



4034 LA SALLE AVE. (MULTIPLE-FAMILY RESIDENTIAL)						
EXISTING SITE DATA						
PARCEL ADDRESS						
4034 LA SALLE AVENUE, CULVER CITY, CA, 90232						
APN: 4207-011-019						
PROPERTY LEGAL DESCRIPTION:						
LOT 22 IN BLOCK "11" OF TRACT NO. 1775, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 21 PAGES 190 THROUGH 191 INCLUSIVE OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY.						
LOT SIZE: (50' X 135')		6,750 SF				
ACREAGE:		0.15 ACRES				
EXISTING BUILDING AREA		1,424 SF				
EXISTING USE		SINGLE FAMILY RESIDENTIAL				
EXISTING UNITS		1 UNIT				
ZONING DATA						
ZONING:		RMD BLOCK A (MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT)				
NET LOT AREA:		6,750 SF				
ALLOWABLE DENSITY (CCMC):		4.50 UNITS (1UNIT PER 1,500 SF OF NET LOT AREA, UP TO A MAX. OF 9 UNITS)				
(GUIDELINE) DENSITY (AVG. / PREVAILING)		3.5 / 3&4 UNITS				
PROPOSED DENSITY:		4 UNITS		UNITS		
HEIGHT LIMIT (CCMC):		30 FT				
(GUIDELINE) HEIGHT (AVG.):		20 FT				
PROPOSED HEIGHT: : Grade at front of bldg (100.26') to parapet		28 FT		1.75 IN		
PROPOSED HEIGHT: : Grade at front of bldg (100.26') to stair roof		33 FT		9 IN		
PROPOSED HEIGHT: (CCMC)		23 FT		11 IN		
ALLOWED BUILDING STORIES (CCMC):		2 STORIES				
(GUIDELINE) STORIES (PREVAILING):		2 STORIES				
PROPOSED BUILDING STORIES:		2 STORIES				
ZONE SETBACKS:		MIN. (CCMC)	AVG. (GAN)	PREVAILING (GAN)	PROVIDED	
FRONT YARD:		10'-0" OR 1/2 OF HEIGHT	17'-0"	15'-0"	15' 1ST FLR	
EAST SIDE YARD:		5'-0"	NA	NA	5'-0"	
WEST SIDE YARD:		5'-0"	NA	NA	5'-0"	
REAR YARD:		10'-0"	NA	NA	10'-0"	
(GAN) LOT COVERAGE (AVG. / PREVAILING):		44% / 41-60%				
PROPOSED LOT COVERAGE AT 1ST FLOOR:		59%				
PROPOSED LOT COVERAGE AT 2 FLOOR:		63%				
PROPOSED AVERAGE LOT COVERAGE:		61%				
ALLOWABLE FLOOR AREA (CCMC):		UNLIMITED				
MAXIMUM ALLOWABLE FLOOR AREA HAS NO LIMITATION. MINIMUM ALLOWABLE FLOOR AREA FOR HABITABLE SPACES: STUDIO UNIT-500SF, 1 BEDROOM UNIT-700SF, 2 BEDROOM UNIT- 900 SF, 3 BEDROOM UNIT-1,100SF. MORE THAN 3 BEDROOMS: 1,100 SF PLUS 150 SF FOR EACH BEDROOM OVER 3.						
OFF-STREET PARKING REQUIRED: (2 SPACES PER 3 BEDROOM UNIT)		8 SPACES				
GUEST PARKING REQUIRED: (1 SPACES FOR EVERY 4 UNITS)		1 SPACES		GUEST SPACE IS HANDICAP ACCESSIBLE		
TOTAL PARKING PROVIDED:		9 SPACES				
TOTAL CONCRETE DRIVEWAY AREA:		354 SF				
TOTAL CONCRETE SIDEWALK AREA:		1110 SF				
TOTAL LANDSCAPE AREA:		1,067 SF				
CUBIC YARDS OF CUT:		TO BE DETERMINED				
BUILDING DATA						
FOOTPRINT AT GARAGE LEVEL:		4,716 SF				
FOOTPRINT AT 1ST FLOOR LEVEL:		3,956 SF				
FOOTPRINT AT 2ND FLOOR LEVEL:		4,227 SF				
PROPOSED LOT COVERAGE AT 1ST FLOOR:		59%				
PROPOSED LOT COVERAGE AT 2ND FLOOR:		63%				
PROPOSED AVERAGE LOT COVERAGE:		61%				
GROSS SQ. FT.		12,856 (sum of building footprints, minus area open to sky. 43sq.ft.)				
PROJECT DWELLING UNIT DATA		UNIT A	UNIT B	UNIT C	UNIT D	TOTALS
NUMBER OF BEDROOMS		3	3	3	3	12
NUMBER OF BATHROOMS		2.5	2.5	2.5	2.5	10.0
LIVABLE AREA						
BASEMENT FLOOR LIVABLE AREA		0	0	0	0	0
FIRST FLOOR LIVABLE AREA		615	698	930	880	3,123
SECOND FLOOR LIVABLE AREA		921	955	962	926	3,764
TOTAL LIVABLE AREA		1,536	1,653	1,892	1,806	6,887
STORAGE						
STORAGE AREA REQUIRED (cubic feet)		100	100	100	100	400
STORAGE AREA PROVIDED (cubic feet)		150	150	150	100	550
OPEN SPACE						
PRIVATE OPEN SPACE REQUIRED		100	100	100	100	400
PRIVATE YARD		188	194	236	256	874
PRIVATE ROOF DECK		450	410	367	353	1,580
TOTAL PRIVATE OPEN SPACE PROVIDED		638	604	603	609	2,454
PARKING						
ENCLOSED PARKING REQUIRED		2	2	2	2	8
ENCLOSED PARKING PROVIDED		2	2	2	2	8
GUEST PARKING REQUIRED		0.25	0.25	0.25	0.25	1.00
GUEST PARKING PROVIDED		0.25	0.25	0.25	0.25	1.00

DESIGN TEAM	
OWNER:	4034 LA SALLE DEVELOPMENT 528 PALISADES DR. #530 PACIFIC PALISADES, CA 90272 T: 310. 293. 1209 AMIR JANDAGHI
ARCHITECT:	AERO COLLECTIVE 209 S. MARKET STREET INGLEWOOD, CA 90301 T: 323. 553. 2376 ANDREW CRANE
PLANNING CONSULTANT:	JOSEPH MONTOYA T: 310. 425. 5295
CIVIL / SURVEYOR:	TALA ASSOCIATES 1916 COLBY AVENUE LOS ANGELES, CA 90025 T: 424. 832. 3455 KAMRAN KAZEMI
GEOTECHNICAL ENGINEER:	RYBAK GEOTECHNICAL, INC. 16022 ARMINTA STREET, SUITE 7 VAN NUYS, CA 91406 T: 818. 785. 0550 RICHARD RYBAK
LANDSCAPE ARCHITECT:	RODRIGUEZ & SATTERTHWAITE 1424 OLD TOPANGA CANYON TOPANGA, CA 90290 T: 310.455.1919 CATHERINE MCLAUGHLIN
SHEET INDEX	
SHT #	TITLE
G0.00	COVER SHEET
G0.01	CONCEPT IMAGES
G0.02	SURVEY, FOR REFERENCE
A0.00	SITE PLAN
A0.00A	EXPANDED SITE PLAN
A0.00B	SITE PHOTOS
A0.01	EXISTING SITE TREE PHOTOS
A0.02	ADJ. PROPERTY PHOTOS
A0.10	SITE DEMOLITION PLAN
A1.00	BASEMENT PLAN
A1.10	FIRST FLOOR PLAN
A1.20	SECOND FLOOR PLAN
A1.30	ROOF DECK PLAN
A1.40	STAIR ROOF PLAN
A2.01	BUILDING ELEVATIONS
A2.02	BUILDING ELEVATIONS
A2.03	BUILDING MATERIALS
A3.01	BUILDING SECTIONS
A3.02	BUILDING SECTIONS
L1.0	SCHEMATIC LANDSCAPE PLAN
L1.1	LANDSCAPE PLANT PALETTE

209 S. MARKET ST.  
INGLEWOOD, CA. 90301  
323.553.2376

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09.28.16  
SITE PLAN  
REVIEW

NO. ISSUES / REVISIONS DATE

CLIENT INFO:  
4034 LA SALLE DEVELOPMENT  
528 PALISADES DR. #530  
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 150232

COVER SHEET

ISSUE DATE: 09.28.2016

G0.00





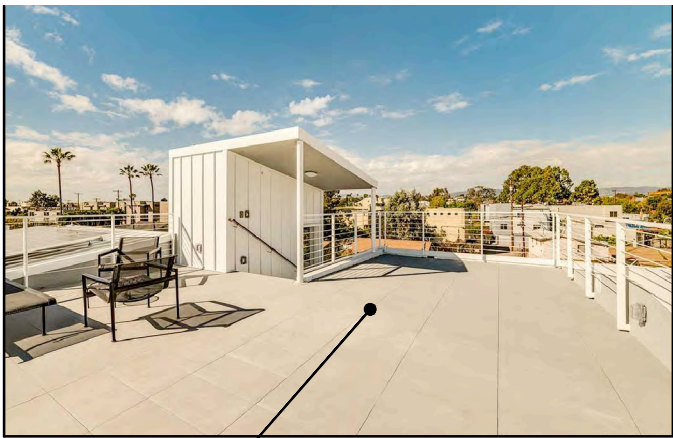
BUILDING FORM ⑨



BUILDING FORM ⑧



BUILDING FORM ⑦



ROOF DECK ⑤



ROOF PITCH ③



PROJECT RENDERING



BUILDING FORM ⑥



BUILDING FORM ④



WINDOW COVERINGS ②



LARGE WINDOWS ①



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LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA 90232  
PROJECT #15037

CONCEPT  
IMAGES

ISSUE DATE: 09.28.2016

G0.01

CONCEPT IMAGES





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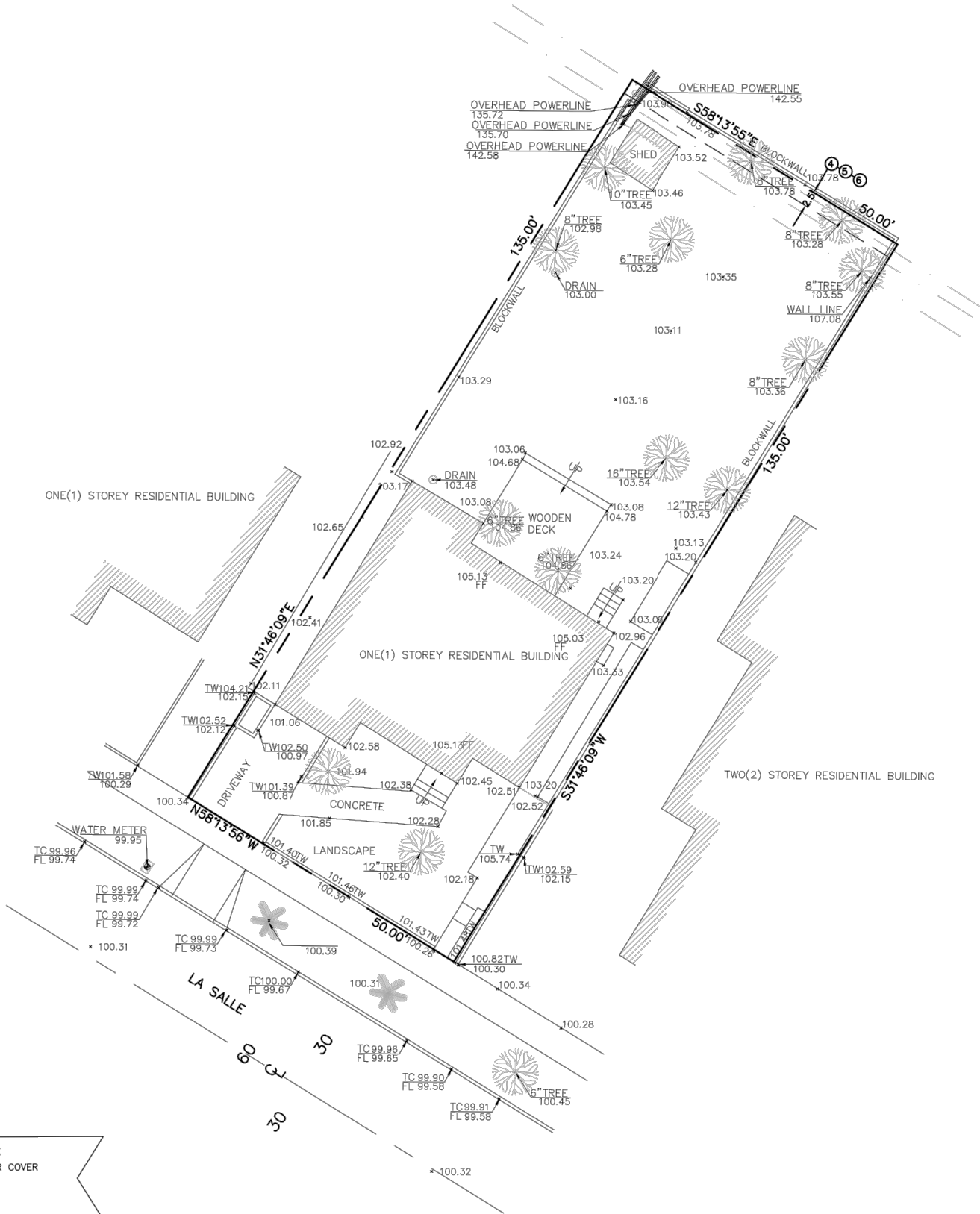
LA SALLE TOWNHOMES

