

CULVER CITY, CALIFORNIA 90066



T1.00

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VICINITY MAP

The vicinity map shows a street grid in Los Angeles. A red square marks the site location at the intersection of W Washington Blvd and Moore St. A line connects this square to the 'SITE LOCATION' label. The map includes major roads like I-5, I-10, and I-210, and landmarks like Venice Adult School and Oliver West Park.

ARCHITECT
PleskowArchitects
13432 Beach Ave.
Marina del Rey, CA 90292
310.577.9300

Contact: Tony Pleskow

OWNER
Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

Contact: Jim Suhr

CONTRACTOR
Name
Address
Tel.

Contact:

STRUCTURAL ENGINEER
John Labib & Associates
318 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

[illegible]

SETP ENGINEER
South Coast Engineering Group, Inc.
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700
Contact: Todd Schoenhau

CIVIL ENGINEER
Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1653
Contact: Phil Robertson, CE

LANDSCAPE ARCHITECT
Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397
Contact: Esther Margulies, ASLA, RLA

WATERPROOFING
D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777
Contact: Joseph Daniels, RRO

ACOUSTICAL
Veneklassen Associates
17 Sixteenth St
Santa Monica, CA 90404
310.450.1733
Contact: Jim Good

SHEET 1 OF 1 SHEETS

TENTATIVE TRACT MAP NO. 65473

A ONE LOT TRACT MAP FOR CONDOMINIUM PURPOSES THAT COMPRISES
 37 RESIDENTIAL AIR SPACE UNITS AND 2 COMMERCIAL AIR SPACE UNITS
 BEING THE SUBDIVISION OF LOTS 55 THRU 63, TRACT NO. 5951
 IN THE CITY OF CULVER CITY
 PER MAP RECORDED IN BOOK 77, PAGE 72 OF MAPS
 RECORDS OF LOS ANGELES COUNTY, CALIFORNIA

THE AREA FOR EACH UNIT IS AS FOLLOWS:
 COMMERCIAL UNITS:
 UNIT A: 1447 S.F. UNIT B: 5783 S.F.
 RESIDENTIAL UNITS:
 UNIT 1: 1100 S.F. UNIT 2: 1374 S.F. UNIT 3: 1060 S.F. UNIT 4: 1060 S.F.
 UNIT 5: 1060 S.F. UNIT 6: 1054 S.F. UNIT 7: 1067 S.F. UNIT 8: 1073 S.F.
 UNIT 9: 1073 S.F. UNIT 10: 1073 S.F. UNIT 11: 1073 S.F. UNIT 12: 837 S.F.
 UNIT 13: 1100 S.F. UNIT 14: 1360 S.F. UNIT 15: 1060 S.F. UNIT 16: 1060 S.F.
 UNIT 17: 1060 S.F. UNIT 18: 1054 S.F. UNIT 19: 1068 S.F. UNIT 20: 1073 S.F.
 UNIT 21: 1073 S.F. UNIT 22: 1073 S.F. UNIT 23: 1073 S.F. UNIT 24: 837 S.F.
 UNIT 25: 1044 S.F. UNIT 26: 843 S.F. UNIT 27: 1060 S.F. UNIT 28: 1073 S.F.
 UNIT 29: 1060 S.F. UNIT 30: 1060 S.F. UNIT 31: 1514 S.F. UNIT 32: 1261 S.F.
 UNIT 33: 1238 S.F. UNIT 34: 1238 S.F. UNIT 35: 1238 S.F. UNIT 36: 1238 S.F.
 UNIT 37: 837 S.F.

ADDRESS: 12803-12823 WASHINGTON BOULEVARD

SCALE: 1"=3,000'

VICINITY MAP

LEGEND

--- INDICATES THE BOUNDARY OF THE LAND BEING SUBDIVIDED BY THIS MAP

OWNER

AXIS MUNDI RE II, LLC
 817 CHAUTAUQU BOULEVARD
 CUPID PALISADES, CA 90272
 (310) 454-6446

CIVIL ENGINEER

PALLER-ROBERTS ENGINEERING, INC.
 CONSULTING CIVIL ENGINEERS
 5701 Slauson AVE., SUITE 208
 CULVER CITY, CA 90230
 (310) 641-1853

NOTES:

- TOTAL AREA: LOT 1=246,033 SQ. FT.
- ZONING EXISTING: GENERAL COMMERCIAL (C2).
- USE: RESIDENTIAL / RETAIL.
- PARKING SPACES: RETAIL UNITS - 21, RESIDENTIAL UNITS - 78, PUBLIC RETIRED - 21.
- SEWAGE DISPOSAL BY UNDERGROUND SEWER SYSTEM.
- SURFACE & CONTRIBUTORY DRAINAGE TO BE CONVEYED TO STREET.
- SITE IS VACANT.
- SITE IS LEVEL.
- THERE ARE NO EASEMENTS ON THE SUBJECT PROPERTY.
- THERE ARE NO DEED RESTRICTIONS.
- THE SITE IS LOCATED IN FLOOD ZONE "C" ON FIRM 06037-0078 C AND IS NOT SUBJECT TO INUNDATION OR STORM WATER OVERFLOW.
- THE DOMESTIC WATER IS SUPPLIED BY CITY OF LOS ANGELES DEPARTMENT OF WATER AND POWER.

