

## PROJECT INFORMATION

<u>OWNER:</u>	THE WILLIAMS COMMUNITY SCHOOL 8509 HIGUERA STREET, CULVER CITY, CALIFORNIA 90232 TEL 310-815-0411				
<u>PROJECT ADDRESS:</u>	8509 HIGUERA STREET, CULVER CITY, CALIFORNIA 90232				
	<ul style="list-style-type: none"> <li>BUILDING W-I = 8509 HIGUERA STREET</li> <li>BUILDING W-II = 8490 WARNER DRIVE</li> <li>BUILDING W-III = 8479 HIGUERA STREET</li> <li>BUILDING W-IV = 8520 WARNER DRIVE</li> <li>PARKING W-V = 8476 WARNER DRIVE</li> <li>BUILDING W-VI = 8510 WARNER DRIVE</li> <li>(N) FIELD W-VII = 8525 HIGUERA STREET</li> </ul>				
<u>APN'S:</u>	SEE SHEET E-1				
<u>PROJECT DESCRIPTION:</u>	<p>WILLOWS VII: NEW MULTIPURPOSE FIELD WITH SURROUNDING LANDSCAPE ELEMENTS, LIGHTING, AND FACADE IMPROVEMENTS TO SURROUNDING BUILDINGS. THE EXISTING BUILDING ON THE SITE WILL BE DEMOLISHED.</p> <p>WILLOWS VI: INTERIOR IMPROVEMENTS TO CREATE FLEXIBLE INSTRUCTIONAL/INNOVATION SPACE, NEW EXTERIOR DOORS AND WINDOWS, AND LANDSCAPE IMPROVEMENTS .</p>				
<u>GOVERNING BUILDING CODES:</u>	<p>A. 2017 CULVER CITY MUNICIPAL CODE B. 2016 CALIFORNIA BUILDING CODE C. 2010 CALIFORNIA GREEN BUILDING CODE</p> <p>CONDITIONAL USE PERMIT MODIFICATION P-2011156</p>				
<u>ZONING:</u>	<p>GENERAL INDUSTRIAL (IG) ZONING SECONDARY ZONING = M1</p> <p>REDEVELOPMENT PROJECT AREA = AREA 3</p> <p>GENERAL PLAN DESIGNATION = INDUSTRIAL</p> <p>SET BACKS: Front: 5 ft. Rear: 0 ft. Sides: 0 ft.</p> <p>HEIGHT - 43 ft. MAXIMUM</p>				
<u>EXISTING CUP CASE NUMBER:</u>	P-2011156				
<u>FIRE DISTRICT:</u>	FIRE DISTRICT 1				
<u>LOT AREA (ENTIRE CAMPUS):</u>	141,934 SF				
<u>OCCUPANCY GROUP:</u>	<p>GROUP E - EDUCATIONAL GROUP A - ASSEMBLY (GYMNASIUM &amp; THEATER IN W-IV)</p>				
<u>EXISTING CAMPUS INFORMATION:</u>					
<u>LOT: PURPOSE:</u>	<u>BLDG TYPE:</u>	<u>STORIES:</u>	<u>BLDG AREA:</u>	<u>BLDG. HGT:</u>	<u>OCCUPANCY</u>
W-I LOWER ELEMENTARY (DK-2nd)	IIIB (SPRINKLERED)	1	10,984 S.F.	17'-6"	E
W-II MIDDLE SCHOOL (6th-8th)	IIIB (SPRINKLERED)	1	13,270 S.F.	35'-0"	E
				(20'-0" BLDG + 15'-0 ROOFTOP PLAY YARD)	
W-III LOWER ELEMENTARY (3rd-5th)	IIIA (SPRINKLERED)	1	8,819 S.F.	20'10"	E
W-IV GYMNASIUM / THEATER	VA (SPRINKLERED)	1	17,264 S.F.	34'-2"	E/A
W-V PARKING / PLAY YARD	n/a	-	n/a	n/a	-
W-VI STORAGE / NEW CLASSROOMS	IIIB (SPRINKLERED)	1	11,300 S.F.	20'-0"	E/B
W-VII NEW MULTIPURPOSE FIELD	n/a	-	n/a	n/a	-
<u>LEGAL DESCRIPTION OF W-VII:</u> (NEW MULTIPURPOSE FIELD SITE)	SEE SURVEY SHEET E-22				
<u>SITE AREAS:</u>	<p>TOTAL SITE AREA (INCLUDING NEW MULTIPURPOSE FIELD SITE): 141,934 SF</p> <p>SITE COVERAGE BY STRUCTURES: 61,781 SF</p> <p>TOTAL GROSS FLOOR AREA OF EXISTING PROPOSED BUILDINGS: 61,781 SF</p> <p>OPEN SPACE EXISTING: 62,763 SF (INCLUDES 15,300 SF PARKING LOTS &amp; 13,100 SF W-II ROOFTOP SPORTS COURT)</p> <p>OPEN SPACE PROPOSED: 80,153 SF (INCLUDES 15,300 SF PARKING LOTS &amp; 13,100 SF W-II ROOFTOP SPORTS COURT)</p> <p>LANDSCAPE AREA EXISTING: 47,463 SF</p> <p>LANDSCAPE AREA PROPOSED: 64,853 SF</p>				
<u>ON-SITE PARKING:</u>	<p>HIGUERA LOT: 2 ACCESSIBLE, 6 STANDARD, 1 COMPACT, 24 TANDEM = 33 SPACES</p> <p>WILLOWS IV WARNER LOT: 1 VAN ACCESSIBLE, 2 ACCESSIBLE, 18 TANDEM = 21 SPACES</p> <p>TOTAL: 54 ON-CAMPUS SPACES + 37 OFF-SITE SPACES = 91 TOTAL SPACES PLUS 25 EVENT SPACES</p>				
<u>BICYCLE PARKING</u>	10 EXISTING SPACES				

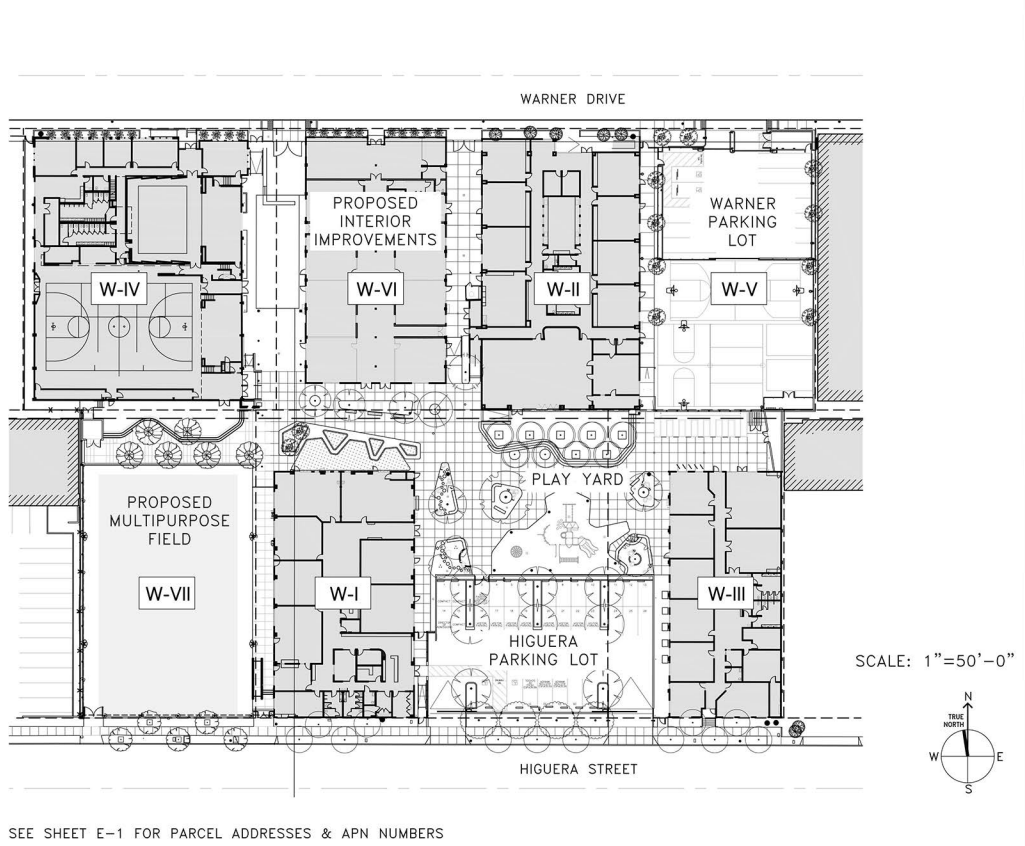
## DRAWING INDEX

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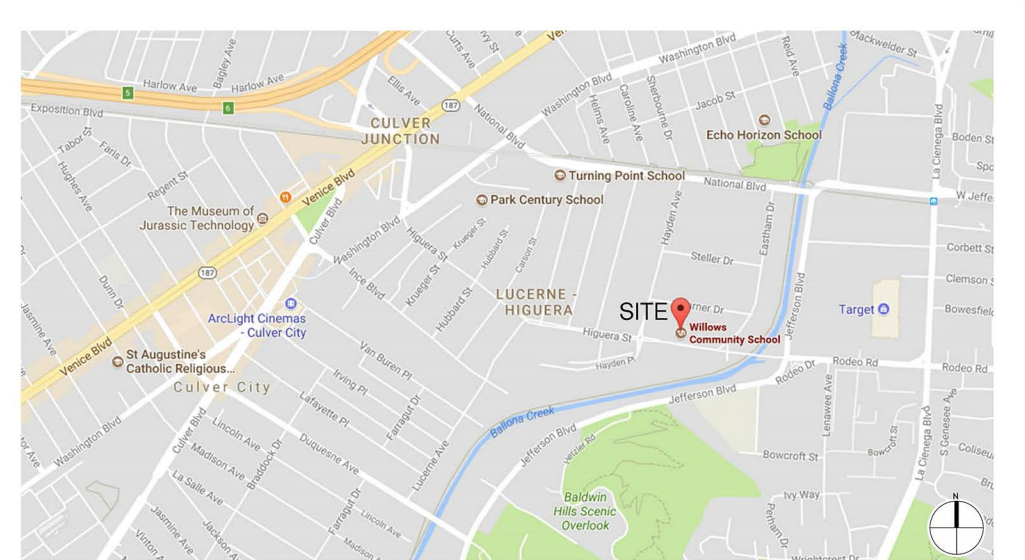
## PROJECT DIRECTORY

<u><b>ARCHITECT</b></u> PARALLAX ASSOCIATES, INC. 5763 UPLANDER WAY CULVER CITY, CALIFORNIA 90230 TEL: 310-216-5775 CONTACT: mark@prlx.us	<u><b>CIVIL ENGINEER</b></u> KPFF CONSULTING ENGINEERS 700 S. FLOWER STREET, SUITE 2100 LOS ANGELES, CA 90017 TEL: 213-418-0201 CONTACT: douglas.conlon@kpff.com		<u><b>ELECTRICAL ENGINEER</b></u> GLP ENGINEERING, INC. 1221 E. DYER RD. SUITE 260 SANTA ANA, CA 92705-5636 TEL: 949-428-8800 EXT. 217 CONTACT: gpetrak@glpengineering.com
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## PLOT PLAN



## VICINITY MAP



**PARALLAX**  
ARCHITECTURE AND PLANNING

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CONSTRUCTION**



8509 Higuera Street,  
Culver City, 90232

## New Multipurpose Field and Interior Improvements

CUP REVISED MOD. RESUBMITTAL	03.19.18
CUP MODIFICATION RESUBMITTAL	01.16.18
CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18
Description	Date

Sheet Title

PROJECT  
INFORMATION

Drawn By: <b>NvD</b>	Checked By: <b>MS/JM/CJ</b>
Project Number: <b>1701.02</b>	Scale: <b>AS NOTED</b>
CAD File: <b>WCS-FLD_A002</b>	
Sheet Number:	

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SITE PLAN LEGEND:

- - - - - PROPERTY LINE  
 - - - - - SETBACK LINE  
 ↑ VEHICLE ACCESS  
 • - - - - → EMERGENCY EXIT

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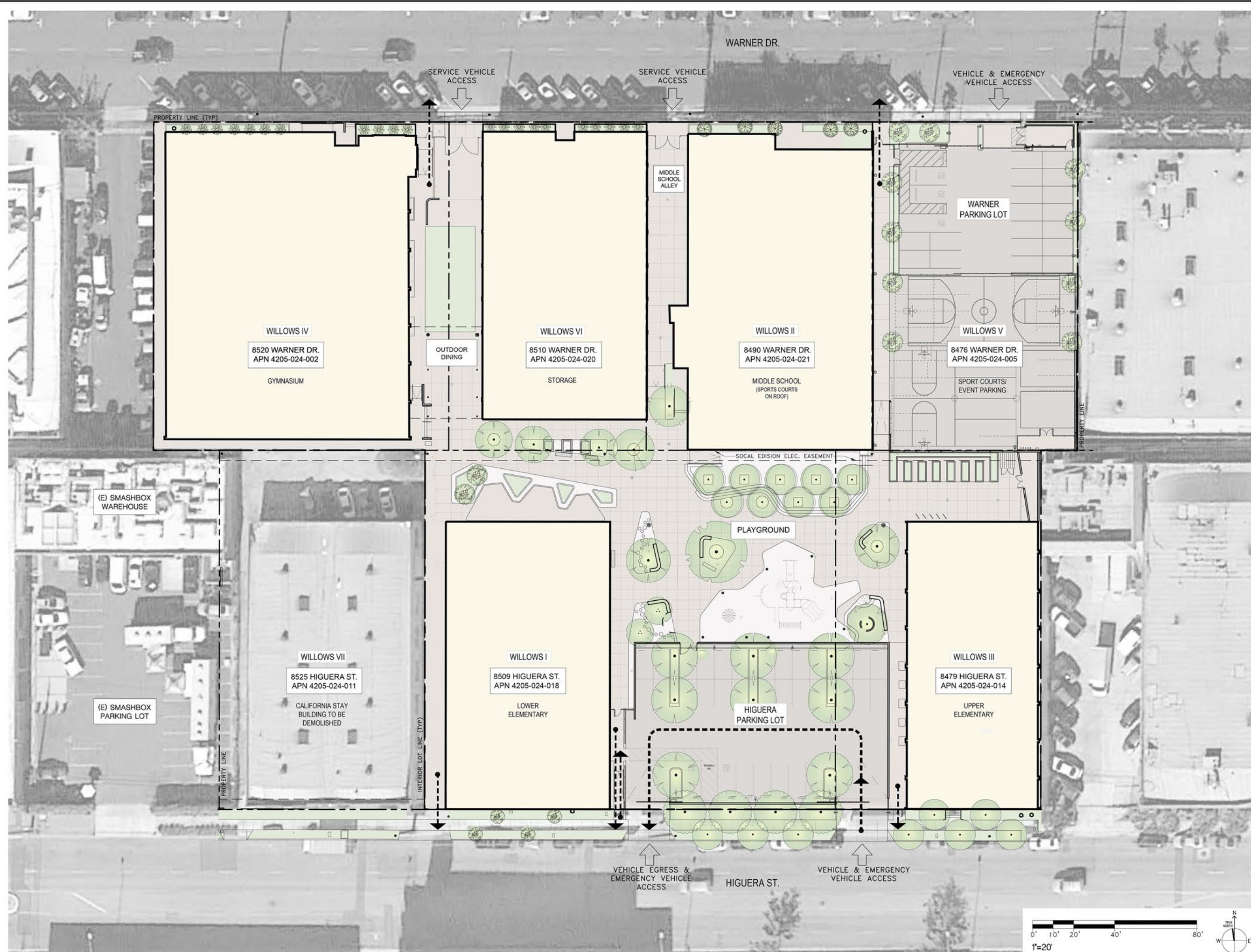
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**EXISTING CAMPUS  
SITE PLAN**