4034 LA SALLE AVE.  
CULVER CITY, CA 90232  
PROJECT # 15037

SURVEY, FOR  
REFERENCE

ISSUE DATE: 09.28.2016

G0.02



SITE ADDRESS:

4034 LA SALLE  
CULVER CITY, CA 90232


LEGAL DESCRIPTION:

LOT 22 IN BLOCK "11" OF TRACT NO. 1775, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 21 PAGES 190 THROUGH 191 INCLUSIVE OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY.

EASEMENT NOTES:

PER FIDELITY NATIONAL TITLE COMPANY; ORDER NO.: 00106720-995-LBO-VE, DATED: AUGUST 21, 2015.

- EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED: AS PROVIDED THEREIN PURPOSE: PUBLIC UTILITIES RECORDING NO. IN BOOK 6284, PAGE 261, DEEDS AFFECTS: THE REAR 2.5 FEET OF SAID LAND.
- EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED: AS PROVIDED THEREIN PURPOSE: PUBLIC UTILITIES RECORDED DATE: JULY 24, 1929 RECORDING NO. IN BOOK 8228, PAGE 135, OFFICIAL RECORDS AFFECTS: THE REAR 2.5 FEET OF SAID LAND.
- EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED: AS PROVIDED THEREIN PURPOSE: PUBLIC UTILITIES RECORDING NO. IN BOOK 3941, PAGE 228, OFFICIAL RECORDS AFFECTS: THE REAR 2.5 FEET OF SAID LAND.

TOPOGRAPHY SURVEY			
 <p>TALA ASSOCIATES 1916 COLBY AVENUE LOS ANGELES, CA. 90025 (424) 832-3455</p>	DATE: 10-07-2015	REVISIONS	
	SCALE: AS SHOWN		
	DESIGNED: KK		
	DRAWN: KK		
	CHECKED: RDR		
	SHEET: 1 OF: 1		
	JOB NO. 3304		
REYNALDO T. DE RAMA R.C.E. 29108 EXP. 3-31-17			

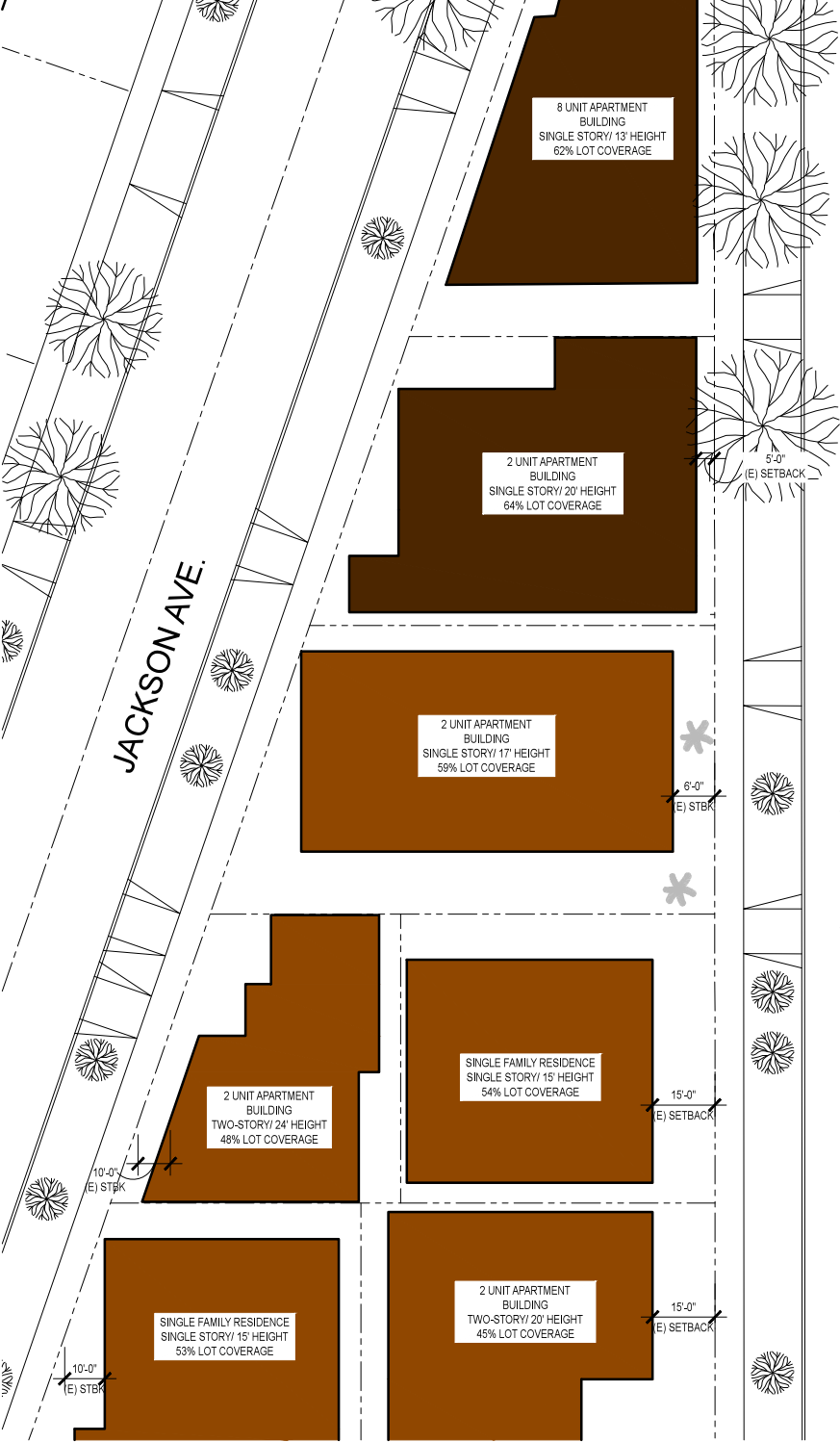
NOTE:

THIS SURVEY AND MAP ARE THE PROPERTY OF TALA ASSOCIATES, INC. AND MAY NOT BE MODIFIED, ALTERED OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY TALA ASSOCIATES, INC. AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVISIO EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK OR E-MAIL THAT MAP BE PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISIO WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED BY TALA ASSOCIATES, INC. AS TO SUCH CHANGED MATERIAL.

NOTE:

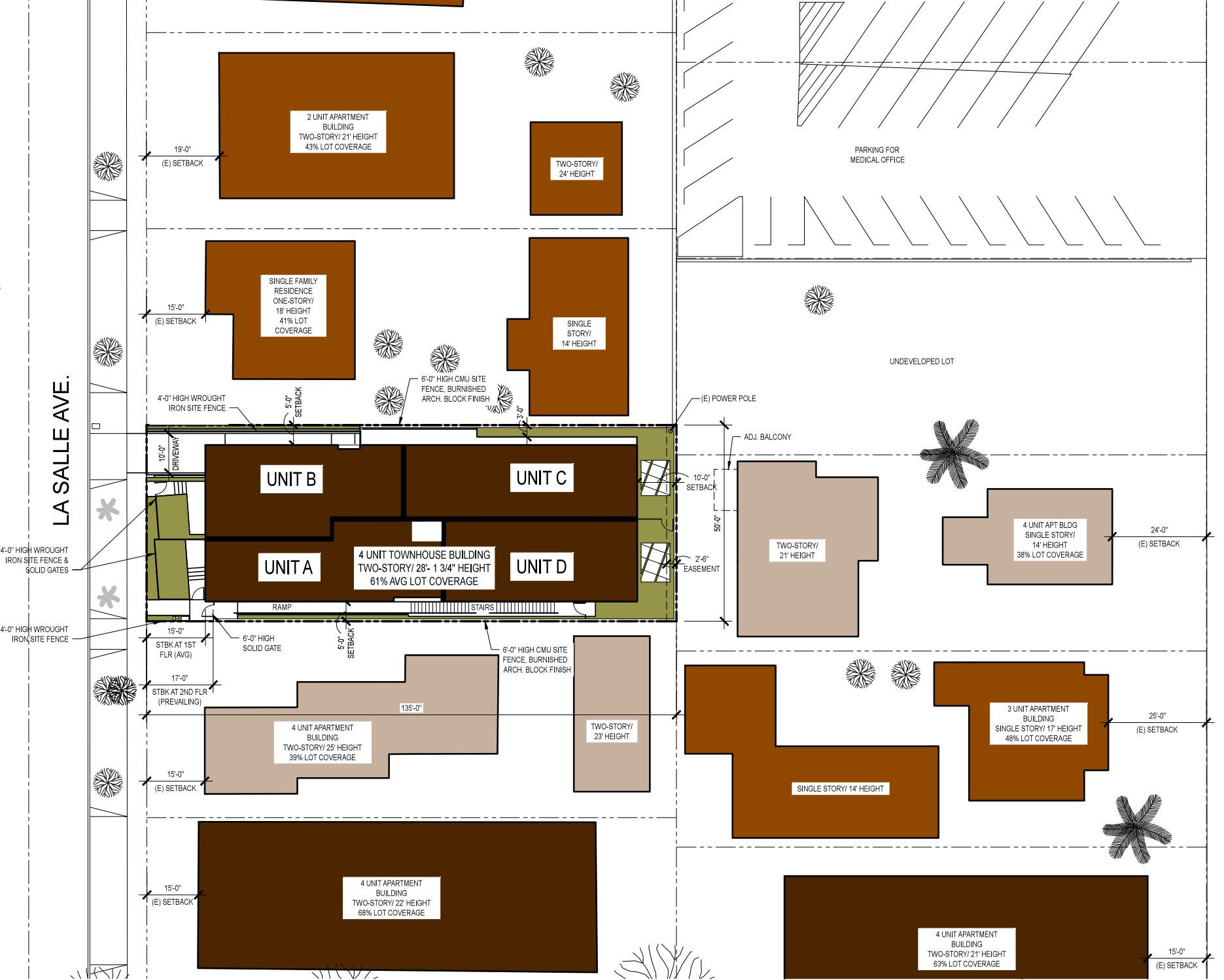
THIS SURVEY IS INTENDED FOR DESIGN PURPOSES ONLY AND NOT FOR CONSTRUCTION. BOUNDARY STAKING MUST BE CONDUCTED PRIOR TO ANY CONSTRUCTION IN ORDER TO JUSTIFY THE PROPER LEGAL SET BACKS, IF ANY, OF THE NEWLY PLANNED CONSTRUCTION. "EYE-BALLING" OR GUESSING THE BOUNDARY LOCATIONS HAS NO JUSTIFICATION AND IF PERFORMED CANCEL THE VALIDITY AND ACCURACY OF THIS SURVEY.

