXIMUM MECHANICAL, ELECTRICAL AND PLUMBING MANUFACTURER
APPROX. ARCH. ALUM.	APPROXIMATE(LY) ARCHITECTUR(AL) ALUMINUM	MANU. MIN. MISC. MTD. MTL. MHC.	MANUFACTURER MINIMUM MISCELLANEOUS MOUNTED METAL MAN HOLE COVER
BLDG. BLKG. BM. B.O. BOT.	BUILDING BLOCKING BEAM BOTTOM OF BOTTOM	N N.E.C. N.I.C. NO. NOM. N.T.S.	NORTH NATIONAL ELECTRICAL CODE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
CAB. C.C.R.	CABINET CALIFORNIA CODE OF REGULATIONS	O.C. O.D. O.H. OLF OPNG. OPP.	ON CENTER OUTSIDE DIAMETER OPPOSITE HAND OCCUPANT LOAD FACTOR OPENING OPPOSITE
CB C.B.C. CEM CLG. CLO. C.O. COL. CLR. CONC. CONT. CPT. CTR.	CATCH BASIN CALIF. BUILDING CODE CEMENT CEILING CLOSET CLEAN OUT COLUMN CLEAR CONCRETE CONTINUOUS CARPET CENTER	PTD. P.D. PL. P.LAM. PLYWD. PNL. PR. PT. PART.	PAINT(ED) PLANTER DRAIN PLATE PLASTIC LAMINATE PLYWOOD PANEL PAIR POINT PARTITION
DET. DTL. DIA. DIAG. DIM. D.O. DN. DR. D.S. DWG.	DETAIL DETAIL DIAMETER DIAGONAL DIMENSION DO OVER DOWN DOOR DOWNSPOUT DRAWING	R RAD. RE. REINF. REQ'D RM. R.O.	RISER RADIUS REFER TO REINFORCING REQUIRED ROOM ROUGH OPENING
E (E) EA. E.J. EL(EV) ELEC. EMER. E.O.S. EQ. EQUIP. EXIST. EXP. EXT.	EAST EXISTING EACH EXPANSION JOINT ELEVATION ELECTRIC(AL) EMERGENCY EDGE OF SLAB EQUAL EQUIPMENT EXISTING EXPOSED OR EXPANSION EXTERIOR	S S.C. SCHD. SEC(T) SHF SHT. SIM. SPEC. S.T.C.	SOUTH SOLID CORE SCHEDULE(D) SECTION SHELF SHEET SIMILAR SPECIFICATION(S) SOUND TRANSMISSION CLASSIFICATION
F.A. FACT. F.E.C. F.F. F.F.E. F.G. FIN. FLR. FLUOR. F.O. F.O.F. F.O.S. F.O.W. F.R. F.S. FT. FURR. F.V.	FIRE ALARM FACTORY FIRE EXTINGUISHER CABINET FINISHED FLOOR FINISH FLOOR ELEVATION FINISHED GRADE FINISH(ED) FLOOR FLUORESCENT FACE OF FACE OF FINISH FACE OF STUDS FACE OF WALL FIRE RATED FINISHED SURFACE FOOT OR FEET FURRING FIELD VERIFY	STD. STL. STR(UCT) SUSP.	STANDARD STEEL STRUCTURE SUSPENDED
G.A. GALV. G.C. G.I. GL. GWB.	GAUGE GALVANIZED GENERAL CONTRACTOR GALVANIZED IRON GLASS GYPSUM WALLBOARD	T T&G T.G. THK. T.O. T.O.C. T.O.S. T.O.STL. T.O.W. TYP.	TREAD TONGUE & GROOVE TOP OF GRATE THICK TOP OF TOP OF CONCRETE TOP OF SLAB TOP OF STEEL TOP OF WALL TYPICAL
H.C. HC. HDWD. H.M. H.O. HR. HT. H.V.A.C.	HOLLOW CORE HANDICAPPED HARDWOOD HOLLOW METAL HOLD OPEN HOUR OR HANDRAIL HEIGHT HEATING VENTILATION AND AIR CONDITIONING	U.B.C. U.L. UNF. U.N.O. U.O.N. U.P.C.	UNIFORM BUILDING CODE UNDERWRITERS LABORATORY UNFINISHED UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED UNIFORM PLUMBING CODE
H.W. H.B.	HOT WATER HOSE BIB	V.C.T. VER. V.I.F.	VINYL COMPOSITION TILE VERIFY VERIFY IN FIELD
I.D. I.E. INSUL.	INSIDE DIAMETER PIPE INVERT ELEVATION INSULATION	W.P. W W/W WD. W/O	WATER PROOFING WEST WITH WOOD WITHOUT
JT.	JOINT		

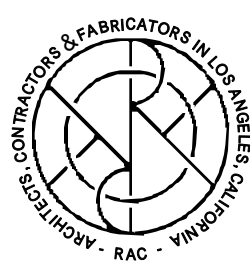
SCHAEFER 3516  
CORE & SHELL

3516 SCHAEFER STREET  
CULVER CITY, CA 90232

OWNER:

**REDCAR PROPERTIES LTD**  
2341 MICHIGAN AVE  
SANTA MONICA, CA 90404

ARCHITECT:



**RAC**  
3048 N COOLIDGE AVE  
LOS ANGELES, CA 90039  
T: 323-663-9898  
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CONSULTANTS:

STRUCTURAL ENGINEER  
**GLOTMAN SIMPSON**  
600 WILSHIRE BLVD., STE 650  
LOS ANGELES, CA 90017  
213.283.2555

MEP ENGINEER  
**AMA CONSULTING ENGINEERS**  
2101 EL SEGUNDO BLVD.  
EL SEGUNDO, CA 90245  
310.846.4664

LANDSCAPE ARCHITECT  
**MTLA INC.**  
1424 4TH ST., 2ND FLOOR  
SANTA MONICA, CA 90401  
310.395.3955

CIVIL ENGINEER  
**KPFF**  
700 SOUTH TOWER ST. STE 2100  
LOS ANGELES, CA 90017  
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV
PLAN CHECK	08/01/2019	01

DRAWING TITLE:

**ABBREVIATIONS AND  
DRAFTING  
CONVENTIONS**

SCALE AT ARCH D (24 x 36):  
As indicated

DRAWN  
BY: **RAC**

SHEET NUMBER:

**G002**



TABLE 11B-228.3.2.1  
ELECTRIC VEHICLE CHARGING STATIONS FOR PUBLIC USE AND COMMON USE

TOTAL NUMBER OF EVCS AT A FACILITY	MINIMUM NUMBER (BY TYPE) OF EVCS REQUIRED TO COMPLY WITH SECTION 11B-812		
	VAN ACCESSIBLE	STANDARD ACCESSIBLE	AMBULATORY
1 TO 4	1	0	0
5 TO 25	1	1	0
26 TO 50	1	1	1
51 TO 75	1	2	2
76 TO 100	1	3	3
101 TO OVER	1, PLUS 1 FOR EACH 300, OR FRACTION THEREOF, OVER 100	3, PLUS 1 FOR EACH 60, OR FRACTION THEREOF, OVER 100	3, PLUS 1 FOR EACH 50, OR FRACTION THEREOF, OVER 100

1. WHERE AN EV CHARGER CAN SIMULTANEOUSLY CHARGE MORE THAN ONE VEHICLE, THE NUMBER OF EVCS PROVIDED SHALL BE CONSIDERED EQUIVALENT TO THE NUMBER OF ELECTRIC VEHICLES THAT CAN BE SIMULTANEOUSLY CHARGED.

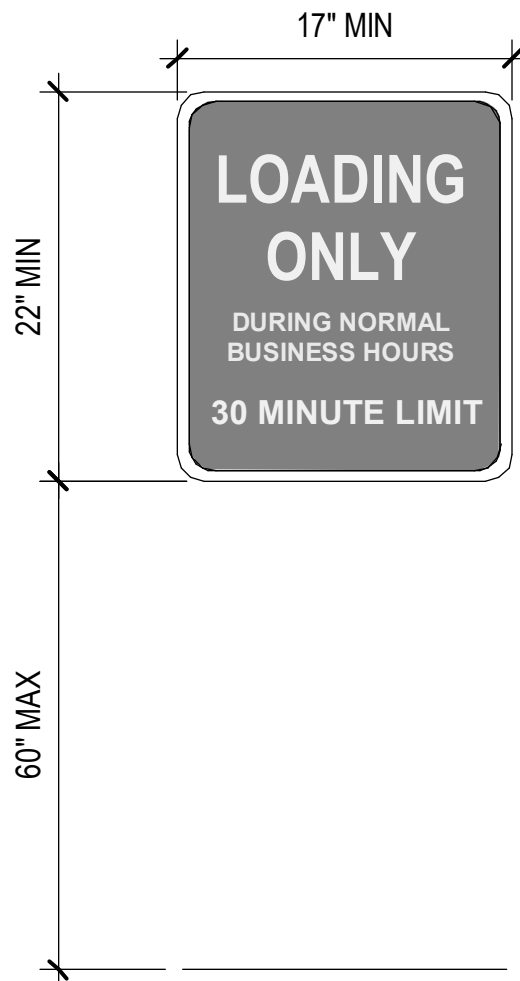
## ACCESSIBLE PARKING FACILITIES ADDITIONAL SIGNAGE

AN **ADDITIONAL** SIGN SHALL BE POSTED EITHER; 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.

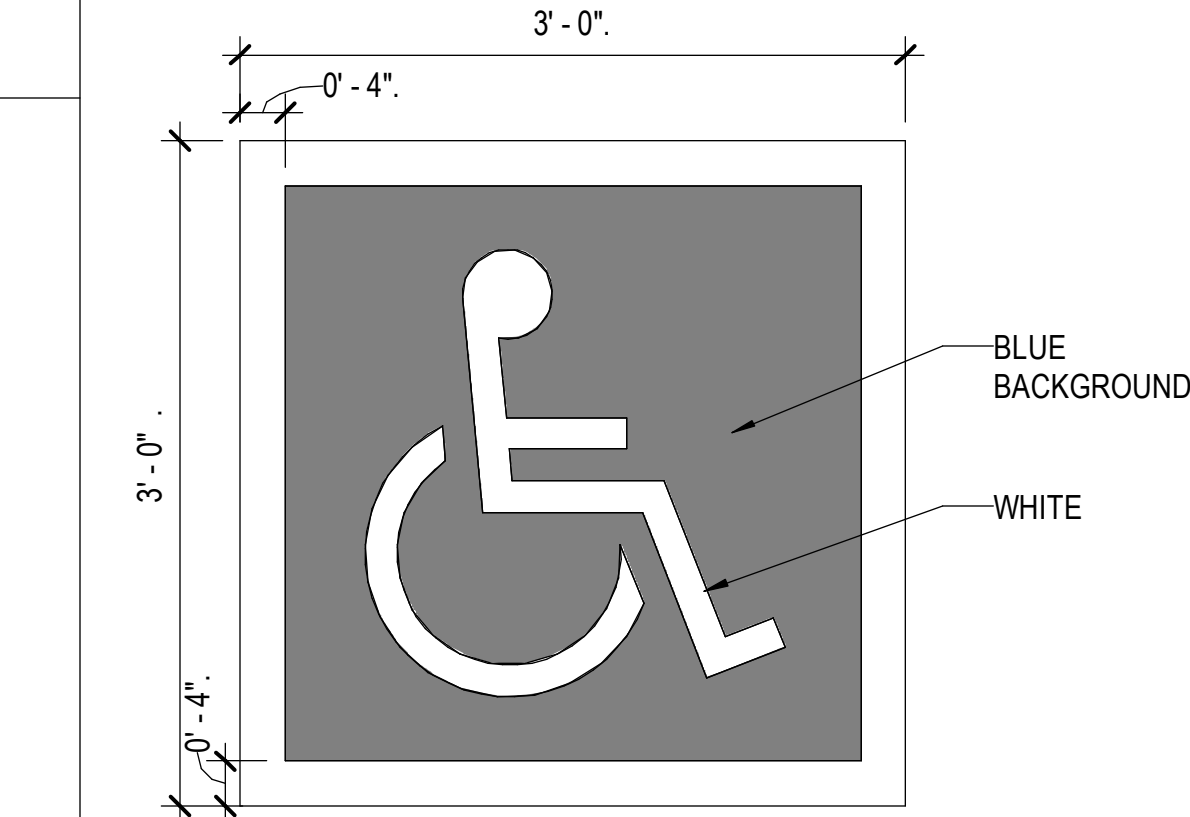
THE SIGN MUST INDICATE: "UNAUTHORIZED" VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: \_\_\_\_\_ OR BY TELEPHONING \_\_\_\_\_."

**11B-502.6 IDENTIFICATION.** PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 IN WHITE ON A BLUE BACKGROUND. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE." SIGN SHALL BE 60 INCHES (1524MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

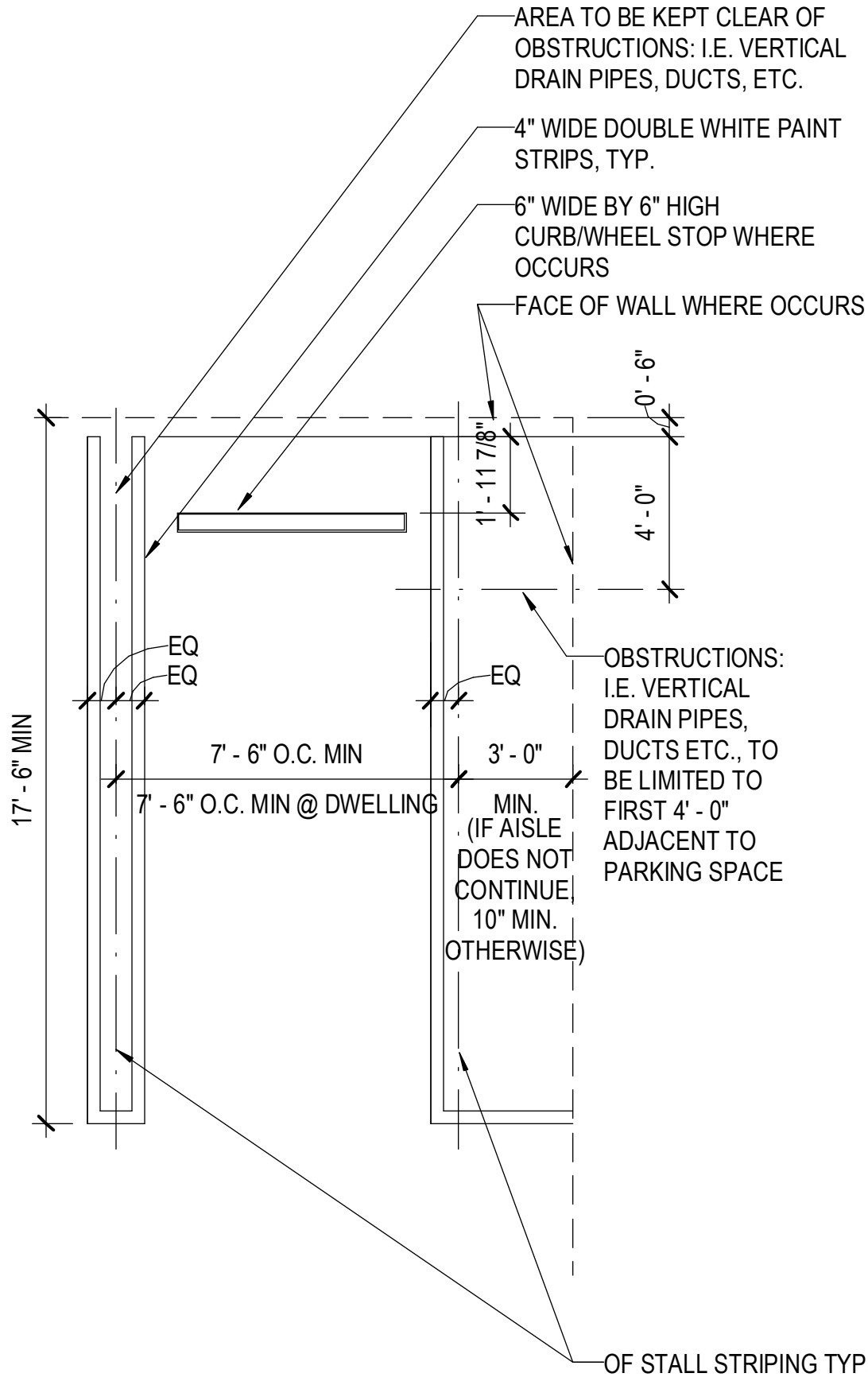
**DSA - ADVISORY 11B-209.4 VALET PARKING.** VALET PARKING DOES NOT ELIMINATE THE REQUIREMENT TO PROVIDE ACCESSIBLE PARKING SPACES. SOME VEHICLES MAY BE ADAPTED WITH HAND CONTROLS OR LACK A DRIVER'S SEAT, AND MAY NOT BE OPERABLE BY A VALET PARKING ATTENDANT. THE PARKING SPACE REQUIREMENTS OF SECTION 11B-208 AND 11B-502 APPLY TO FACILITIES WITH VALET PARKING, INCLUDING THE REQUIREMENT FOR AN ACCESSIBLE ROUTE OF TRAVEL TO THE ENTRANCE OF THE FACILITY. IN ADDITION, WHEN VALET PARKING IS PROVIDED, A PASSENGER DROP-OFF AND LOADING ZONE COMPLYING WITH SECTION 11B-503 SHALL BE LOCATED ON AN ACCESSIBLE ROUTE OF TRAVEL TO THE ENTRANCE OF THE FACILITY.



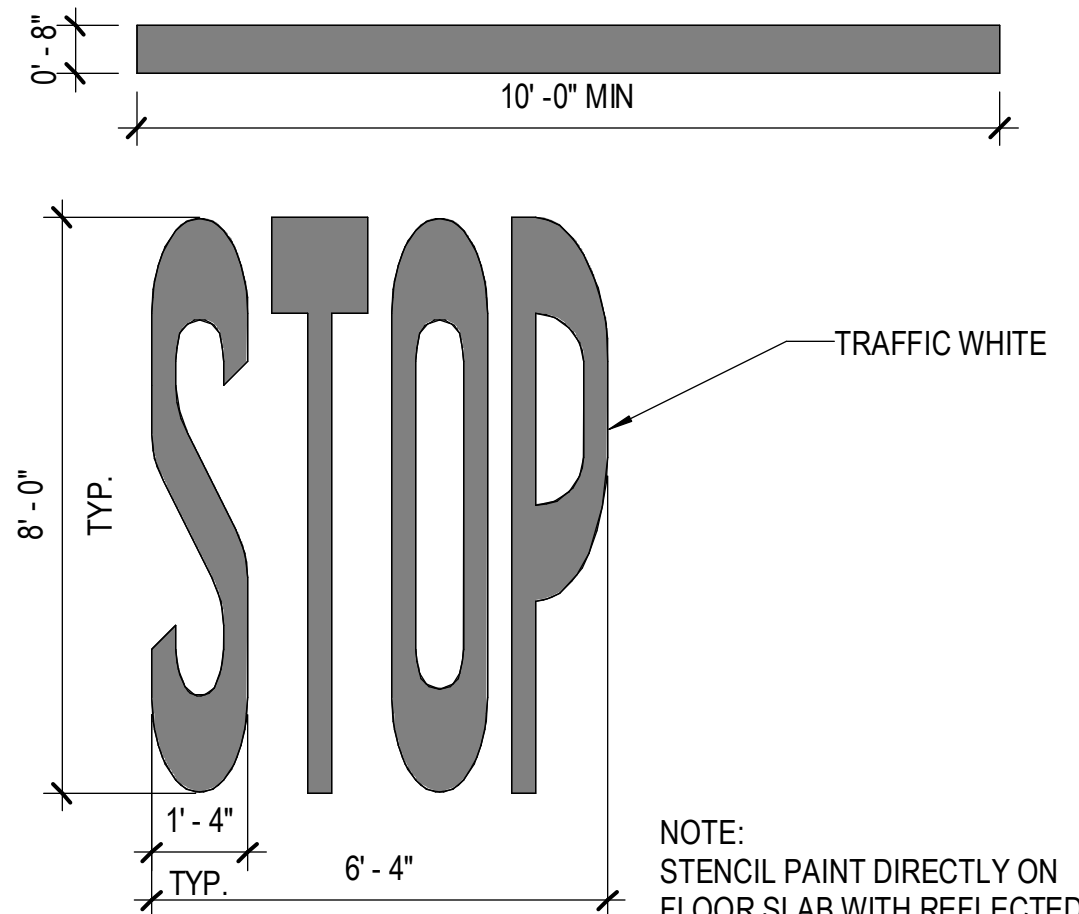
SIGNAGE ELEVATION - LOADING ONLY  
3" = 1'-0"



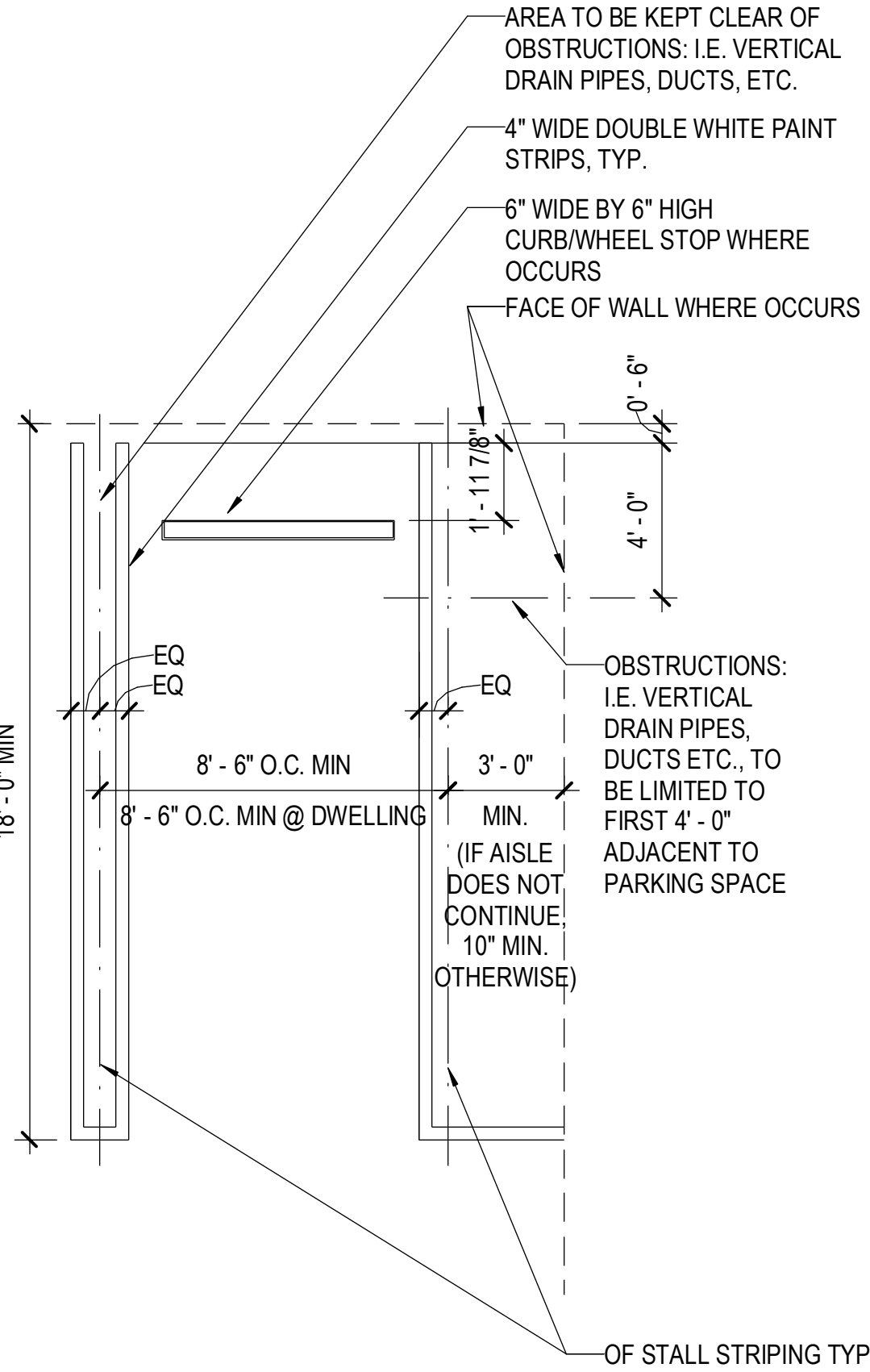
ADA SYMBOL  
N.T.S.