Drawn By: NvD/CL	Checked By: JM/CJ
Project Number: 1701	Scale: 1"=20'
CAD File: WCS-FLD_A-1	
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PROPOSED PROJECT  
(REVISED PHASE II OF  
MASTER PLAN)

Drawn By: NvD/CL	Checked By: JM/CJ
Project Number: 1701	Scale: 1"=20'

CAD File:  
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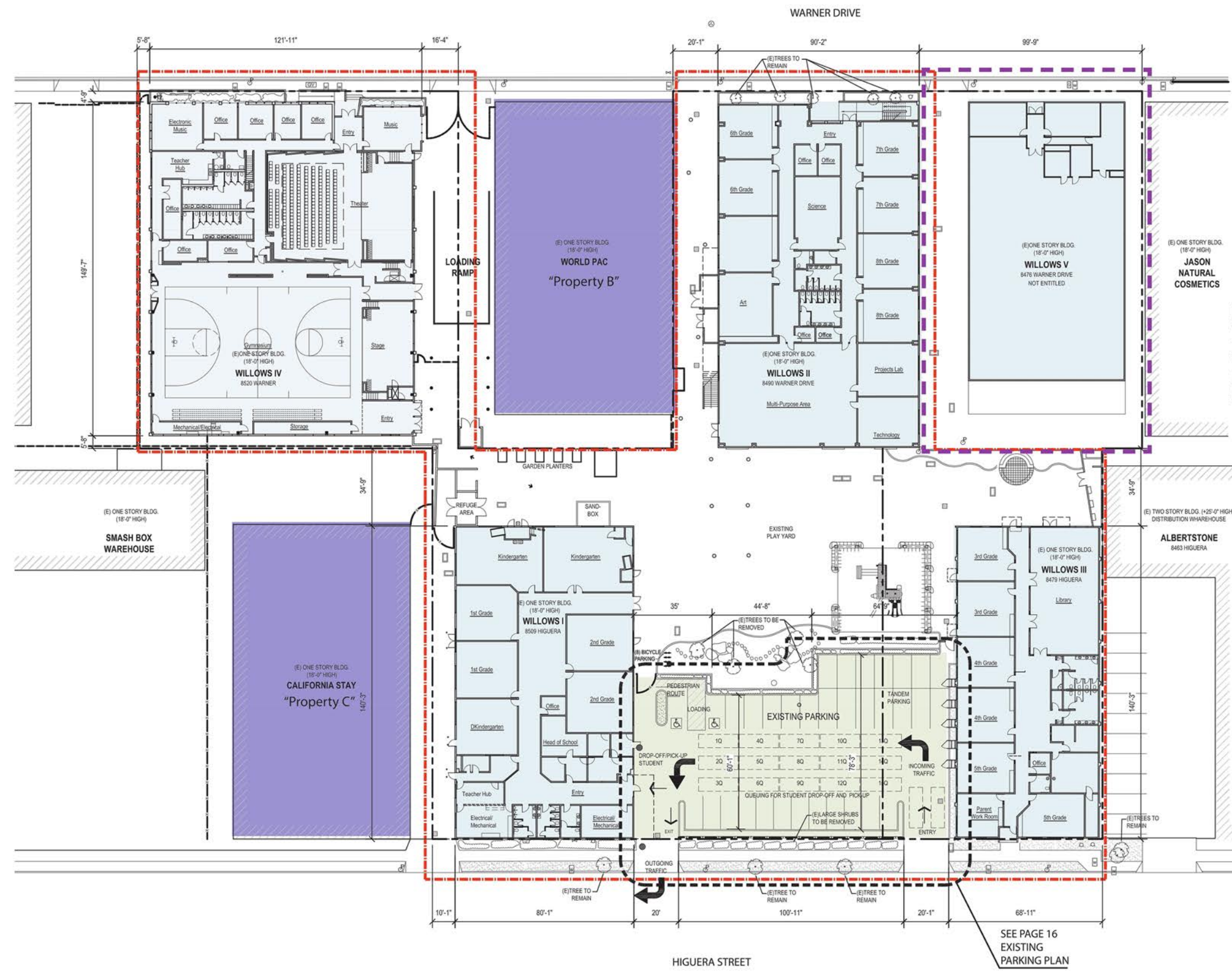
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Existing and Phase I Landscape/Open Area:

W-I	10,985 SF (Existing)	12,213 SF (Existing)
W-II	4,431 SF (Existing)	4,800 SF (Existing)
W-III	4,431 SF (Existing)	4,700 SF (Existing)
W-IV	4,431 SF (Existing)	4,550 SF (Existing)
W-V	N/A	8,451 SF (Existing)
TOTAL	24,278 SF	34,714 SF (After Phase 1)

10,436 SF (Difference)

- PropertyLine
- Proposed Edge of Development
- WV Entitlement Property- Phase I
- Potential Future Property
- Willows Owned/Leased
- Parking Area



PHASE 1A SITE/FLOOR PLANS  
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Sheet Title  
ORIGINAL MASTER  
PLAN - PHASE 1A PLAN

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PHASE III DIAGRAMMATIC SITE PLAN  
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PPR RESPONSE PROGRESS	02.27.18
Description	Date

Sheet Title  
ORIGINAL MASTER  
PLAN - CONCEPTUAL  
PHASE III PLAN

Drawn By: PFAU LONG	Checked By:
Project Number: 1701.02	Scale: AS NOTED
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Sheet Number:	

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### PHASE 1A PARKING REQUIREMENTS

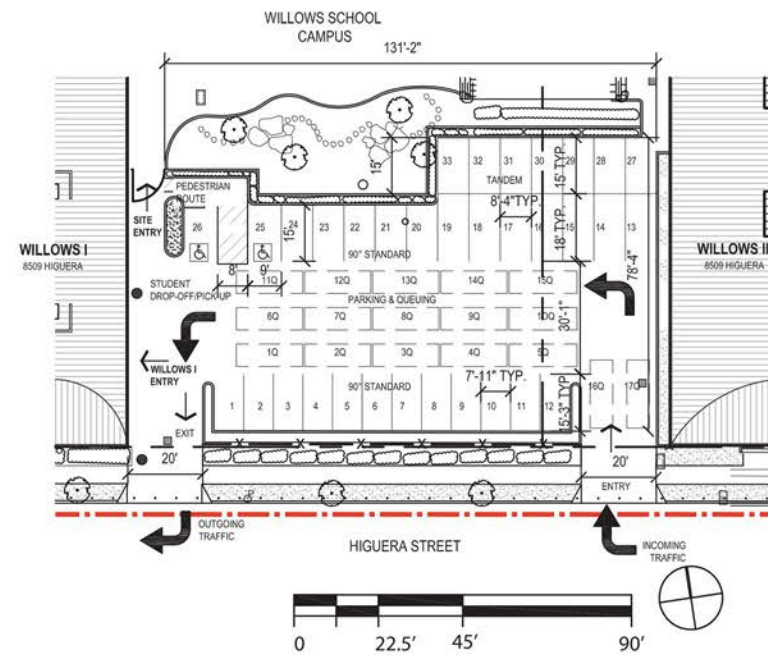
USE	No. of Rms/Square Footage	Parking Count Factor	Req. Phase 1 Parking
CLASSROOMS	28	1.5 spaces per clsm	42
*ASSEMBLY SPACE	8064 SF	1 space per 200 SF	40
*EVENT PARKING			82 TOTAL PARKING REQ.

### PHASE 1A PARKING SUPPLY

LOT	VAN ACCESSIBLE	HANDICAP ACCESSIBLE	STANDARD	TANDEM	TOTAL
HIGUERA	1	1	17	14	33
WARNER (WV)	--	--	--	--	--
*LEASED PARKING	--	--	20	--	20 (Daily or Event)
**LEASED PARKING	--	--	30	--	30 (Daily or Event)
SUBTOTAL	1	1	67	14	83 TOTAL DAILY
EVENT ONLY	--	--	--	--	-- TOTAL EVENT

\*WARNER DRIVE PARKING LOT, LEASED PER COVENANT  
 \*\*WARNER DRIVE PARKING

83 PHASE 1A



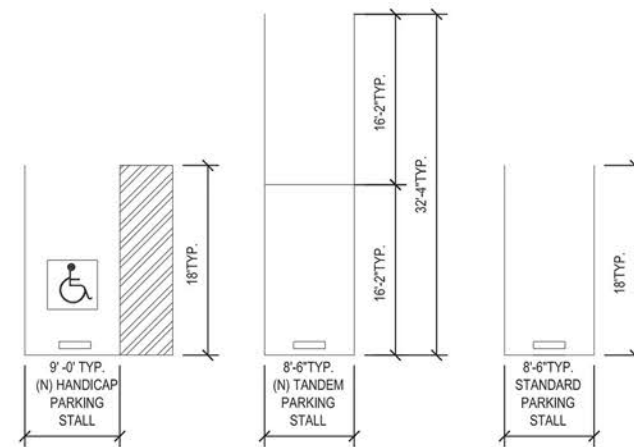
### PHASE 1B PARKING REQUIREMENTS AND SUPPLY

USE	No. of Rms/Square Footage	Parking Count Factor	Req. Phase 1 Parking
CLASSROOMS	33	1.5 spaces per clsm	50
*ASSEMBLY SPACE	8064 SF	1 space per 200 SF	40
*EVENT PARKING			90 TOTAL PARKING REQ.

LOT	VAN ACCESSIBLE	HANDICAP ACCESSIBLE	STANDARD	TANDEM	TOTAL
HIGUERA	1	1	5	28	35
WARNER (WV)	1	2	--	18	21
SUBTOTAL	2	3	5	46	56 TOTAL DAILY ON SITE PARKING SUPPLY
*LEASED PARKING	--	--	20	--	20 LEASED PARKING PER COVENANT (Daily or Event)
**LEASED PARKING	--	--	30	--	30 LEASED PARKING, GENERAL (Daily or Event)
SUBTOTAL	--	--	50	--	50 TOTAL LEASED PARKING
EVENT	--	--	--	34	34 TOTAL DEDICATED EVENT (WARNER DR. WILLOWS V LOT)

\*WARNER DRIVE PARKING LOT, LEASED PER COVENANT  
 \*\*WARNER DRIVE PARKING  
 \*\*\* 17 QUEUING SPACES TO REMAIN AT HIGUERA LOT

140 TOTAL PHASE 1 SUPPLY  
 90 TOTAL PHASE 1 REQ.  
 +50 DIFFERENCE



### PHASE 1A & PHASE 1B PARKING REQUIREMENTS PLANNING SUBMITTAL - JUNE 27, 2012 PFAU LONG ARCHITECTURE LTD

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**New Multipurpose Field  
 and Interior  
 Improvements**