ASSUMED BENCHMARK  
TOP OF WATER METER COVER  
AS SHOWN ON PLAN  
ELEV. 99.95



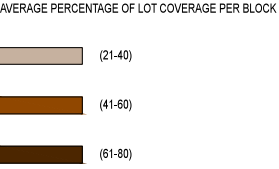
NOTE : LOT COVERAGE INFORMATION, BUILDING SETBACK, AND BUILDING HEIGHT ARE ALL  
TAKEN FROM GATEWAY ADJACENT NEIGHBORHOOD PLANNING STUDY.

KEYNOTES



SITE PLAN  
SCALE : 1/16" = 1'-0"  
(ON 24" X 36" SHEET SIZE)

LEGEND



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09.28.16  
SITE PLAN  
REVIEW

NO.	ISSUES / REVISIONS	DATE

CLIENT INFO:  
4034 LA SALLE DEVELOPMENT  
528 PALISADES DR, #530  
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15037

SITE PLAN

ISSUE DATE: 09.28.2016

A0.00





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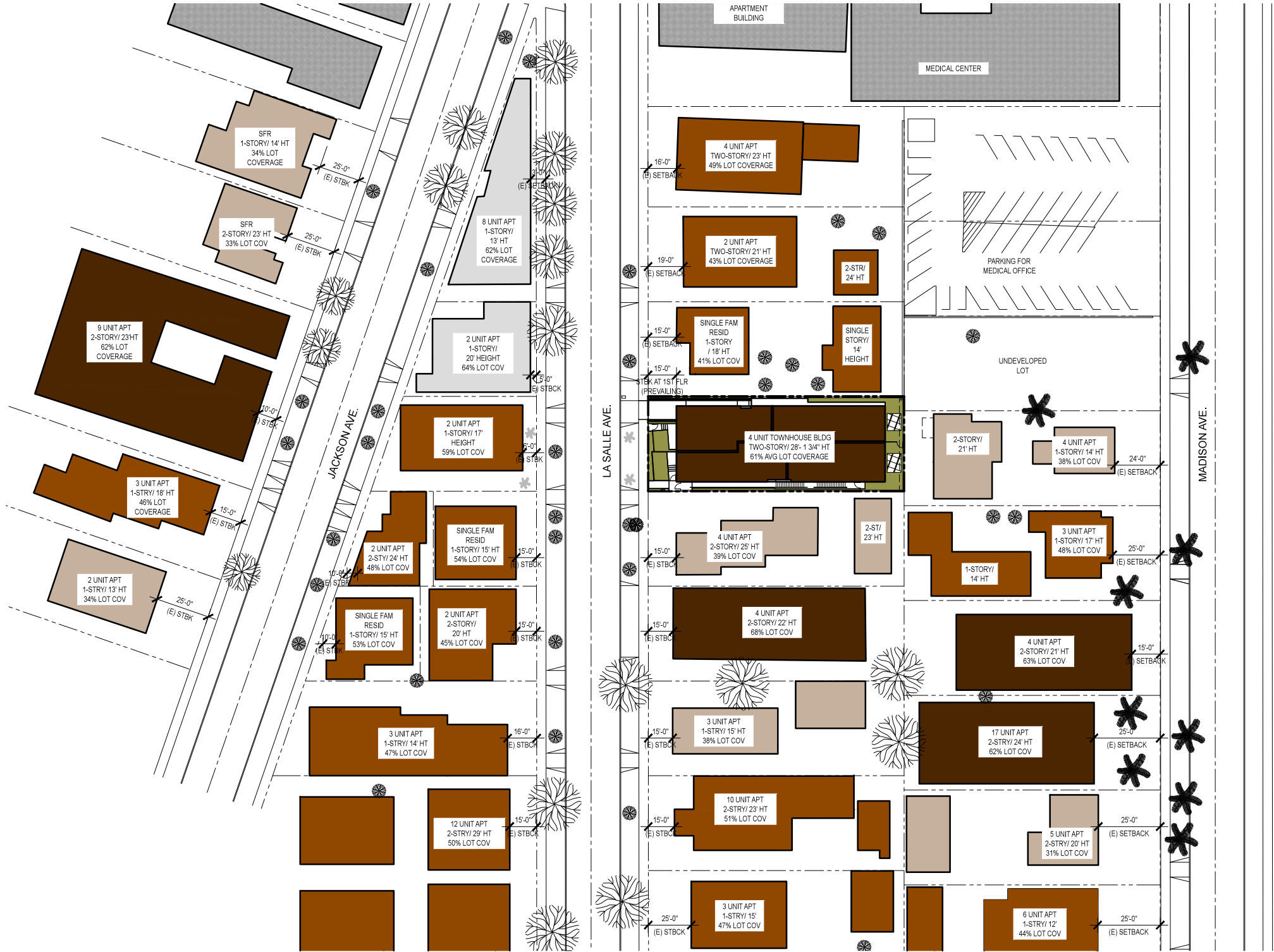
LA SALLE TOWNHOMES

4034 LA SALLE AVE  
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PROJECT # 15037

EXPANDED  
SITE PLAN

ISSUE DATE: 09.28.2016

A0.00A



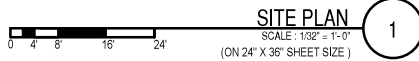
NOTE : LOT COVERAGE INFORMATION, BUILDING SETBACK, AND BUILDING HEIGHT ARE ALL TAKEN FROM GATEWAY ADJACENT NEIGHBORHOOD PLANNING STUDY.

KEYNOTES

LEGEND

AVERAGE PERCENTAGE OF LOT COVERAGE PER BLOCK

- (21-40)
- (41-60)
- (61-80)







SITE FROM THE SOUTH WEST  
SCALE: NTS  
(ON 24" X 36" SHEET SIZE)

8



SITE FROM THE SOUTH  
SCALE: NTS  
(ON 24" X 36" SHEET SIZE)

7



SITE FROM THE SOUTH EAST  
SCALE: NTS  
(ON 24" X 36" SHEET SIZE)

6



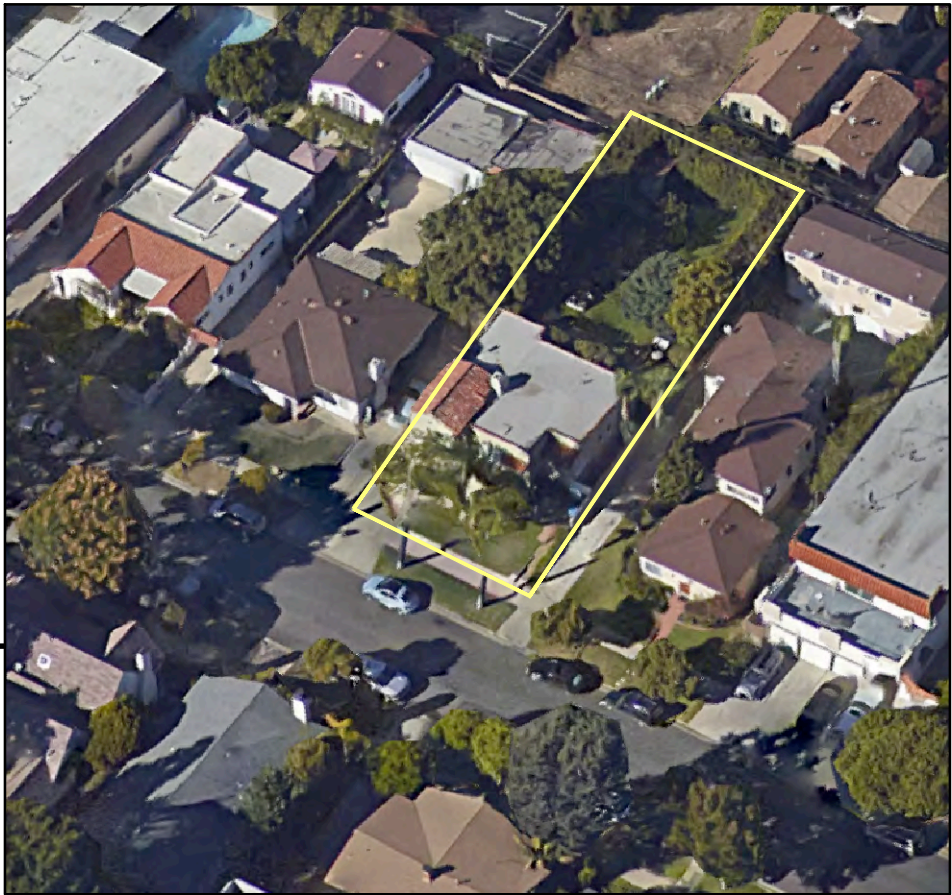
NEIGHBOR ACROSS THE SITE  
SCALE: NTS  
(ON 24" X 36" SHEET SIZE)

5



SITE FROM THE EAST  
SCALE: NTS  
(ON 24" X 36" SHEET SIZE)

4



SITE FROM THE SOUTH  
SCALE: NTS  
(ON 24" X 36" SHEET SIZE)

3



SITE FROM THE NORTH  
SCALE: NTS  
(ON 24" X 36" SHEET SIZE)

2



SITE FROM THE WEST  
SCALE: NTS  
(ON 24" X 36" SHEET SIZE)

1



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LA SALLE TOWNHOMES  
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PROJECT #15037

SITE PHOTOS

ISSUE DATE: 09.28.2016

A0.00B





1 PERIMETER BUSHES



2 SMALL CENTER TREE



3 PERIMETER BUSHES



4 LARGE TREE, MID PROPERTY



5 SMALL TREES ON DECK



6 LARGE TREE, MID PROPERTY. & LARGE TREE, @ SIDE YARD



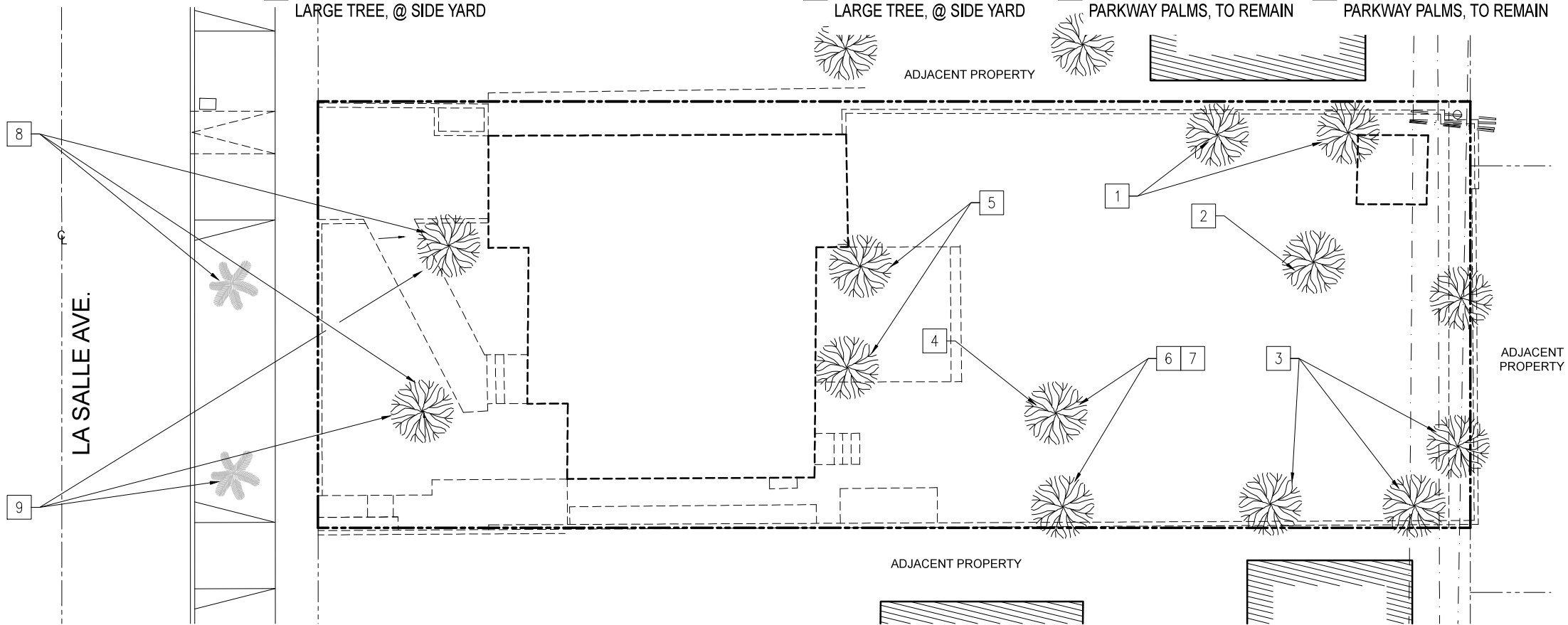
7 LARGE TREE, MID PROP. & LARGE TREE, @ SIDE YARD



8 2 SMALL FRONT YARD TREES. PARKWAY PALMS, TO REMAIN



9 2 SMALL FRONT YARD TREES. PARKWAY PALMS, TO REMAIN



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LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT #15037