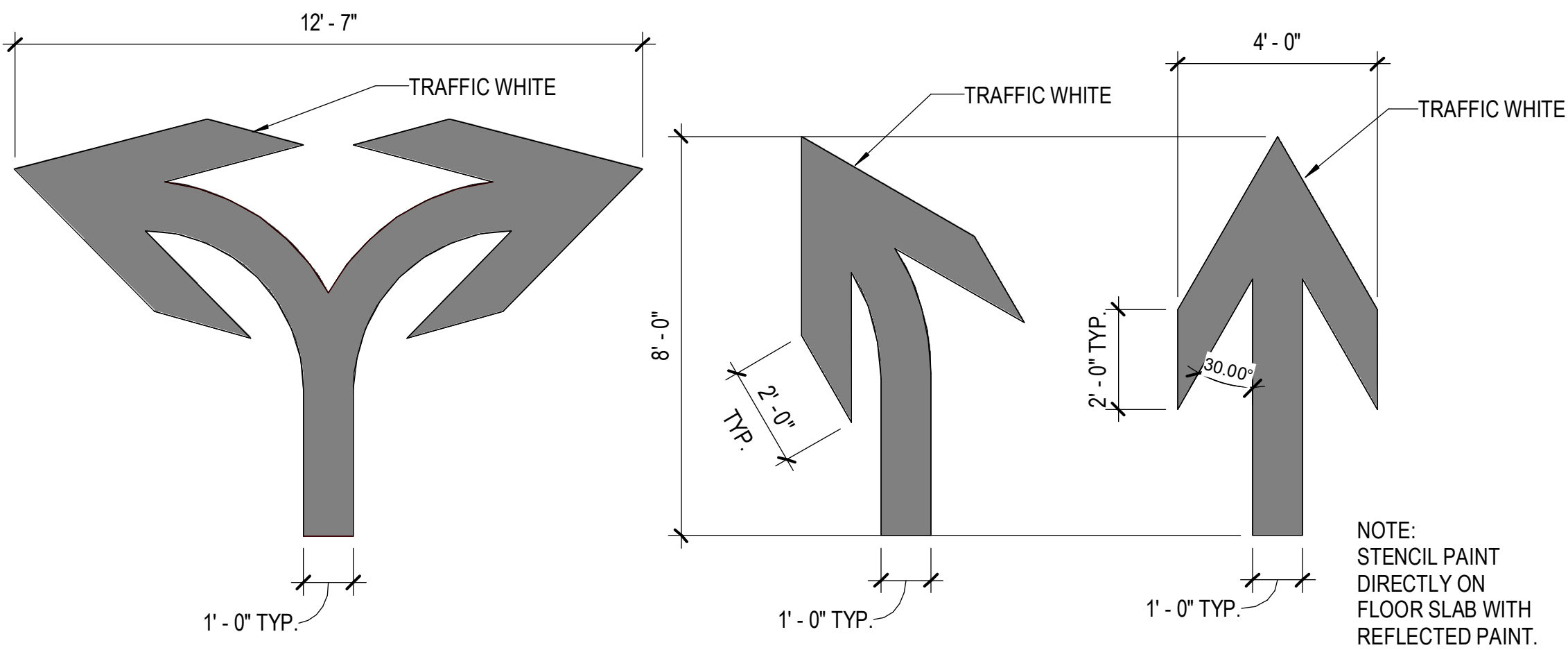
TYPICAL COMPACT STALL  
N.T.S.



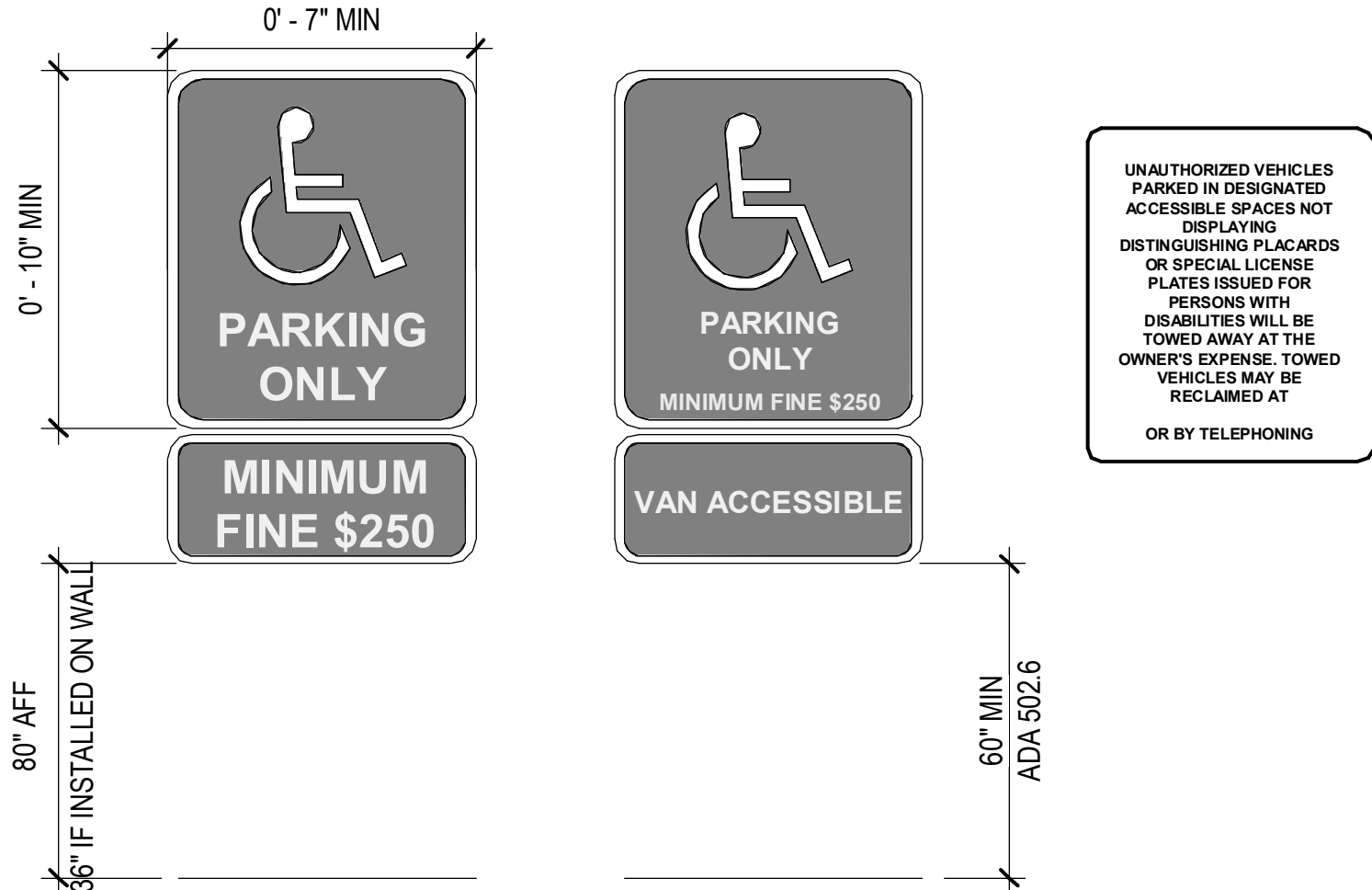
DIRECTIONAL SIGN  
N.T.S.



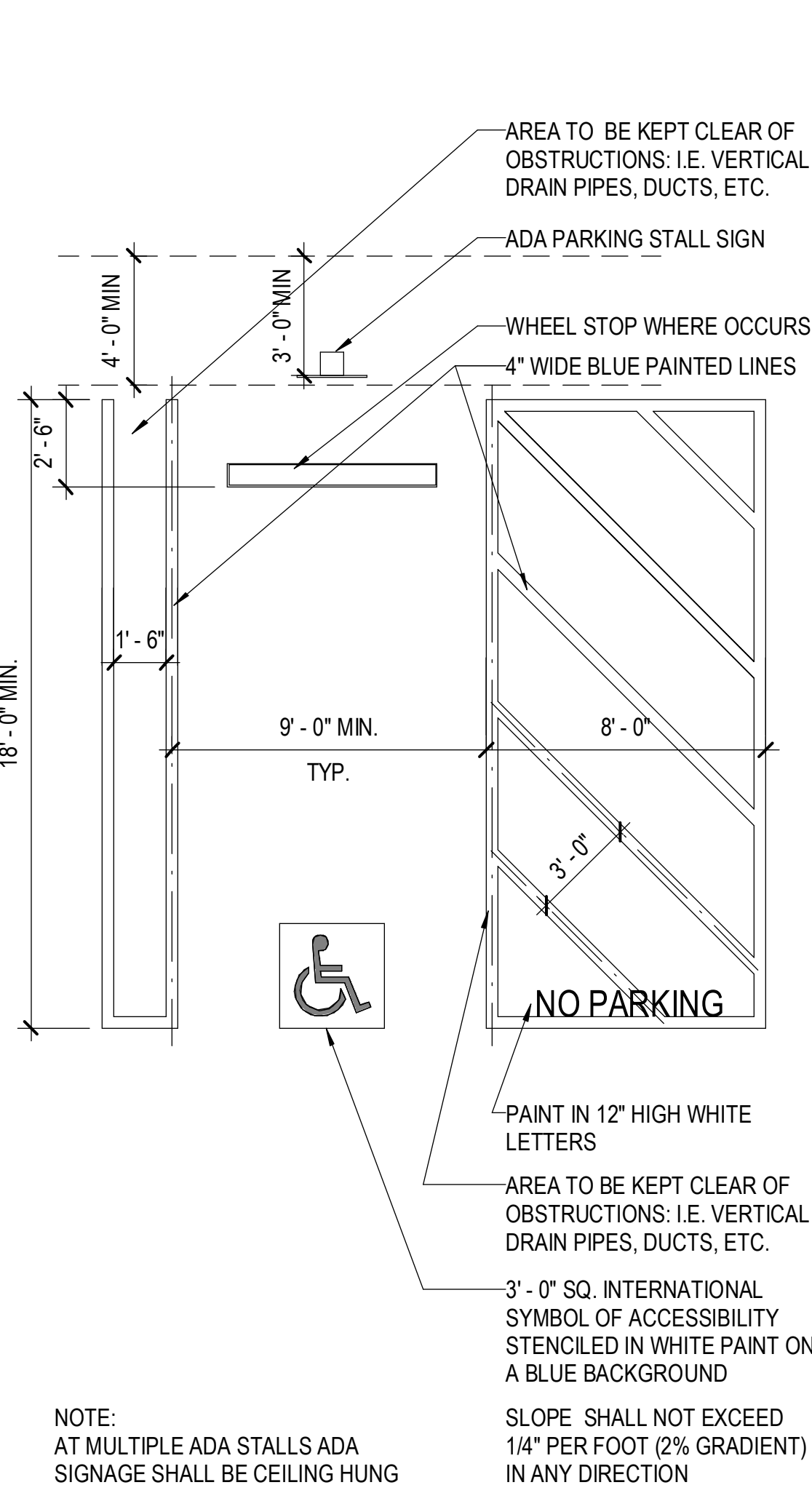
TYPICAL STANDARD STALL  
N.T.S.



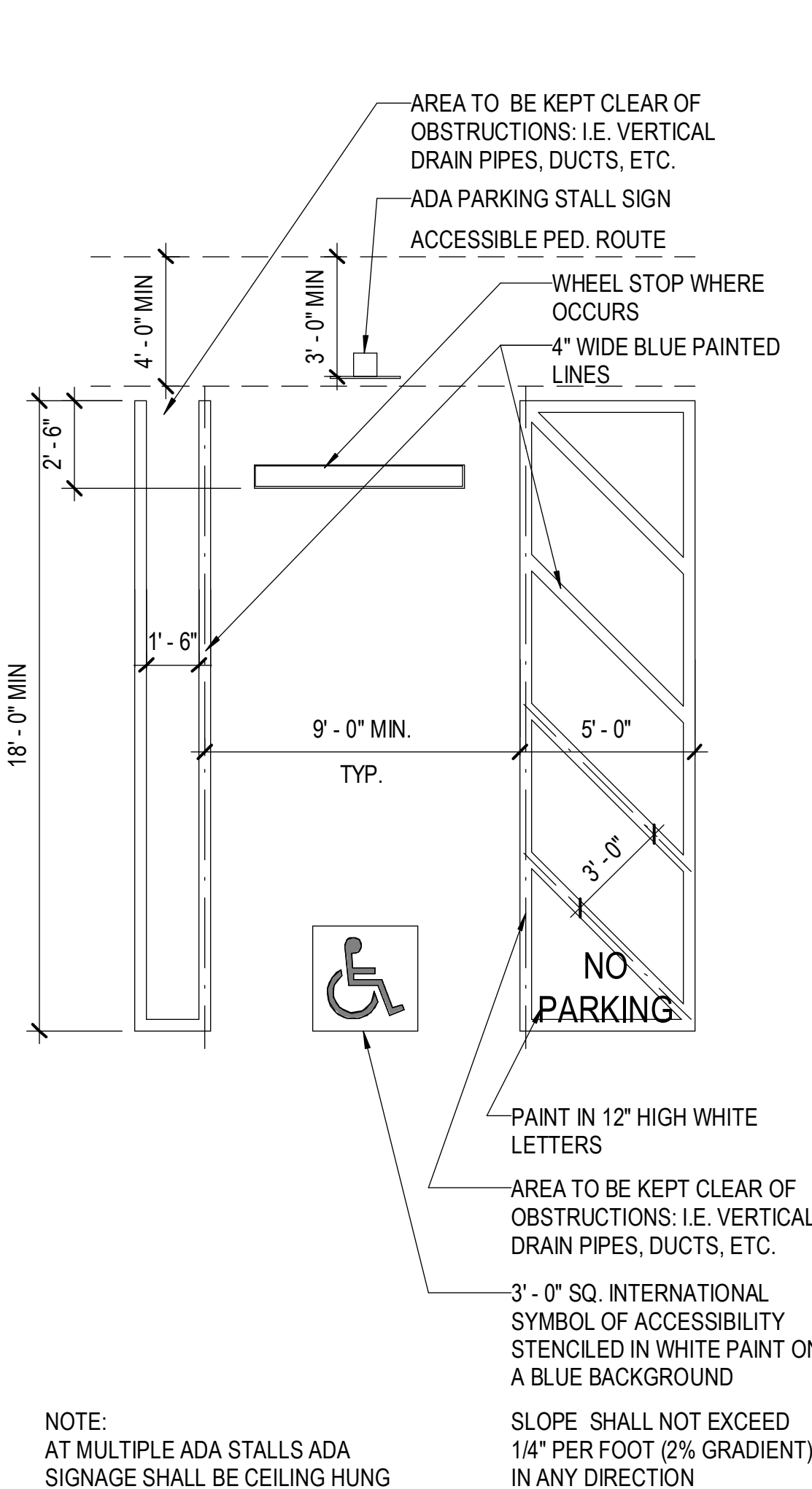
DIRECTIONAL SIGN  
N.T.S.



SIGNAGE ELEVATION  
N.T.S.



VAN PARKING STALL STRIPING  
N.T.S.



ADA PARKING STALL STRIPING  
N.T.S.

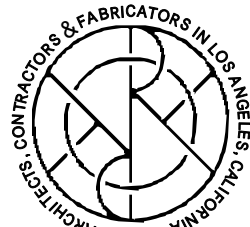
## SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET  
CULVER CITY, CA 90232

OWNER:

**REDCAR PROPERTIES LTD**  
2341 MICHIGAN AVE  
SANTA MONICA, CA 90404

ARCHITECT:



**RAC**  
3048 N COOLIDGE AVE  
LOS ANGELES, CA 90039  
T: 323-663-9898  
F: 323-663-9899  
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CONSULTANTS:

STRUCTURAL ENGINEER  
**GLOTMAN SIMPSON**  
600 WILSHIRE BLVD., STE 650  
LOS ANGELES, CA 90017  
213.283.2373

MEP ENGINEER  
**AMA CONSULTING ENGINEERS**  
2101 EL SEGUNDO BLVD.  
EL SEGUNDO, CA 90245  
310.846.4664

LANDSCAPE ARCHITECT  
**MTLA INC.**  
1424 4TH STREET, 2ND FLOOR  
SANTA MONICA, CA 90401  
310.395.3355

CIVIL ENGINEER  
**KPFF**  
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LOS ANGELES, CA 90017  
213.418.0200

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ISSUE & REVISION RECORD:

ISSUE	DATE	REV

DRAWING TITLE:

**CULVER CITY PARKING  
NOTES**

SCALE AT ARCH D (24 x 36):  
As indicated

DRAWN BY: **RAC**

SHEET NUMBER:

**G030**







1950 ORIGINAL BUILDING PERMIT # A-995 NEW CONSTRUCTION

120'-0" (V.I.F.)

90'-0" (V.I.F.)

1950 ORIGINAL BUILDING PERMIT #A-995

A 1,674 SF

1950 ORIGINAL BUILDING PERMIT # A-995  
NEW CONSTRUCTION

USE: INDUSTRIAL  
AREA: 1,674 TOTAL SF

REQ'D PARKING: 0 STALLS

A

1952 BUILDING PERMIT # A-2535 ADDITION

120'-0" (V.I.F.)

90'-0" (V.I.F.)

1952 BUILDING PERMIT # A-2535 ADDITION

A 1,674 + B.1 864 = 2,538 TOTAL SF

1952 BUILDING PERMIT # A-2535 ADDITION

USE: COMMERCIAL / INDUSTRIAL  
AREA: A 1,674 + B.1 864 = 2,538 TOTAL SF

REQ'D PARKING: 0 STALLS

B.1

1952 BUILDING PERMIT # A-2535 ADDITION

120'-0" (V.I.F.)

90'-0" (V.I.F.)

1952 BUILDING PERMIT # A-2535 ADDITION

A 1,674 + B.1 864 = 2,538 TOTAL SF

1952 BUILDING PERMIT # A-2535 ADDITION

USE: COMMERCIAL / INDUSTRIAL  
AREA: A 1,674 + B.1 864 = 2,538 TOTAL SF

REQ'D PARKING: 0 STALLS

B.1

1952 BUILDING PERMIT # A-2871 (ADD TO PERMIT A-2535) ADDITION

120'-0" (V.I.F.)

90'-0" (V.I.F.)

1952 BUILDING PERMIT # A-2871 (ADD TO PERMIT A-2535) ADDITION

A 1,674 + B.1 864 + B.2 425 = 2,963 TOTAL SF

1952 BUILDING PERMIT # A-2871 (ADD TO PERMIT A-2535) ADDITION

USE: COMMERCIAL / INDUSTRIAL  
AREA: A 1,674 + B.1 864 + B.2 425 = 2,963 TOTAL SF

REQ'D PARKING: 0 STALLS

B.2

1952 BUILDING PERMIT # A-2871 (ADD TO PERMIT A-2535) ADDITION

120'-0" (V.I.F.)

90'-0" (V.I.F.)

1952 BUILDING PERMIT # A-2871 (ADD TO PERMIT A-2535) ADDITION

A 1,674 + B.1 864 + B.2 425 = 2,963 TOTAL SF

1952 ADDITIONS  
PERMIT #A-2535  
12' X 72' 1/9/52  
17' X 25' 2/21/52

HISTORIC PERMITS

SCHAEFER 3516  
CORE & SHELL

3516 SCHAEFER STREET  
CULVER CITY, CA 90232

OWNER:

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SANTA MONICA, CA 90404

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ISSUE & REVISION RECORD:

ISSUE	DATE	REV

DRAWING TITLE:  
HISTORIC PERMITS

SCALE AT ARCH D (24 x 36):  
1/16" = 1'-0"

DRAWN  
BY: RAC

SHEET NUMBER:

R001



GROUP \_\_\_\_\_  
TYPE \_\_\_\_\_  
FLOOR \_\_\_\_\_  
USE ZONE \_\_\_\_\_

APPLICATION FOR PERMIT TO BUILD  
Two sets of Plans and Specifications  
Including Details and Cross Sections  
Must be filed with Application and  
Approved by Building Inspector.

\$ 100  
AMOUNT OF PERMIT  
\$ 150.00  
Value of Construction  
Labor & Materials

Permit No. A12978 Culver City, Calif. 3-23-1066

Job Address 3516 SCHAEFER ST  
Lot 320-321 Block \_\_\_\_\_ Tract 46161  
Owner's Name BOSTWICK & NEWLAND Address 2132 CANTERBURY BLVD Phone No. \_\_\_\_\_  
Contractor BURT JOHNSON CO Address 5949 WINTER Phone No. 726-3344

State License No. \_\_\_\_\_ Workmen's Comp. \_\_\_\_\_ Policy No. \_\_\_\_\_  
City License No. \_\_\_\_\_

ONE SET OF APPROVED PLANS TO REMAIN ON JOB UNTIL WORK IS COMPLETED.  
INSPECTOR MUST APPROVE EACH BRACKET ON JOB CARD BEFORE PROCEEDING TO NEXT WORK.