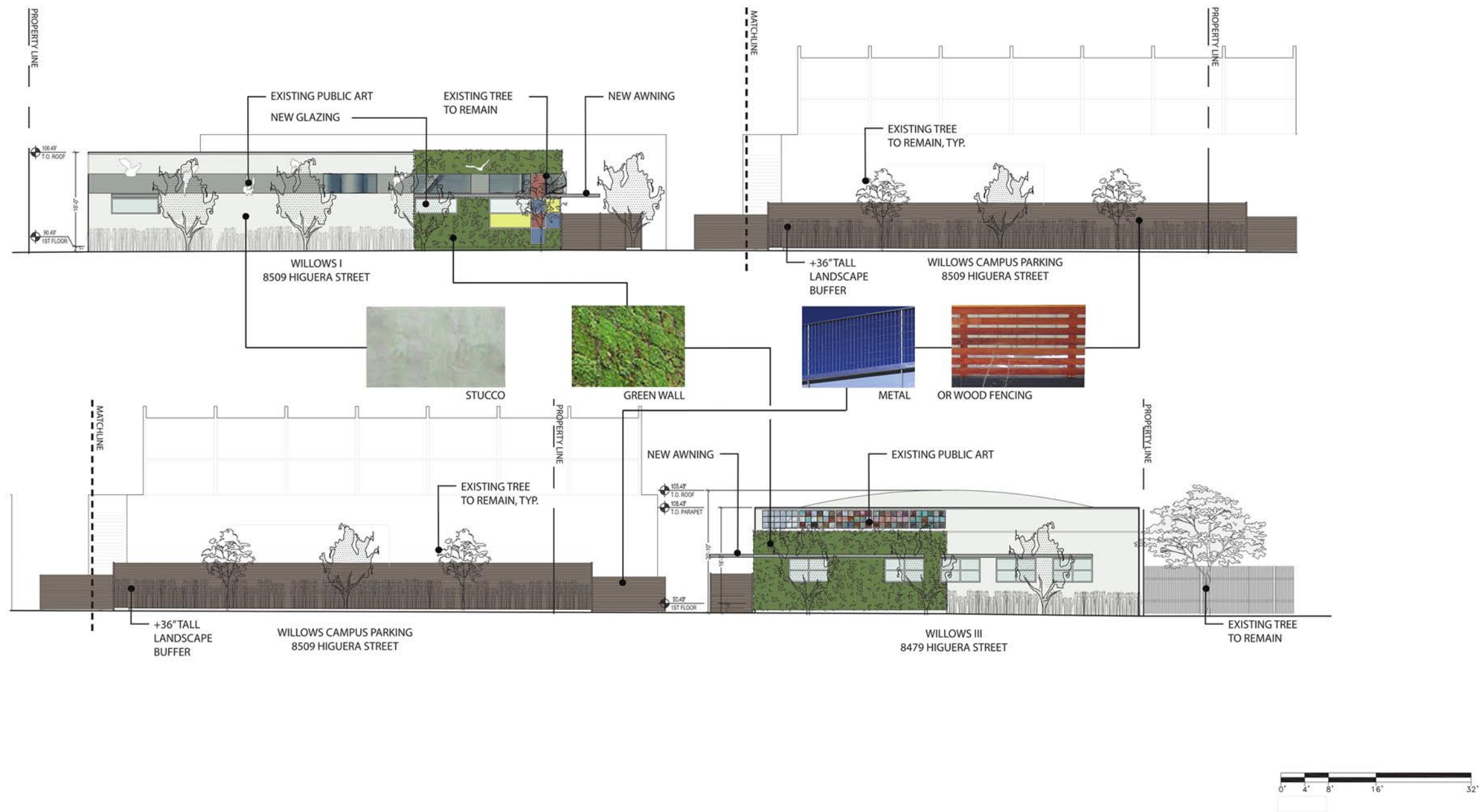
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CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18

Sheet Title  
**ORIGINAL MASTER  
 PLAN - PHASE 1B  
 PARKING**

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Project Number: 1701.02	Scale: AS NOTED
CAD File: WCS-FLD_A002	
Sheet Number:	

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PHASE IB HIGUERA STREET ELEVATIONS & MATERIAL CONCEPTS  
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New Multipurpose Field  
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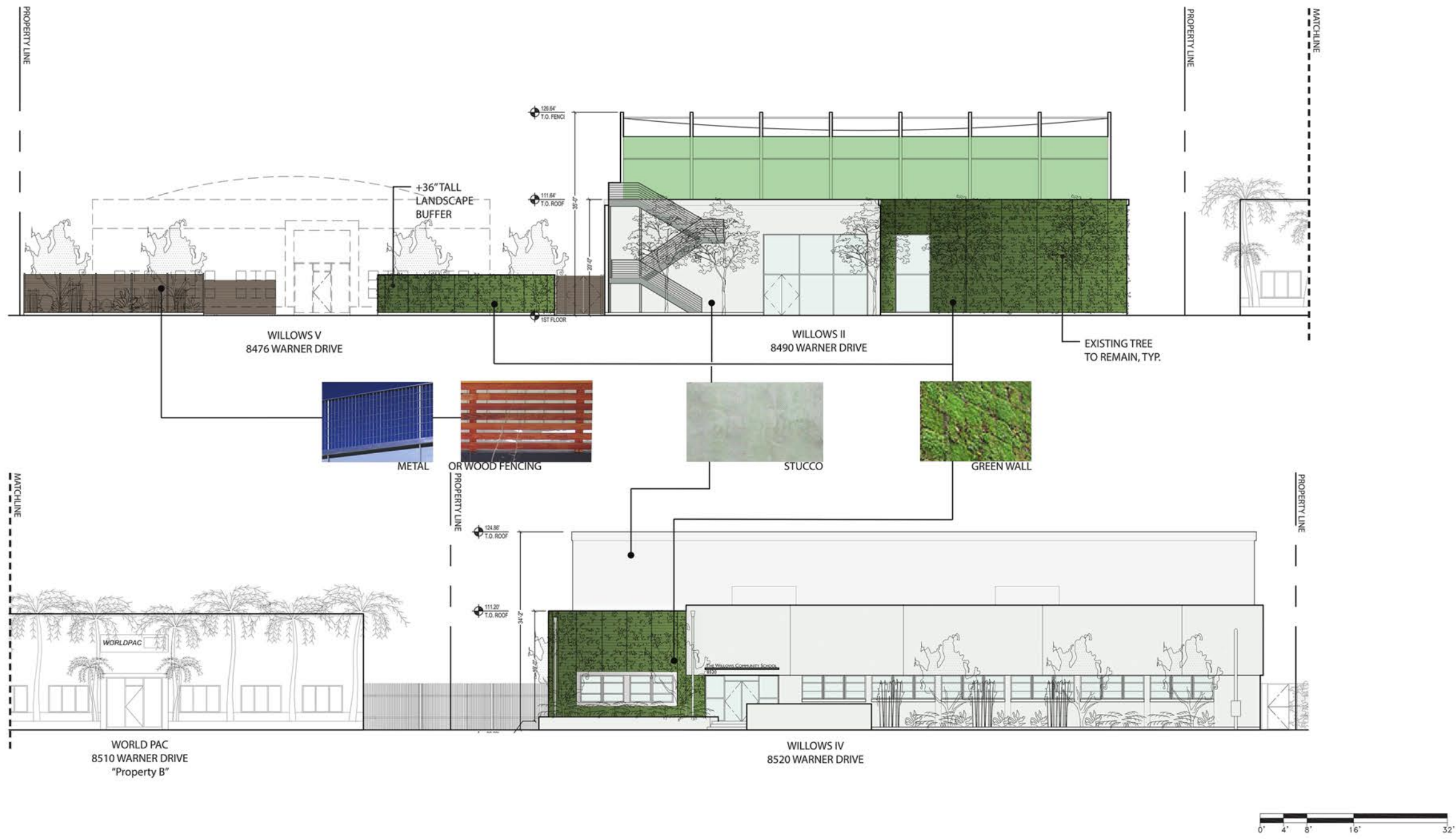
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CUP MODIFICATION SUBMITTAL	10.11.18
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Sheet Title  
ORIGINAL MASTER  
PLAN - PHASE IB  
HIGUERA ELEVATIONS

Drawn By: PFAU LONG	Checked By:
Project Number: 1701.02	Scale: AS NOTED
CAD File: WCS-FLD_A002	
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PHASE IB WARNER DRIVE ELEVATIONS & MATERIAL CONCEPTS  
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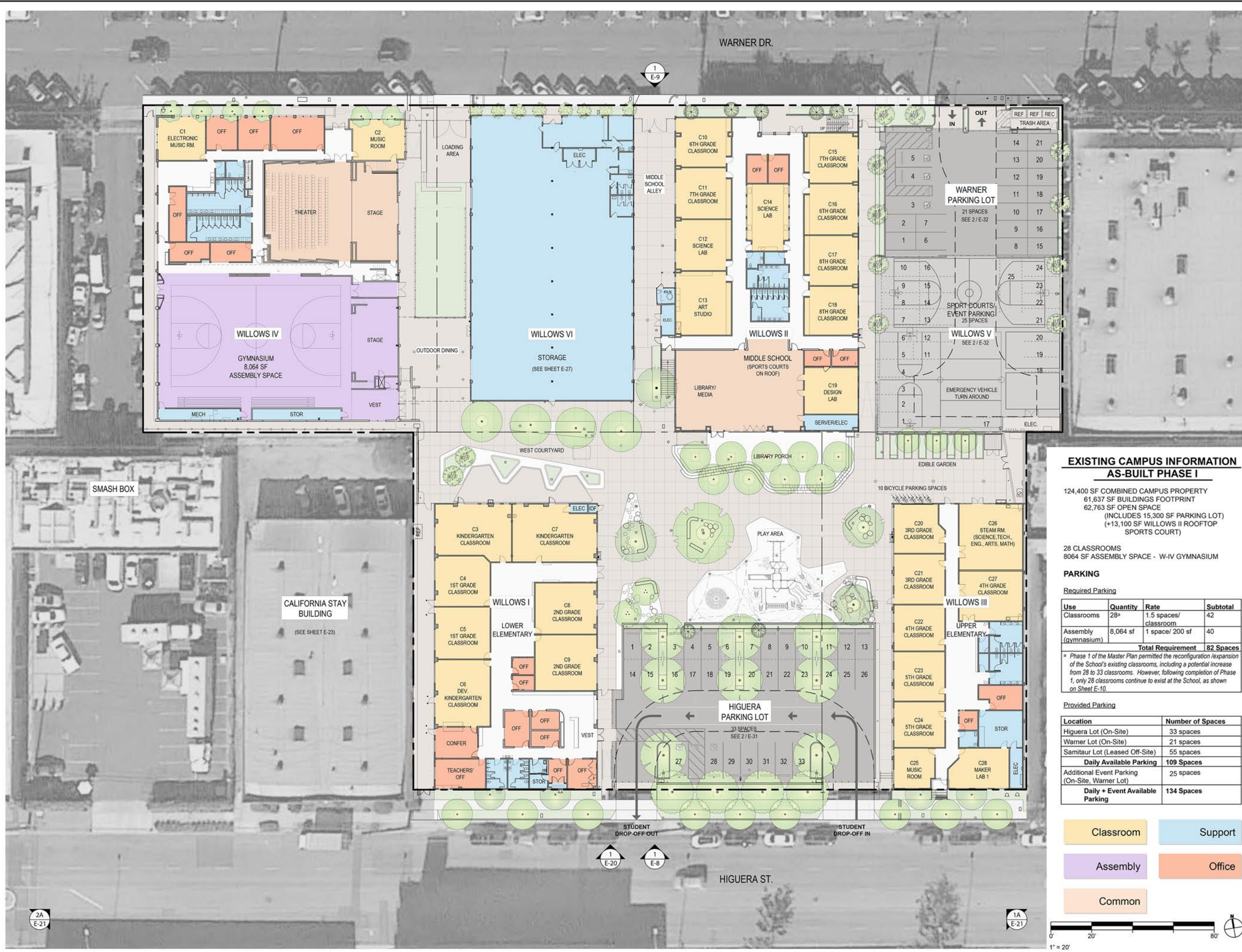
Sheet Title  
**ORIGINAL MASTER  
PLAN - PHASE IB  
WARNER ELEVATIONS**

Drawn By: PFAU LONG	Checked By:
Project Number: 1701.02	Scale: AS NOTED
CAD File: WCS-FLD_A002	
Sheet Number:	

**E-9**

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CONSTRUCTION



8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
and Interior  
Improvements

EXISTING CAMPUS INFORMATION  
AS-BUILT PHASE I

124,400 SF COMBINED CAMPUS PROPERTY  
61,637 SF BUILDINGS FOOTPRINT  
62,763 SF OPEN SPACE  
(INCLUDES 15,300 SF PARKING LOT)  
(+13,100 SF WILLOWS II ROOFTOP  
SPORTS COURT)

28 CLASSROOMS  
8064 SF ASSEMBLY SPACE - W-IV GYMNASIUM

PARKING

Required Parking

Use	Quantity	Rate	Subtotal
Classrooms	28*	1.5 spaces/ classroom	42
Assembly (gymnasium)	8,064 sf	1 space/ 200 sf	40
Total Requirement			82 Spaces

\* Phase 1 of the Master Plan permitted the reconfiguration/expansion  
of the School's existing classrooms, including a potential increase  
from 28 to 33 classrooms. However, following completion of Phase  
1, only 28 classrooms continue to exist at the School, as shown  
on Sheet E-10.

Provided Parking

Location	Number of Spaces
Higuera Lot (On-Site)	33 spaces
Warner Lot (On-Site)	21 spaces
Samitaur Lot (Leased Off-Site)	55 spaces
Daily Available Parking	109 Spaces
Additional Event Parking (On-Site, Warner Lot)	25 spaces
Daily + Event Available Parking	134 Spaces

Classroom	Support
Assembly	Office
Common	



Sheet Title  
REVISED MASTER PLAN  
- AS-BUILT PHASE I  
CAMPUS PLAN

Drawn By: CL	Checked By: MS/JM/CJ
Project Number: 1701.02	Scale: 1"=20'
CAD File: 1701\Drawings\02-Plann DPT\PPR Set	
Sheet Number:	

E-10





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8509 Higuera Street,  
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New Multipurpose Field  
and Interior  
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PROPOSED CAMPUS INFORMATION  
PHASE II

141,934 SF COMBINED CAMPUS PROPERTY  
61,781 SF BUILDINGS FOOTPRINT  
(INCLUDES 144 SF FIELD STORAGE ROOM)  
80,153 SF OPEN SPACE  
(INCLUDES 15,300 SF PARKING LOT)  
(+13,100 SF WILLOWS II ROOFTOP  
SPORTS COURT)

34 CLASSROOMS  
8064 SF ASSEMBLY SPACE - W-IV GYMNASIUM

PARKING

Required Parking

Use	Quantity	Rate	Subtotal
Classrooms	34*	1.5 spaces/ classroom	51
Assembly (gymnasium)	8,064 sf	1 space/ 200 sf	40
Total Requirement			91 Spaces

\* The Proposed Phase 2 would include the creation of 6 new  
classrooms in Willows VI. See Sheet E-11

Provided Parking

Location	Number of Spaces
Higuera Lot (On-Site)	33 spaces
Warner Lot (On-Site)	21 spaces
Samitaur Lot (Leased Off-Site)	55 spaces
Daily Available Parking	109 Spaces
Additional Event Parking (On-Site, Warner Lot)	25 spaces
Daily + Event Available Parking	134 Spaces