EXISTING SITE  
TREE PHOTOS

ISSUE DATE: 09.28.2016

A0.01

EXISTING SITE TREES  
SCALE: 1/8" = 1'-0"  
(ON 24" X 36" SHEET SIZE)





12



11



10



9



8



7



6



5



4



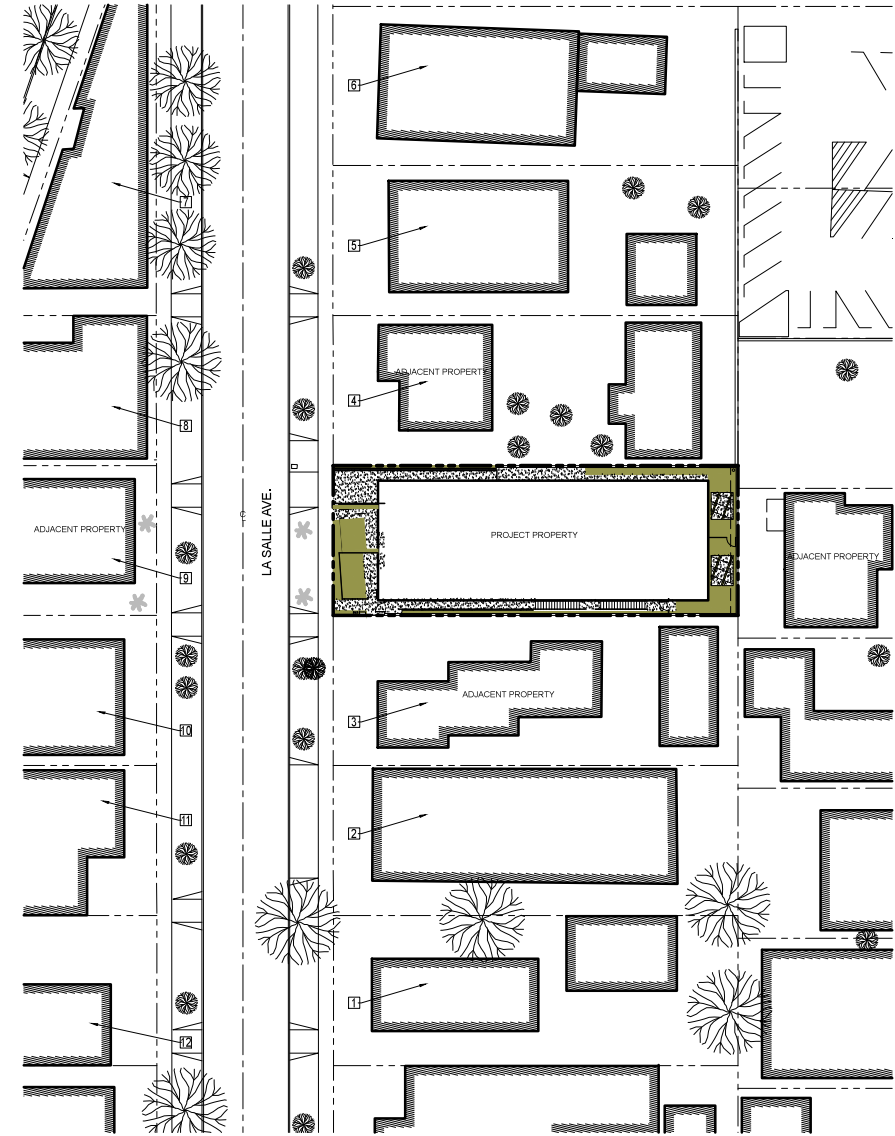
3



2



1



SITE PLAN  
SCALE: 1/32" = 1'-0"  
(ON 24" X 36" SHEET SIZE)

1



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PROJECT #15037

ADJ. PROPERTY  
PHOTOS

ISSUE DATE: 09.28.2016

A0.02





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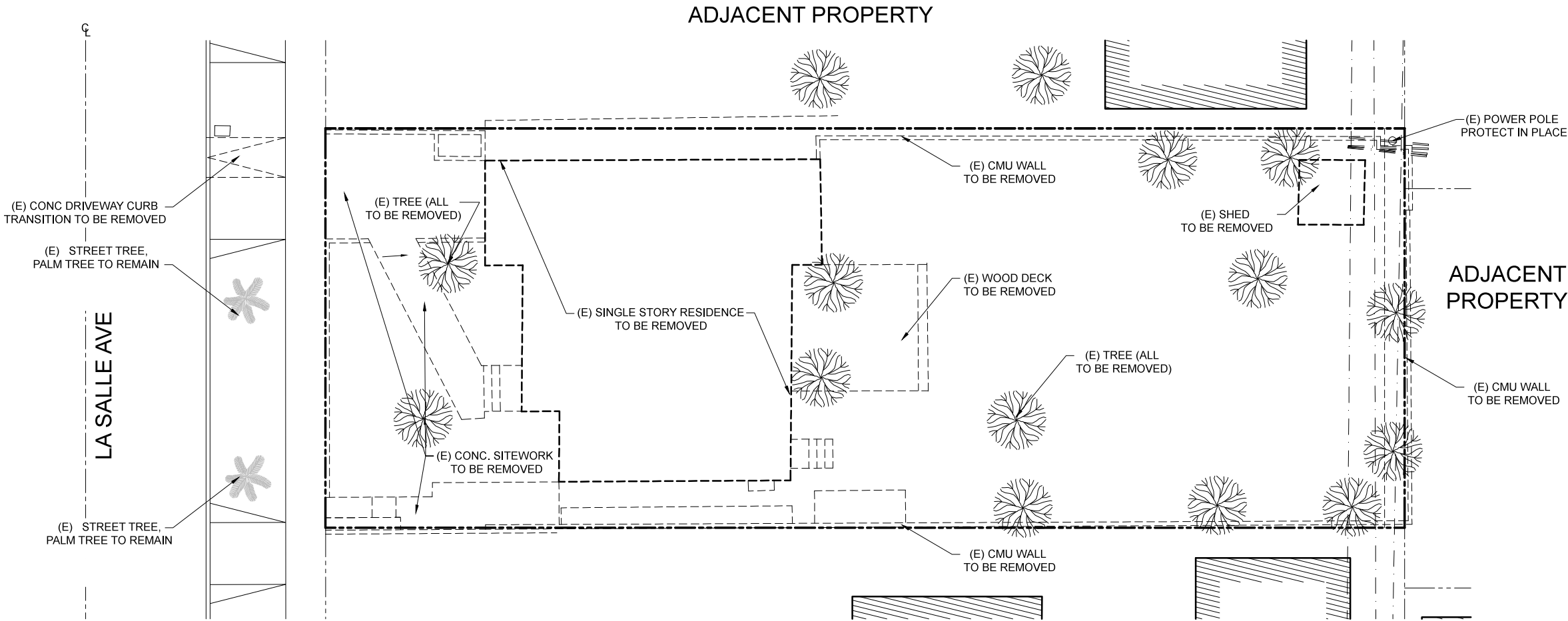
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PROJECT #15037

SITE DEMOLITION  
PLAN

ISSUE DATE: 09.28.2016

A0.10



KEYNOTES

LEGEND





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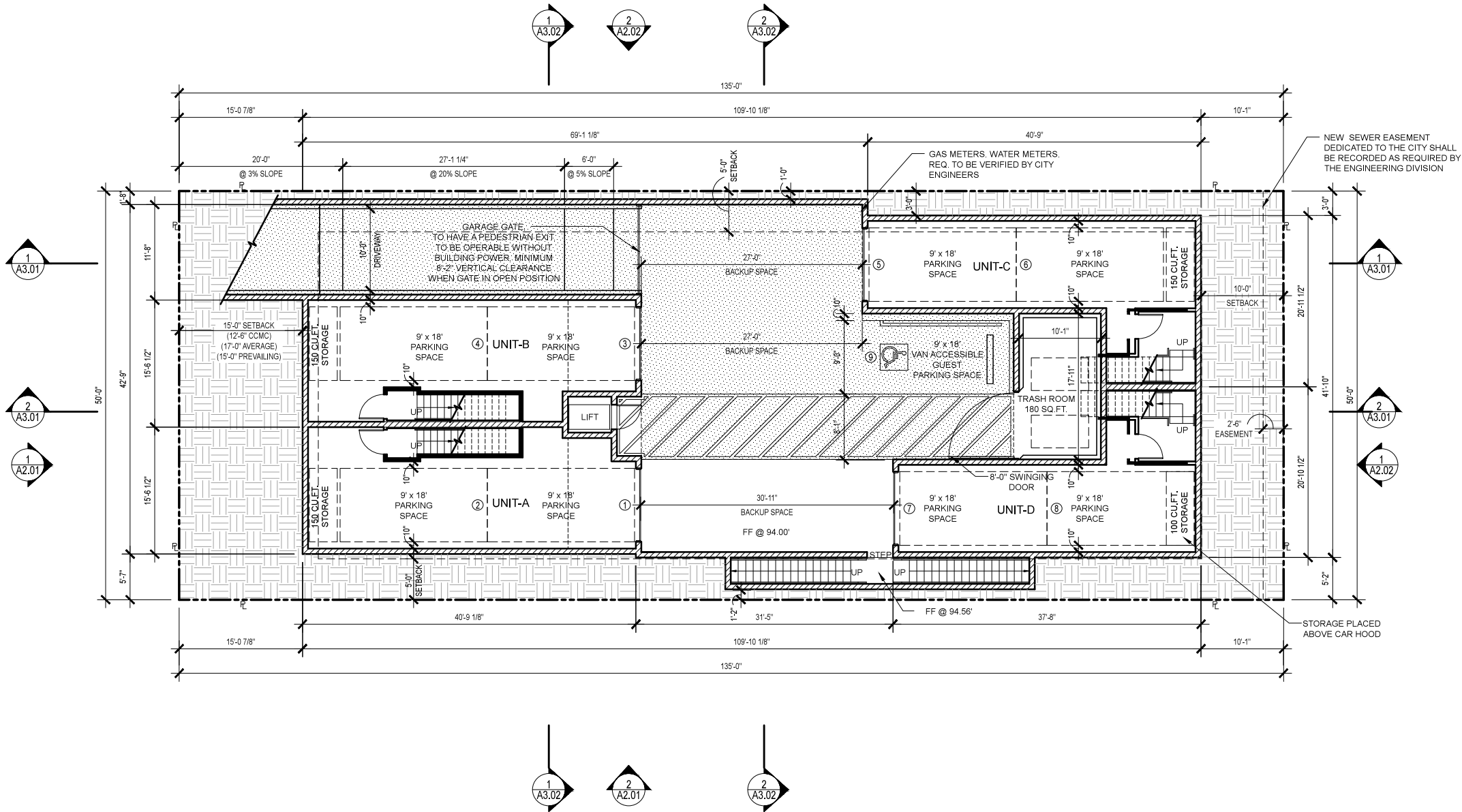
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PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA 90232  
PROJECT #15037

BASEMENT PLAN

ISSUE DATE: 09.28.2016

A1.00



BASEMENT PLAN  
SCALE: 1/8" = 1'-0"  
(ON 24" X 36" SHEET SIZE)

1

KEYNOTES

LEGEND

- C.M.U. WALL
- MTL STUD WALL
- 8'-2" MIN. VERTICAL CLEARANCE, TYP.