Purpose building is to be used for MENS DRESSING ROOM PARTIAL

DESCRIPTION OF BUILDING

Size of New Building \_\_\_\_\_  
or Addition \_\_\_\_\_

1' x 7' 42  
1st Floor \_\_\_\_\_ 2nd Floor \_\_\_\_\_ Total floor area \_\_\_\_\_  
Sq. Ft. \_\_\_\_\_

Size of Garage \_\_\_\_\_ Size of Lot \_\_\_\_\_ Size of Girders \_\_\_\_\_  
Size of Masonry \_\_\_\_\_ Size of floor joists \_\_\_\_\_  
1st Floor \_\_\_\_\_ 2nd Floor \_\_\_\_\_

Size of exterior studs \_\_\_\_\_ Size of interior studs \_\_\_\_\_  
Size of Ceiling Joists \_\_\_\_\_ Size of Roof Rafters \_\_\_\_\_

Material of Foundation \_\_\_\_\_ Width of Footings \_\_\_\_\_ Depth in Ground \_\_\_\_\_

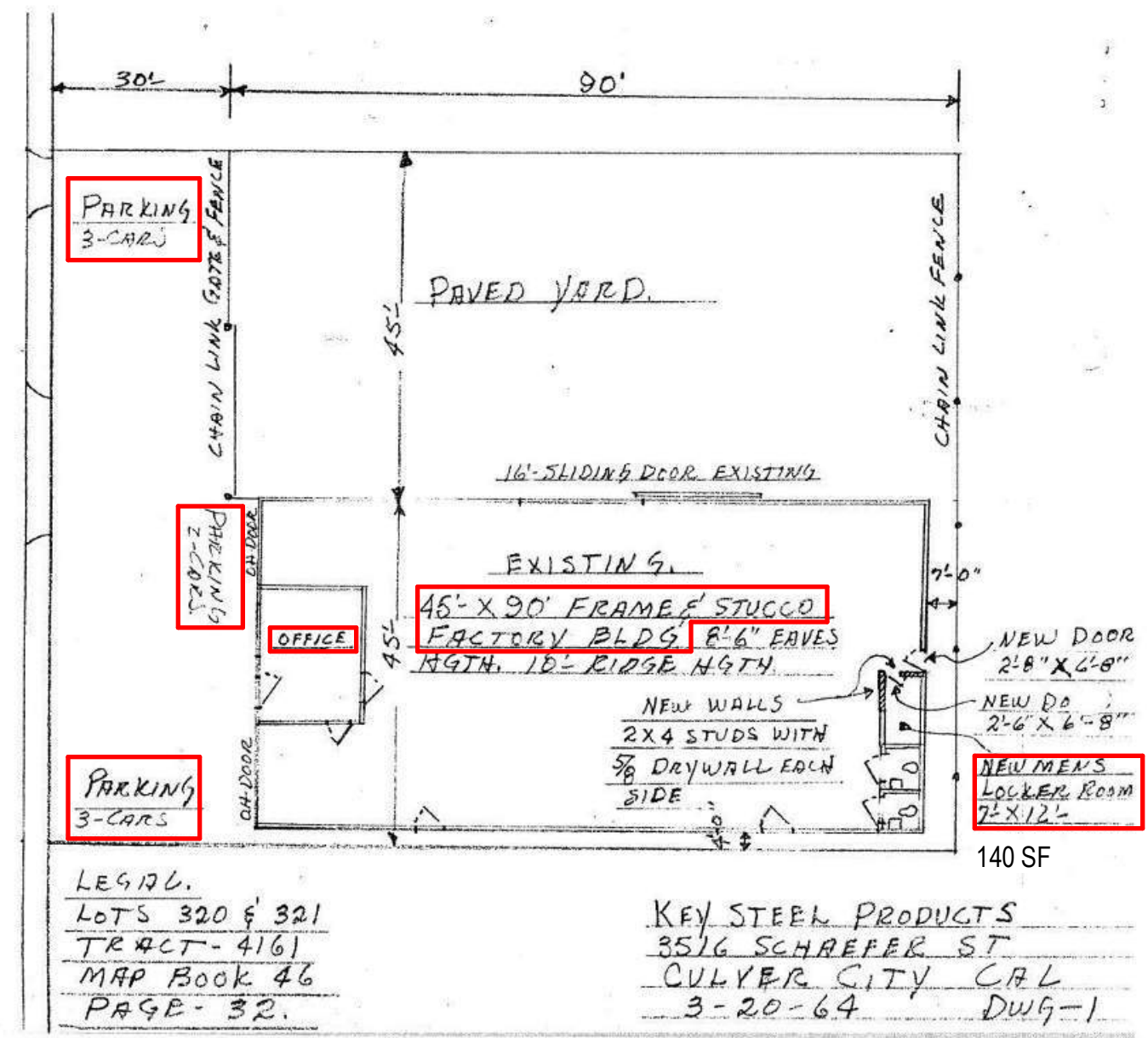
Material of Exterior Walls \_\_\_\_\_ Interior Walls \_\_\_\_\_ Floor \_\_\_\_\_

Roof \_\_\_\_\_

REMARKS

CORNER	GARAGE	APTS
INDUSTRIAL	RESIDENCE	
APARTMENTS	REPLACE	
UNITS	FURNACE	
DUPLEX	TILE WORK	

CONTR: BURT JOHNSON CO  
5919 WOOSTER AVE  
L.A.  
776-3344



# PLOT PLAN FOR BUILDING PERMIT A-12938

REQ'D PARKING:  
PARKING STALLS UNDER PERMIT A-995 / A-2535 / A-2871 = 0 STALLS

PERMIT A-12938 = 2,963 SF ( 1/500 SF) = 5.9 STALLS (6)  
(C.O.U) 2,763 SF ( 1/500 SF) = 5.52 STALLS (6)

TOTAL PARKING REQUIRED = 0

**1964 BUILDING PERMIT # A-12938**  
INTERIOR PARTITIONS

USE: MANUFACTURING / OFFICE  
AREA: NO CHANGE

REQ'D PARKING: 0 STALLS

PLANNING DIVISION		PLAN CHECK LIST		BY: <u>JHC</u>	
<u>LARRY KNOWLES</u> <u>3510 SCHAEFER STREET</u>		310/676-3218 PHONE		<u>3-22-75</u> DATE	
ORIGIN OF PROJECT NAME		LOT/IN		BLOCK/TRACT	
JOB ADDRESS		JOB DESCRIPTION			
M-1 ZONE		<u>"A.T.F." PERMIT FOR CRANE AND CRANEWAY INSTALLED IN 1980</u>			
CHECK		EXISTING/PROPOSED			
BLDG. SETBACKS	OK	FRONT <u>50'</u>			
	NA	SIDES <u>0'</u>			
	OK	REAR <u>0'</u>			
BLDG. HEIGHT	OK	18'			
	NA				
	OK				
OPEN SPACE & LOT COVERAGE	OK				
	NA				
	OK				
DISTANCE BTWN. BUILDINGS &/OR UNIT SIZE	OK				
	NA				
	OK				
FENCES, WALLS, HEDGES	OK				
	NA				
	OK				
PARKING	OK	(SEE "OTHER")			
	NA				
	OK				
SIGNS	OK				
	NA				
	OK				
SPECIAL CONDITIONS	OK				
	NA				
	OK				
OTHER	OK	EQUIPMENT, OUTDOOR STORAGE COVER, OPEN ON ALL SIDES. THEREFORE, NOT BLDG FLOOR AREA THAT REQUIRES NEW OR REDUCES EXISTING PKG.			
	NA				
	OK				
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved		Special Action(s): TYPE _____ PL- _____ Ord. No. _____ Res. No. _____ Admin. _____ for _____		DATE APPROVED _____	
Reason: _____		CPCL 83			

## 1995 PLAN CHECKLIST

USE: SEE ABOVE  
AREA: (D) 4,538 TOTAL SF

REQ'D PARKING: BUILDING FLOOR AREA DOES NOT REQUIRE NEW PARKING AND DOES NOT REDUCE EXISTING PARKING

CULVER CITY BUILDING AND SAFETY, 4095 OVERLAND AVENUE

CULVER CITY, CALIFORNIA 90232-0507

FOR INFORMATION

(310) 202-8906

I

Transaction	Account Number	Account Title	Amount
1100	01-407-3211	Building Permits	165.00
150	01-151-1102	Tax	0
150	01-151-1102	01-151-1102	0
150	01-407-3212	Deposit	0
150	01-407-3213	Plan Check	0

CITY OF CULVER CITY 902320507  
 Value: \$000.00-500.00 TIME: 1:00:40  
 37115 MR 27 NO 38  
 Permit: 37115

APPLICATION FOR BUILDING PERMIT

Existing New

(PLEASE PRINT, YOU ARE MAKING FOUR COPIES)

Job Address: 3516 Pacheco

Local: Map Box: Sub: Parcel:

Zone: Lot: Tract:

Occupancy Type: Construction Type:

Owner: Jacky Krawetz

Mailing Address: 14141 Chadron

New Thorpe, CA 90250

Phone Number: 310-676-3222

The Building Department has reviewed the plans and has determined that the applicant is not a building contractor. (X) If not, check next to comply with the provisions of Section 20205, 20206, 20207 or 20208 of the Health and Safety Code and the requirements for a permit for construction or installation for use in the County Building Department.

Occupant: Jacky Krawetz

Print Name: Jacky Krawetz

Single Area Square Footage:

Square Feet Above Grade:

Square Feet Below Grade:

Valuation: 15000

Description of Work: ☐ Alter ☐ Repair ☐ Demolish

☒ New ☐ Addition ☐ Expansion

☐ Commercial ☐ Residential

Permit Fee: 165.00

Plan Check Fee: 18.40

Balance of Plan Check Fees:

FOR OFFICIAL USE ONLY

Permit Fees: 165.00

Plan Check Fee: 18.40

Balance of Plan Check Fees:

Bedroom Tax:

Sewer Facility Fees:

Street Use Fee: 0.00

Plan Check Fees:

SOLIDUS, OLASD Fee: Fee

DEV. Impact Fee

Investigation:

Approval: Inspector: Date:

Contractor: Anna Smith

Address:

City/Zip:

Phone Number:

Signature: Jacky Krawetz

City License Number:

State License Number:

City Business License No.:

Engineer:

Address:

Phone Number:

State Registration Number:

Architect:

Address:

Phone Number:

State Registration Number:

Architect:

Address:

Phone Number:

State Registration Number:

Architect:

Address:

Phone Number:

State Registration Number:

Architect:

Address:

Phone Number:

State Registration Number:

Architect:

Address:

Phone Number:

State Registration Number:

Foundation:

Concrete Slab:

Wall Foot & Sout:

Floor Joist:

Roof Nail:

Shear Panel:

Framing:

Exterior Lath:

Insulation:

Walk Out Ceiling:

Interior Lath:

Dry Wall Nail:

Scratch Coat:

Brown Coat:

H&M: MR OCR:

Plan Inspection:

Application Received By: Jacky Krawetz

Application Approved By: Jacky Krawetz

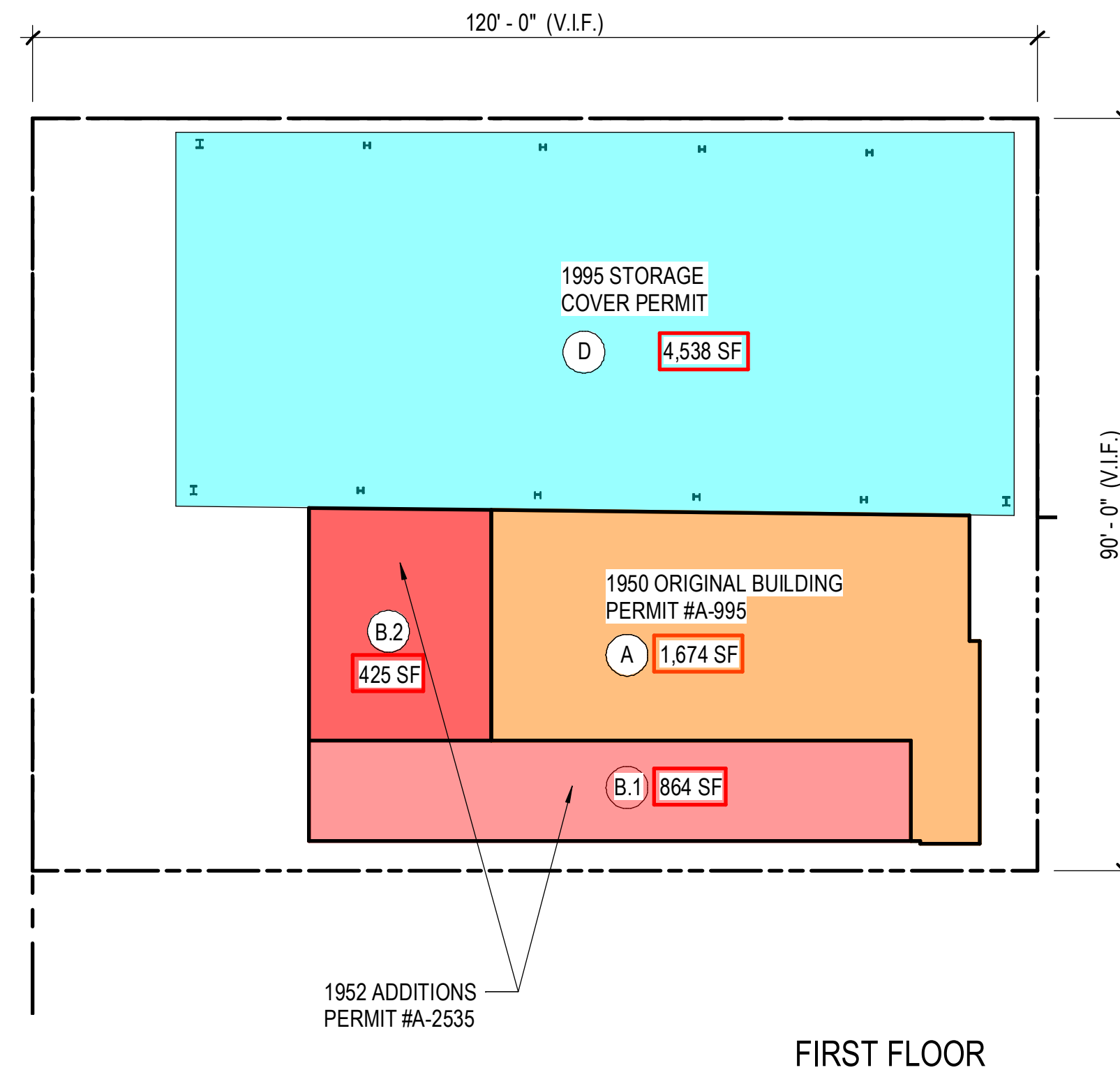
Permit Issued By: Jacky Krawetz

Date: 02/27/95

Date: 02/27/95

Distribution: White Office Green-Asstants Office Purple-Inspector Pink-Applicant Gold-City Clerk

**1995 COVERED CRANEWAY PERMIT #37115**



AREA: (A) 1,674 + (B.1) 864 + (B.2) 425 + (D) 4,538 = 7,501 TOTAL SF

## SUMMARY OF EXISTING PERMITTED BLDGS

## HISTORIC PERMITS

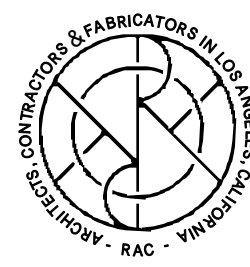
**SCHAEFER 3516**  
CORE & SHELL

3516 SCHAEFER STREET  
CULVER CITY, CA 90232

OWNER

**REDCAR PROPERTIES LTD**  
2341 MICHIGAN AVE  
SANTA MONICA, CA 90404

ARCHITECT:



**RAC**  
3048 N COOLIDGE AVE  
LOS ANGELES, CA 90039  
T: 323-663-9898  
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CONSULTANTS:

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**GLOTMAN SIMPSON**  
600 WILSHIRE BLVD., STE 650  
LOS ANGELES, CA 90017  
213.283.2515

MEP ENGINEERS  
**AMA CONSULTING ENGINEERS**  
2101 EL SEGUNDO BLVD.  
EL SEGUNDO, CA 90245  
310.846.4664

LANDSCAPE ARCHITECT  
MTLA INC.  
1424 4TH ST, THIRD FLOOR  
SANTA MONICA, CA 90401  
310.395.3195

CIVIL ENGINEER  
**KPFF**  
 700 SOUTH FLOWER ST. STE 2100  
 LOS ANGELES, CA 90017  
 213.418.0211

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REVIEWER
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DRAWING TITLE:  
**HISTORIC PERMITS**

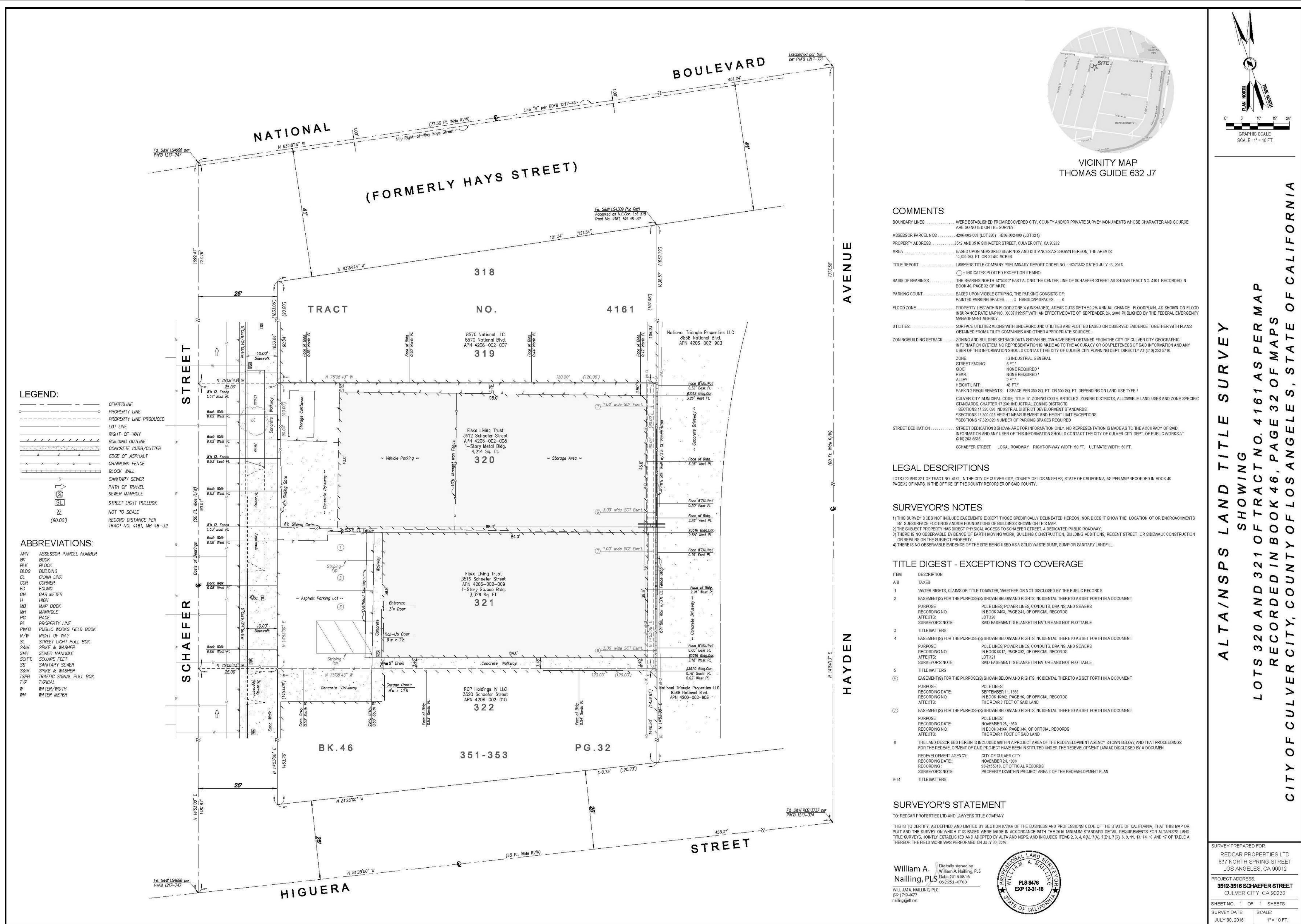
SCALE AT ARCH D (24 x 36):  
1/16" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER

# R002





**LEGEND:**

- CENTERLINE
- PROPERTY LINE
- PROPERTY LINE PRODUCED
- LOT LINE
- RIGHT-OF-WAY
- BUILDING OUTLINE
- CONCRETE CURB/GUTTER
- EDGE OF ASPHALT
- CHAINLINK FENCE
- BLOCK WALL
- SANITARY SEWER
- PATH OF TRAVEL
- SEWER MANHOLE
- STREET LIGHT PULLBOX
- NOT TO SCALE
- RECORD DISTANCE PER TRACT NO. 4161, MB 46-32

**ABBREVIATIONS:**

- APN ASSESSOR PARCEL NUMBER
- BK BLOCK
- BLDG BUILDING
- CL CHAIN LINK
- COR CORNER
- FD FOUND
- GM GAS METER
- H HIGH
- MB MAP BOOK
- MH MANHOLE
- PD PACE
- PL PROPERTY LINE
- PWB PUBLIC WORKS FIELD BOOK
- R/W RIGHT OF WAY
- SL STREET LIGHT PULL BOX
- SAW SPIKE & WASHER
- SMH SEWER MANHOLE
- SQ FT SQUARE FEET
- SS SANITARY SEWER
- S&W SPIKE & WASHER
- TS&B TRAFFIC SIGNAL PULL BOX
- TYP TYPICAL
- W WATER/WIDTH
- WM WATER METER

**COMMENTS**

BOUNDARY LINES WERE ESTABLISHED FROM RECOVERED CITY, COUNTY AND/OR PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

ASSESSOR PARCEL NOS 4206-002-008 (LOT 320) 4206-002-009 (LOT 321)

PROPERTY ADDRESS 3512 AND 3516 SCHAEFER STREET, CULVER CITY, CA 90032

AREA 10,890 SQ. FT. OR 0.2480 ACRES

TITLE REPORT LAWYERS' TITLE COMPANY PRELIMINARY REPORT ORDER NO. 11607382 DATED JULY 13, 2016.

BASIS OF BEARINGS THE BEARING NORTH 14°57'00" EAST ALONG THE CENTER LINE OF SCHAEFER STREET AS SHOWN TRACT NO. 4161 RECORDED IN BOOK 46, PAGE 32 OF MAPS.

PARKING COUNT BASED UPON VISIBLE STRIPING, THE PARKING CONSISTS OF PAINTED PARKING SPACES... 3 HANDICAP SPACES... 0

FLOOD ZONE PROPERTY LIES WITHIN FLOOD ZONE X (UNSHADED), AREAS OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 4607010567 WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2004 PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITIES SURFACE UTILITIES ALONG WITH UNDERGROUND UTILITIES ARE PLOTTED BASED ON OBSERVED EVIDENCE TOGETHER WITH PLANS OBTAINED FROM UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES.

ZONING/BUILDING SETBACK ZONING AND BUILDING SETBACK DATA SHOWN BELOW HAVE BEEN OBTAINED FROM THE CITY OF CULVER CITY GEOGRAPHIC INFORMATION SYSTEM. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE CITY OF CULVER CITY PLANNING DEPT. DIRECTLY AT (310) 253-5710.

STREET DEDICATION STREET DEDICATIONS SHOWN ARE FOR INFORMATION ONLY. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF SAID INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE CITY OF CULVER CITY DEPT. OF PUBLIC WORKS AT (310) 253-5635.

SCHAEFER STREET LOCAL ROADWAY RIGHT-OF-WAY WIDTH 50 FT. ULTIMATE WIDTH 50 FT.

**LEGAL DESCRIPTIONS**

LOTS 320 AND 321 OF TRACT NO. 4161, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 46, PAGE 32 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**SURVEYOR'S NOTES**

1) THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON, NOR DOES IT SHOW THE LOCATION OF OR ENCROACHMENTS BY SUBSURFACE FOOTINGS AND/OR FOUNDATIONS OF BUILDINGS SHOWN ON THIS MAP.

2) THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO SCHAEFER STREET, A DEDICATED PUBLIC ROADWAY.

3) THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, BUILDING ADDITIONS, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT PROPERTY.