Classroom	Support
Assembly	Office
Common	

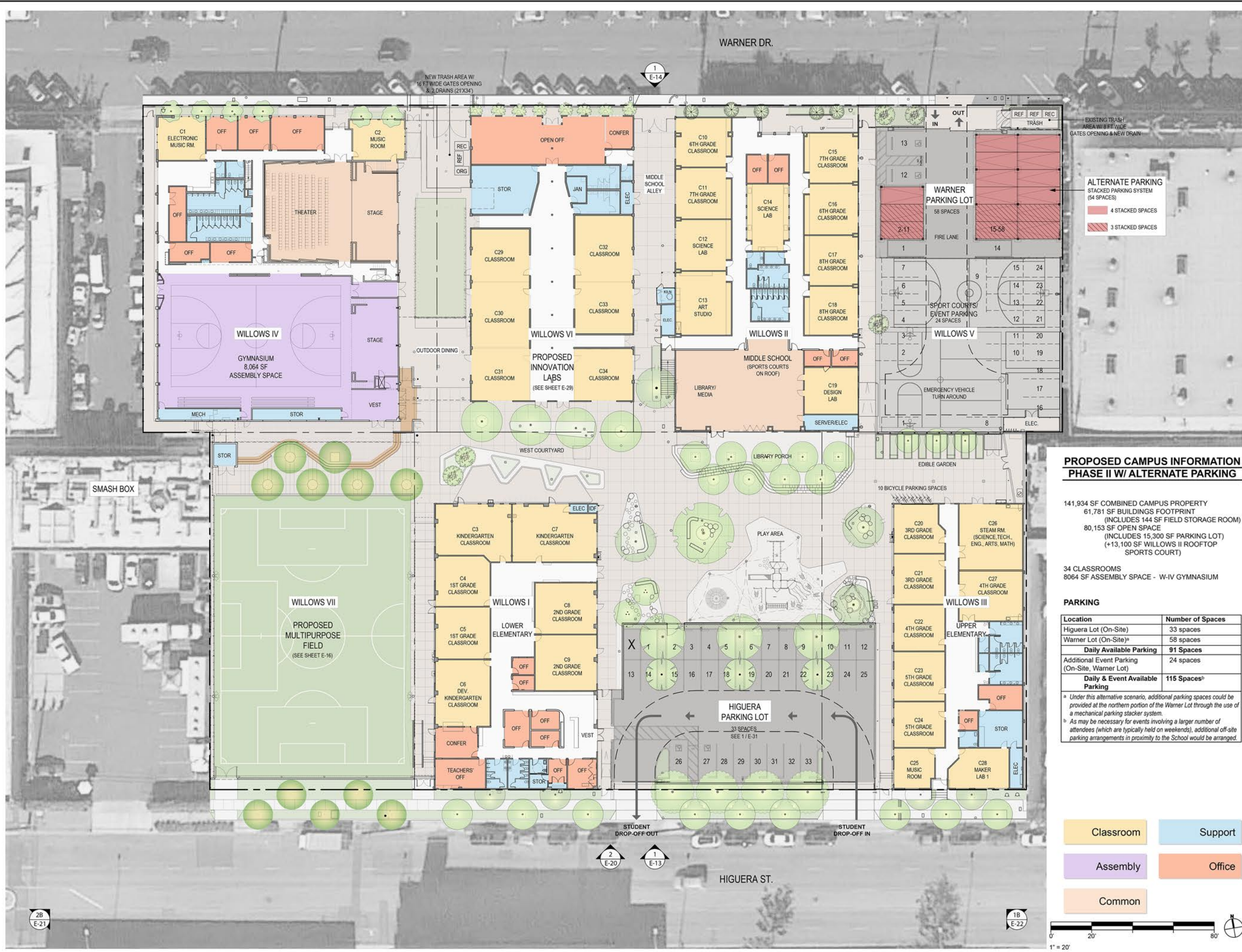


Sheet Title  
REVISED MASTER PLAN  
- PHASE II CAMPUS  
PLAN

Drawn By: CL	Checked By: MS/JM/CJ
Project Number: 1701.02	Scale:
CAD File: 1701\Drawings\02-Plann DPT\PPR Set	
Sheet Number:	

E-11





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8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
and Interior  
Improvements

PROPOSED CAMPUS INFORMATION  
PHASE II W/ ALTERNATE PARKING

141,934 SF COMBINED CAMPUS PROPERTY  
61,781 SF BUILDINGS FOOTPRINT  
(INCLUDES 144 SF FIELD STORAGE ROOM)  
80,153 SF OPEN SPACE  
(INCLUDES 15,300 SF PARKING LOT)  
(+13,100 SF WILLOWS II ROOFTOP  
SPORTS COURT)

34 CLASSROOMS  
8064 SF ASSEMBLY SPACE - W-IV GYMNASIUM

PARKING

Location	Number of Spaces
Higuera Lot (On-Site)	33 spaces
Warner Lot (On-Site) <sup>a</sup>	58 spaces
<b>Daily Available Parking</b>	<b>91 Spaces</b>
Additional Event Parking (On-Site, Warner Lot)	24 spaces
<b>Daily &amp; Event Available Parking</b>	<b>115 Spaces<sup>b</sup></b>

<sup>a</sup> Under this alternative scenario, additional parking spaces could be provided at the northern portion of the Warner Lot through the use of a mechanical parking stacker system.

<sup>b</sup> As may be necessary for events involving a larger number of attendees (which are typically held on weekends), additional off-site parking arrangements in proximity to the School would be arranged.

Classroom

Support

Assembly

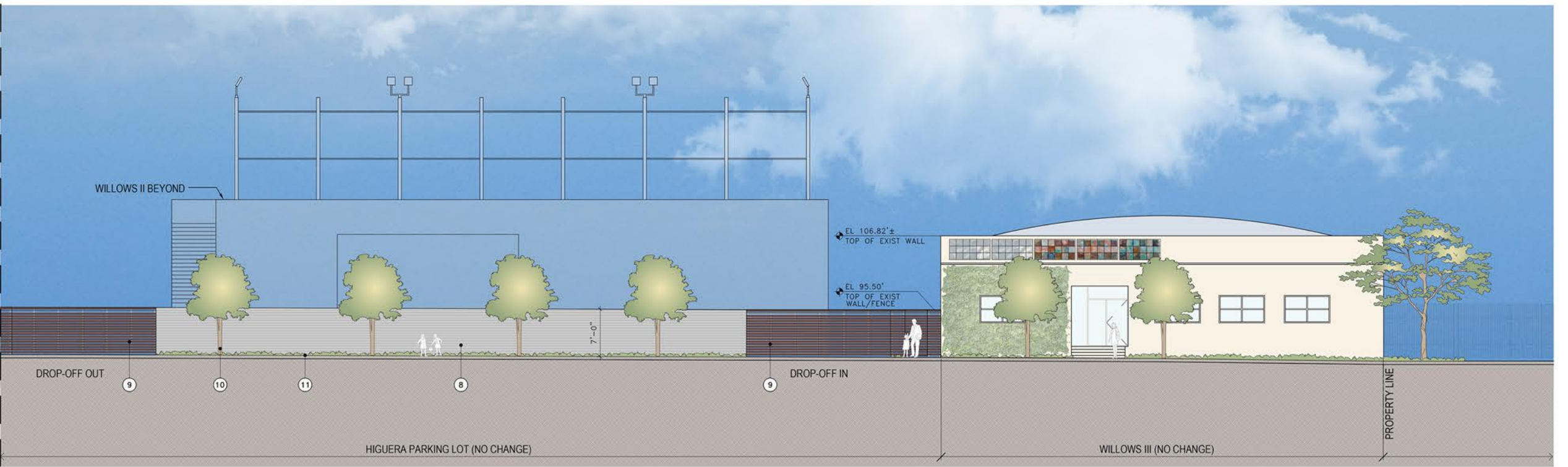
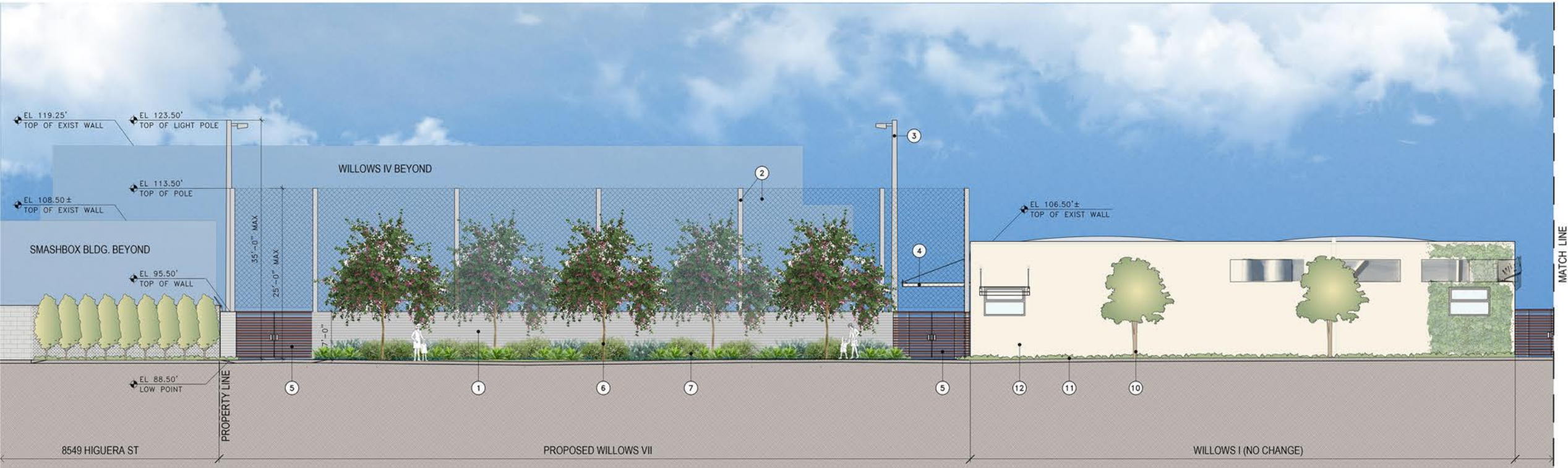
Office

Common

Sheet Title  
REVISED MASTER PLAN -  
PHASE II CAMPUS PLAN -  
W/ ALTERNATE PARKING

Drawn By: CL	Checked By: MS/JM/CJ
Project Number: 1701.02	Scale:
CAD File: 1701\Drawings\02-Plann DPT\PPR Set	
Sheet Number:	





Key Notes

1. (N) 7 FT. HIGH BOARD-FORMED NATURAL CONCRETE WALL TO MATCH EXISTING CONCRETE WALL AT HIGUERA PARKING LOT
2. (N) 25 FT. HIGH POLES & SAFETY NETTING
3. (N) 35 FT. HIGH LIGHT POLE
4. (N) STEEL FRAME SHADE CANOPY BEYOND
5. (N) 7 FT. HIGH STAINED, WOOD-CLAD STEEL GATE TO MATCH EXISTING GATE AT HIGUERA PARKING LOT

6. (N) TREE - SEE E-17
7. (N) GROUND PLANTING - SEE E-17
8. (E) 7 FT. HIGH BOARD-FORMED CONCRETE WALL
9. (E) 7 FT. HIGH STAINED, WOOD-CLAD STEEL GATE
10. (E) TREE
11. (E) GROUND PLANTING
12. (E) PLASTER WALL
13. (N) GLASS DOOR



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8509 Higuera Street,  
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New Multipurpose Field  
and Interior  
Improvements

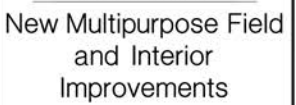
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CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18
Description	Date

Sheet Title  
REVISED MASTER PLAN  
- PHASE II HIGUERA  
ELEVATIONS

Drawn By: NvD	Checked By: MS/JM/CJ
Project Number: 1701	Scale: 1/8" = 1'-0"
CAD File: WCS-FLD-A401	
Sheet Number:	

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WARNER STREET ELEVATION – FACING SOUTH 1  
1/8"=1'-0" SCALE





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8509 Higuera Street,  
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New Multipurpose Field  
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Improvements

CAMPUS EGRESS SCENARIOS

- 1) - CAMPUS CLASSROOMS/OFFICES/SUPPORT OCCUPANCY TO FIELD SAFE DISPERSAL AREA = 1043 OCC.
- + WILLOWS III SOUTH TO HIGUERA ST. = 143 OCC.
- + WILLOWS IV NORTH TO WARNER DR. = 67 OCC.
- + WILLOWS VI OFFICE NORTH TO WARNER DR. = 15 OCC.
- TOTAL = 1268 OCC.
- 2) - WILLOWS IV GYMNASIUM = 541 OCC.
- 3) - WILLOWS IV THEATER = 295 OCC.
- 4) - WILLOWS VII FIELD = 396 OCC.