209 S. MARKET ST.  
INGLEWOOD, CA. 90301  
323.553.2376

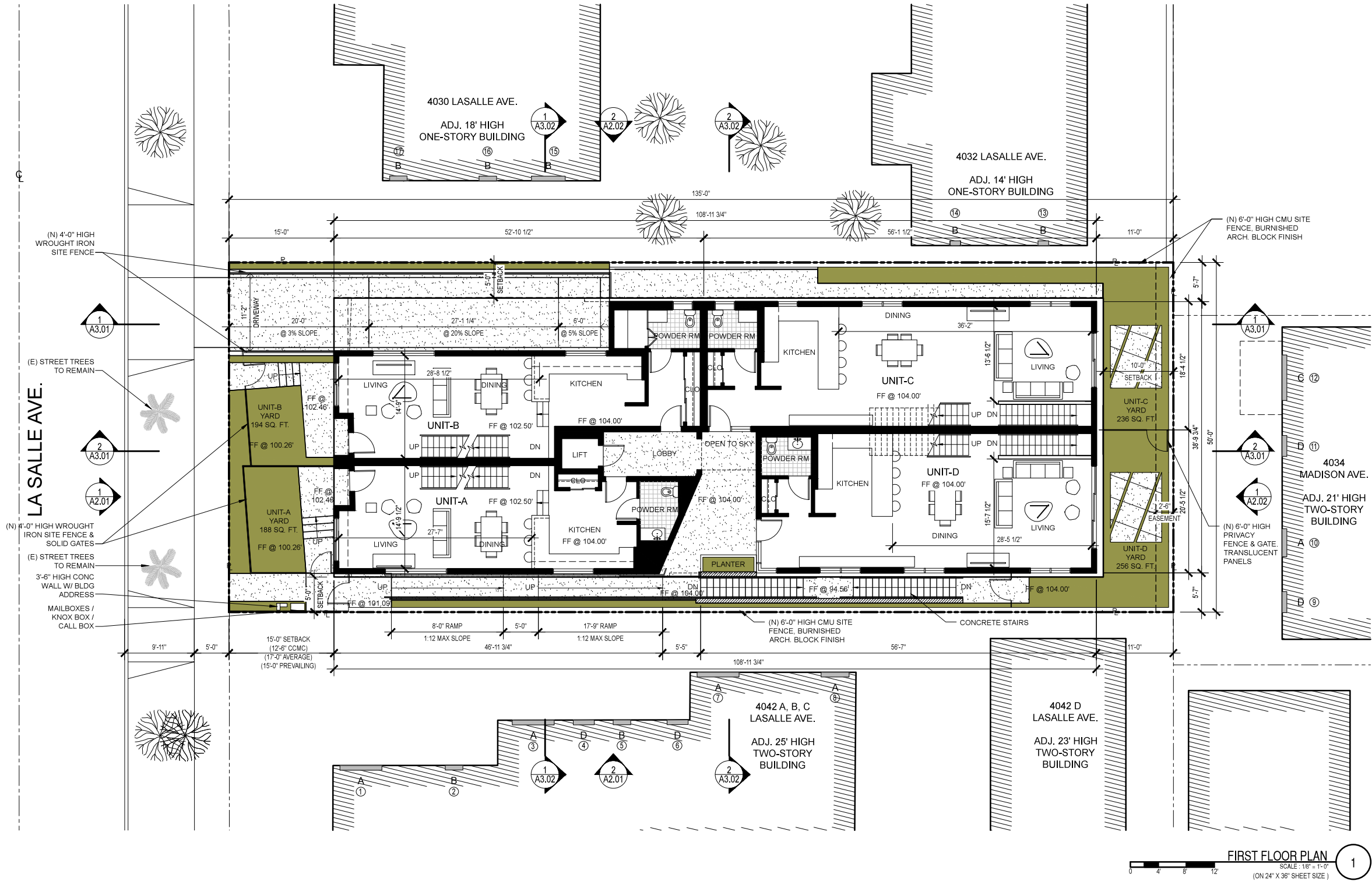
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09.28.16  
SITE PLAN  
REVIEW

NO.	ISSUES / REVISIONS	DATE

CLIENT INFO:  
4034 LA SALLE DEVELOPMENT  
528 PALISADES DR, #530  
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15032



KEYNOTES

LEGEND

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS				
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DISTANCE FROM OPPOSITE (N) WINDOW	UNIT (N) WINDOW IS IN	PROPOSED SOLUTION
4042 A, B, C LASALLE AVE.	# 1	NOT ALIGNED	N/A	N/A
	# 2	NOT ALIGNED	N/A	N/A
	# 3	NOT ALIGNED	N/A	N/A
	# 4	(E) DOOR, 21' DISTANCE	UNIT-A	6'-0" HIGH FENCE
	# 5	NOT ALIGNED	N/A	N/A
	# 6	NOT ALIGNED	N/A	N/A
	# 7	NOT ALIGNED	N/A	N/A
	# 8	14' - 3"	UNIT-D	6'-0" HIGH FENCE
4035 MADISON AVE.	# 9	NOT ALIGNED	N/A	N/A
	# 10	26' - 6"	UNIT-D	PLANT TREE
	# 11	NOT ALIGNED	N/A	N/A
4032 LASALLE AVE.	# 12	26' - 6"	UNIT-C	PLANT TREE
	# 13	8' - 0"	UNIT-C	PLANT TREE
4030 LASALLE AVE.	# 14	NOT ALIGNED	N/A	N/A
	# 15	NOT ALIGNED	N/A	N/A
	# 16	NOT ALIGNED	N/A	N/A
	# 17	24' - 4"	UNIT-B	NO CHANGE

- CMU WALL
- 2 X WOOD STUD WALL
- LANDSCAPE PLANTING AREA
- SOLID SURFACE AREA
- LARGE WINDOWS (HEIGHT > 3'-0")
- SMALL WINDOWS (HEIGHT < 3'-0")
- SLIDING GLASS DOORS
- DOORS

FIRST FLOOR  
PLAN

ISSUE DATE: 09.28.2016

A1.10





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09.28.16  
SITE PLAN  
REVIEW

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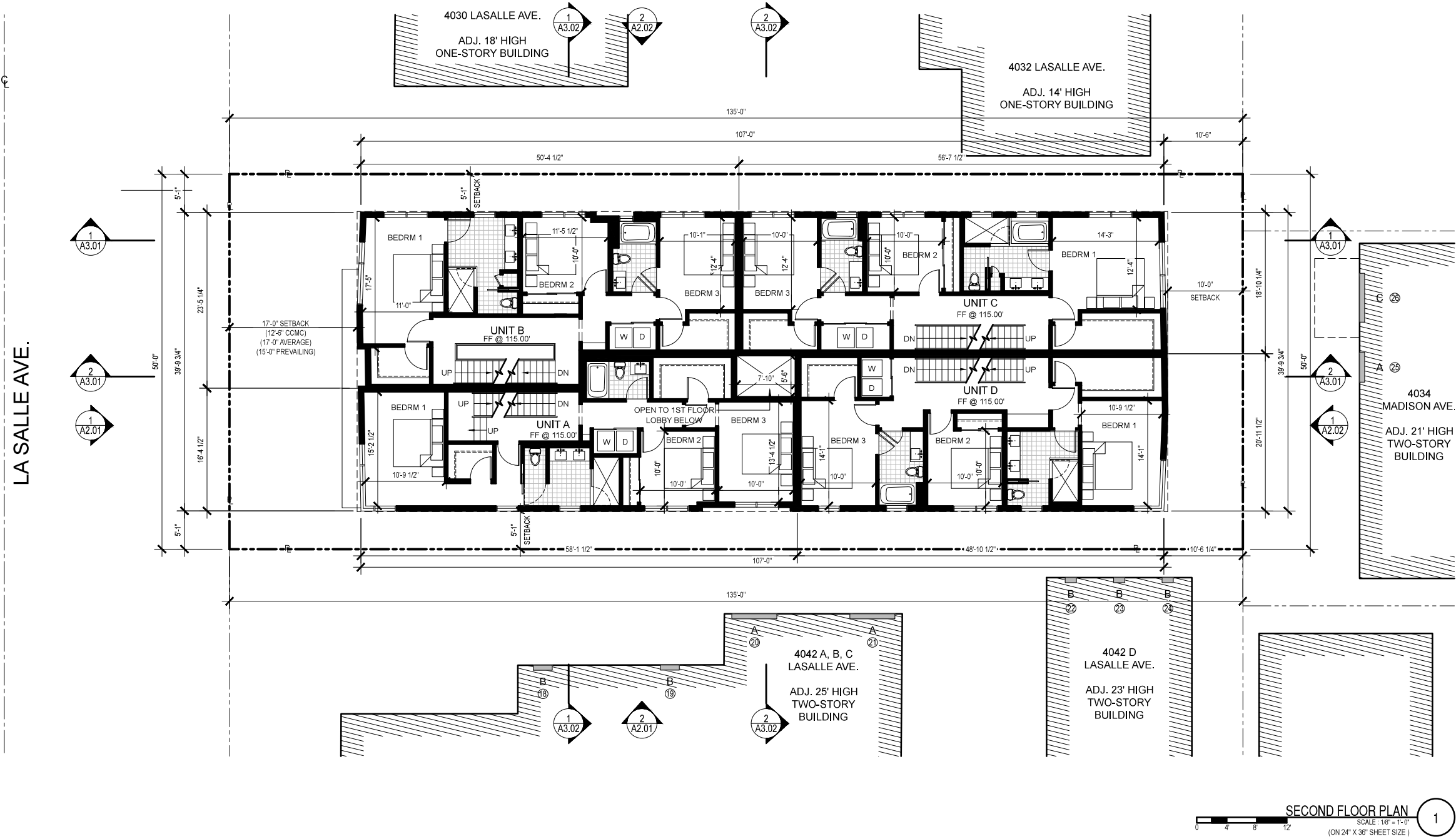
CLIENT INFO:  
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528 PALISADES DR, #530  
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15032

SECOND FLOOR  
PLAN

ISSUE DATE: 09.28.2016

A1.20



KEYNOTES

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS				
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DISTANCE FROM OPPOSITE (N) WINDOW	UNIT (N) WINDOW IS IN	PROPOSED SOLUTION
4042 A, B, C LASALLE AVE.	# 18	NOT ALIGNED	N/A	N/A
	# 19	20'-6"	UNIT-A	NO CHANGE
	# 20	14'-2"	UNIT-A	NO CHANGE
	# 21	13'-8"	UNIT-D	NO CHANGE
	# 22	NOT ALIGNED	N/A	N/A
	# 23	NOT ALIGNED	N/A	N/A
4035 MADISON AVE.	# 24	8'-10"	UNIT-D	PLANT TREE
	# 25	NOT ALIGNED	N/A	N/A
	# 26	25'-11"	UNIT-C	PLANT TREE