4) THERE IS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

ITEM	DESCRIPTION
A8	TAXES
1	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS
2	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: POLE LINES, POWER LINES, CONDUITS, DRAINS, AND SEWERS RECORDING NO: IN BOOK 3463, PAGE 241, OF OFFICIAL RECORDS AFFECTS: LOT 320 SURVEYOR'S NOTE: SAID EASEMENT IS BLANKET IN NATURE AND NOT PLOTTABLE.
3	TITLE MATTERS
4	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: POLE LINES, POWER LINES, CONDUITS, DRAINS, AND SEWERS RECORDING NO: IN BOOK 3417, PAGE 332, OF OFFICIAL RECORDS AFFECTS: LOT 321 SURVEYOR'S NOTE: SAID EASEMENT IS BLANKET IN NATURE AND NOT PLOTTABLE.
5	TITLE MATTERS
6	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: POLE LINES RECORDING DATE: SEPTEMBER 11, 1939 RECORDING NO: IN BOOK 3492, PAGE 36, OF OFFICIAL RECORDS AFFECTS: THE REAR 3 FEET OF SAID LAND.
7	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: POLE LINES RECORDING DATE: NOVEMBER 26, 1959 RECORDING NO: IN BOOK 3496, PAGE 346, OF OFFICIAL RECORDS AFFECTS: THE REAR 1 FOOT OF SAID LAND.
8	THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW AS DISCLOSED BY A DOCUMENT. REDEVELOPMENT AGENCY: CITY OF CULVER CITY RECORDING DATE: NOVEMBER 24, 1998 RECORDING NO: 94-255314, OF OFFICIAL RECORDS SURVEYOR'S NOTE: PROPERTY IS WITHIN PROJECT AREA 3 OF THE REDEVELOPMENT PLAN.
9-14	TITLE MATTERS

**SURVEYOR'S STATEMENT**

TO: REDCAR PROPERTIES LTD AND LAWYERS' TITLE COMPANY

THIS IS TO CERTIFY, AS DEFINED AND LIMITED BY SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA, THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5(A), 7(A), 7(B), 7(C), 8, 9, 11, 14, 15, AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS PERFORMED ON JULY 30, 2016.

William A. Nailling, PLS  
Digitally signed by William A. Nailling, PLS  
Date: 2016.08.16 06:26:53 -0700  
WILLIAM A. NAILLING, PLS  
(818) 715-1427  
nailling@att.net

PROFESSIONAL LAND SURVEYOR  
PLS 9476  
EXP 12-31-18  
STATE OF CALIFORNIA

SURVEY PREPARED FOR:  
REDCAR PROPERTIES LTD  
837 NORTH SPRING STREET  
LOS ANGELES, CA 90012

PROJECT ADDRESS:  
3512-3516 SCHAEFER STREET  
CULVER CITY, CA 90032

SHEET NO. 1 OF 1 SHEETS

SURVEY DATE: JULY 30, 2016 SCALE: 1" = 10 FT.

**SCHAEFER 3516  
CORE & SHELL**

3516 SCHAEFER STREET  
CULVER CITY, CA 90032

**OWNER:**  
**REDCAR PROPERTIES LTD**  
2341 MICHIGAN AVE  
SANTA MONICA, CA 90404

**ARCHITECT:**  
**RAC**  
3048 N COOLIDGE AVE  
LOS ANGELES, CA 90039  
T: 323-663-9898  
F: 323-663-9899  
WWW.RACDB.COM

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**CONSULTANTS:**

**STRUCTURAL ENGINEER**  
**GLOTMAN SIMPSON**  
600 WILSHIRE BLVD., STE 650  
LOS ANGELES, CA 90017  
213.283.2933

**MEP ENGINEER**  
**AMA CONSULTING ENGINEERS**  
2101 EL SEGUNDO BLVD.  
EL SEGUNDO, CA 90245  
310.846.4664

**LANDSCAPE ARCHITECT**  
**MTLA INC.**  
1424 4TH STREET, 2ND FLOOR  
SANTA MONICA, CA 90401  
310.395.3355

**CIVIL ENGINEER**  
**KPFF**  
700 SOUTH POWER ST. STE 2100  
LOS ANGELES, CA 90017  
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

**DRAWING TITLE:**  
**REFERENCE SURVEY**

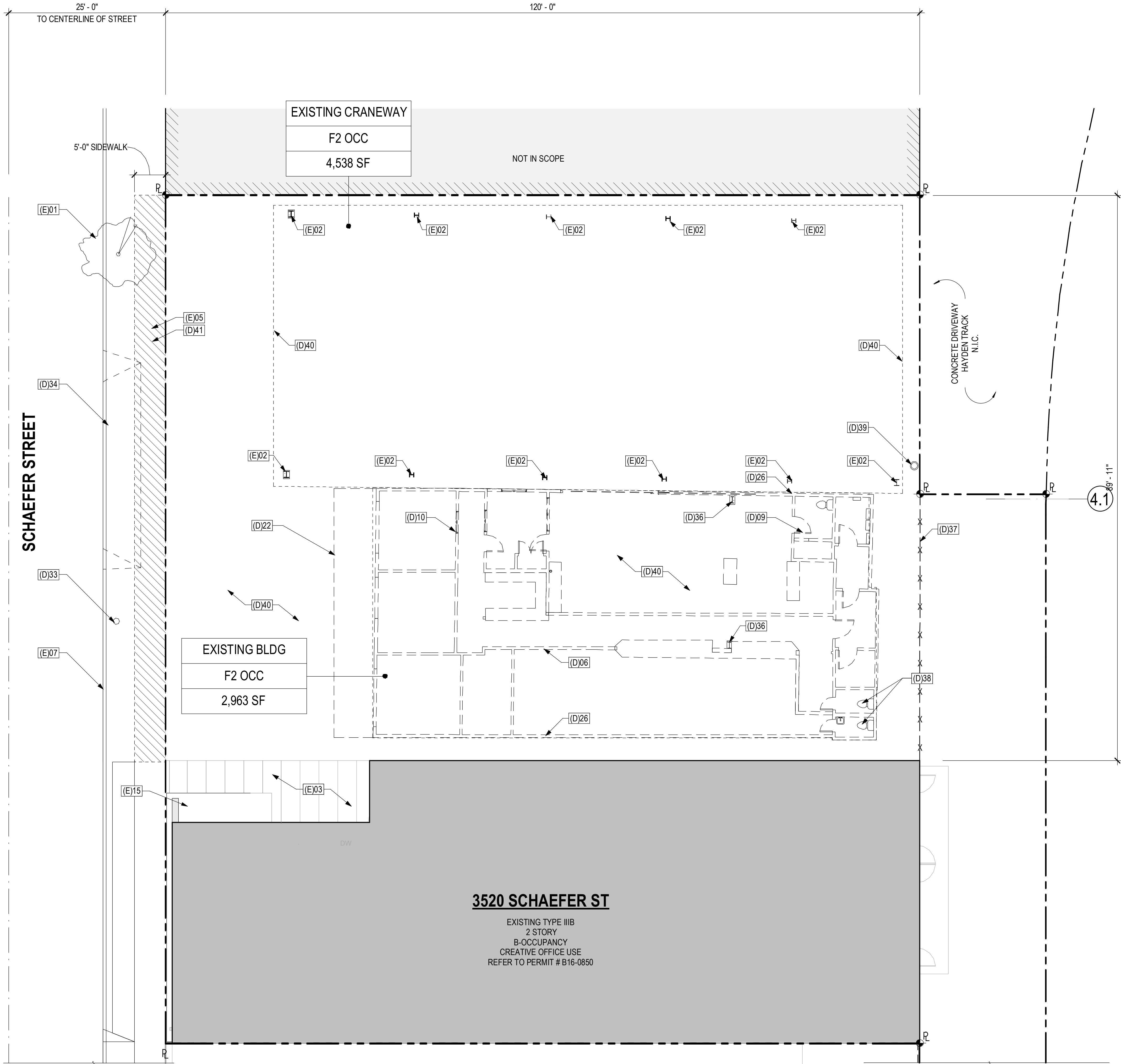
SCALE AT ARCH D (24 x 36):  
1" = 10'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

**R110**





## GENERAL NOTES - DEMOLITION

- CONTRACTOR SHALL BE RESPONSIBLE FOR AN EXISTING SITE AND BUILDING INSPECTING TO VERIFY EXISTING CONDITIONS AND ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK TO BE PERFORMED. DEMOLITION CALLOUTS INDICATED ARE REPRESENTATIVE OF THE WORK TO BE DONE AND IS NOT AN ITEMIZED ACCOUNTING FOR BUILDING ELEMENTS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.
- UTILITIES AND EQUIPMENT SHOWN OR NOTED REPRESENT ITEMS THAT WERE READILY VISIBLE AND MAY NOT INDICATE ALL UTILITIES AND/OR EQUIPMENT WHICH ARE TO BE REMOVED AS PART OF THIS SCOPE. EXISTING WALL, FOOTINGS AND STRUCTURAL ELEMENTS TO REMAIN ARE TO BE PROTECTED FOR DURATION OF DEMOLITION AND CONSTRUCTION.
- DEMOLISH ALL WALL MOUNTED EQUIPMENT, BOARDS, DEVICES, ETC. U.O.N.
- DIMENSIONS ARE FROM FACE OF (E) BRICK AND FACE OF FINISH WALL, U.O.
- SEE ELECTRICAL DEMOLITION DWGS FOR ADDITIONAL REQUIREMENTS.
- SEE MECHANICAL DEMOLITION DWGS FOR ADDITIONAL REQUIREMENTS.
- SEE PLUMBING DEMOLITION DWGS FOR ADDITIONAL REQUIREMENTS.
- NO DEMOLITION SHALL COMMENCE ON ANY FIRE SPRINKLER OR FIRE ALARM COMPONENTS WITHOUT QUALIFIED FIRE PROTECTION SUB CONTRACTOR CONTRACTED TO PROJECT.
- COPIES OF NOTIFICATION TO AQMD SHALL BE PROVIDED TO BUILDING AND SAFETY PRIOR TO THE REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL. PER AQMD RULE 1403.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS

## KEYNOTE - (D)EMOLITION

(D)06	DEMO INT. PARTITION
(D)09	DOOR TO BE REMOVED, TYP.
(D)10	WINDOW TO BE REMOVED, TYP.
(D)22	OVERHANG ABV TO BE REMOVED.
(D)26	WALL TO BE REMOVED, TYP.
(D)33	RELOCATE (E) STREET LAMP
(D)34	ALL EXISTING DRIVEWAY APPROACHES WHICH WILL NO LONGER BE NECESSARY DUE TO THIS PROJECT SHALL BE REMOVED AND REPLACED WITH FULL HEIGHT SIDEWALK, CURB AND GUTTER PER AMERICAN PUBLIC WORKS ASSOC (APWA) STANDARD PLANS
(D)36	STL. COLUMN TO BE REMOVED, TYP.
(D)37	CHAINLINK FENCE TO BE REMOVED.
(D)38	PLUMBING FIXTURES TO BE REMOVED IN ENTIRETY. ALL PLUMBING LINES TO BE CAPPED.
(D)39	UTILITY POLE TO BE REMOVED.
(D)40	DEMO (E) SLAB.
(D)41	DEMO (E) CONC. SIDEWALK AND REPLACE WITH NEW SIDEWALK STARTING AT PROPERTY LINE AND EXTENDING TOWARDS STREET 5 FEET.

## KEYNOTE - (E)XISTING

(E)01	(E) SITE TREE TO REMAIN
(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)03	(E) CONC. SLAB TO REMAIN
(E)05	(E) SIDEWALK
(E)07	(E) CURB CUT AND GUTTER
(E)15	(E) PARKWAY TO REMAIN

## DEMO SITE PLAN LEGEND

- EXISTING STEEL STRUCTURE TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING CHAIN-LINK FENCE TO BE DEMOLISHED

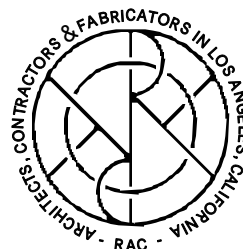
## SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET  
CULVER CITY, CA 90232

### OWNER:

**REDCAR PROPERTIES LTD**  
2341 MICHIGAN AVE  
SANTA MONICA, CA 90404

### ARCHITECT:



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213.418.0200

### SEALS OR APPROVALS

### ISSUE & REVISION RECORD

ISSUE	DATE	REV

### DRAWING TITLE:

**(E) SITE PLAN  
DEMOLITION**

SCALE AT ARCH D (24 x 36):

As indicated

DRAWN

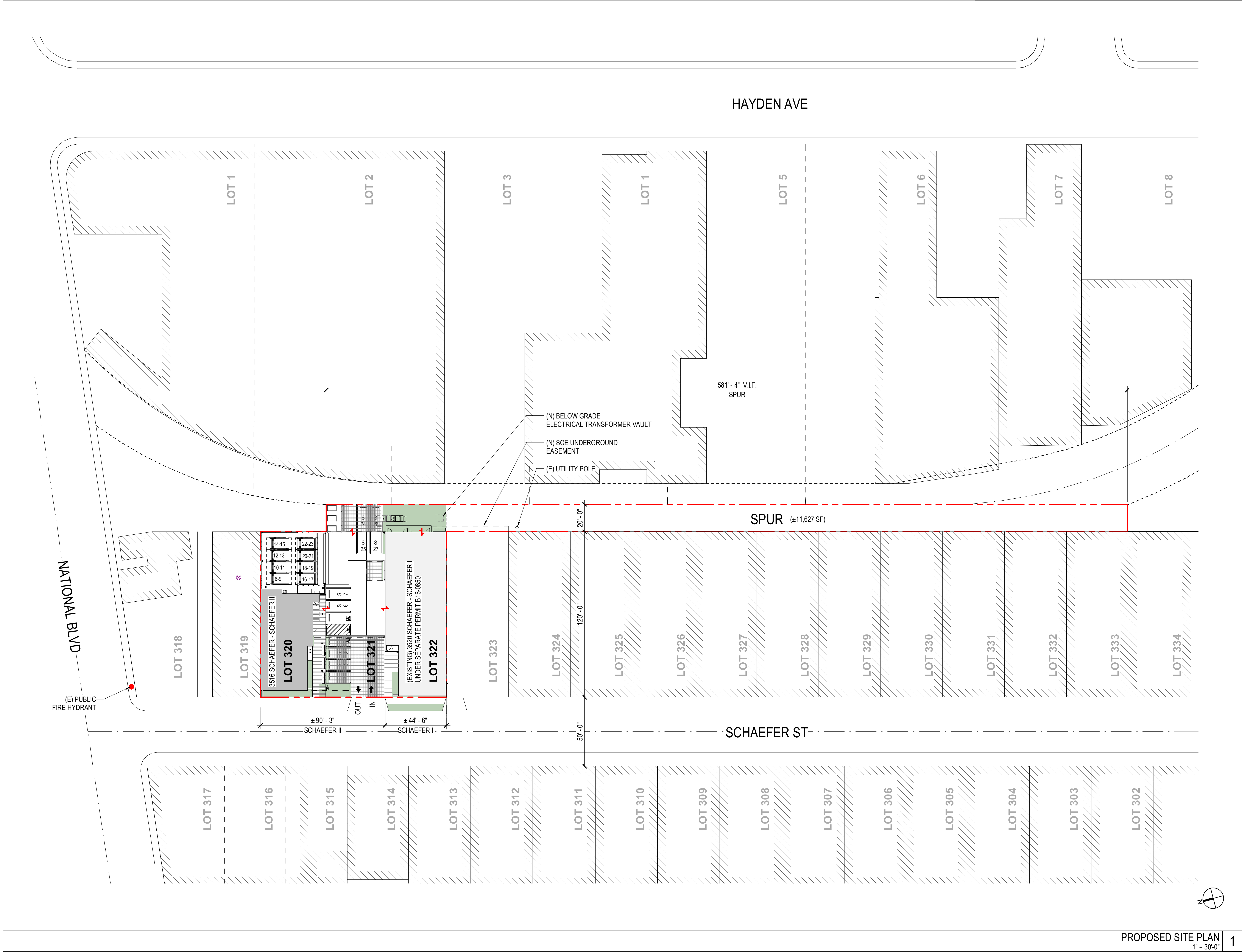
BY:

**RAC**

SHEET NUMBER:

**D101**





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**CORE & SHELL**

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CULVER CITY, CA 90232

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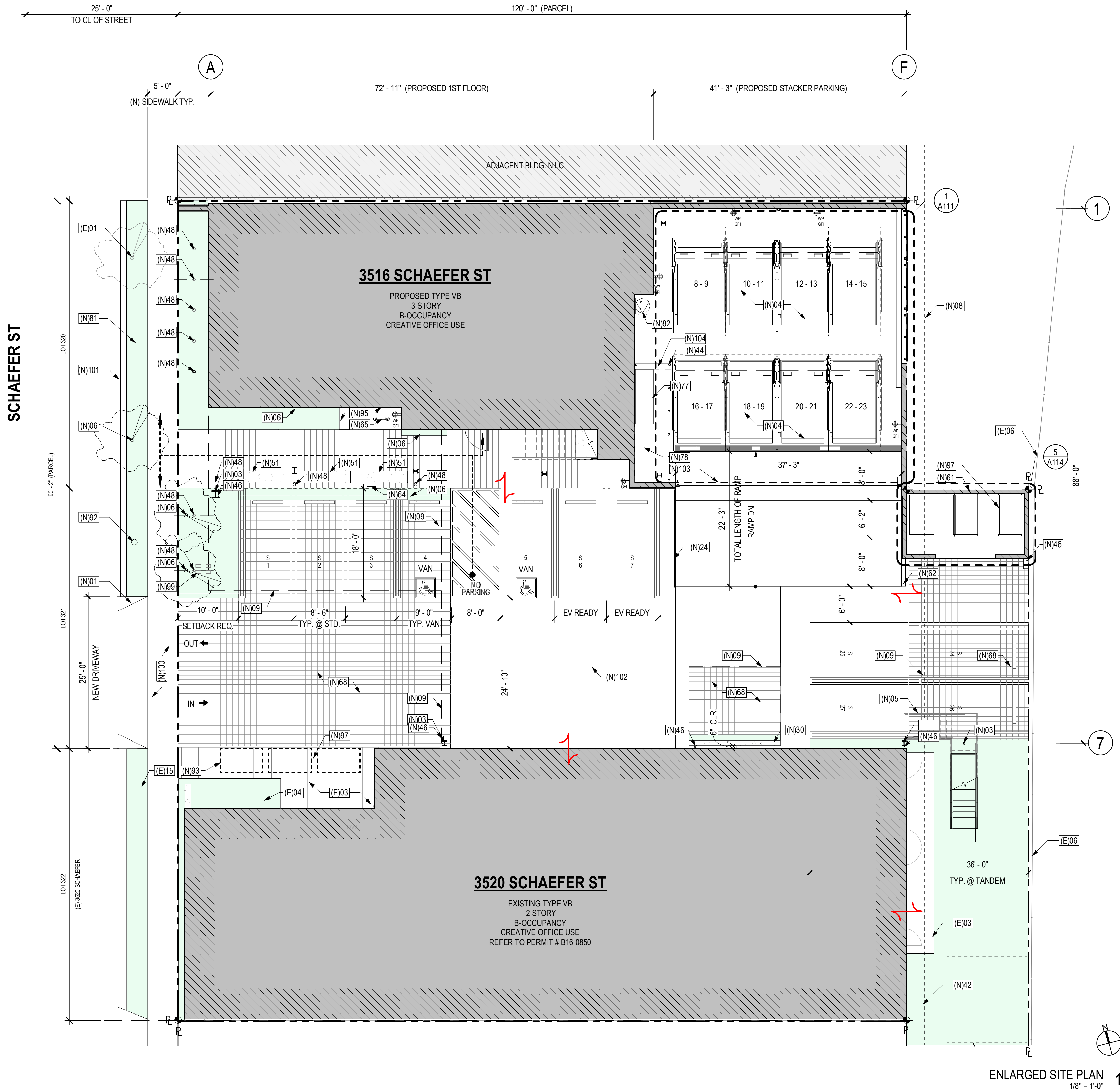
SEALS OR APPROVALS

ISSUE & REVISION RECORD:		
ISSUE	DATE	REV

DRAWING TITLE:  
**PROPOSED SITE PLAN**

SCALE AT ARCH D (24 x 36): 1" = 30'-0"	DRAWN BY: <b>RAC</b>
SHEET NUMBER:	





## GENERAL NOTES - SITE PLAN

### GENERAL SITE NOTES

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO NAY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE. OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (SMMC 8.32.070) SEPARATE PLUMBING PERMIT IS REQUIRED.
3. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CITY ENCROACHMENT PERMITS FROM THE AHJ PRIOR TO COMMENCING ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING LANE CLOSURE.
4. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO PUBLIC STREETS AND/OR SIDEWALKS DUE TO CONSTRUCTION OR BY CONSTRUCTION VEHICLES TRAVELING TO OR FROM THE PROJECT SITE.

### LANDSCAPING NOTES

- L1. PROVIDE 6" HIGH BY 6" WIDE CURB AROUND LANDSCAPED AREAS ADJACENT TO DRIVE AISLES AND PARKING AREAS. CURBS SHALL BE DESIGNED TO ALLOW FOR STORM WATER RUNOFF TO PASS THROUGH.
- L2. LANDSCAPING IN PLANTERS AT ENDS OF PARKING AISLES SHALL NOT OBSTRUCT A DRIVER'S VISION OF VEHICULAR AND PEDESTRIAN CROSS-TRAFFIC AND SHALL BE BUILT IN COMPLIANCE WITH HAZARDOUS VISUAL OBSTRUCTION GUIDELINES. MAXIMUM HEIGHT TO BE NO GREATER THAN 24" ABOVE PAVEMENT SURFACE.

### LIGHTING NOTES

- LT1. PUBLIC PARKING AREAS SHALL BE PROVIDED WITH A MIN. 0.5 FOOT-CANDLES AND MAX. 3 FOOT-CANDLES OF LIGHT OVER THE PARKING SURFACE DURING THE HOURS OF USE FROM ONE HALF HOUR BEFORE DUSK UNTIL ONE HALF HOUR AFTER DAWN.
- LT2. ALL LIGHTING ILLUMINATING PARKING AREAS SHALL BE ARRANGED SO THAT ALL DIRECT RAYS FROM SUCH LIGHTING FALL ENTIRELY WITHIN SUCH PARKING LOT.
- LT3. ALL EXTERIOR DOORS ARE TO BE ILLUMINATED, DURING THE HOURS OF DARKNESS, WITH A MINIMUM OF ONE FOOT-CANDLE OF LIGHT.
- LT4. ALL LIGHTING FIXTURES SHALL BE SHIELDED SO AS NOT TO PRODUCE OBTRUSIVE GLARE ONTO THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTIES. ALL LUMINARIES SHALL MEET THE CRITERIA OF THE IESNA FOR "CUT OFF" OF "FULL CUT OFF" LUMINARIES.