MAX CAMPUS STUDENTS = 575  
MAX CAMPUS TEACHERS/STAFF = 95  
TOTAL = 670

NOTE: DOOR /GATE WIDTH FACTOR= 0.2"/OCC.  
OLF = OCCUPANCY LOAD FACTOR

Classroom 20 OLF	Support 300 OLF
Assembly 15 OLF	Office 100 OLF
Common OLF VARIES	



Sheet Title  
REVISED MASTER PLAN  
- PHASE II CAMPUS  
EGRESS PLAN

Drawn By: CL	Checked By: MS/JM/CJ
Project Number: 1701.02	Scale: 1"=20'
CAD File: 1701\Draws\02-Plann DPT\PPR Set	
Sheet Number:	

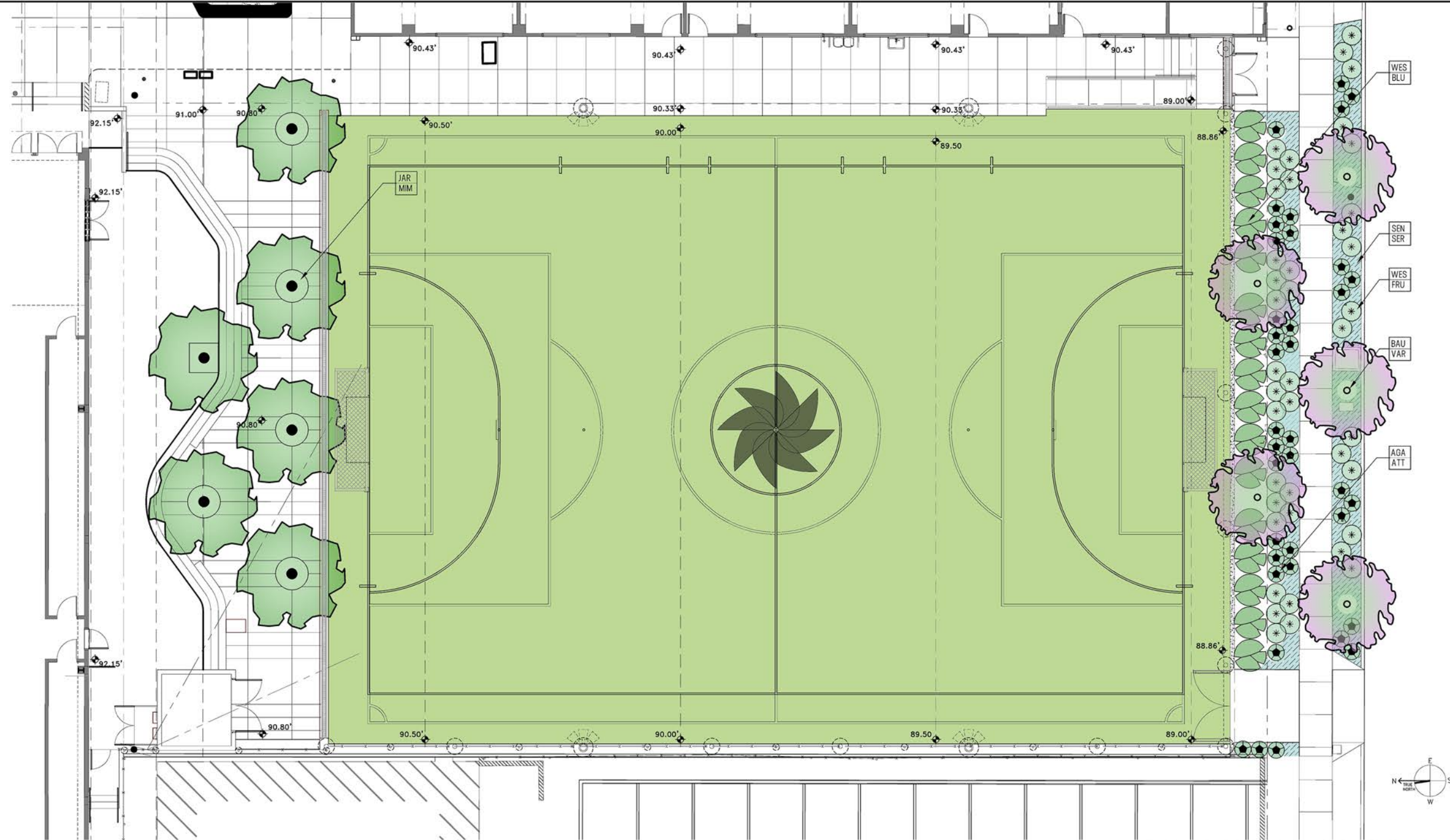
E-15



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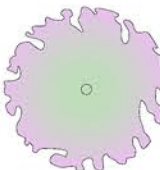
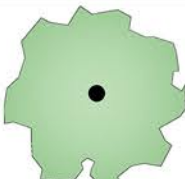
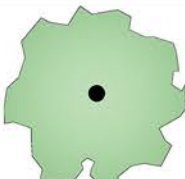
- |                                       |   |                                    |
|---------------------------------------|---|------------------------------------|
| 1. (N) PERMEABLE SYNTHETIC TURF FIELD | 9. (N) 7FT. HIGH CONCRETE WALL TO MATCH EXISTING CONCRETE WALL AT HIGUERA PARKING LOT | 16. (N) DRINKING FOUNTAIN          |
| 2. (N) CONCRETE WALKWAY               | 10. (N) 25 FT. HIGH POLES & SAFETY NETTING  | 17. (N) SINK                       |
| 3. (N) PRECAST CONCRETE PAVERS        | 11. (N) 35 FT. HIGH LIGHT POLE  | 18. (E) UTILITY POLE               |
| 4. (N) CONCRETE STEPS                 | 12. (N) STEEL FRAME SHADE CANOPY ABOVE  | 19. (N) FIELD DRAINAGE - SEE E-26  |
| 5. (N) CONCRETE GR & HANDRAIL         | 13. (N) WOOD CLAD STEEL GATE TO MATCH EXISTING GATE AT HIGUERA PARKING LOT            | 20. (N) GROUND PLANTING - SEE E-17 |
| 6. (N) TRENCH DRAIN                   | 14. (N) TREE - SEE E-17   | 21. (E) PLASTER WALL W/ (N) PAINT  |
| 7. (N) PLASTER-ON-CMU STORAGE SHED    | 15. (N) DOORWAY   |                                    |
| 8. (N) 8 FT. HIGH CHAIN LINK FENCE    |   |                                    |





MULTI PURPOSE FIELD LANDSCAPE PLAN 1  
1/8"=1'-0" SCALE

TREE LEGEND

SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	NOTES	WUCOLS
	BAU VAR	BAUHINIA VARIEGATA	PURPLE ORCHID TREE	36" BOX	5		M/M
	JAR MIM	JACARANDA MIMOSIFOLIA	JACARANDA	36" BOX	6		M/M
	TIP TIP	ALTERNATIVE TIPUANA TIPU	TIPU TREE				L

PLANT LEGEND

SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	NOTES	WUCOLS
	WES BLU	WESTRINGIA BLUE GEM	BLUE GEM COAST ROSEMARY	15G	5' O.C.	16		L
	WES FRU	WESTRINGIA FRUTICOSA MUNDI	LOW COAST ROSEMARY	5G	3' O.C.	41		L
	AGA ATT	AGAVE ATTENUATA	FOX TAIL AGAVE	5G	30' O.C.	29		L
	SEN SER	SENECIO SERPENS	BLUE CHALKSTICKS	FLATS	1' O.C.	400 SF		L

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LOS ANGELES, CA 90017  
TEL: 213-418-0201

STRUCTURAL ENGINEER  
KPFF CONSULTING ENGINEERS  
6880 CENTER DRIVE, SUITE 300  
LOS ANGELES, CA 90045  
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LIGHTING DESIGN ALLIANCE  
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LOS ANGELES, CA 90014  
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SALT  
SALT LANDSCAPE ARCHITECTS  
850 SOUTH BROADWAY, SUITE 803  
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TheWillows  
COMMUNITY SCHOOL

8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
and Interior  
Improvements

CUP REVISED MOD. RESUBMITTAL	03.19.19
CUP MODIFICATION RESUBMITTAL	01.16.19
CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18
Description	Date

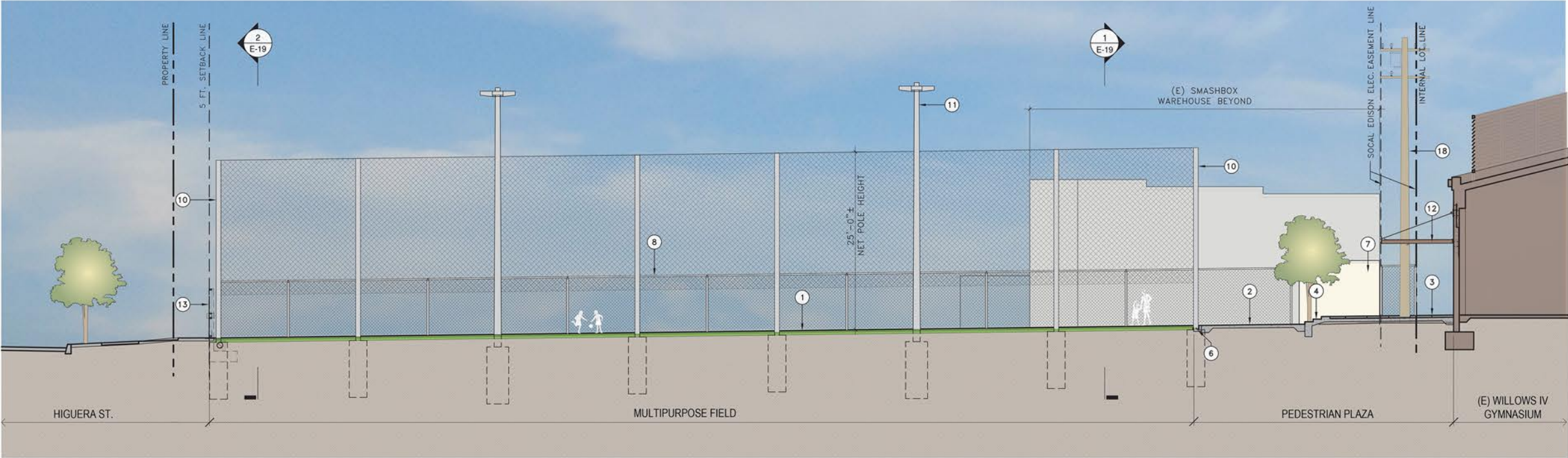
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REVISED MASTER PLAN -  
PHASE II MULTIPURPOSE  
FIELD LANDSCAPE PLAN

Drawn By: NvD/CL  
Project Number: 1701  
CAD File: SALT  
Sheet Number:

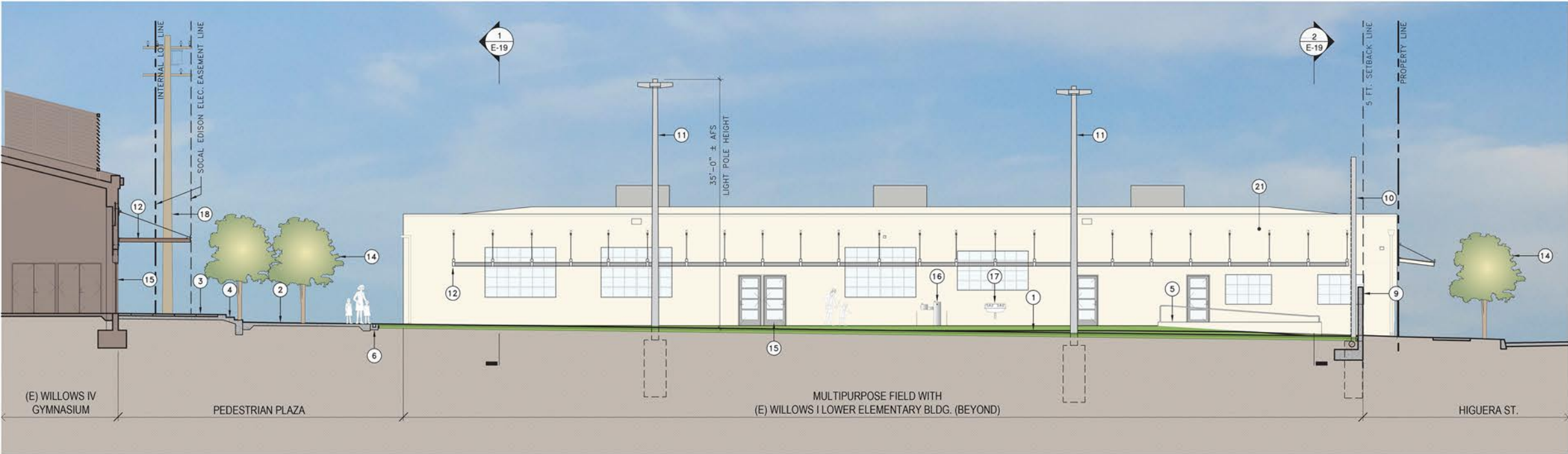
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E-17  
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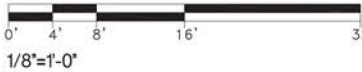
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1/8"=1'-0" SCALE 2



SECTION/ELEVATION: FACING EAST  
1/8"=1'-0" SCALE 1

Key Notes

- (N) PERMEABLE SYNTHETIC TURF FIELD
- (N) CONCRETE WALKWAY
- (N) PRECAST CONCRETE PAVERS
- (N) CONCRETE STEPS
- (N) CONCRETE RAMP & HANDRAIL
- (N) TRENCH DRAIN
- (N) PLASTER-ON-CMU STORAGE SHED
- (N) 8 FT. HIGH CHAIN LINK FENCE
- (N) 7FT. HIGH CONCRETE WALL TO MATCH EXISTING CONCRETE WALL AT HIGUERA PARKING LOT
- (N) 25 FT. HIGH POLES & SAFETY NETTING
- (N) 35 FT. HIGH LIGHT POLE
- (N) STEEL FRAME SHADE CANOPY ABOVE
- (N) WOOD CLAD STEEL GATE TO MATCH EXISTING GATE AT HIGUERA PARKING LOT
- (N) TREE - SEE E-17
- (N) DOORWAY
- (N) DRINKING FOUNTAIN
- (N) SINK
- (E) UTILITY POLE
- (N) FIELD DRAINAGE - SEE E-26
- (N) GROUND PLANTING - SEE E-17
- (E) PLASTER WALL W/ (N) PAINT



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8509 Higuera Street,  
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New Multipurpose Field  
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Improvements

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CUP MODIFICATION RESUBMITTAL	01.16.19
CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18
Description	Date

Sheet Title  
REVISED MASTER PLAN -  
PHASE II MULTIPURPOSE  
FIELD SECTIONS/ELEVS.