LEGEND

- 2 X WOOD STUD WALL
- A LARGE WINDOWS (HEIGHT > 3'-0")
- B SMALL WINDOWS (HEIGHT < 3'-0")
- C SLIDING GLASS DOORS
- D DOORS





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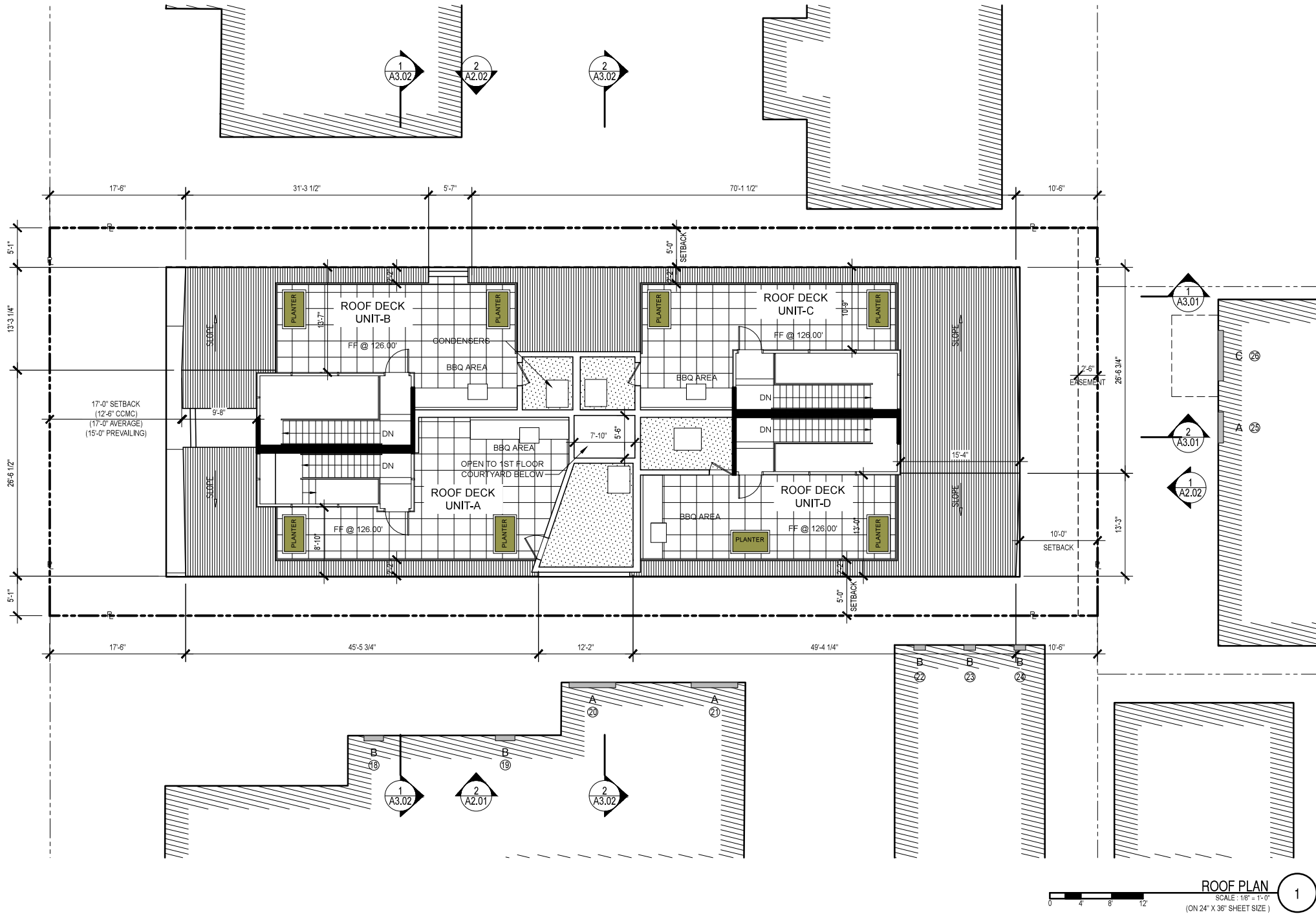
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09.28.16  
SITE PLAN  
REVIEW

NO.	ISSUES / REVISIONS	DATE

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LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15037



KEYNOTES

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(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DISTANCE FROM OPPOSITE (N) WINDOW	UNIT (N) WINDOW IS IN	PROPOSED SOLUTION
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	# 19	20'-6"	UNIT-A	NO CHANGE
	# 20	14'-2"	UNIT-A	NO CHANGE
	# 21	13'-8"	UNIT-D	NO CHANGE
	# 22	NOT ALIGNED	N/A	N/A
	# 23	NOT ALIGNED	N/A	N/A
4035 MADISON AVE.	# 24	8'-10"	UNIT-D	PLANT TREE
	# 25	NOT ALIGNED	N/A	N/A
	# 26	25'-11"	UNIT-C	PLANT TREE

LEGEND

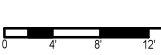
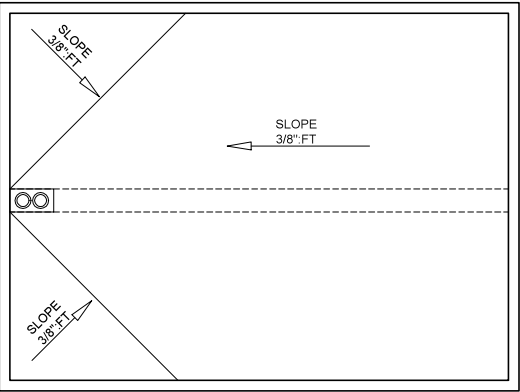
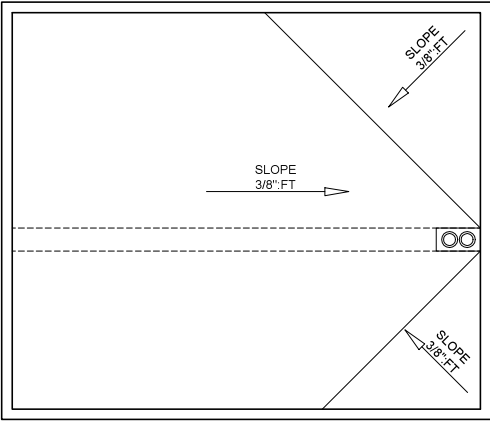
- 2 X WOOD STUD WALL
- A LARGE WINDOWS (HEIGHT > 3'-0")
- B SMALL WINDOWS (HEIGHT < 3'-0")
- C SLIDING GLASS DOORS
- D DOORS

ROOF DECK PLAN

ISSUE DATE: 09.28.2016

A1.30





STAIR ROOF PLAN  
SCALE: 1/4" = 1'-0"  
(ON 24" X 36" SHEET SIZE)

1

KEYNOTES

LEGEND



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09.28.16  
SITE PLAN  
REVIEW

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LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15037

STAIR ROOF  
PLAN

ISSUE DATE: 09.28.2016

A1.40



NOTE : COLORS AND MATERIALS ARE CONCEPTUAL,  
ALL SUBJECT TO FINAL PLANNING APPROVAL

KEYNOTES

LEGEND



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REVIEW

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LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15037

BUILDING  
ELEVATIONS

ISSUE DATE: 09.28.2016

A2.01

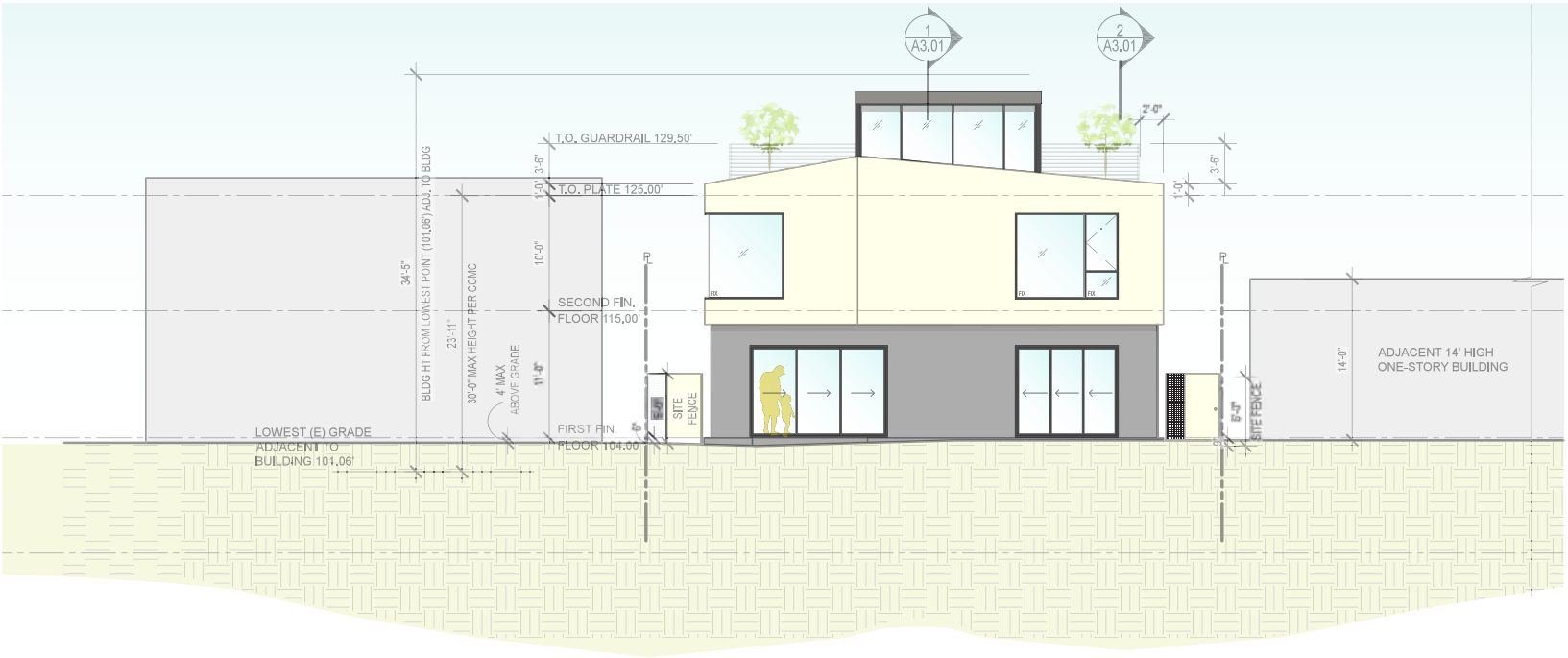






NORTH ELEVATION  
SCALE: 1/8" = 1'-0"  
(ON 24" X 36" SHEET SIZE)

2



EAST ELEVATION  
SCALE: 1/8" = 1'-0"  
(ON 24" X 36" SHEET SIZE)

1

NOTE : COLORS AND MATERIALS ARE CONCEPTUAL.  
ALL SUBJECT TO FINAL PLANNING APPROVAL

KEYNOTES

LEGEND



209 S. MARKET ST.  
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SITE PLAN  
REVIEW

NO.	ISSUES / REVISIONS	DATE

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LA SALLE TOWNHOMES

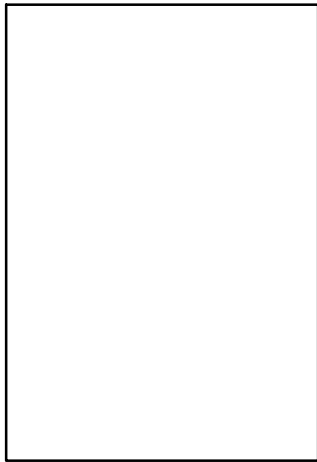
4034 LA SALLE AVE.  
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PROJECT # 15037