## KEYNOTE - (E)XISTING

(E)01	(E) SITE TREE TO REMAIN
(E)03	(E) CONC. SLAB TO REMAIN
(E)04	(E) PLANTING TO REMAIN
(E)06	(E) CHAINLINK FENCE
(E)15	(E) PARKWAY TO REMAIN

## KEYNOTE - (N)EW

(N)01	(N) CURB CUT/DRIVEWAY PER AMERICAN PUBLIC WORKS ASSOC (APWA) STANDARD PLANS
(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)04	(N) STACKER PARKING
(N)05	(N) EXT. STAIR
(N)06	(N) PLANTING, REFER TO LANDSCAPE DWGS
(N)08	(N) SCE UNDERGROUND EASEMENT
(N)09	DASH LINE DENOTES FLOOR ABOVE
(N)24	(N) STL. GUARDRAIL
(N)30	(N) CONC. SHEAR WALL
(N)42	(N) ELECTRICAL SWITCH GEAR
(N)43	(N) ELECTRICAL TRANSFORMER VAULT BELOW GRADE
(N)44	(N) REMOVABLE BOLLARD
(N)46	(N) BONDERIZED SHT. MTL. DOWNSPOUT
(N)48	(N) EXTERIOR UPLIGHT, SEE SPEC
(N)51	(N) CONC. BENCH SEATING, T.I. ONLY
(N)61	(N) TRASH ENCLOSURE
(N)62	(N) 6" CONC. CURB
(N)64	(N) CITY-APPROVED "LOADING ONLY" SIGN W/ DESIGNATED TIME PERIOD NOT EXCEEDING ONE-HALF HOUR PER DAY DURING NORMAL BUSINESS HOURS, SEE CDMC 17.320.050.C.1.B.
(N)65	(N) U-SHAPED BIKE RACK, SHORT TERM
(N)68	(N) PERVIOUS SURFACE, SEE SPEC.
(N)77	(N) MAIN SWITCHGEAR
(N)78	(N) POWER PACK FOR HYDRAULIC SYSTEM PER PARK PLUS
(N)81	(N) PROPOSED PARKWAY, UNDER SEPARATE PERMIT
(N)82	(N) BOOSTER PUMP, REFER TO PLUMBING DWGS
(N)92	(N) RELOCATED STREET LAMP
(N)93	(N) TRASH BIN STAGING AREA
(N)95	(N) DECOMPOSED GRANITE
(N)97	OWNER/TENANT SHALL BE RESPONSIBLE FOR BRINGING TRASH BINS TO THE STAGING AREA DURING COLLECTION SERVICE DAYS AND SHALL BE RESPONSIBLE TO BRING BACK THE TRASH BINS IMMEDIATELY UPON TRASH COLLECTION INSIDE TRASH ENCLOSURE FOR STORAGE.
(N)99	(N) BACKFLOW PREVENTER, REFER TO CIVIL DWGS
(N)100	(N) 5' SIDEWALK ALONG PROJECT FRONTAGE PER AMERICAN PUBLIC WORKS ASSOC (APWA) STANDARD PLANS
(N)101	(N) CURB/GUTTER TO REPLACE (E) CURB/GUTTER PER AMERICAN PUBLIC WORKS ASSOC (APWA) STANDARD PLANS
(N)103	(N) OVERHEAD ROLLING DOOR
(N)104	(N) CONC PAD AT ELECTRICAL EQUIPMENT

## LEGEND

	PERVIOUS PAVING		(N) GRIDLINE		LOT TIE
	PLANTING AREAS		ACC. PATH TO PUBLIC WAY		

ENLARGED SITE PLAN  
1/8" = 1'-0"

1

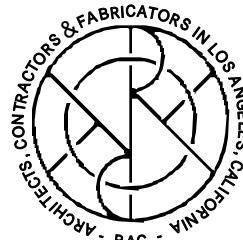
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**ENLARGED SITE PLAN**

SCALE AT ARCH D (24 x 36):

As indicated

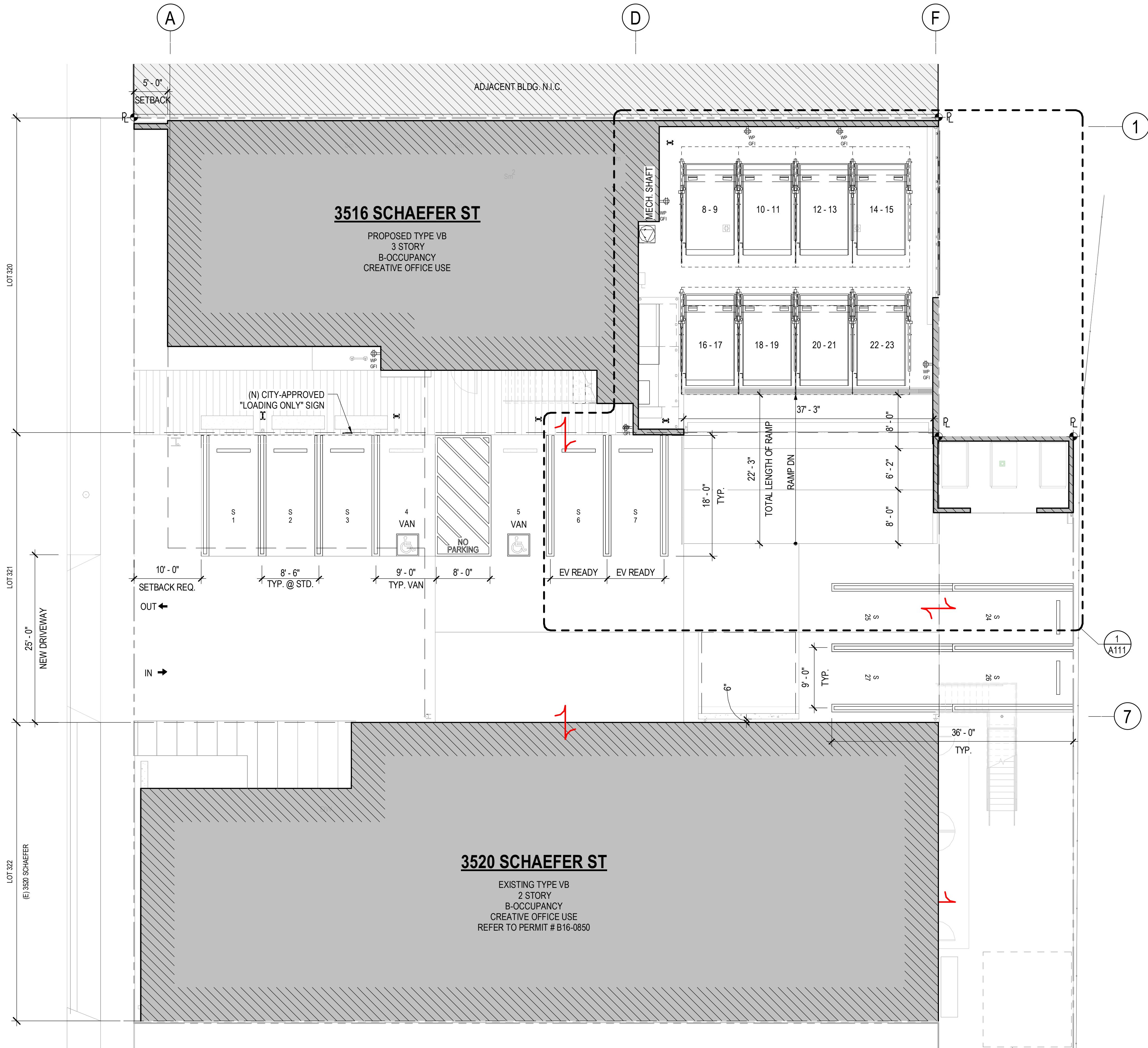
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### CCMC NOTES FOR REFERENCE

**CCMC 17.320.020 - NUMBER OF PARKING SPACES REQUIRED**  
D. NON-RESIDENTIAL CHANGE OF USE, EXPANSE OF STRUCTURE  
3. WHEN A CHANGE OF USE REQUIRES MORE OFF-STREET PARKING THAN THE PREVIOUS USE, ADDITIONAL PARKING SPACES SHALL BE PROVIDED EQUIVALENT TO THE DIFFERENCE BETWEEN THE NUMBER OF SPACES REQUIRED BY THIS TITLE FOR THE IMMEDIATELY PREVIOUS USE AND THE TOTAL NUMBER OF SPACES REQUIRED BY THE NEW USE.  
**CC 17.320.025.D.5 - COMPACT SPACES.** EXCEPT AS OTHERWISE PROVIDED IN SECTION 17.320.035 COMPACT SPACES OF 7'-6" x 17'-6" MAY BE PROVIDED FOR UP TO 30% OF REQUIRED ON-SITE OR OFF-SITE PARKING WITHIN THE PARKING DISTRICTS.  
**CC 17.320.035.C.1.B - TANDEM PARKING SPACES.** EACH TANDEM PARKING SPACE SHALL BE 9'-0" IN WIDTH BY 18'-0" IN DEPTH.  
ii. WITHIN NON-RESIDENTIAL DISTRICTS, TANDEM PARKING MAY BE PROVIDED FOR REQUIRED PARKING SPACES WHERE AUTHORIZED THROUGH AN ADMINISTRATIVE USE PERMIT. THE USE OF THE TANDEM PARKING FOR NON-RESIDENTIAL USES SHALL REQUIRE THAT THE OPERATOR OF THE PARKING FACILITY PROVIDE A VALET OR ATTENDANT AT ALL TIMES THAT THE PARKING IS ACCESSIBLE TO USERS, EXCEPT WHERE THE DIRECTOR DETERMINES THAT THE NATURE OF THE USE AND ITS OPERATION WILL NOT REQUIRE ATTENDED PARKING. TANDEM PARKING MAY BE ARRANGED TO BE NO MORE THAN 3 SPACES IN DEPTH.

**CCMC 17.610.020 - NONCONFORMING STRUCTURES**  
A. ALTERATIONS OR ADDITIONS  
2. IMPROVEMENTS TO NONCONFORMING MULTIPLE-FAMILY AND NON-RESIDENTIAL PRIMARY STRUCTURE(S).  
A. MAJOR IMPROVEMENT DEFINED: A MAJOR IMPROVEMENT IS AN IMPROVEMENT THAT WILL ADD 10% OR MORE, WITH A MINIMUM OF 750 SF, TO THE EXISTING GROSS FLOOR AREA OF THE MULTIPLE-FAMILY OR NON-RESIDENTIAL STRUCTURE(S) ON THE SITE, AS DETERMINED BY THE BUILDING OFFICIAL.

B. NONCONFORMING DUE TO PARKING  
3. NON-RESIDENTIAL STRUCTURES AND USES. STRUCTURES WITH PARKING SPACE DEFICIENCIES SHALL BE ALLOWED TO EXPAND OR ACCOMMODATE A CHANGE OF USE, PROVIDED THAT:  
B. THE EXPANSION OR NEW USE HAS A GREATER PARKING REQUIREMENT THAN THE EXISTING OR PREVIOUS USE OR STRUCTURE, AND A SUFFICIENT NUMBER OF ADDITIONAL PARKING SPACES HAVE BEEN PROVIDED TO ACCOMMODATE THE NET INCREASE OF REQUIRED SPACES IN THE FOLLOWING MANNER:  
i. THE NET NEW PARKING SPACES SHALL EQUAL THE NUMBER OF SPACES DIRECTLY REQUIRED BY THE CHANGE IN USE ONLY.  
ii. THE NUMBER OF ADDITIONAL PARKING SPACES SHALL EQUAL THE NUMBER OF SPACES DIRECTLY REQUIRED BY THE EXPANSION AREA ONLY  
iii. WHERE THERE ARE 2 OR MORE NONCONFORMING STRUCTURES ON A SITE, BUT NOT ALL STRUCTURES ARE PROPOSED FOR ADDITIONS, CHANGES, OR INTENSIFICATIONS, PARKING NONCONFORMITIES FOR THE STRUCTURES NOT PROPOSED FOR ADDITIONS, CHANGES, OR INTENSIFICATIONS MAY REMAIN AS THEY ARE.

LOADING ZONE  
A "SMALL LOADING ZONE" MAY OCCUPY A STANDARD SIZE PARKING STALL WITH RESTRICTED TIME LIMITS (1/2 HOUR) FOR DELIVERIES. SEE SECTION 17.320.050.C.1.B. FOR SIGN POSTING REQUIREMENTS. THE SPACE DOES NOT HAVE TO BE IN ADDITION TO REQUIRED PARKING, BUT CAN SERVE AS REQUIRED PARKING OUTSIDE THE LOADING SPACE TIMES.

### CGBSC 2016 NOTES FOR REFERENCE

**CGBSC 2016 5.106.5.2** DESIGNATED PARKING FOR CLEAN AIR VEHICLES - 3 REQUIRED  
ANY COMBINATION CARPOOL VAN POOL VEHICLES  
**CGBSC 2016 5.106.5.2.1** PARKING STALL MARKING  
CLEAN AIR/ VANPOOL/ EV  
**CGBSC 2016 5.106.5.3** ELECTRICAL VEHICLE (EV) CHARGING - 2 CHARGING STATIONS  
REQUIRED PER TABLE **CGBSC 2016 5.106.5.3.3**

### LOT 320 321 PARKING CALCULATIONS

REFER TO HISTORIC PERMIT SHEET R001 AND R002, FOR EXISTING PARKING BASIS				
EXISTING USE	EXISTING AREA		CHANGE OF USE	
CCMC 17.320.020_TABLE 3-3D			CCMC 17.320.020_TABLE 3-3B	STALLS
MANUFACTURING / OFFICE	$(A) + (B.1) + (B.2)$	= 2,963 SF	COMMERCIAL USE CREATIVE OFFICE	
STORAGE	$(D)$	= 4,538 SF		
	TOTAL EXISTING	= 7,501 SF	7,501 (1/350) = 21.43	21
			<b>TOTAL C.O.U. PARKING CREDIT</b>	<b>21</b>
	AREA (EXCLUDING EXTERIOR DECKS)	PARKING REQUIREMENTS		
		RATIO	EVALUATION PER CURRENT CODE	STALLS
FIRST FLOOR	2,366 SF			
SECOND FLOOR	6,147 SF			
THIRD FLOOR	6,565 SF			
THIRD FLOOR MEZZ.	1,872 SF			
TOTAL SF	16,950 TOTAL SF	1/350	16,950 SF (1/350) = 48.43	48
			B; OFFICE (NEW AREA)	48
			B; OFFICE (CHANGE OF USE CREDIT)	21
			<b>TOTAL PARKING REQUIRED</b>	<b>27</b>

### LOT 322 PARKING CALCULATIONS

(0) PARKING STALLS REQUIRED FOR (E) 3520 SCHAEFER SEE PERMIT # B16-0850				
	AREA (EXCLUDING EXTERIOR DECKS)	PARKING REQUIREMENTS		
		RATIO	EVALUATION PER CURRENT CODE	STALLS
(E) FIRST FLOOR	4,495 SF			
(E) SECOND FLOOR	1,484 SF			0
(N) SECOND FLOOR	135 SF	1/350	135 SF (1/350) = .39	0
TOTAL SF	6,114 TOTAL SF			0
			<b>TOTAL PARKING REQUIRED</b>	<b>0</b>

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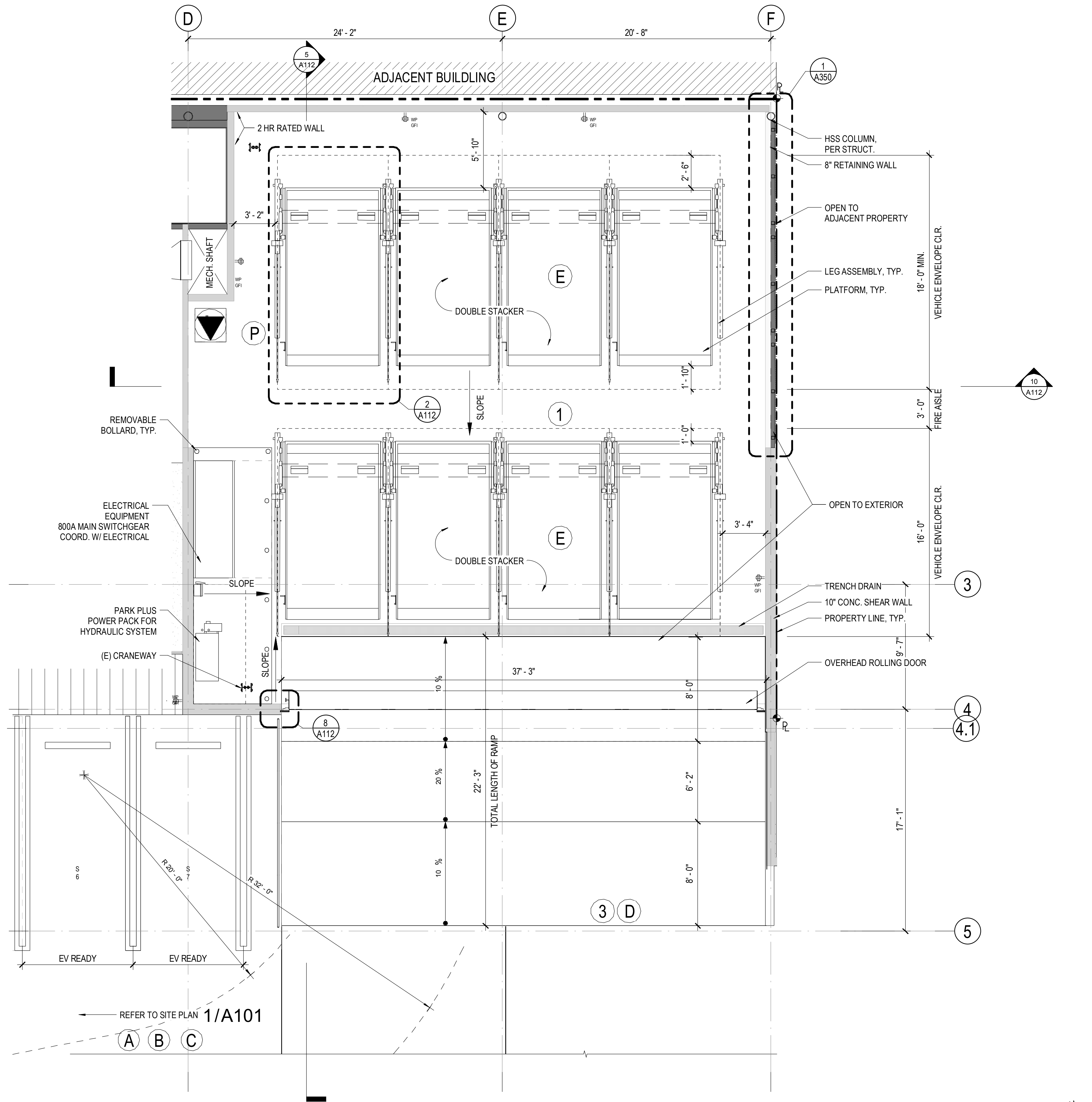
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**PARKING PLAN**  
  
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1/8" = 1'-0"  
  
DRAWN BY: **RAC**  
  
SHEET NUMBER:





## MECHANICAL PARKING DESIGN REQUIREMENTS

### FIRE DEPARTMENT DEFINITIONS

- ① \*ALL AISLE DIMENSIONS ARE MEASURED FROM THE VEHICLE ENVELOPE  
\*THE MINIMUM VEHICLE ENVELOPE SHALL BE 8'X16', AND MAY EXTEND BEYOND THE LENGTH OF EQUIPMENT PLATFORM
- ③ **MAIN AISLE** IS AN UNOBSTRUCTED WAY OF EGRESS IN FRONT OF A MECHANICAL CAR STACKER. THE MAIN AISLE IS USED AS A DRIVE AISLE IN FRONT OF A MECHANICAL CAR STACKER FOR ATTENDANTS TO LOAD AND UNLOAD VEHICLES. MUST HAVE MIN CLEARANCE PER TABLE 1A

TABLE 1A			
CAR STACKERS	MAIN AISLE	SIDE AISLE	ACCESS AISLE
2-HIGH	12'-0"	4'-0"	36" CLR*

### FIRE DEPARTMENT SITE ACCESS

- ① ANY PERSON OWNING OR HAVING CONTROL OF ANY FACILITY, STRUCTURE, GROUP OF STRUCTURES OR PREMISES USING MECHANICAL PARKING SYSTEMS SHALL MAINTAIN FIRE DEPARTMENT ACCESS IN ACCORDANCE WITH CULVER CITY FIRE DEPARTMENT REQUIREMENTS
- ② IF ANY PORTION OF THE MECHANICAL PARKING STORAGE AREA IS MORE THAN 150 FEET FROM THE EDGE OF THE ROADWAY OF AN APPROVED STREET, AN APPROVED FIRE LANE SHALL BE PROVIDED SO THAT SUCH PORTION IS WITHIN 150 FEET OF THE EDGE OF THE FIRE LANE. FIRE LANES SHALL BE PAINTED AND STENCILED.
- ③ WHERE ACCESS IS REQUIRED FOR FIRE DEPARTMENT APPARATUS, OVERHEAD CLEARANCE SHALL BE NOT LESS THAN 20 FEET WIDE AND 13'-6" AND/OR OPEN TO THE SKY, KNOX BOX AND KEY SYSTEM SHALL BE PROVIDED.

### FIRE DEPARTMENT EQUIPMENT ACCESSIBILITY (OPEN GARAGE)

- ④ EACH PLATFORM MUST BE DIRECTLY ACCESSIBLE FROM A MAIN AISLE OR FIRE LANE.
- ⑤ PROJECT USING TANDEM MECHANICAL PARKING MUST PROVIDE ACCESS TO THE BACK ROW OF PLATFORMS VIA SIDE AISLE, ACCESS AISLES, AND CATWALK. EXCEPTION: TWO LEVEL TANDEM MECHANICAL PARKING INSTALLATIONS DO NOT REQUIRE CATWALKS BUT MUST MAINTAIN MINIMUM VEHICLE ENVELOPE REQUIREMENTS.
- ⑥ OPEN GARAGE INSTALLATIONS OF MECHANICAL CAR STACKERS MUST MEET REQUIREMENTS A-E.
- ⑦ OPEN GARAGE MECHANICAL PARKING STORAGE AREAS MUST BE FULLY SPRINKLERED. MECHANICAL CAR STACKERS PILES MUST BE 18" BELOW AUTOMATIC SPRINKLER HEADS
- ⑧ \***FIRE PROTECTION ENGINEER TO SUBMIT DESIGN FOR APPROVAL.**
- ⑨ INDOOR MECHANICAL PARKING STORAGE AREAS MUST PROVIDE TWO EXITS AT THE LOWER LEVEL WITH A MAXIMUM TRAVEL DISTANCE LIMITED TO 250'.
- ⑩ ALLOWABLE BUILDING HEIGHTS AND AREA SHALL BE LIMITED PER TABLE 504.3, TABLE 504.4, AND TABLE 506.2 OF CBC FOR S-2 OCCUPANCY REQUIREMENTS FOR OPEN OR ENCLOSED PARKING STRUCTURES. ALLOWABLE AREA SHALL BE CALCULATED USING THE SUM OF EACH TIER OF THE MECHANICAL CAR STACKERS ALLOWABLE VEHICLE ENVELOPE.