Drawn By:  
NVD/CL

Checked By:  
JM/CJ

Project Number:  
1701

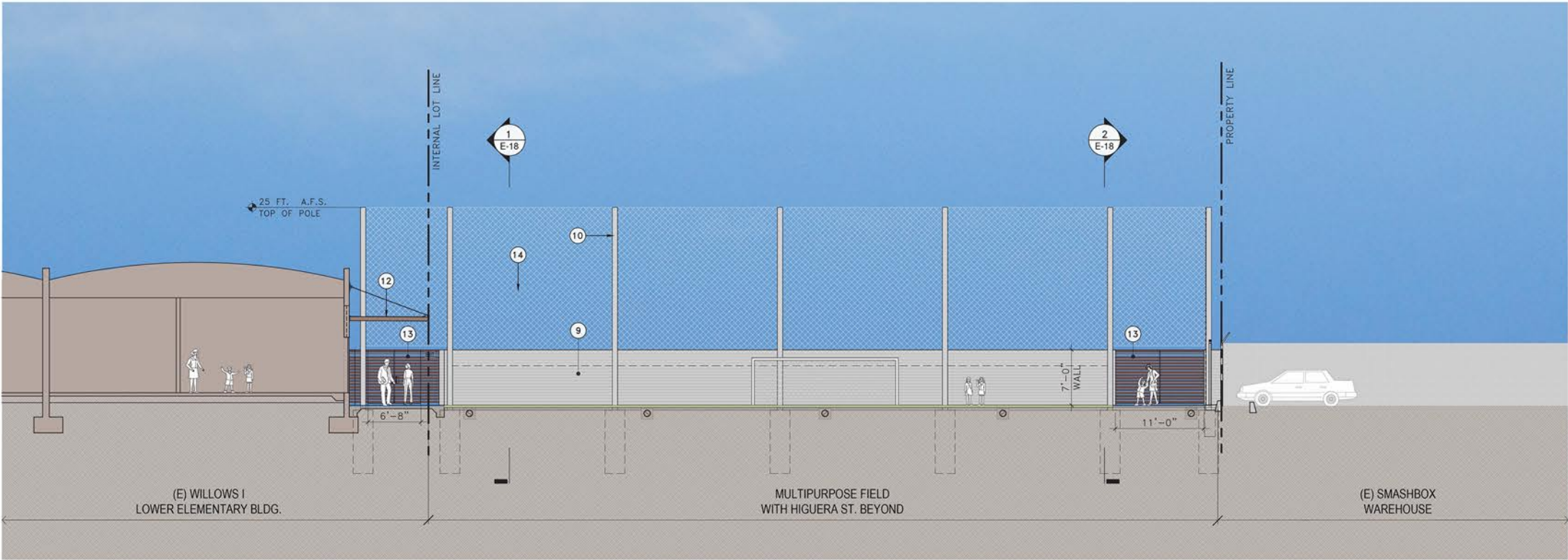
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CAD File:  
WCS-FLD-A4

Sheet Number:

E-18





SECTION/ELEVATION FACING SOUTH  
1/8"=1'-0" SCALE 2



SECTION/ELEVATION: FACING NORTH  
1/8"=1'-0" SCALE 1

Key Notes

1. (N) PERMEABLE SYNTHETIC TURF FIELD

2. (N) CONCRETE WALKWAY

3. (N) PRECAST CONCRETE PAVERS

4. (N) CONCRETE STEPS

5. (N) CONCRETE RAMP & HANDRAIL

6. (N) TRENCH DRAIN

7. (N) PLASTER-ON-CMU STORAGE SHED

8. (N) 8 FT. HIGH CHAIN LINK FENCE
9. (N) 7FT. HIGH CONCRETE WALL TO MATCH EXISTING CONCRETE WALL AT HIGUERA PARKING LOT

10. (N) 25 FT. HIGH POLES & SAFETY NETTING

11. (N) 35 FT. HIGH LIGHT POLE

12. (N) STEEL FRAME SHADE CANOPY ABOVE

13. (N) WOOD CLAD STEEL GATE TO MATCH EXISTING GATE AT HIGUERA PARKING LOT

14. (N) TREE - SEE E-17

15. (N) DOORWAY
16. (N) DRINKING FOUNTAIN

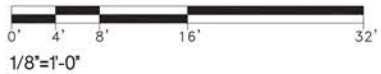
17. (N) SINK

18. (E) UTILITY POLE

19. (N) FIELD DRAINAGE - SEE E-26

20. (N) GROUND PLANTING - SEE E-17

21. (E) PLASTER WALL W/ (N) PAINT



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New Multipurpose Field  
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Improvements

CUP MODIFICATION RESUBMITTAL	01.16.19
CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18
Description	Date

Sheet Title  
REVISED MASTER PLAN -  
PHASE II MULTIPURPOSE  
FIELD SECTIONS/ELEVS.

Drawn By:  
NVD/CL

Checked By:  
JM/CJ

Project Number:  
1701

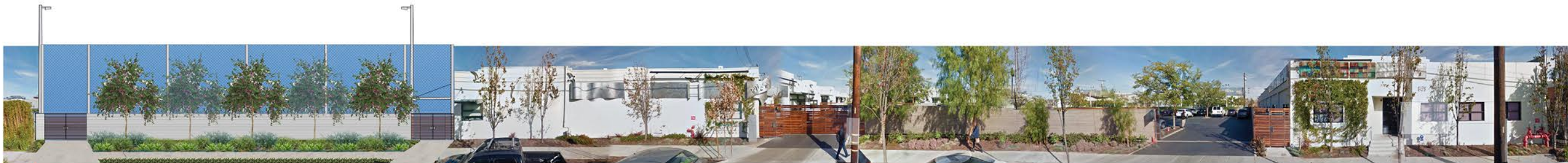
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CAD File:  
WCS-FLD-A-5

Sheet Number:

E-19





MULTIPURPOSE FIELD PROJECT

WILLOWS I  
LOWER ELEMENTARY  
8509 HIGUERA STREET

WILLOWS CAMPUS PARKING LOT  
8509 HIGUERA STREET

WILLOWS III  
UPPER ELEMENTARY  
8479 HIGUERA STREET

HIGUERA ST. ELEVATION: PROPOSED SITE 2



MULTIPURPOSE FIELD SITE  
EXISTING BUILDING TO BE DEMOLISHED

WILLOWS I  
LOWER ELEMENTARY  
8509 HIGUERA STREET

WILLOWS CAMPUS PARKING LOT  
8509 HIGUERA STREET

WILLOWS III  
UPPER ELEMENTARY  
8479 HIGUERA STREET

HIGUERA ST. ELEVATION: EXISTING SITE 1  
NTS

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8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
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Improvements

CUP MODIFICATION RESUBMITTAL	01.16.19
CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR COMMENTS RESPONSE	02.27.18
Description	Date

Sheet Title  
REVISED MASTER PLAN  
- PHASE II HIGUERA ST.  
PHOTO SIMULATION

Drawn By: NvD/CL	Checked By: JM/CJ
Project Number: 1701	Scale: N.T.S.

CAD File:  
WCS-FLD\_A-6  
Sheet Number:

E-20





A. EXISTING VIEW



B. PROPOSED VIEW



A. EXISTING VIEW



B. PROPOSED VIEW

NOT FOR  
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8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
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Improvements

CUP REVISED MOD. RESUBMITTAL	03.19.19
CUP MODIFICATION RESUBMITTAL	01.16.19
CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR COMMENTS RESPONSE	02.27.18
Description	Date

Sheet Title  
REVISED MASTER PLAN -  
PHASE II MULTIPURPOSE  
FLD PHOTO SIMULATION

Drawn By: NvD/CL	Checked By: JM/CJ
Project Number: 1701	Scale: N.T.S.
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Sheet Number:	

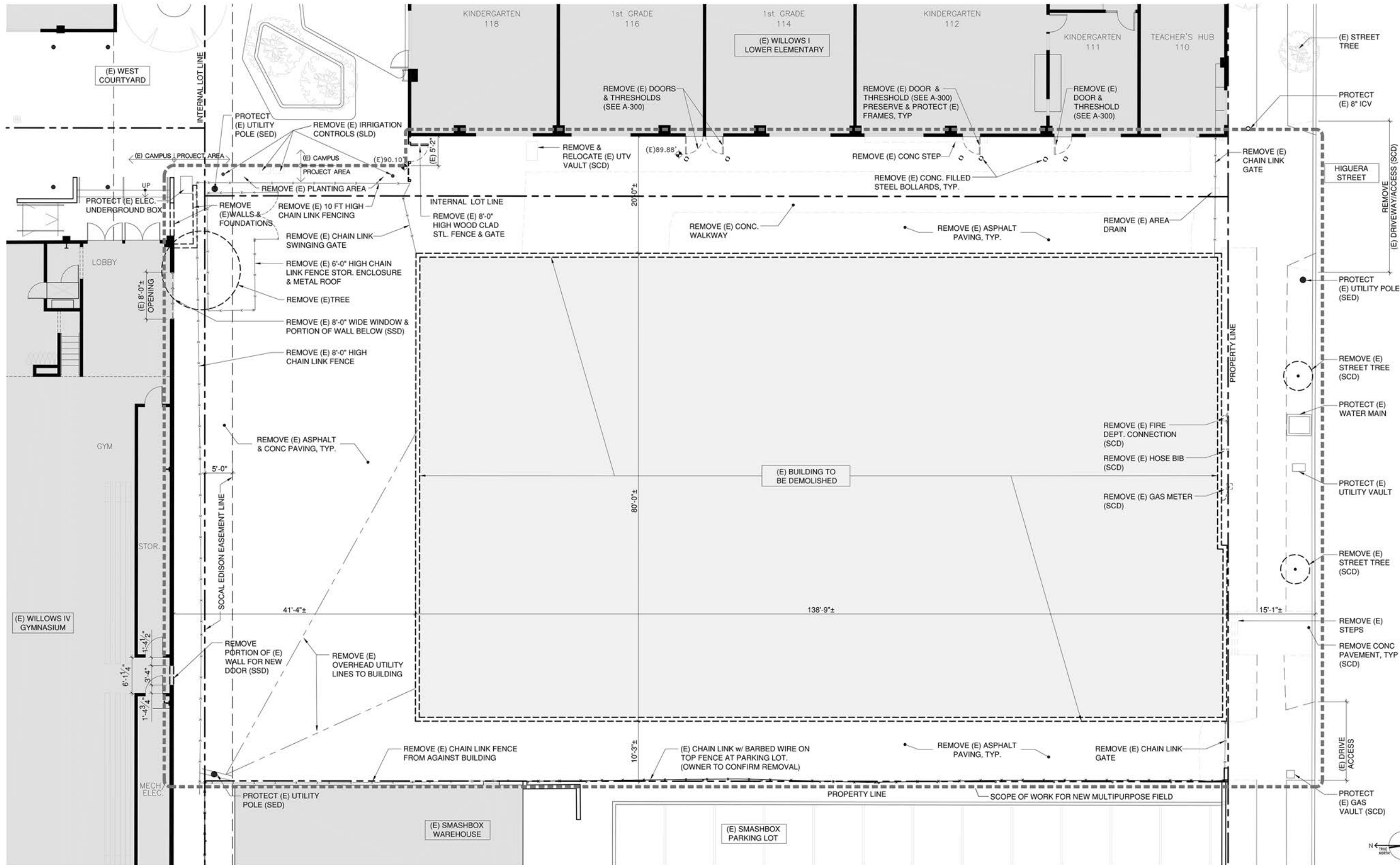
E-21



## New Multipurpose Field and Interior Improvements

E-22





NOT FOR  
CONSTRUCTION



8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
and Interior  
Improvements

CUP MODIFICATION RESUBMITTAL	01.16.19
CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18
Description	Date

Sheet Title  
REVISED MASTER PLAN -  
PHASE II MULTIPURPOSE  
FIELD DEMOLITION PLAN

Drawn By: NvD	Checked By: MS/JM/CJ
Project Number: 1701	Scale: 1/8" = 1'-0"
CAD File: WCS-FLD_A200	
Sheet Number:	

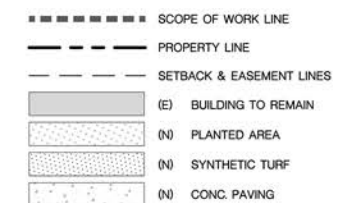
E-23

DEMOLITION PLAN  
1/8"=1'-0" SCALE 1

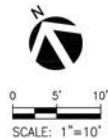
DEMOLITION LEGEND












- SCOPE OF WORK LINE
- PROPERTY LINE
- SETBACK & EASEMENT LINE
- (E) BUILDING TO REMAIN
- (E) BUILDING TO BE REMOVED





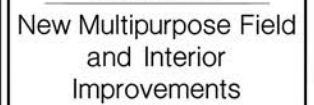




	LIMIT OF WORK
	PROPERTY LINE
	FLOW LINE
	GRADE BREAK
	RIDGE LINE
	SAWCUT AND JOIN
	GRADE SLOPE (HORIZONTAL:VERTICAL)
	LIMITS OF GRADING
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PLANTER AREA/LANDSCAPE (REFER TO LANDSCAPING PLANS FOR DETAILS)

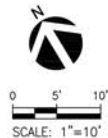
LANDSCAPE ARCHITECT  
SALT LANDSCAPE ARCHITECTS  
850 SOUTH BROADWAY, SUITE 803  
LOS ANGELES, CA 90014  
TEL: 213-234-0057