BUILDING  
ELEVATIONS

ISSUE DATE: 09.28.2016

A2.02





METAL STANDING SEAM  
ROOF SAMPLE  
APPLICABLE TO KEYNOTE 6



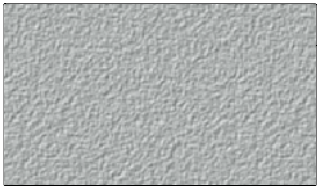
SMOOTH COAT STUCCO  
TEXTURE SAMPLE  
APPLICABLE TO KEYNOTE 1,2,3



SMOOTH COAT  
STUCCO  
COLOR: LIGHT CREAM



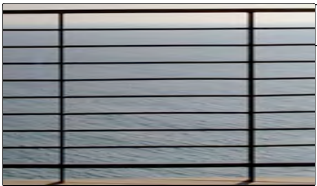
SMOOTH COAT  
STUCCO  
COLOR: LIGHT GRAY



SMOOTH COAT  
STUCCO  
COLOR: MEDIUM GRAY



BLACK ANODIZED  
ALUMINUM FRAME  
WINDOWS W/ CLEAR  
GLASS



HORIZONTAL METAL  
RAILING  
COLOR: BLACK



METAL STANDING SEAM  
ROOF  
COLOR: DARK GRAY



4'-0" FRONT YARD  
METAL PICKET FENCE  
COLOR: DARK GRAY



EXTERIOR WALL  
SCONCE  
COLOR: BLACK

BUILDING PERSPECTIVE  
SCALE: N/A  
(ON 24" X 36" SHEET SIZE)

1



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SITE PLAN  
REVIEW

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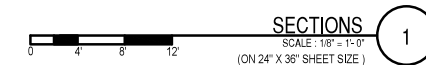
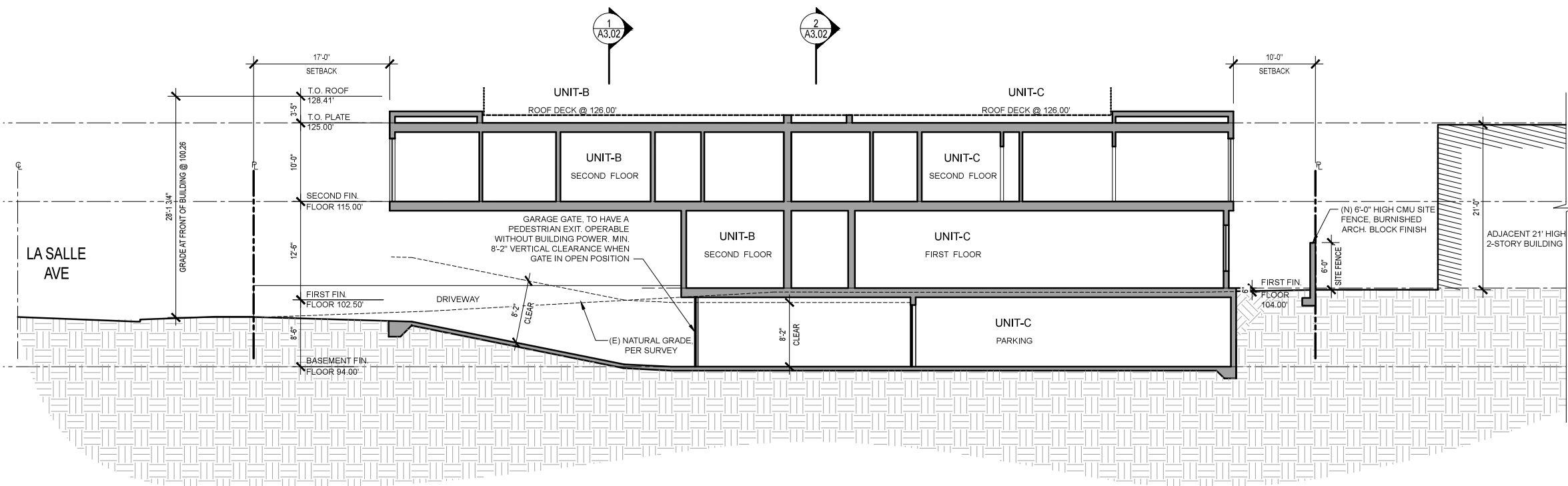
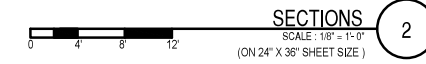
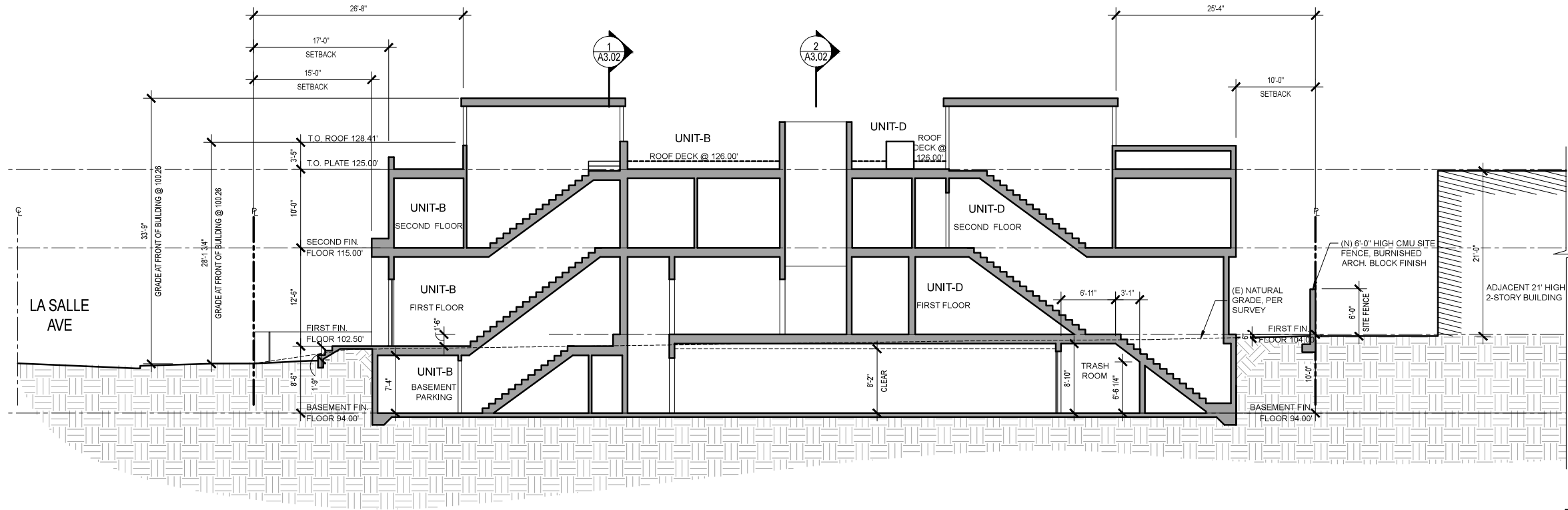
LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15037

MATERIAL SHEET

ISSUE DATE: 09.28.2016

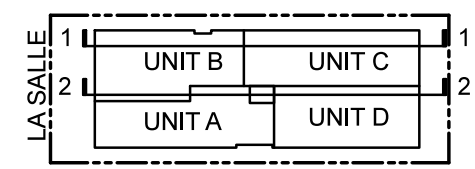
A2.03





KEYNOTES

LEGEND



209 S. MARKET ST.  
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3 2 3 . 5 5 3 . 2 3 7 6

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## 09.28.16 SITE PLAN REVIEW

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PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES  
4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15037

## BUILDING SECTIONS

ISSUE DATE: 09.28.2016

# A3.01





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3 2 3 . 5 5 3 . 2 3 7 6

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SITE PLAN  
REVIEW

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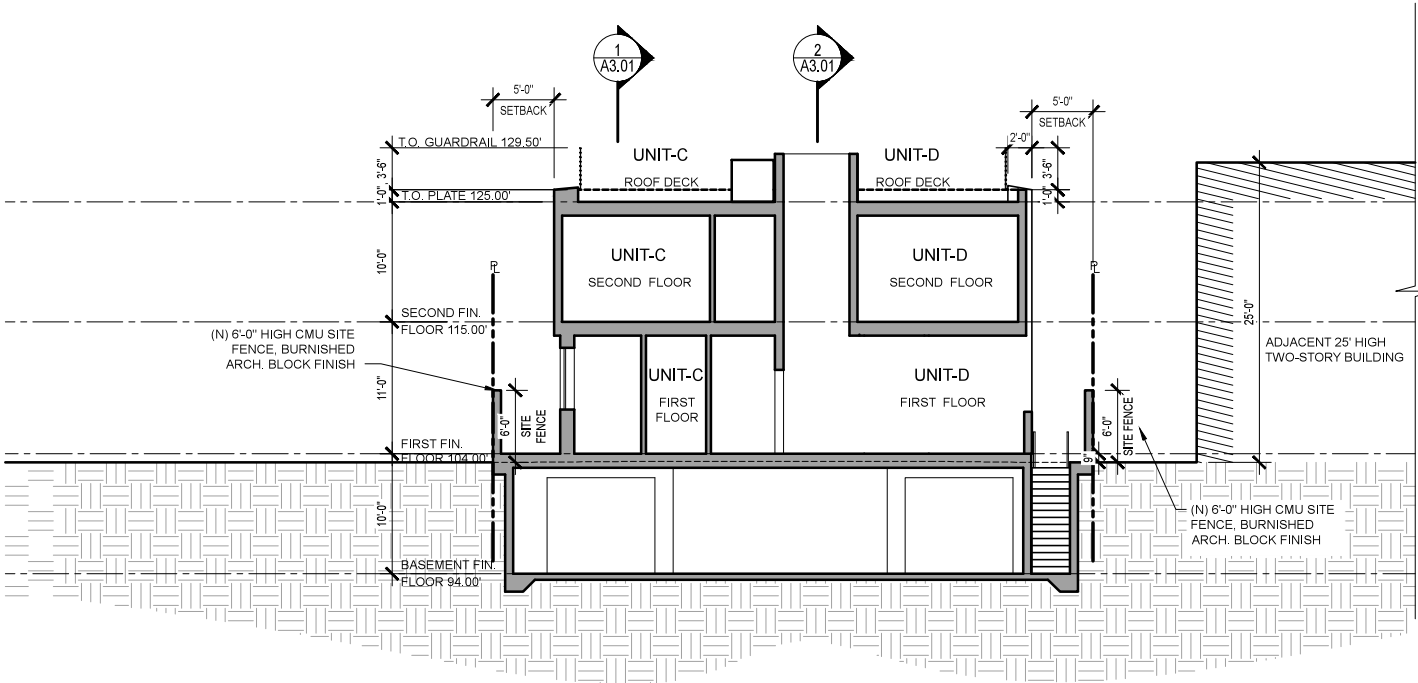
LA SALLE TOWNHOMES