TABLE 506.2			
OCC.	S1 CLASS.	TYPE OF CONSTRUCTION	ALLOWABLE AREA
S-2	SPRINKLERED	VB	54,000 SF

AREA OF VEHICLE ENVELOPE = 128 SF  
SUM OF EACH TIER = (2)128 SF = 296 SF  
TOTAL AREA = (8)296 SF = 2,368 SF

ZONING					
INDUSTRIAL GENERAL (IG)	LOT AREA	FAR	MAX AREA (SF)	MAX HEIGHT	MAX STORIES
	10,800 SF	N/A	PENDING PARKING & LAND USE	43 SF	N/A

- ① MECHANICAL PARKING STORAGE AREAS SHALL BE SEPARATED FROM OTHER USES BY A 2HR FIRE WALL
- ② MECHANICAL VENTILATION MUST BE PROVIDED PER THE MECHANICAL CODE AT A MINIMUM OF FOUR AIR CHANGES PER HOUR.
- ③ A SMOKE EXHAUST SYSTEM SHALL BE REQUIRED FOR LARGE INDOOR MECHANICAL AREAS WITH TWO OR MORE MECHANICAL CAR STACKER PILES WITH A MINIMUM OF SIX AIR CHANGES PER HOUR.

BUILDING SETBACK REQ.			
STREET FACING	SIDE	REAR	ALLEY
5'-0"	N/A	N/A	2'-0"

(2) LONG TERM SPACES, PARKING SPACES AND TWO SHORT TERM PARKING SPACES. LONG TERM SPACES SHALL BE PROVIDED IN INDIVIDUAL BIKE LOCKERS OR BIKE RACKS IN A SECURE LOCKING ENCLOSURE, ACCESSIBLE ONLY TO THE BICYCLE OWNERS, AND SHALL BE LOCATED SO THEY ARE PROTECTED FROM THE WEATHER, EASILY ACCESSED.

(2) SHORT TERM SPACES MAY BE PROVIDED ON THE PROJECT SITE, USING ONE INVERTED U BICYCLE RACK OR SIMILAR. THE SHORT TERM BICYCLE PARKING SPACES SHALL BE PROVIDED 72" AISLES AND 48" BETWEEN BICYCLE PARKING AREAS, WITH A MINIMUM 24" SEPARATION BETWEEN THE BICYCLE RACK AND ANY ADJACENT ENCLOSURE WALL.

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**ENLARGED STACKER  
PARKING PLAN**

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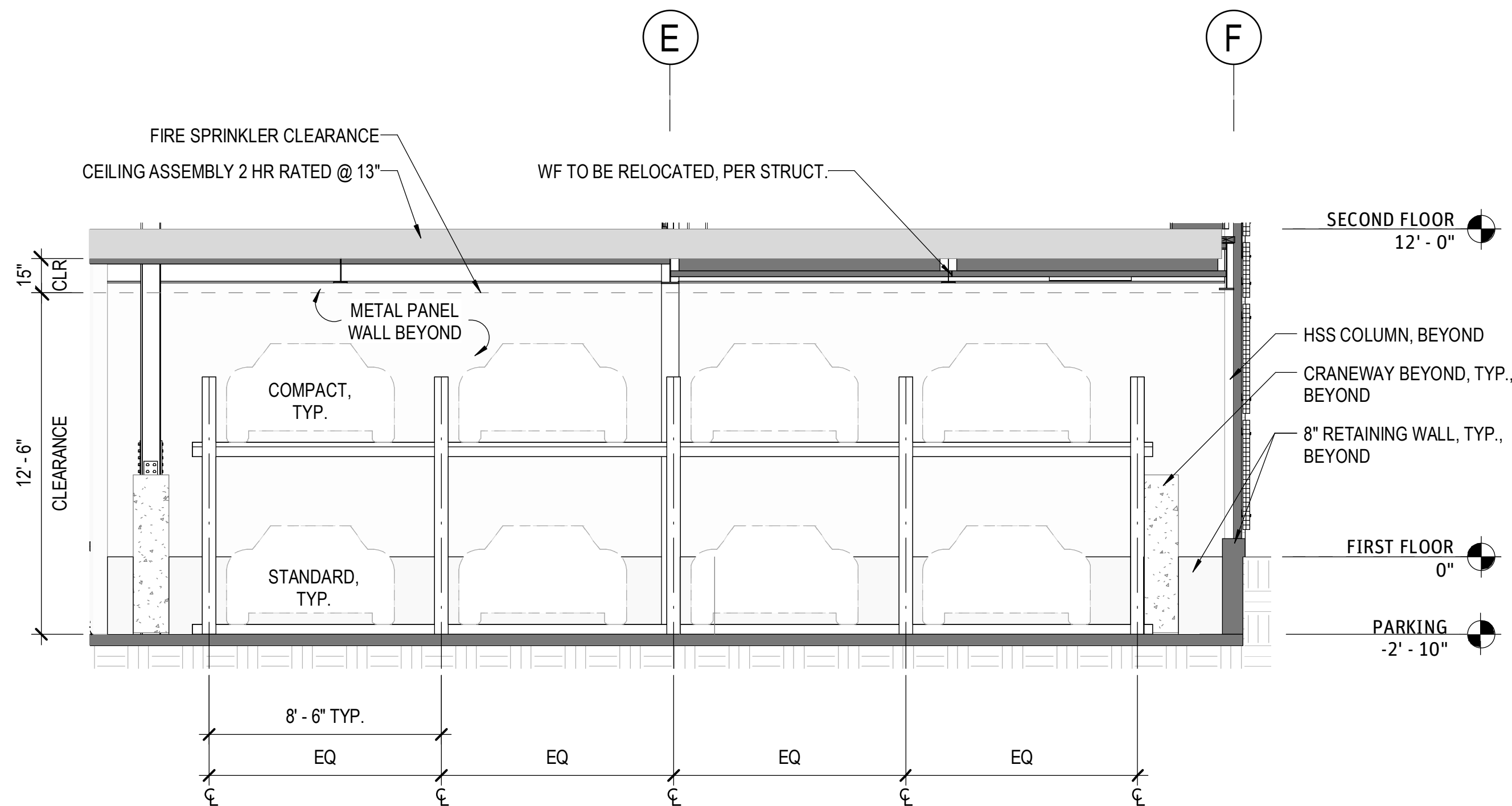
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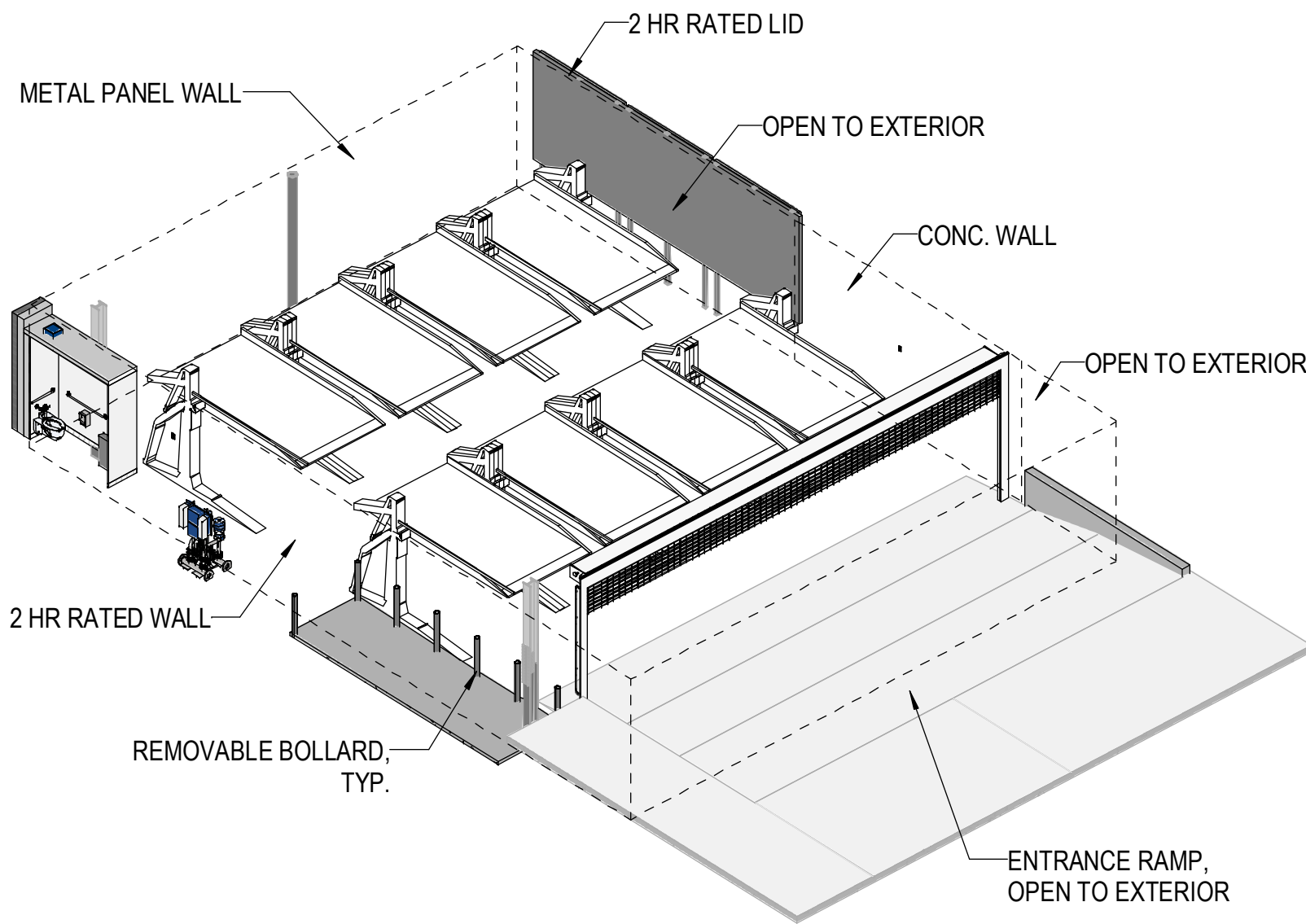
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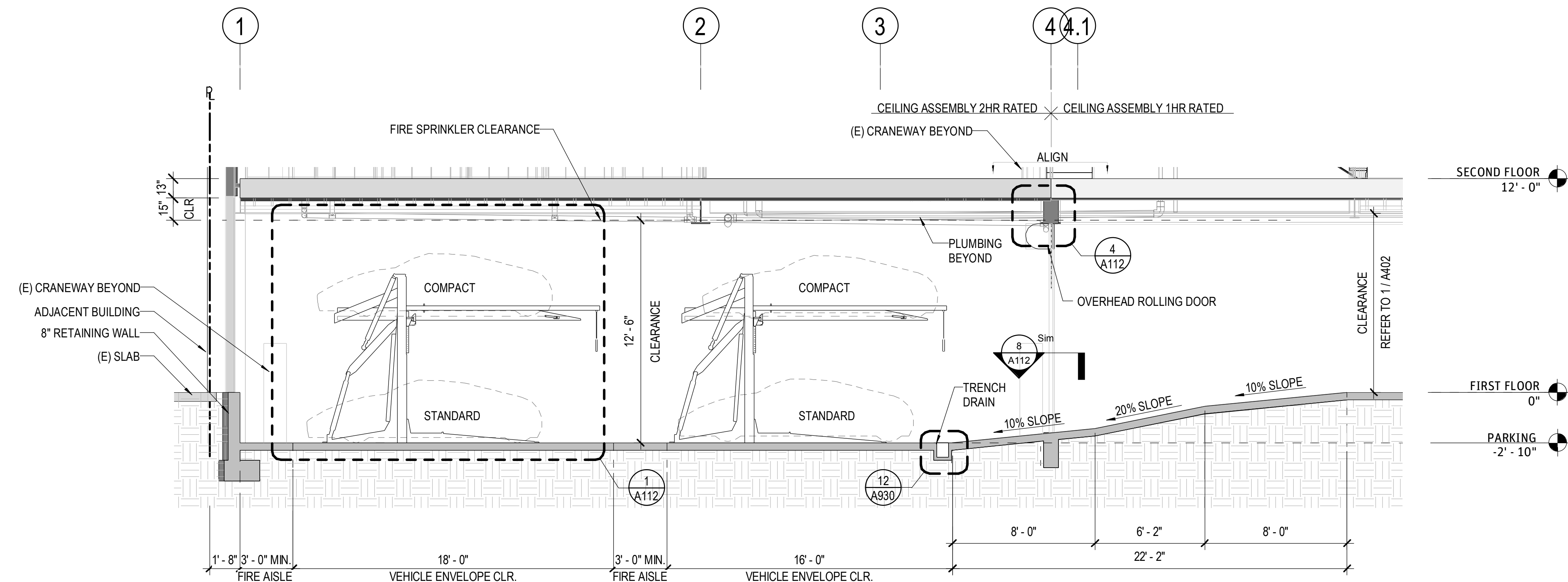
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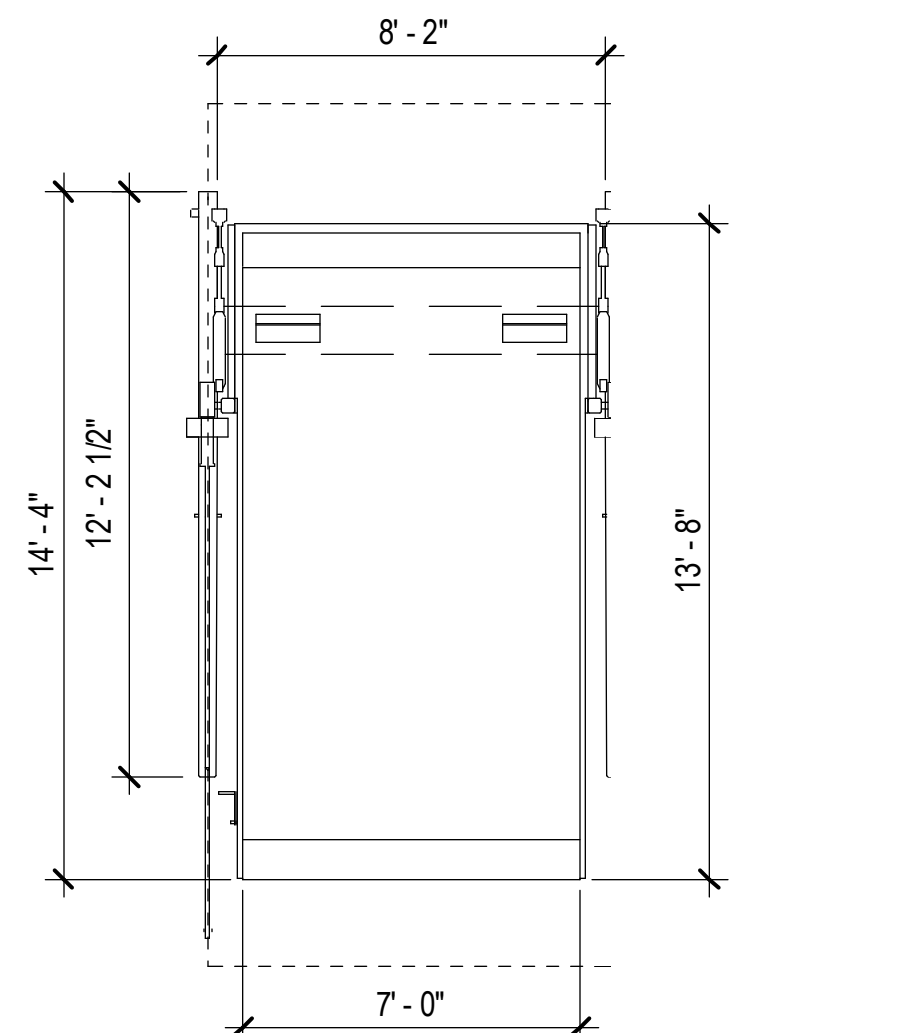
ENLARGED STACKER - CROSS SECTION  
1/4" = 1'-0" 10



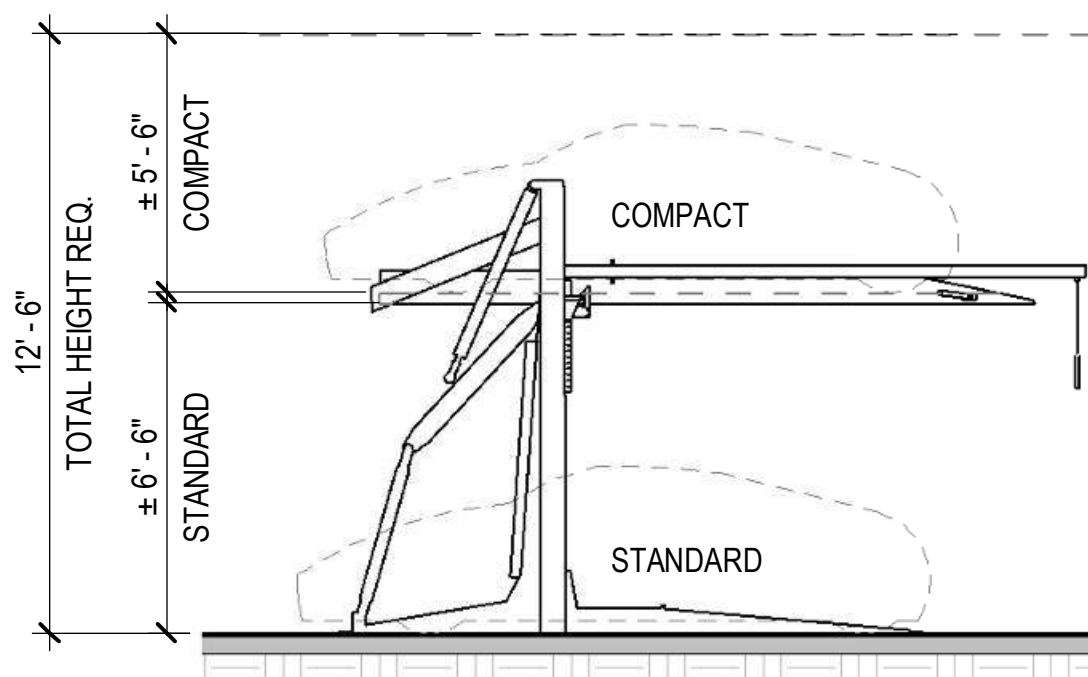
PARKING - AXON 6



ENLARGED STACKER - LONGITUDINAL SECTION  
1/4" = 1'-0" 5



ENLARGED STACKER - PLAN  
1/4" = 1'-0" 2



ENLARGED STACKER - SECTION  
1/4" = 1'-0" 1

DETAIL - OVERHEAD DOOR RAIL  
1" = 1'-0" 8

DOOR DETAIL - OVERHEAD DOOR  
1" = 1'-0" 4

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SANTA MONICA, CA 90404

**ARCHITECT:**



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**CONSULTANTS:**

**STRUCTURAL ENGINEER**  
**GLOTMAN SIMPSON**  
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213.283.2373

**MEP ENGINEER**  
**AMA CONSULTING ENGINEERS**  
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**LANDSCAPE ARCHITECT**  
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**CIVIL ENGINEER**  
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LOS ANGELES, CA 90017  
213.418.0200

**SEALS OR APPROVALS**

**ISSUE & REVISION RECORD:**

ISSUE	DATE	REV

**DRAWING TITLE:**  
**ENLARGED STACKER  
PARKING SECTIONS**

SCALE AT ARCH D (24 x 36):  
As indicated

DRAWN BY: **RAC**

SHEET NUMBER:

**A112**



8/22/2019 11:54:53 AM  
C:\Users\ileana\Documents\SCHA-3516\_A\_V2\_ileana.rvt

MATERIAL LEGEND A-S		
#	IMAGE	DESCRIPTION
CMU1		CONCRETE MASONRY UNITS  04-2200
CONC1		(N) POURED-IN-PLACE CONCRETE, GRIND AND SEAL FINISH
CONC2		CONCRETE SLAB ON GRADE, FLOAT & SEAL FINISH
CONC3		CONCRETE, WOOD FLOAT FINISH
CONC7		SHOTCRETE, ROUGH SCREED FINISH
CONC8		BOARDFORMED CONCRETE 2"X4" BOARDS  03-1100
CONC9		CONCRETE SLAB ON GRADE, ACID ETCH FINISH
CONC11		PERVIOUS CONCRETE
DG1		DECOMPOSED GRANITE

MATERIAL LEGEND A-S		
#	IMAGE	DESCRIPTION
FLR1		3" POURED-IN-PLACE CONCRETE OVER PLYWOOD  03-1000
IMP1		INSULATED METAL PANEL  07-4213
PLST1		CEMENT PLASTER  09-2423
PT1		PAINT, WHITE  09-9100
PVR1		24"X24"X2" THK CONCRETE PAVER  32-1413
RF1		2" THK CONCRETE ROOF PAVER & PEDESTAL ASSEMBLY  07-7600
RF4		CORRUGATED STEEL DECKING
RFG1		POLYVINYL CHLORIDE, FLEXIBLE  07-5419
SCRN1		BONDERIZED SHEET STEEL  05-7500

MATERIAL LEGEND S-Z		
#	IMAGE	DESCRIPTION
SCRN2		METAL GREEN SCREEN TRELLIS  10-8200
SMF2		HOT-ROLLED CLEAR COAT STEEL  05-1200
SWF1		GLUE LAMINATED BEAM WOOD FLOOR JOIST STRUCTURAL PLYWOOD
TL-01		3"X6" WHITE SUBWAY TILE

MATERIAL LEGEND S-Z		
#	IMAGE	DESCRIPTION

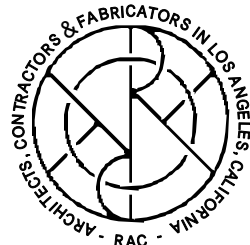
SCHAEFER 3516  
CORE & SHELL

3516 SCHAEFER STREET  
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SEALS OR APPROVALS

ISSUE & REVISION RECORD:

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DRAWING TITLE:

MATERIAL LEGEND

SCALE AT ARCH D (24 x 36):

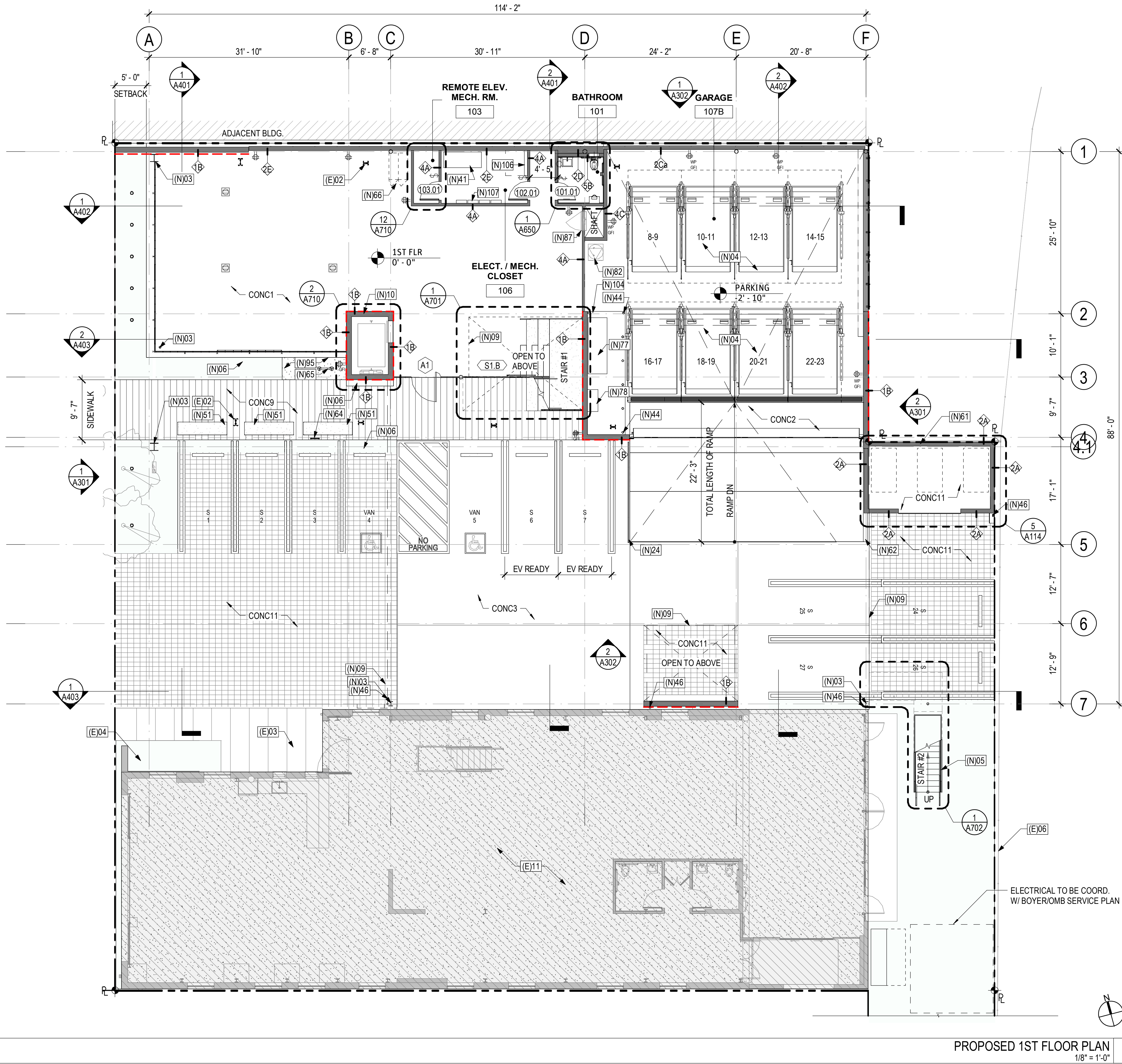
DRAWN  
BY:

RAC

SHEET NUMBER:

A200





PROPOSED 1ST FLOOR PLAN  
1/8" = 1'-0" 1

## FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
- PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

## KEYNOTE - (E)XISTING

(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)03	(E) CONC. SLAB TO REMAIN
(E)04	(E) PLANTING TO REMAIN
(E)06	(E) CHAINLINK FENCE
(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.