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CONSTRUCTION**



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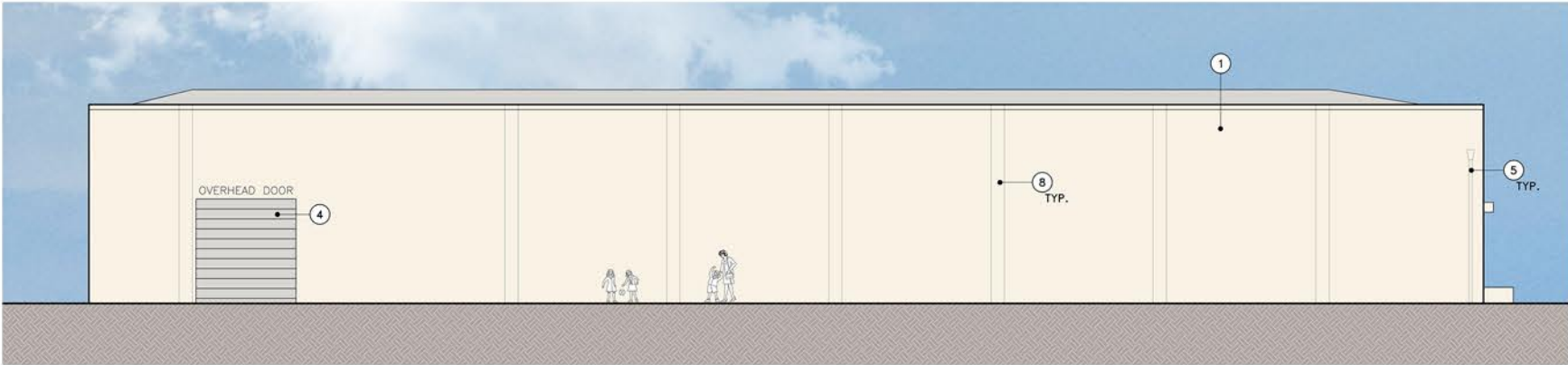
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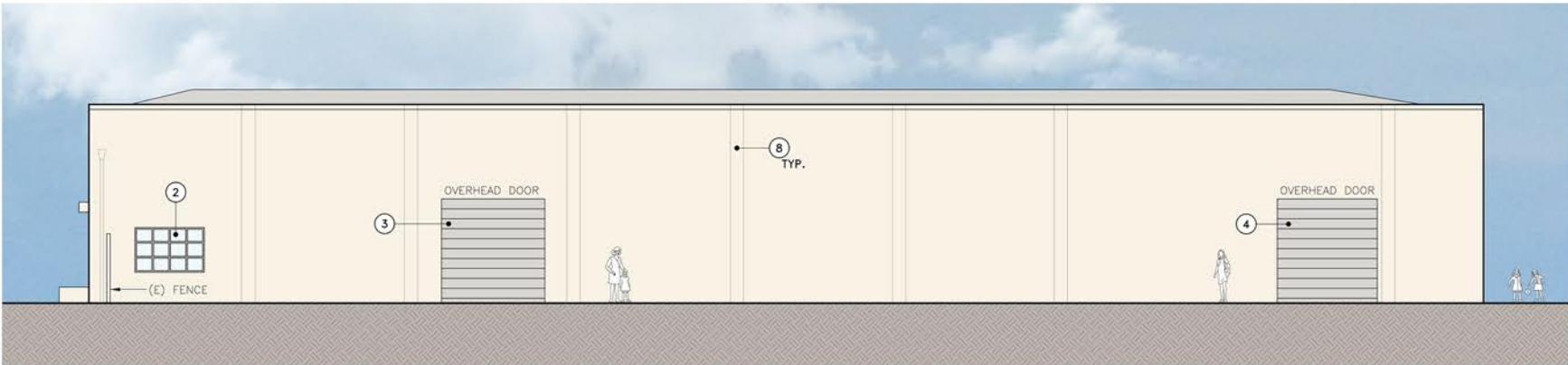




4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

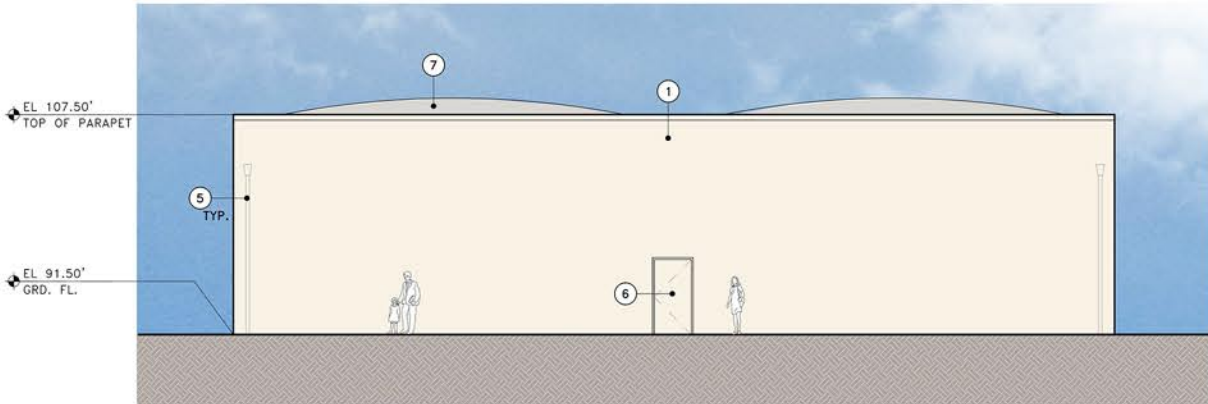


3 NORTH ELEVATION (WARNER DR.)  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

- Key Notes
- 1. EXTERIOR PAINTED PLASTER
  - 2. (E) WINDOW TO REMAIN
  - 3. (E) OVERHEAD DOOR TO REMAIN
  - 4. (E) OVERHEAD DOOR TO BE REMOVED
  - 5. (E) DOWNSPOUT TO REMAIN
  - 6. (E) DOOR TO BE REMOVED
  - 7. (E) ROOF
  - 8. (E) PLASTER
  - 9. (E) FIRE DEPT. APPARATUS



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

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8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
and Interior  
Improvements

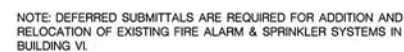
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CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18
Description	Date

Sheet Title  
REVISED MASTER PLAN  
- PHASE II WILLOWS VI  
EXISTING ELEVATIONS

Drawn By: CL	Checked By: MS/JM/CJ
Project Number: 1701.02	Scale: 1/8" = 1'-0"
CAD File: 1701\Drawgs\02-Plann DPT\PPR Set	Sheet Number:

E-28





1 PLAN  
SCALE: 1/8" = 1'-0"

### New Multipurpose Field and Interior Improvements

Sheet Title  
REVISED MASTER PLAN -  
PHASE II WILLOWS VI  
PROPOSED ROOF AND  
FLOOR PLANS

Drawn By: CL	Checked By: MS/JM/CJ
Project Number: 1701.02	Scale: 1/8" = 1'-0"
CAD File: 1701\Drawgs\02-Plann DPT\PPR Set	
Sheet Number:	





4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

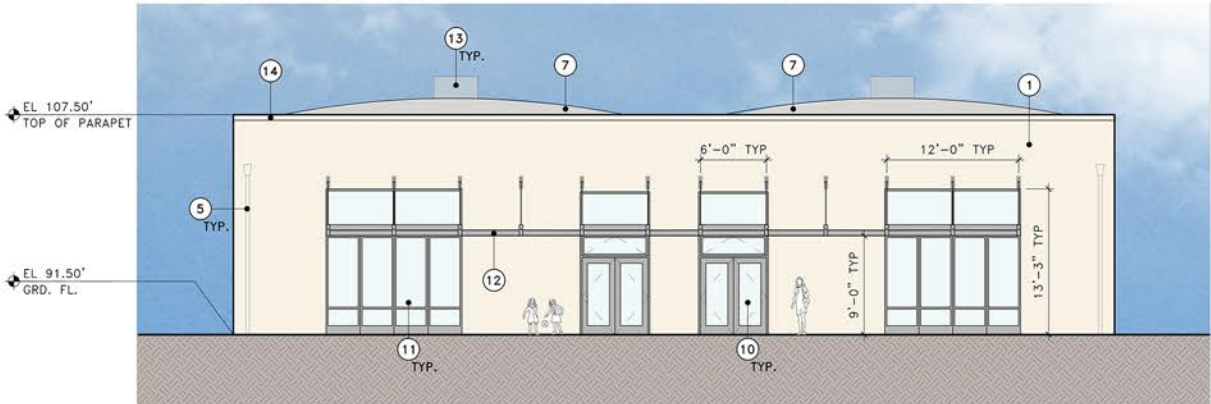


3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

- Key Notes
- 1. EXTERIOR PAINTED PLASTER
  - 2. (E) WINDOW TO REMAIN
  - 3. (E) OVERHEAD DOOR TO REMAIN
  - 4. (E) OVERHEAD DOOR TO BE REMOVED
  - 5. (E) DOWNSPOUT TO REMAIN
  - 6. (E) DOOR TO BE REMOVED
  - 7. (E) ROOF
  - 8. (E) PLASTER
  - 9. (E) FIRE DEPT. APPARATUS
  - 10. (N) DOOR
  - 11. (N) WINDOW
  - 12. (N) CANOPY SIMILAR TO CANOPY AT WILLOWS II LIBRARY
  - 13. (N) ROOFTOP AIR HANDLING UNIT
  - 14. PAINTED STL COPING
  - 15. (N) WALL MTD SINK



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

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CONSTRUCTION



8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
and Interior  
Improvements

CUP MODIFICATION RESUBMITTAL	01.16.19
CUP MODIFICATION SUBMITTAL	10.11.18
PPR SUBMITTAL	07.09.18
PPR RESPONSE PROGRESS	02.27.18
Description	Date

Sheet Title  
REVISED MASTER PLAN -  
PHASE II WILLOWS VI  
PROPOSED ELEVATIONS

Drawn By: CL	Checked By: MS/JM/CJ
Project Number: 1701.02	Scale: 1/8" = 1'-0"
CAD File: 1701\Drawings\02-Plann DPT\PPR Set	
Sheet Number:	

E-30

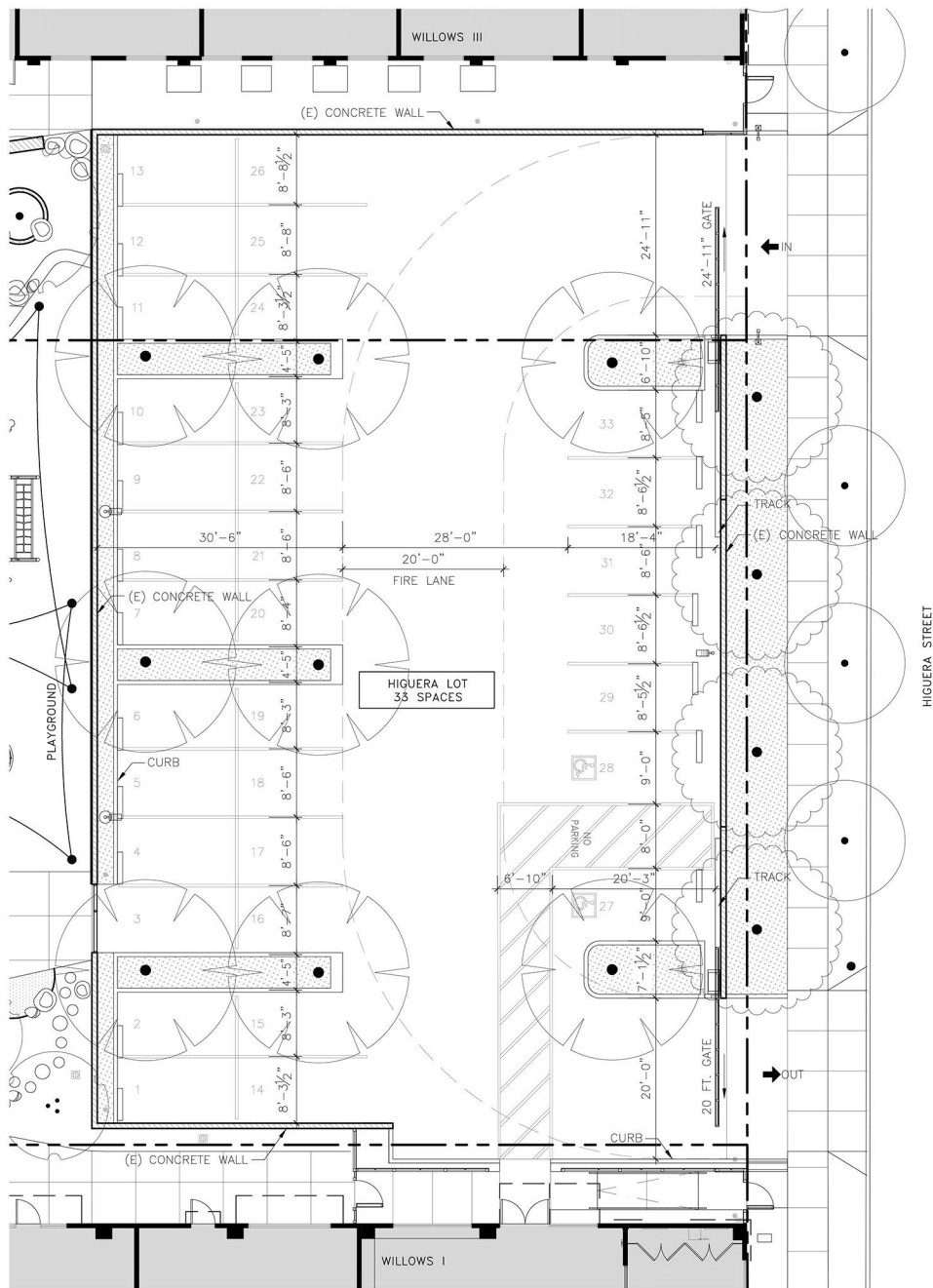


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CONSTRUCTION

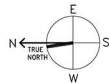


8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
and Interior  
Improvements