4034 LA SALLE AVE.  
CULVER CITY, CA. 90232  
PROJECT # 15037

BUILDING  
SECTIONS

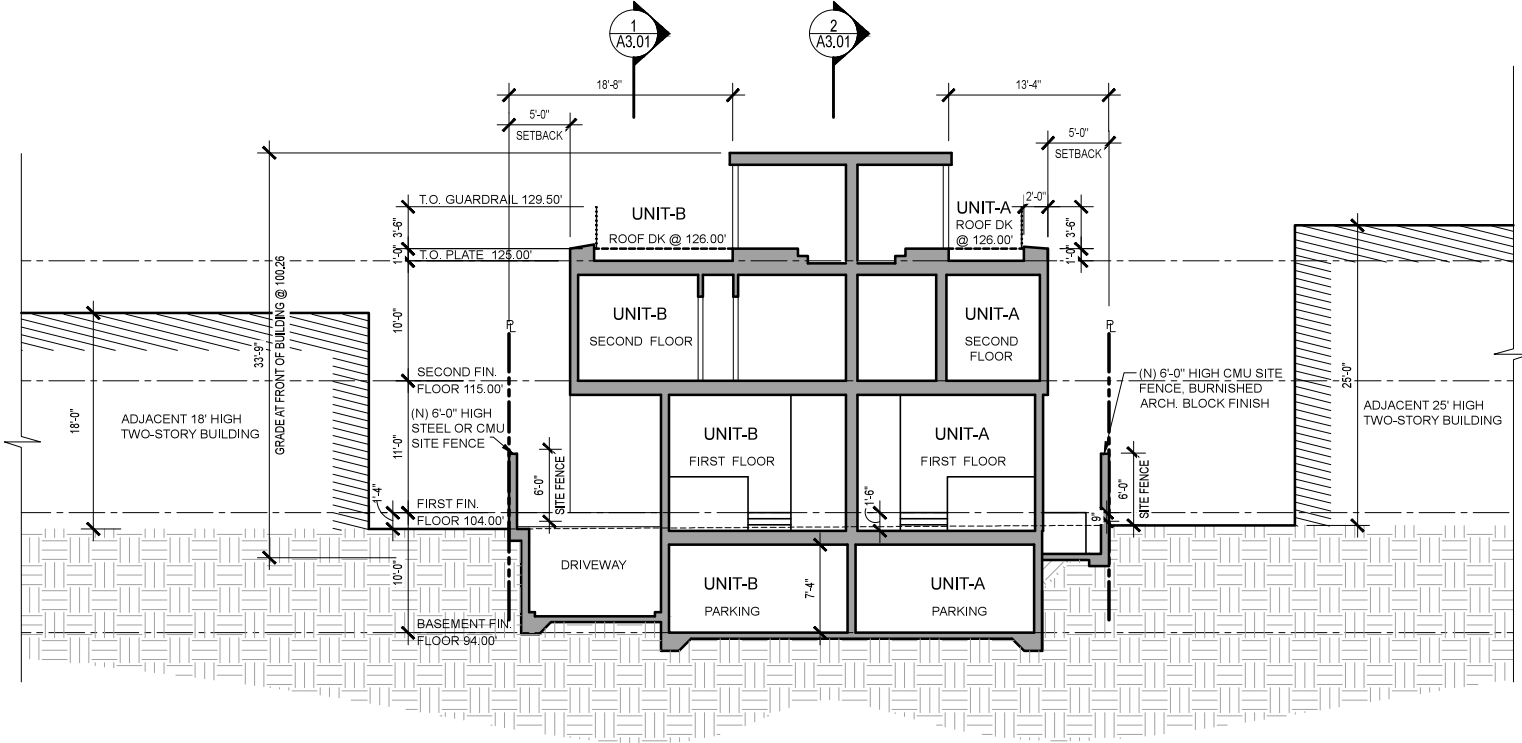
ISSUE DATE: 09.28.2016

A3.02



SECTIONS  
SCALE: 1/8" = 1'-0"  
(ON 24" X 36" SHEET SIZE)

2

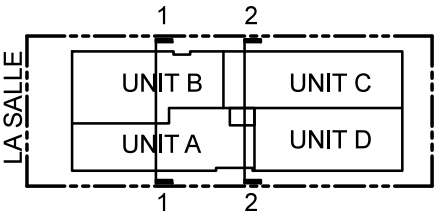


SECTIONS  
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(ON 24" X 36" SHEET SIZE)

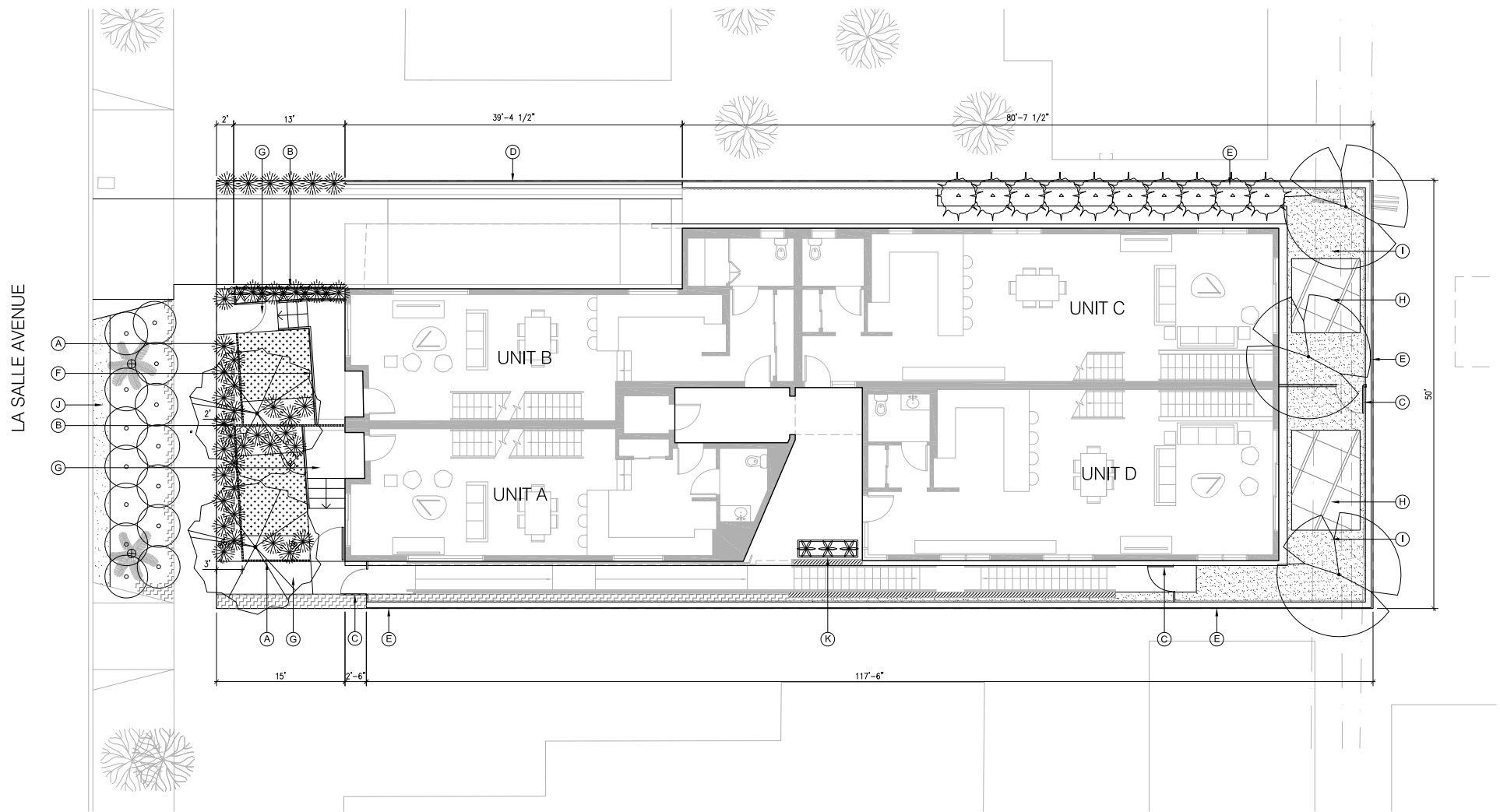
1

KEYNOTES

LEGEND







SCHEMATIC PLANTING PLAN

1/8" = 1'-0"

PLANT LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	WATER USAGE	CONTAINER SIZE	SPACING	NOTES
TREES						
	Beaucarnea recurvata	Ponytail Palm	L	15 gal	per plan	mulch with wood chips, use in roof deck planters
	Geijera parviflora	Australian Willow	L	36" box	per plan	mulch with wood chips
	Lagerstromela 'Natchez'	Crape Myrtle	L	36" box	per plan	mulch with gravel
	Syagrus romanzoffora, existing	Queen Palm	L	existing	per plan	protect in place
GRASSES						
	Bouteloua 'Blonde Ambition'	Blue Gramma	L	1 gal	18" o.c.	mulch with wood chips.
	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	L	1 gal	per plan	mulch with wood chips.
SHRUBS						
	Laurus nobilis	Sweet Bay	L	15 gal	per plan	mulch with wood chips.
GROUNDCOVERS & VINES						
	Ficus pumila (repens)	Creeping Fig	M	1 gal, staked	5' o.c.	mulch with gravel, train on wall after planting.
	Lippia nodiflora	Kurapia	L	sod / plugs	per plan	mulch with wood chips.
	Lonicera japonica 'Halaina'	Japanese Honeysuckle	M	5 gal, staked	per plan	mulch with wood chips.
	Salvia 'Bee's Bliss'	Bee's Bliss Sage	VL-L	1 gal	per plan	in parkway - mulch with wood chips.

SEE ARCHITECTURAL SHEET A1.30 FOR ROOF-DECK PLANTING

HARDSCAPE / FIXTURE LEGEND

SYMBOL	DESCRIPTION
	48" fence, vertical pickets
	48" fence, vertical pickets & climbing trained vine
	60" translucent gate & fencing
	72" solid privacy fence
	72" CMU wall with creeping vine
	42" railing
	concrete walkway & stoop
	concrete patio with permeable, planted spaces
	pea gravel patio
	24" decomposed granite step-out strip w/ RWD header (Revocable permit necessary)
	container

STAMP

LANDSCAPE ARCHITECT:

Rodriguez &  
Satterthwaite

Design Build Landscape, Inc.

1424 Old Topanga Canyon  
Topanga, CA 90290  
tel. (310) 455.1919  
fax.(310) 455. 7270  
email: gardens@rodsatt.com

OWNER:  
4034 LA SALLE DEVELOPMENT  
528 Palisades Drive #530  
Pacific Palisades, CA

PROJECT:  
LA SALLE TOWNHOMES  
4034 LA SALLE AVENUE  
CULVER CITY, CALIFORNIA 90232

REVISION LOG


DATE

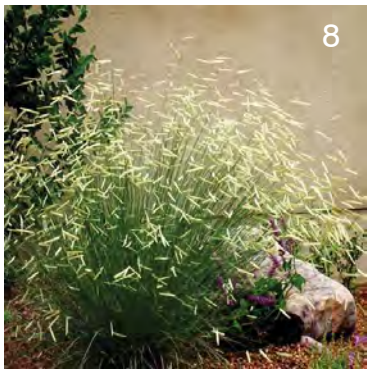
07.06.16

SCHEMATIC  
LANDSCAPE PLAN

SHEET #

L1.0





PLANT KEY

1. *Geijera parviflora*, Australian Willow  
evergreen tree (S. side of building), 20'-30' tall and wide
2. *Lagerstromelia 'Natchez'*, Crape Myrtle  
deciduous white-flowering tree, 20' tall and wide, robust fall color
3. *Lonicera halliana*, Honeysuckle vine  
semi-deciduous vine, flowering
4. *Ficus repens*, Creeping Fig  
robust evergreen creeping vine, attaches to walls
5. *Laurus nobilis*, Laurel Bay  
evergreen tree / shrub, use as hedge 20-30' tall
6. *Lomandra 'Breeze'*, Dwarf mat rush  
rush grass, 30" tall and wide
7. *Beaucarnea recurvata*, Ponytail Palm - in container  
succulent tree, slow growing
8. *Bouteloua 'Blonde Ambition'*, Blue gramma  
grass, 18-24" tall to 2' wide eventually, summer blooming
9. *Salvia 'Bees's Bliss'*, Sage  
evergreen groundcover, 12-18" tall
10. *Lippia nodiflora*, Kurapia  
groundcover, 1" tall, spreading, low water use

STAMP

LANDSCAPE ARCHITECT:

Rodriguez &  
Satterthwaite

Design Build Landscape, Inc.

1424 Old Topanga Canyon  
Topanga, CA 90290  
tel. (310) 455.1919  
fax.(310) 455. 7270  
email: gardens@rodsatt.com

OWNER:  
4034 LA SALLE DEVELOPMENT  
528 Palisades Drive #530  
Pacific Palisades, CA

PROJECT:  
LA SALLE TOWNHOMES  
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CULVER CITY, CALIFORNIA 90232

REVISION LOG

DATE

07.06.16

LANDSCAPE PLANT  
PALETTE

SHEET #

L1.1