## KEYNOTE - (N)EW

(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)04	(N) STACKER PARKING
(N)05	(N) EXT. STAIR
(N)06	(N) PLANTING, REFER TO LANDSCAPE DWGS
(N)09	DASH LINE DENOTES FLOOR ABOVE
(N)10	(N) CONC. ELEVATOR SHAFT
(N)24	(N) STL. GUARDRAIL
(N)41	(N) ELECTRICAL DISTRIBUTION BOARD
(N)44	(N) REMOVABLE BOLLARD
(N)46	(N) BONDORIZED SHT. MTL. DOWNSPOUT
(N)51	(N) CONC. BENCH SEATING, T.I. ONLY
(N)61	(N) TRASH ENCLOSURE
(N)62	(N) 6" CONC. CURB
(N)64	(N) CITY-APPROVED "LOADING ONLY" SIGN W/ DESIGNATED TIME PERIOD NOT EXCEEDING ONE-HALF HOUR PER DAY DURING NORMAL BUSINESS HOURS, SEE CCMC 17.320.050.C.1.B.
(N)65	(N) U-SHAPED BIKE RACK, SHORT TERM
(N)66	(N) VERTICAL BIKE RACKS, LONG TERM
(N)77	(N) MAIN SWITCHGEAR
(N)78	(N) POWER PACK FOR HYDRAULIC SYSTEM PER PARK PLUS
(N)82	(N) BOOSTER PUMP, REFER TO PLUMBING DWGS
(N)87	(N) SPRINKLER CABINET, SEE PLUMBING.
(N)95	(N) DECOMPOSED GRANITE
(N)104	(N) CONC PAD AT ELECTRICAL EQUIPMENT
(N)106	(N) PLYWOOD BACKBOARD, SEE ELECTRICAL.
(N)107	(N) ELECTRICAL PANEL, SEE ELECTRICAL.

## WALL TYPE LEGEND

1B	CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
2A	CMU1, CMU BLOCK WALL
2C	IMP1, INSULATED METAL PANEL WALL (2 HR)
2D	IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
2E	IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
2F	IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
3A	PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
3D	PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
4A	NON RATED PARTITION
4C	INTERIOR PARTITION (2 HR)
5B	PLUMBING WALL

## FLOOR PLAN LEGEND

(N) WALL	PERMEABLE PAVING CONC11
(N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8	PLANTING AREAS
EXIT SIGN	DECOMPOSED GRANITE DG1
AREA NOT IN SCOPE	

## SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET  
CULVER CITY, CA 90232

### OWNER:

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### SEALS OR APPROVALS

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ISSUE	DATE	REV

### DRAWING TITLE:

**FIRST FLOOR PLAN**

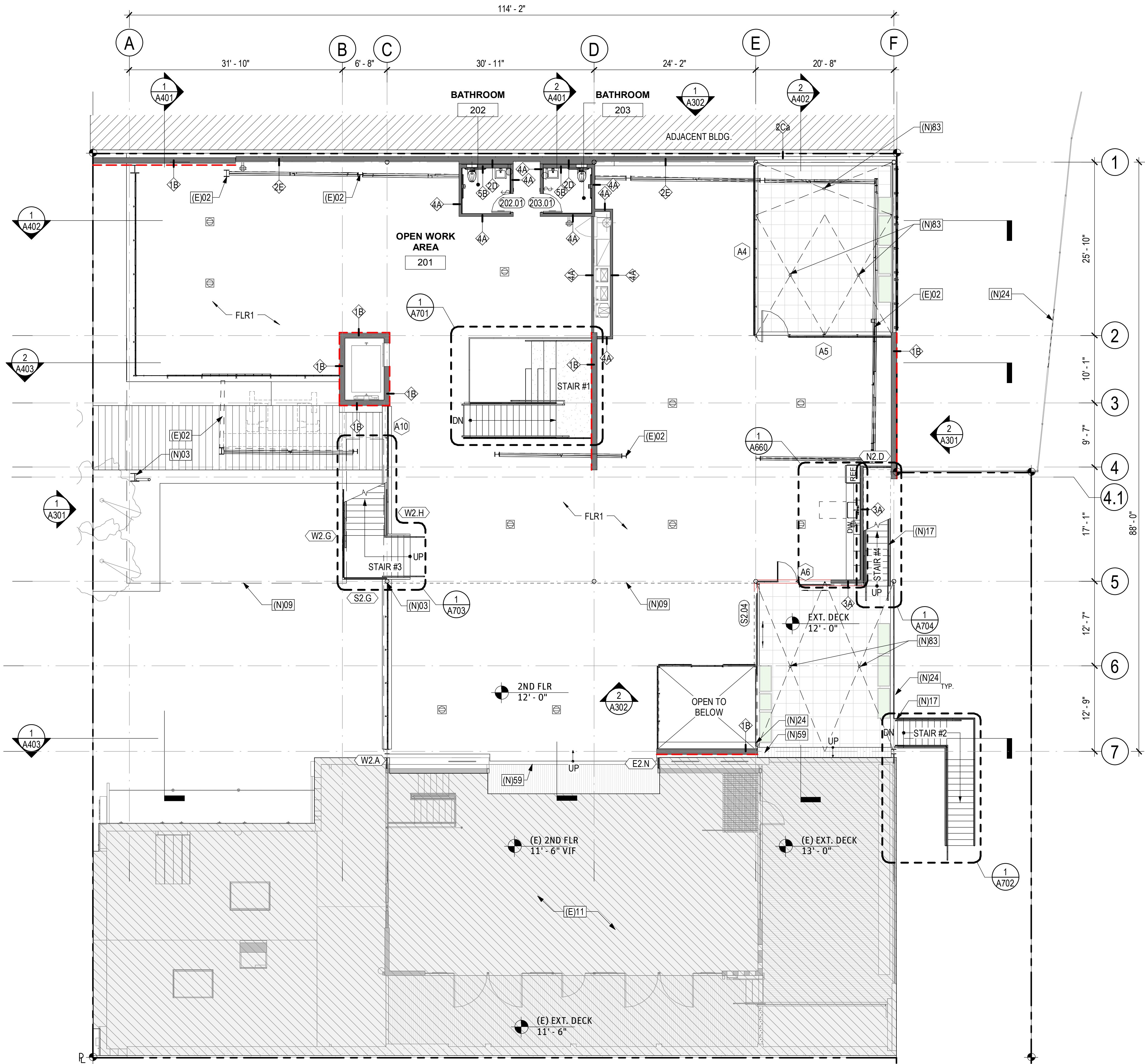
SCALE AT ARCH D (24 x 36):  
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

**A201**





PROPOSED SECOND FLOOR PLAN  
1/8" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
- PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

KEYNOTE - (E)XISTING

(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.

KEYNOTE - (N)EW

(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)09	DASH LINE DENOTES FLOOR ABOVE
(N)17	(N) MTL. STAIR, SEE ENLARGED PLANS AND DETAILS
(N)24	(N) STL. GUARDRAIL
(N)59	(N) (2) RISERS AT 4.5" EA, STEP TRANSITION ONTO (E) 3520 SCH BLDG
(N)83	(N) AREA DRAIN & OVERFLOW BELOW DECKING, SLOPE BELOW DECKING 1/4" PER FT.

WALL TYPE LEGEND

- CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
- CMU1, CMU BLOCK WALL
- IMP1, INSULATED METAL PANEL WALL (2 HR)
- IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
- IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
- IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
- PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
- PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
- NON RATED PARTITION
- INTERIOR PARTITION (2 HR)
- PLUMBING WALL

FLOOR PLAN LEGEND

- (N) WALL
- (N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8
- EXIT SIGN
- AREA NOT IN SCOPE
- PERMEABLE PAVING CONC11
- PLANTING AREAS
- DECOMPOSED GRANITE DG1

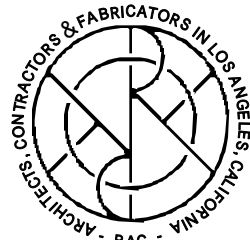
SCHAEFER 3516  
CORE & SHELL

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SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:

**SECOND FLOOR PLAN**

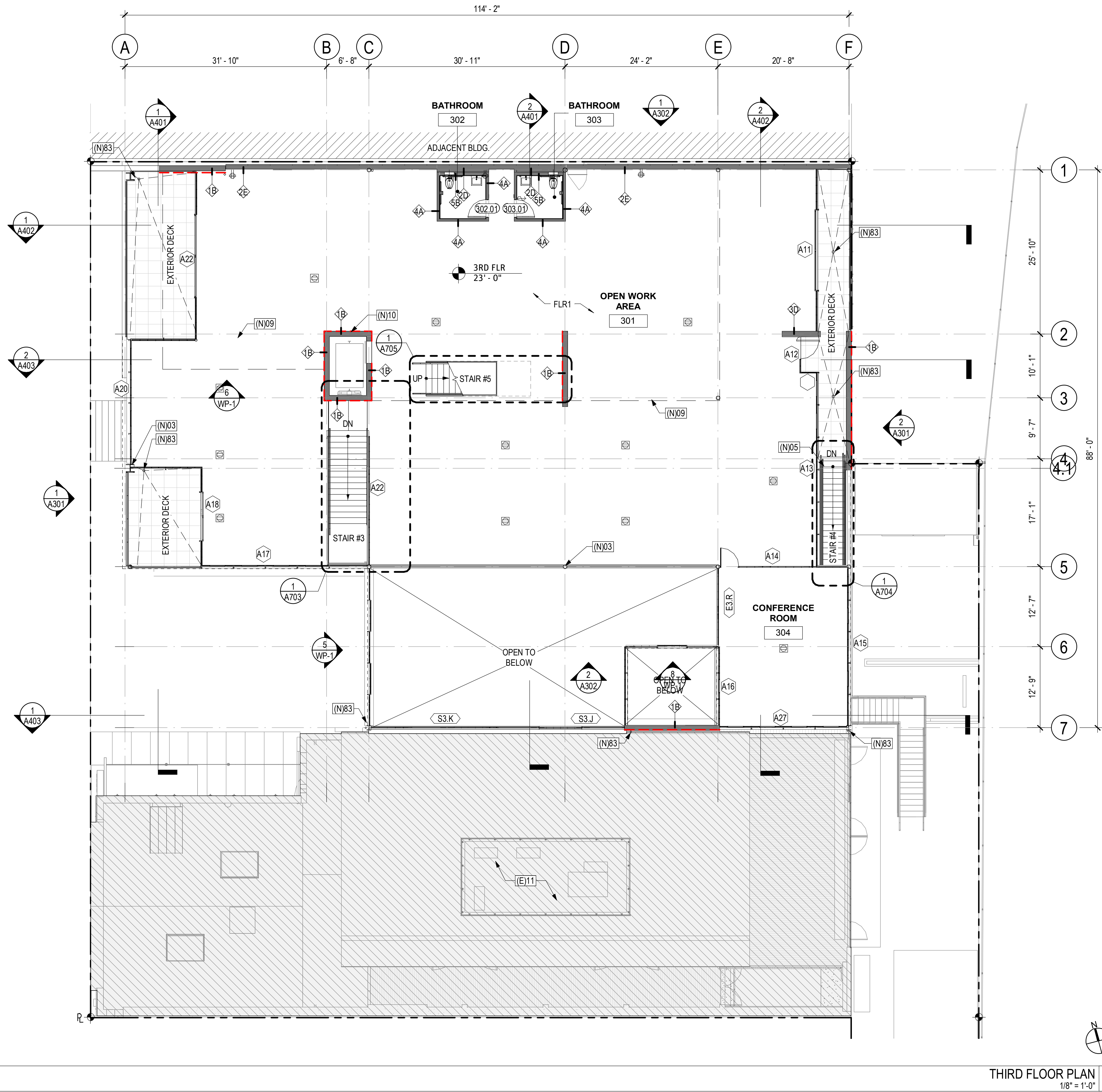
SCALE AT ARCH D (24 x 36):  
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

**A202**





THIRD FLOOR PLAN  
1/8" = 1'-0" 1

## FLOOR PLAN NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
2. REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
3. FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
4. PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
5. ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
6. PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
7. ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
8. CAP ALL ABANDONED PLUMBING LINES.
9. CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

## KEYNOTE - (E)XISTING

(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.
-------	---

## KEYNOTE - (N)EW

(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)05	(N) EXT. STAIR
(N)09	DASH LINE DENOTES FLOOR ABOVE
(N)10	(N) CONC. ELEVATOR SHAFT
(N)82	(N) BOOSTER PUMP, REFER TO PLUMBING DWGS
(N)83	(N) AREA DRAIN & OVERFLOW BELOW DECKING, SLOPE BELOW DECKING 1/4" PER FT.

## WALL TYPE LEGEND

1B	CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
2A	CMU1, CMU BLOCK WALL
2C	IMP1, INSULATED METAL PANEL WALL (2 HR)
2D	IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
2E	IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
2F	IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
3A	PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
3D	PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
4A	NON RATED PARTITION
4C	INTERIOR PARTITION (2 HR)
5B	PLUMBING WALL

## FLOOR PLAN LEGEND

(N) WALL	PERMEABLE PAVING CONC11
(N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8	PLANTING AREAS
EXIT SIGN	DECOMPOSED GRANITE DG1
AREA NOT IN SCOPE	

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### DRAWING TITLE:

**THIRD FLOOR PLAN**

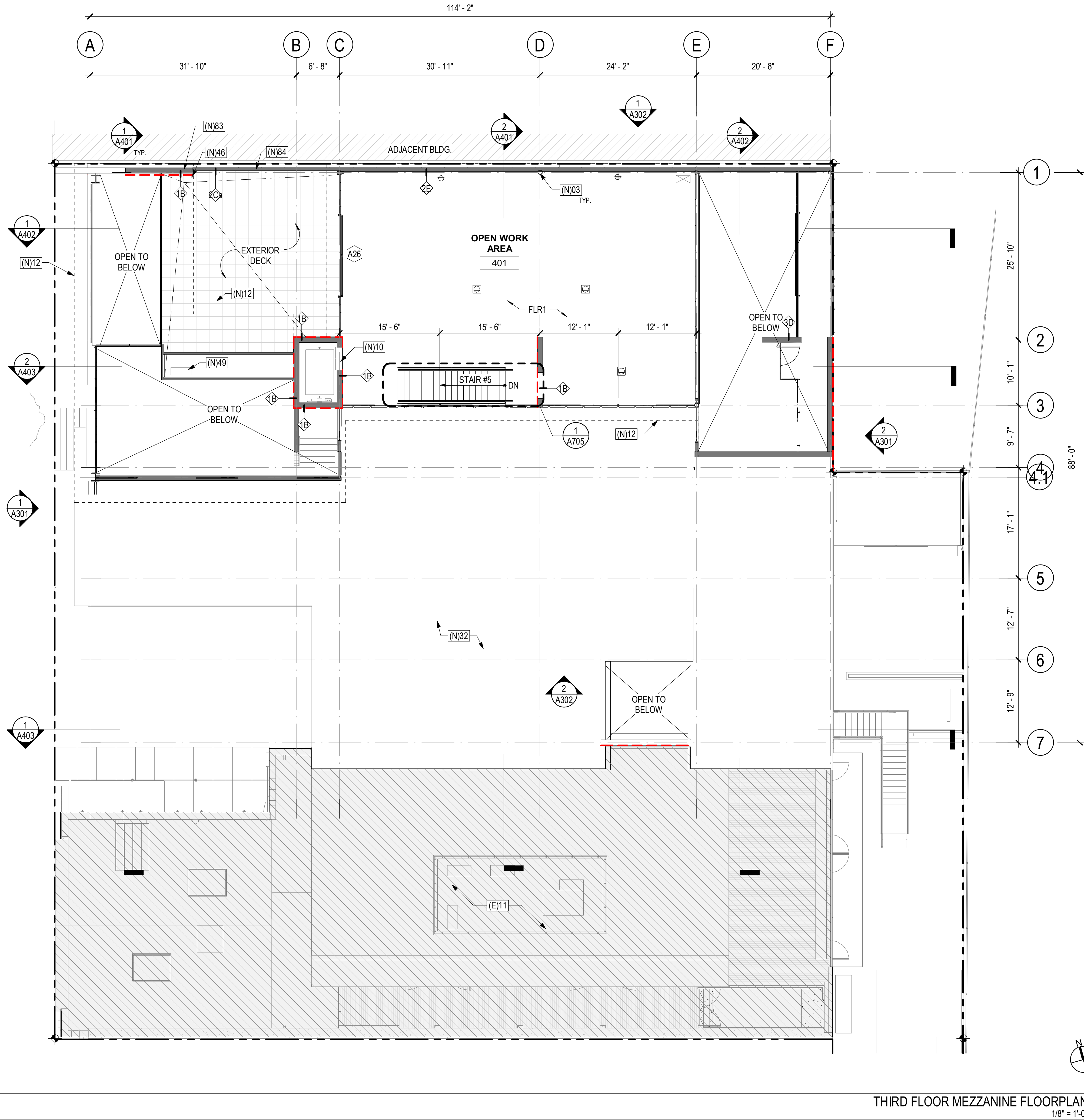
SCALE AT ARCH D (24 x 36):  
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

**A203**





THIRD FLOOR MEZZANINE FLOORPLAN  
1/8" = 1'-0"

## FLOOR PLAN NOTES

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- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

## KEYNOTE - (E)XISTING

(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.
-------	---

## KEYNOTE - (N)EW

(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)10	(N) CONC. ELEVATOR SHAFT
(N)12	(N) LINE OF ROOF ABOVE.
(N)32	(N) SLOPE ROOF, MATCH (E) SLOPE OF ADJ. BLDG. (SCHAEFER I)
(N)46	(N) BONDERIZED SHT. MTL DOWNSPOUT
(N)49	(N) MECHANICAL UNIT, UNDER SEPARATE PERMIT
(N)83	(N) AREA DRAIN & OVERFLOW BELOW DECKING, SLOPE BELOW DECKING 1/4" PER FT.
(N)84	(N) TOP OF WALL 42" AFF

## WALL TYPE LEGEND

1B	CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
2A	CMU1, CMU BLOCK WALL
2C	IMP1, INSULATED METAL PANEL WALL (2 HR)
2D	IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
2E	IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
2F	IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
3A	PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
3D	PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
4A	NON RATED PARTITION
4C	INTERIOR PARTITION (2 HR)
5B	PLUMBING WALL

## FLOOR PLAN LEGEND

(N) WALL	PERMEABLE PAVING CONC11
(N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8	PLANTING AREAS
EXIT SIGN	DECOMPOSED GRANITE DG1
AREA NOT IN SCOPE	

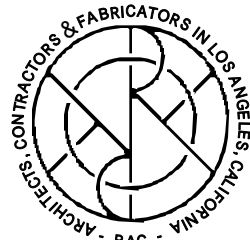
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### ISSUE & REVISION RECORD:

ISSUE	DATE	REV

### DRAWING TITLE:

**THIRD FLOOR  
MEZZANINE FLOOR  
PLAN**

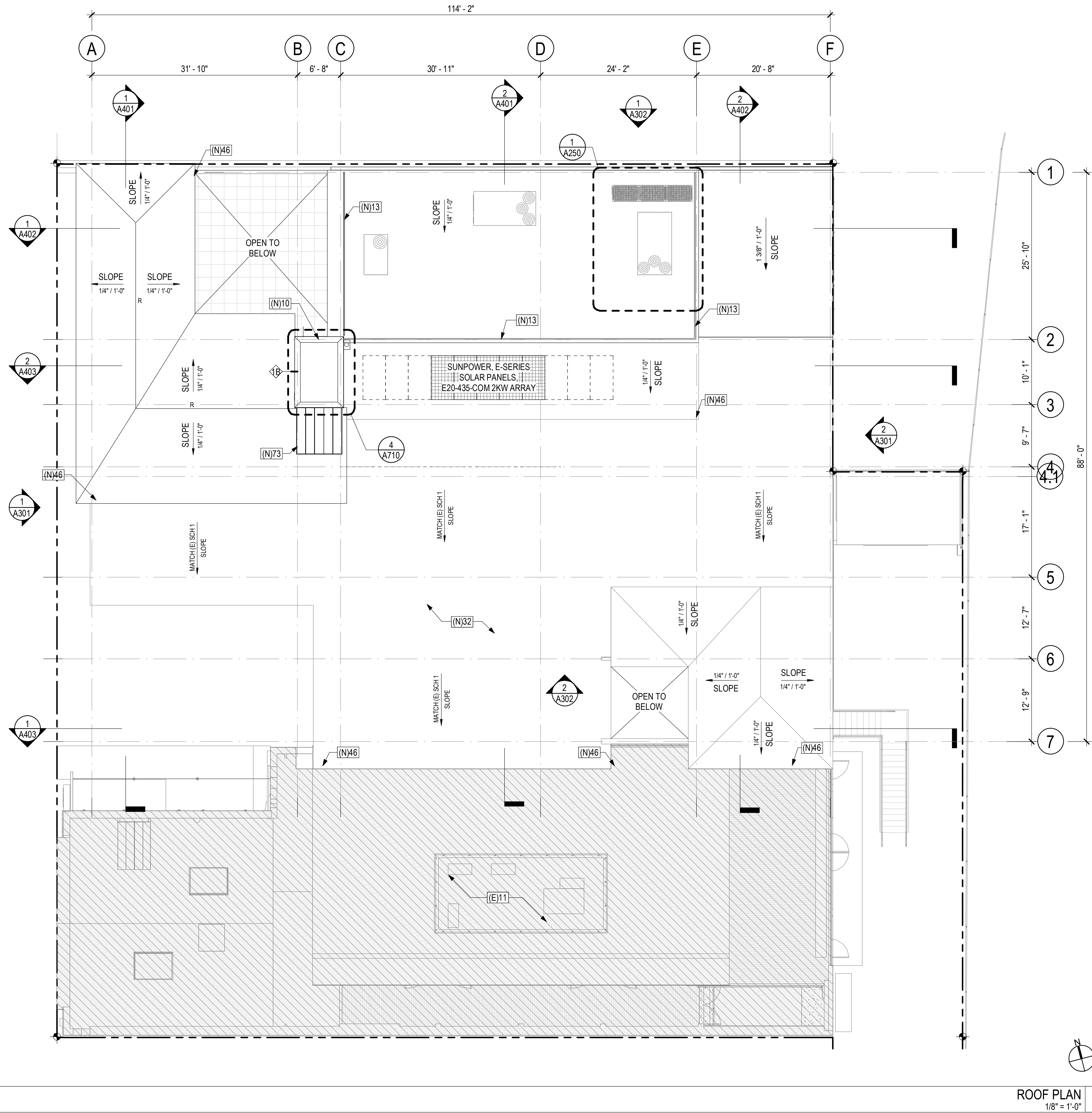
SCALE AT ARCH D (24 x 36):  
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