EXISTING PARKING COUNT	
TANDEM SPACES	13 (x2 = 26)
STANDARD SPACES	5
ACCESSIBLE SPACES	2
TOTAL SPACES	33

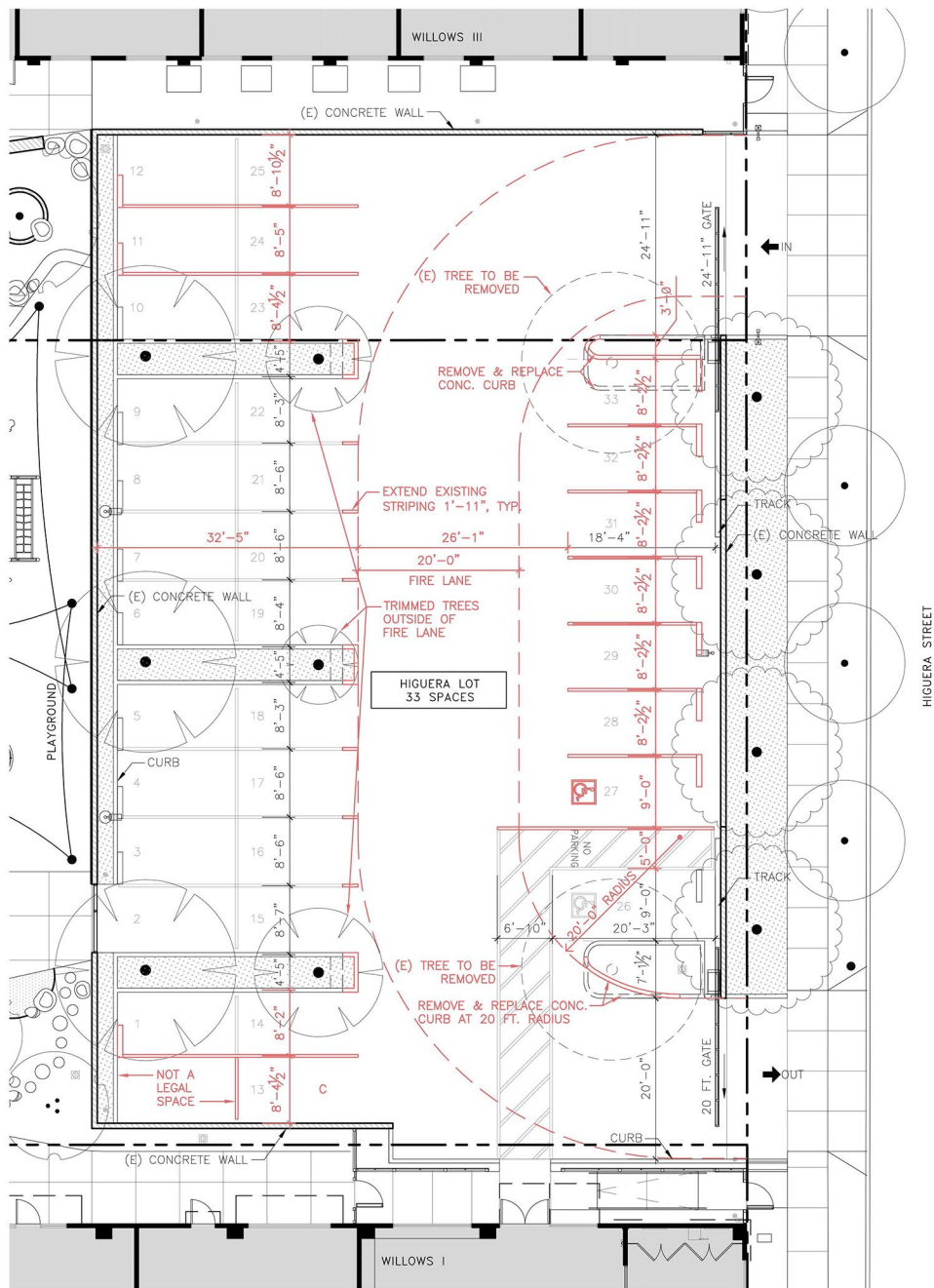


EXISTING HIGUERA PARKING LOT  
3/32"=1'-0" SCALE 2

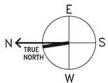
PHASE II TOTAL PARKING

HIGUERA ST. LOT SPACES	33
WARNER DR. NORTH LOT SPACES	21
OFF-SITE SPACES	55
TOTAL SPACES	109 (REQ'D PARKING = 91 SPACES)

WARNER DR. SOUTH LOT EVENT PARKING SPACES	25
TOTAL SPACES	134



PROPOSED PARKING COUNT	
TANDEM SPACES	12 (x2 = 24)
STANDARD SPACES	6
COMPACT SPACES	1 (3.1%)
ACCESSIBLE SPACES	2
TOTAL SPACES	33



PROPOSED HIGUERA PARKING LOT  
3/32"=1'-0" SCALE 1

NOTES

- RESTRIPE PARKING SPACES AS INDICATED
- REMOVE & REPLACE CURBS AS NOTED
- REMOVE 5 TREES - PLANT 3 TREES
- ALL DIMENSIONS ON PROPOSED PLAN ARE WITHIN 10% OF PARKING SPACE DIMENSIONAL REQUIREMENTS IN CULVER CITY MUNICIPAL CODE.

LEGEND

- SCOPE OF WORK LINE
- PROPERTY LINE
- SETBACK & EASEMENT LINES
- DEMOLITION
- (E) BUILDING TO REMAIN
- PLANTED AREA
- (E) CONC. PAVING
- C COMPACT PARKING SPACE

Sheet Title

REVISED MASTER PLAN  
- PHASE II HIGUERA ST.  
PARKING LOT PLANS

Drawn By: DX	Checked By: MS/NvD
Project Number: 1701	Scale: 3/32" = 1'-0"

CAD File:  
WCS-FLD\_A341

Sheet Number:

E-31



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8509 Higuera Street,  
Culver City, 90232

New Multipurpose Field  
and Interior  
Improvements

CUP MODIFICATION RESUBMITTAL 01.16.19

DISCUSSION DRAFT 12.17.18

Description Date

Sheet Title

REVISED MASTER PLAN  
- PHASE II WARNER DR.  
PARKING LOT PLANS

Drawn By:  
DX

Checked By:  
MS/NvD

Project Number:  
1701

Scale:  
3/32" = 1'-0"

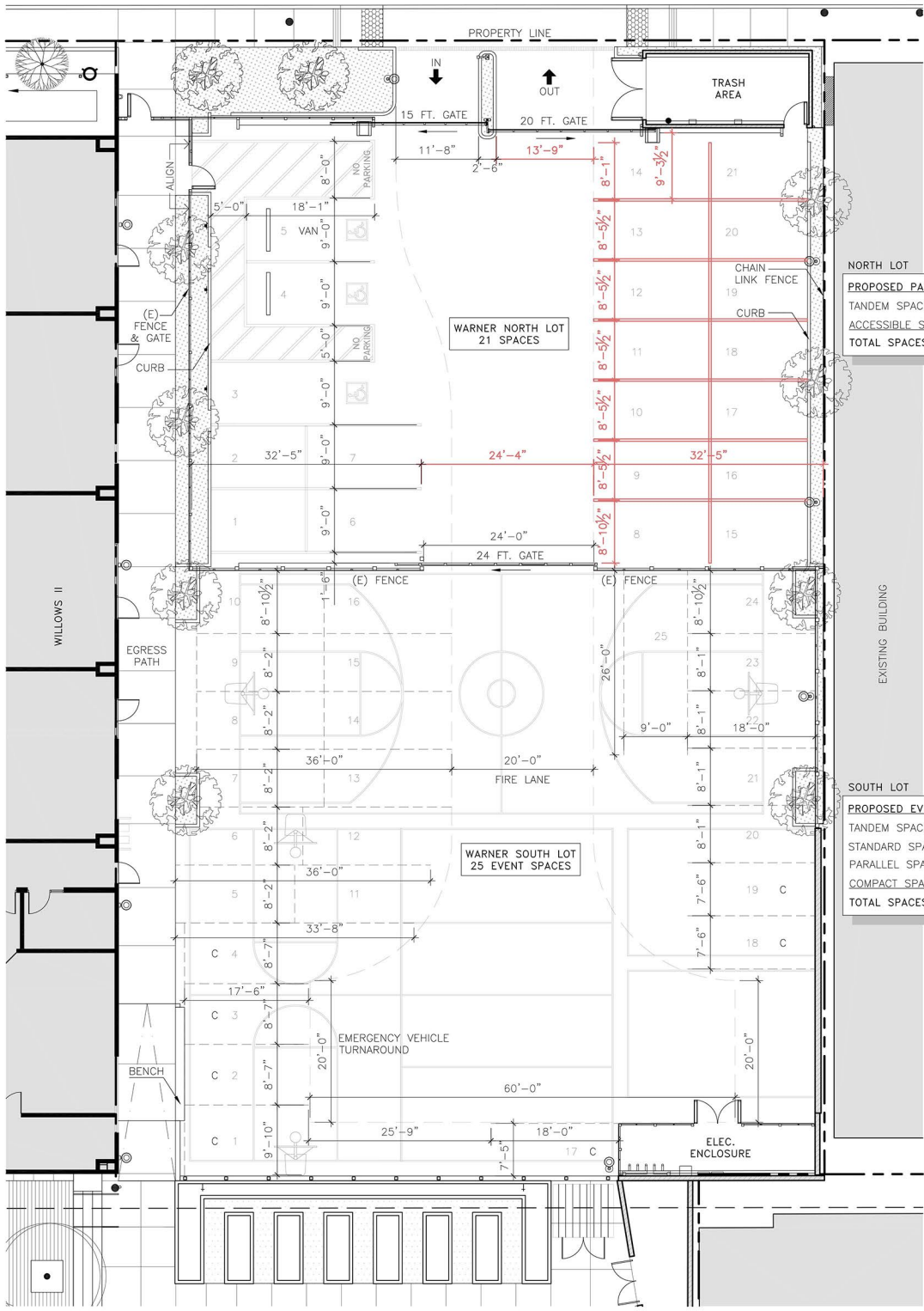
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E-32

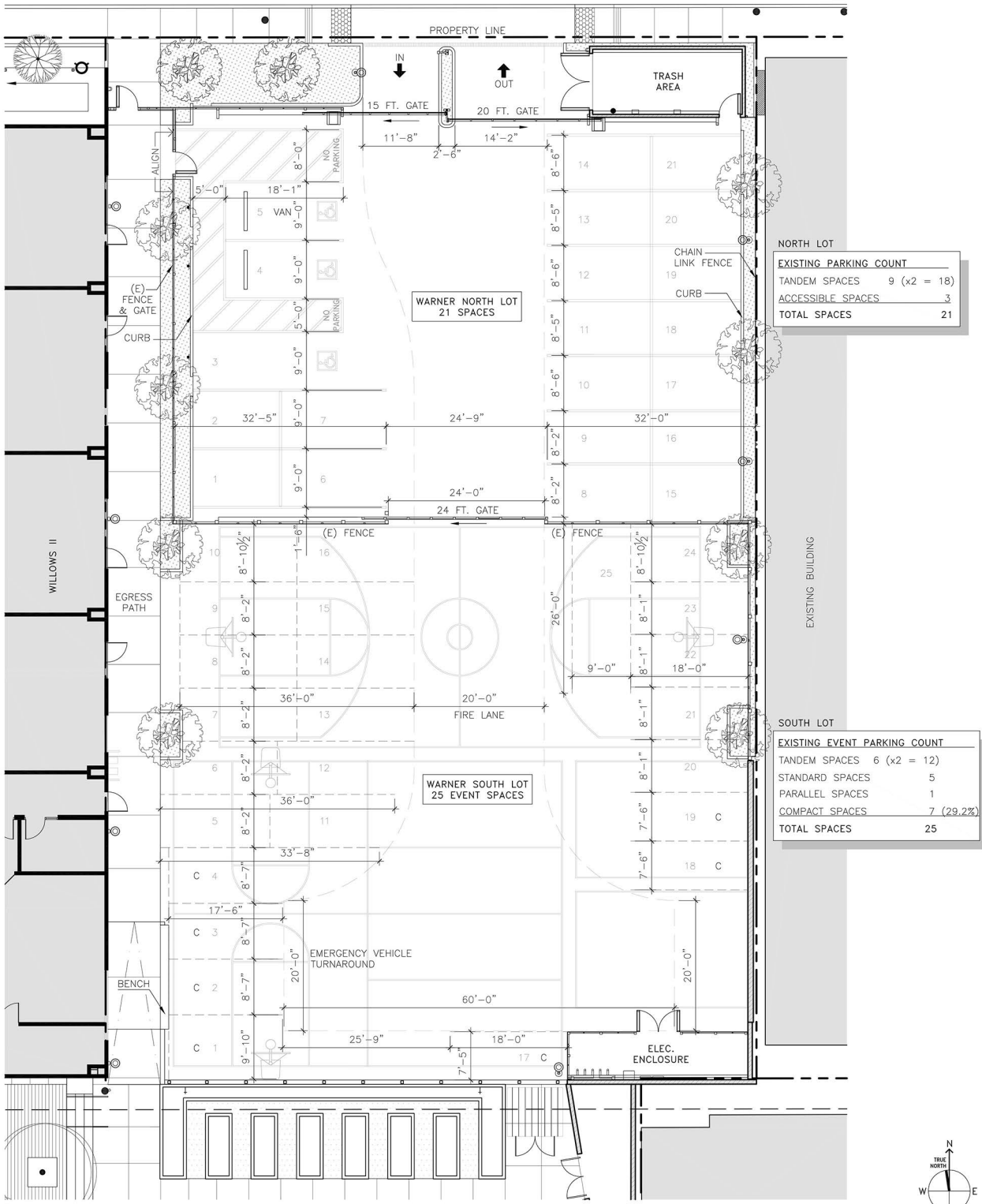
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WARNER DRIVE



PROPOSED WARNER PARKING LOT WITH REGULAR SPACES  
3/32"=1'-0" SCALE 1

WARNER DRIVE



EXISTING WARNER PARKING LOT  
3/32"=1'-0" SCALE 2

PHASE II TOTAL PARKING

HIGUERA ST. LOT SPACES	33
WARNER DR. NORTH LOT SPACES	21
OFF-SITE SPACES	55
TOTAL SPACES	109 (REQ'D PARKING = 91 SPACES)

WARNER DR. SOUTH LOT SPACES	
EVENT PARKING SPACES	25
TOTAL SPACES	134

NOTES

- RESTRIPE EAST SIDE OF LOT
- EVENT PARKING ON SPORT COURTS DOES NOT HAVE STRIPING.
- ALL DIMENSIONS ON PROPOSED PLAN ARE WITHIN 10% OF PARKING SPACE DIMENSIONAL REQUIREMENTS IN CULVER CITY MUNICIPAL CODE.

LEGEND

- SCOPE OF WORK LINE
- PROPERTY LINE
- SETBACK & EASEMENT LINES
- DEMOLITION
- (E) BUILDING TO REMAIN
- PLANTED AREA
- (E) CONC. PAVING
- C COMPACT PARKING SPACE