**A204**





## FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
- PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

## KEYNOTE - (E)XISTING

(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.
-------	---

## KEYNOTE - (N)EW

(N)10	(N) CONC. ELEVATOR SHAFT
(N)13	(N) RAISED MECHANICAL PLATFORM W/ SCREENING
(N)46	(N) BONDERIZED SHT. MTL DOWNSPOUT
(N)73	(N) FIXED CURB MOUNTED SKYLIGHT

## WALL TYPE LEGEND

(N) WALL	PERMEABLE PAVING CONC11
(N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8	PLANTING AREAS
EXIT SIGN	DECOMPOSED GRANITE DG1
AREA NOT IN SCOPE	

## FLOOR PLAN LEGEND

(N) WALL	PERMEABLE PAVING CONC11
(N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8	PLANTING AREAS
EXIT SIGN	DECOMPOSED GRANITE DG1
AREA NOT IN SCOPE	

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### ISSUE & REVISION RECORD

ISSUE	DATE	REV

### DRAWING TITLE:

**ROOF PLAN**

SCALE AT ARCH D (24 x 36):  
1/8" = 1'-0"

DRAWN BY: **RAC**

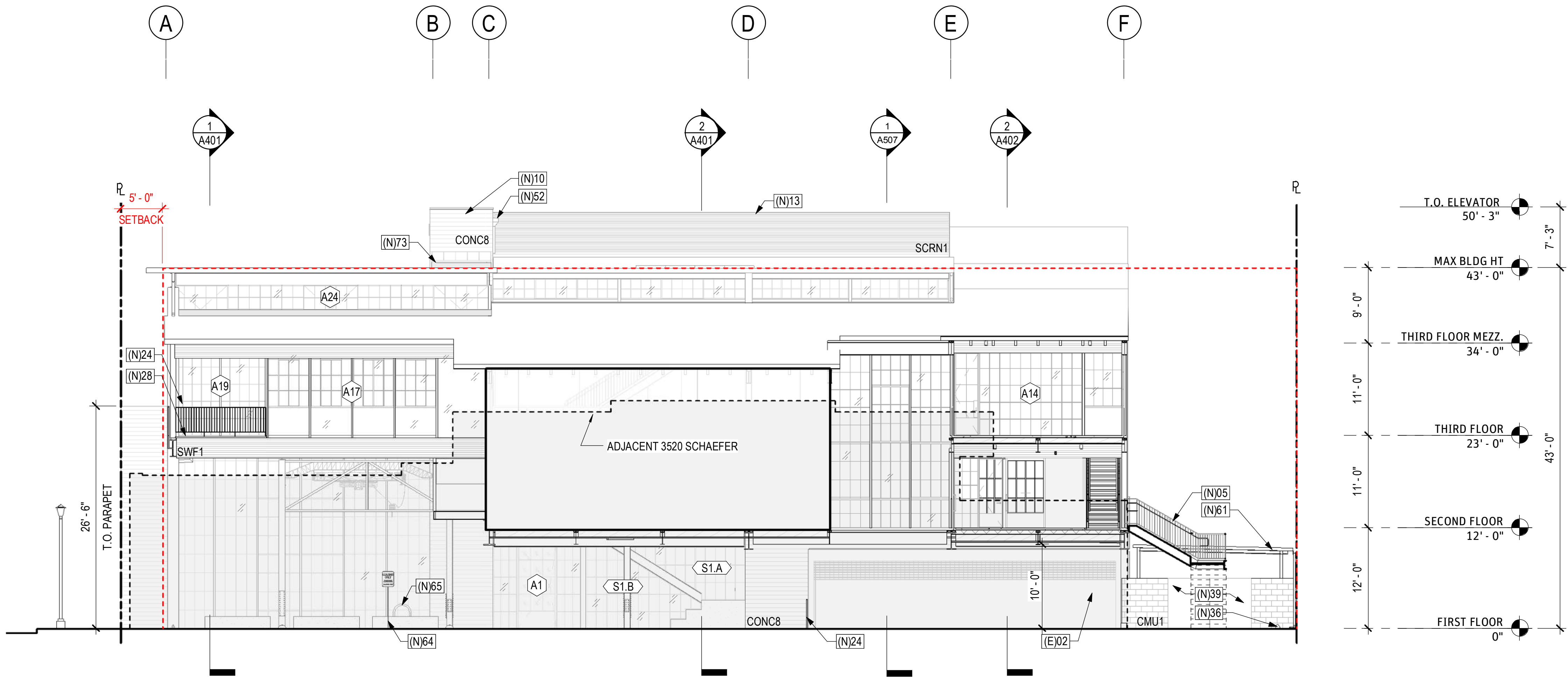
SHEET NUMBER:

**A205**









PROPOSED SOUTH SECTION ELEVATION  
1/8" = 1'-0"

NOTES

**CCMC 17.300.025**  
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MATERIAL KEY

	<b>CMU1</b> CONCRETE MASONRY UNIT		<b>SCRN1</b> MECH. SCREEN
	<b>CONC7</b> SHOTCRETE ROUGH SCREED FINISH		<b>SCRN2</b> METAL GREEN SCREEN TRELLIS
	<b>CONC8</b> BOARDFORMED CONCRETE		<b>SMF2</b> STRUCTURAL METAL FRAMING
	<b>IMP1</b> INSULATED METAL PANEL		<b>SWF1</b> STRUCTURAL WOOD FRAMING
	<b>PLST1</b> CEMENT PLASTER		

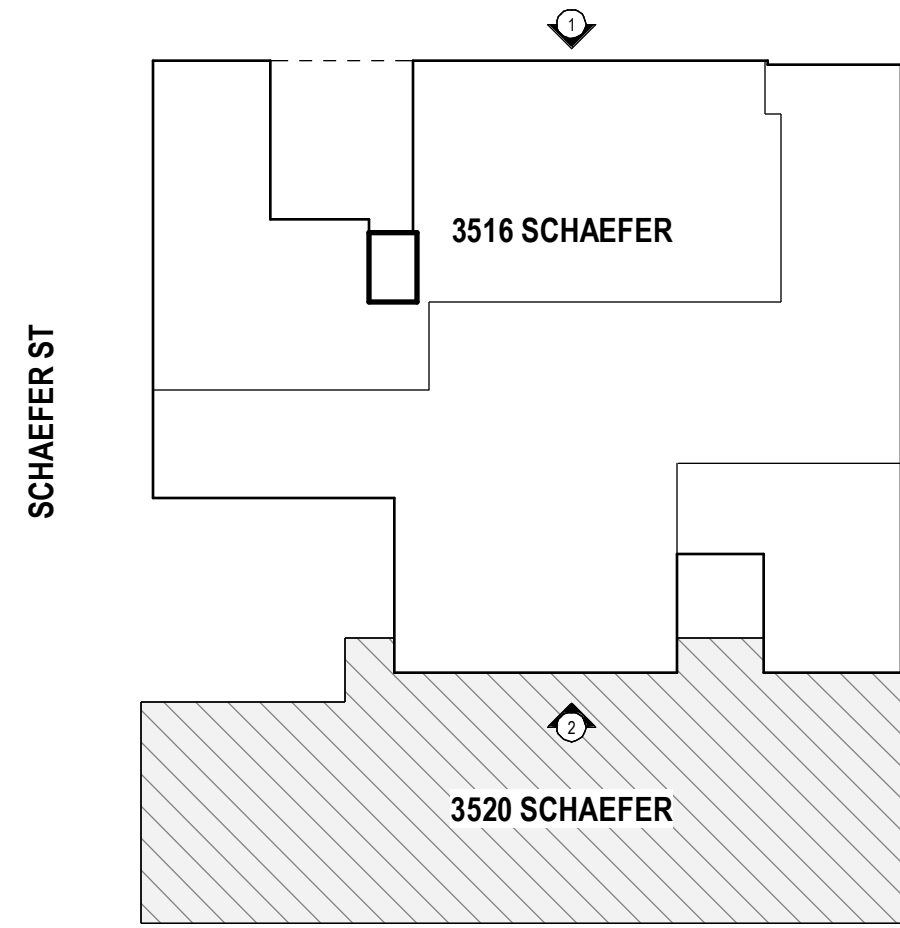
KEYNOTE - (E)XISTING

(E)02 (E) CRANEWAY TO REMAIN, TYP.

KEYNOTE - (N)EW

(N)05	(N) EXT. STAIR
(N)10	(N) CONC. ELEVATOR SHAFT
(N)13	(N) RAISED MECHANICAL PLATFORM W/ SCREENING
(N)24	(N) STL. GUARDRAIL
(N)28	(N) GLULAM BEAM, SEE STRUCT.
(N)36	(N) PARKING STALL, WHEEL STOP
(N)39	(N) TRASH ENCLOSURE GATE
(N)52	(N) BONDORIZED SHT. MTL SCUPPER & DOWNSPOUT
(N)61	(N) TRASH ENCLOSURE
(N)64	(N) CITY-APPROVED "LOADING ONLY" SIGN W/ DESIGNATED TIME PERIOD NOT EXCEEDING ONE-HALF HOUR PER DAY DURING NORMAL BUSINESS HOURS, SEE CCMC 17.320.050.C.1.B.
(N)65	(N) U-SHAPED BIKE RACK, SHORT TERM
(N)73	(N) FIXED CURB MOUNTED SKYLIGHT

KEY PLAN



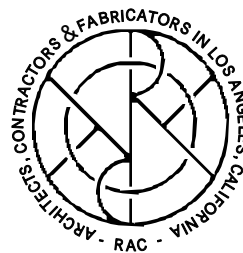
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DRAWING TITLE:  
**BUILDING ELEVATIONS**

SCALE AT ARCH D (24 x 36):  
As indicated

DRAWN BY: **RAC**

SHEET NUMBER:

**A302**









**CCMC 17.300.025**

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(N)05	(N) EXT. STAIR
(N)10	(N) CONC. ELEVATOR SHAFT
(N)13	(N) RAISED MECHANICAL PLATFORM W/ SCREENING
(N)17	(N) MTL. STAIR, SEE ENLARGED PLANS AND DETAILS
(N)24	(N) STL. GUARDRAIL
(N)28	(N) GLULAM BEAM, SEE STRUCT.
(N)31	(N) STL. BEAM, SEE STRUCT.
(N)33	(N) INSULATED MTL. PANEL WALL
(N)35	(N) CANE RAIL
(N)36	(N) PARKING STALL, WHEEL STOP
(N)37	(N) 2.5" THK. CONC. OVER 3/4" THK. PLYWD.
(N)38	(N) CUSTOM STL. GLASS SLIDING DOOR
(N)47	(N) CONC. STEPS & LANDING
(N)50	(N) 2" THK. CONC. PAVER
(N)55	(N) PLANTER
(N)60	(N) 2 HR RATED FLOOR
(N)61	(N) TRASH ENCLOSURE
(N)70	(N) EXT. STL. & GLASS ASSEMBLY
(N)71	(N) EXT. PLYWOOD CLADDING & SOFFIT
(N)72	(N) COOL ROOF TOPPING SHT. OVER RIGID INSULATION
(N)74	(N) ROOF TERRACE, RAISED PEDESTAL PAVERS OVER WP
(N)76	(N) EXT. PLASTER & SOFFIT
(N)81	(N) PROPOSED PARKWAY, UNDER SEPARATE PERMIT
(N)86	(N) TRENCH DRAIN
(N)103	(N) OVERHEAD ROLLING DOOR

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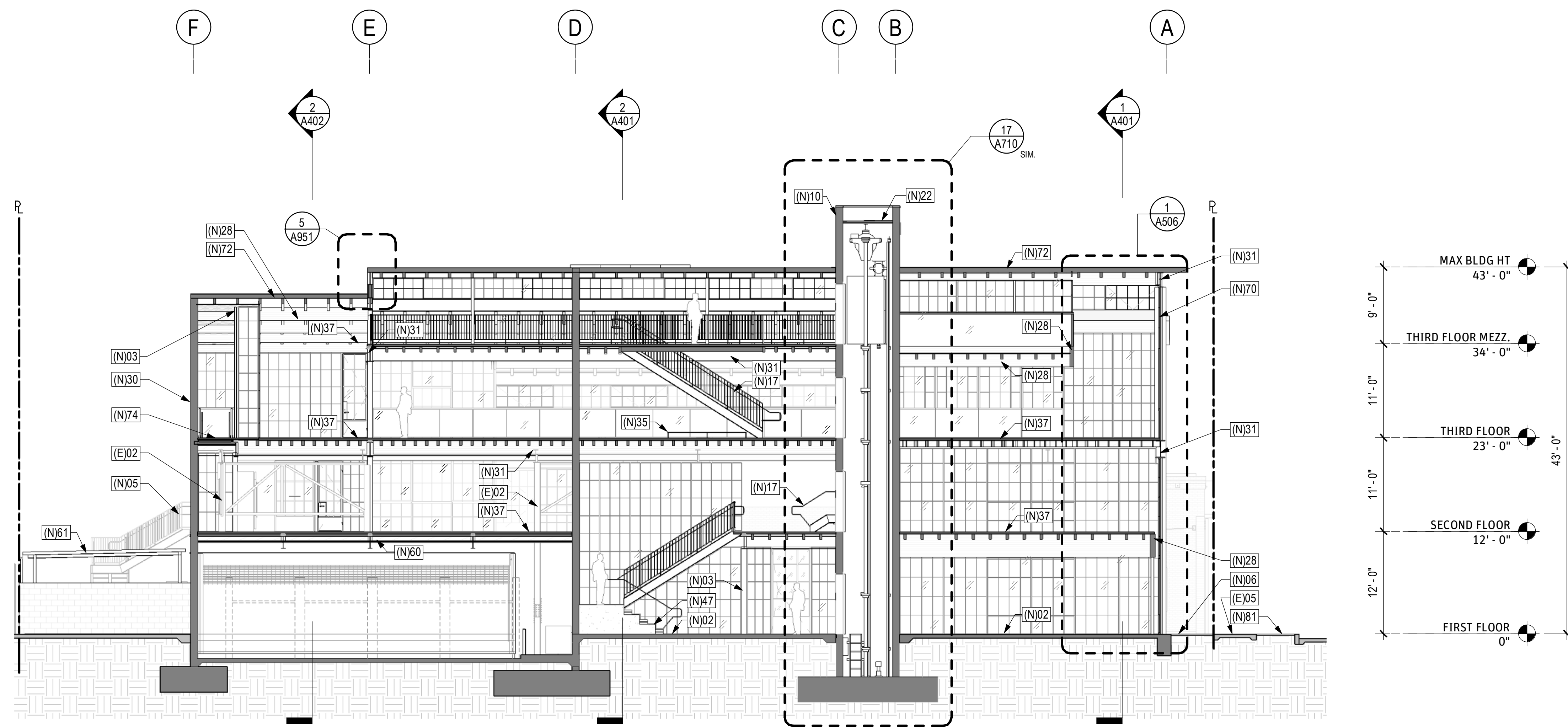
DRAWING TITLE:  
**BUILDING SECTIONS**

SCALE AT ARCH D (24 x 36): As indicated	DRAWN BY: <b>RAC</b>
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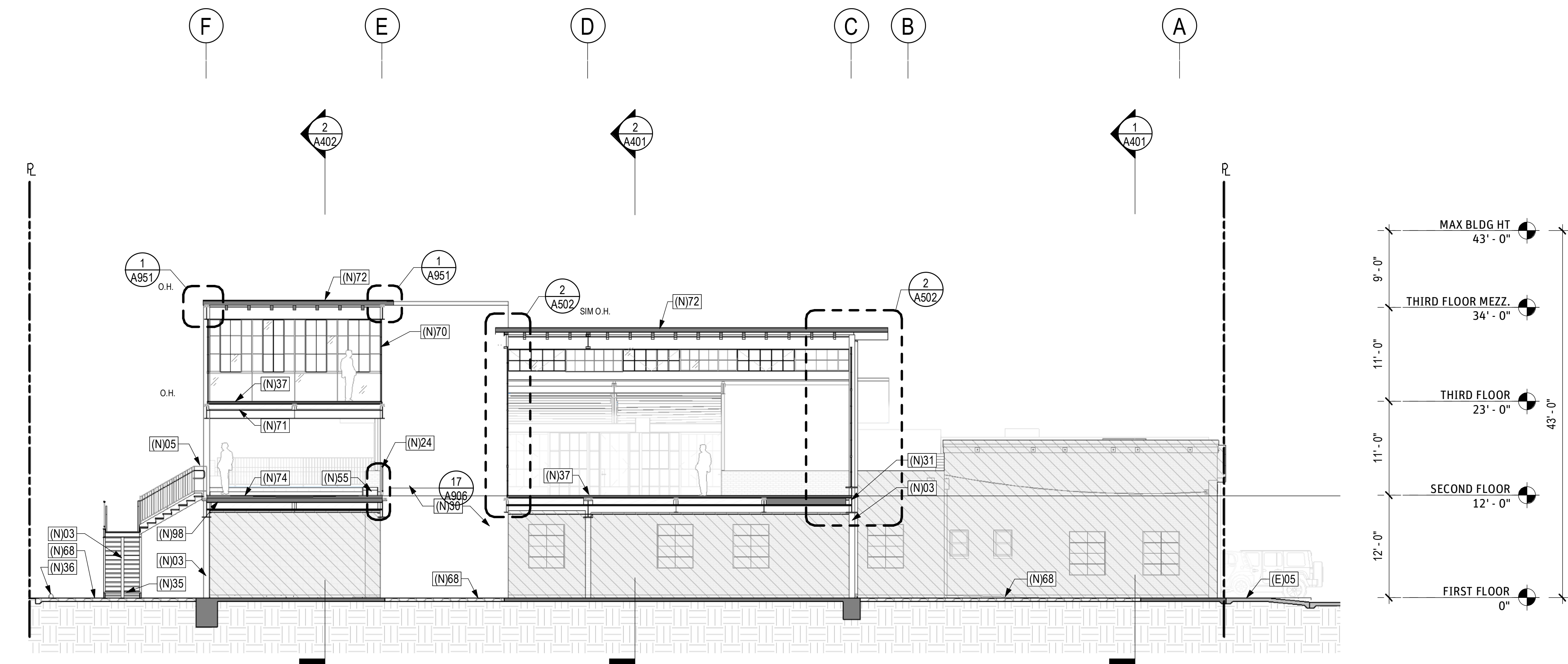
SHEET NUMBER

# A402





LONGITUDINAL BUILDING SECTION B B



LONGITUDINAL BUILDING SECTION C 1/8" = 1'-0"	1
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## NOTES

**CCMC 17.300.025**

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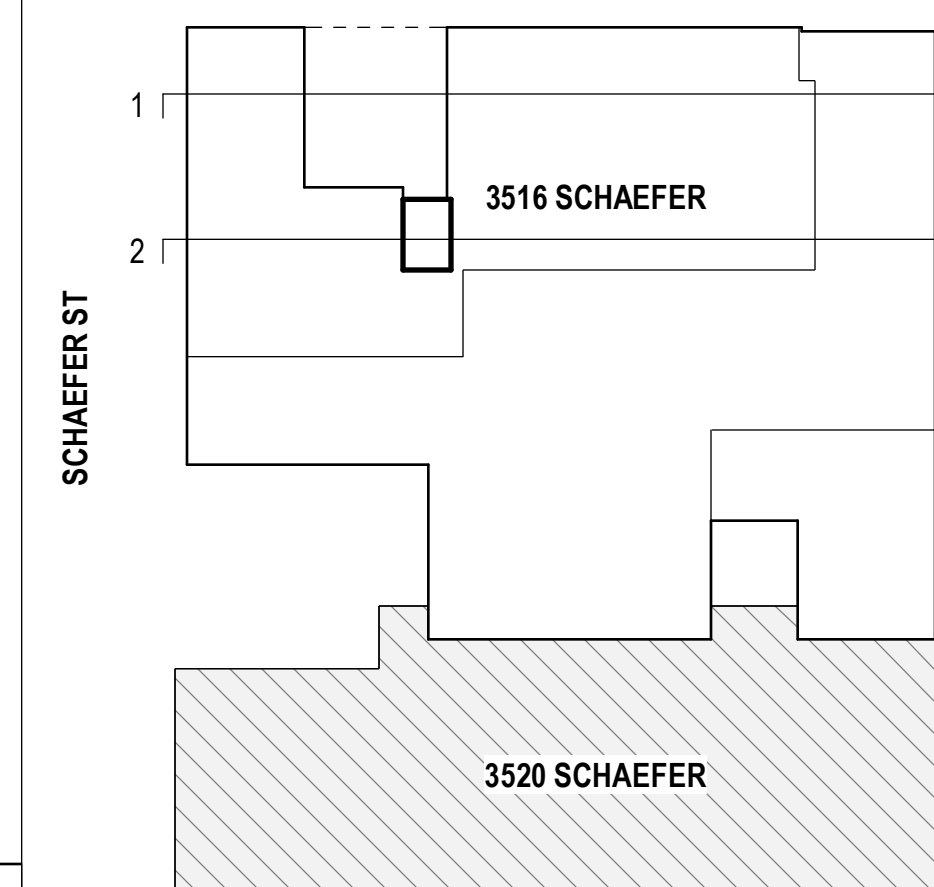
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## KEY PLAN



ISSUE & REVISION RECORD:

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# YULI

DRAWING TITLE: 

## BOILING SECTION

# Unit 1

1. **Identify the subject and predicate.** The subject is "The committee" and the predicate is "has decided."

SCALE AT ARCH D (24 x 36): DRAWN

As indicated	DT:
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## References

## A403

# A403

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