THIS IS TO STATE THAT ALL EASEMENTS OF RECORD SHOWN ON THE PRELIMINARY TITLE REPORT No. RCS-287304-A-42, DATED AUGUST 31, 2015, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY ARE INDICATED ON THIS MAP.

SCALE: 1" = 20'

SCALE IN FEET

PHILIP G. ROBERTS, RCE 27269 DATE _____

PREPARED BY: PALLER-ROBERTS ENGINEERING, INC.
 CONSULTING CIVIL ENGINEERS
 5701 Slauson AVE., SUITE 208
 CULVER CITY, CALIFORNIA 90230 PHONE (310) 641-1853

UNIT #	AREA SF	TERRACE SF	OPEN SPACE SF	TYPE
201	1100	128	75	2 BEDROOM
202	1374	126	75	3 BEDROOM
203	1060	128	76	2 BEDROOM
204	1060	128	76	2 BEDROOM
205	1060	128	76	2 BEDROOM
206	1054	126	75	2 BEDROOM
207	1067	447	447	2 BEDROOM
208	1073	447	447	2 BEDROOM
209	1073	447	447	2 BEDROOM
210	1073	447	447	2 BEDROOM
211	1073	447	447	2 BEDROOM
212	837	285	285	1 BEDROOM
301	1100	128	75	3 BEDROOM
302	1350	165	76	3 BEDROOM
303	1060	128	76	2 BEDROOM
304	1060	128	76	2 BEDROOM
305	1060	128	76	2 BEDROOM
306	1054	126	75	2 BEDROOM
307	1068	170	117	2 BEDROOM
308	1073	170	117	2 BEDROOM
309	1073	170	117	2 BEDROOM
310	1073	170	117	2 BEDROOM
311	1073	170	117	2 BEDROOM
312	837	83	83	1 BEDROOM
401	1046	77	77	2 BEDROOM
402	843	326	276	1 BEDROOM
				+ ROOF TERRACE
403	1500	428	138	2 BEDROOM
				+ DEN & ROOF TERRACE
404	1520	528	76	2 BEDROOM
				+ DEN & ROOF TERRACE
405	1060	128	76	2 BEDROOM
406	1060	128	76	2 BEDROOM
407	1514	611	75	2 BEDROOM
				+ DEN & ROOF TERRACE
408	1261	316	316	2 BEDROOM
				+ ROOF TERRACE
409	1238	405	405	2 BEDROOM
				+ ROOF TERRACE
410	1238	405	405	2 BEDROOM
				+ ROOF TERRACE
411	1238	405	405	2 BEDROOM
				+ ROOF TERRACE
412	1238	405	405	2 BEDROOM
				+ ROOF TERRACE
413	837	411	411	1 BEDROOM
				+ROOF TERRACE
COMMERCIAL				
AREA 1	AREA 2	AREA 3	AREA 4	AREA 5
1467	1499	1426	1458	1400

JOB ADDRESS: 12803 W. WASHINGTON BOULEVARD, CULVER CITY, CA 90066

LEGAL DESCRIPTION: TR=5951 LOTS 55,56 AND 57; TR=5951 LOTS 58 AND 59; TR=5951 LOTS 60 AND 61; TR=5951 LOTS 62 AND 63

SEPARATE PERMITS: BUILDING, ELECTRICAL, PLUMBING, MECHANICAL

JOB DESCRIPTION: FOUR STORY TYPE V-A, 1 HR OVER TYPE 1-A PODIUM AND SUBTERRANEAN GARAGE

LOT AREA: 24,022 SQ FT
ZONE: CG

FIRE SPRINKLERS: THIS BUILDING, PODIUM AND GARAGE SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13

DENSITY CALCULATION: MAX ALLOWABLE BASE DENSITY IS 35 UNITS/ACRE = 19.3014 ROUNDED DOWN TO 19 UNITS. COUNCIL APPROVAL OF COMMUNITY BENEFIT (RECEIVED 21/11/4/2015) INCREASES DENSITY TO 50 DUA = 27.5750 UNITS ROUNDED DOWN TO 27 UNITS.
3 OF 27 WILL BE AFFORDABLE (VERY LOW INCOME), I.E. 11%
35% DENSITY INCREASE 27X1.35=36.45 ROUNDED UP TO 37 UNITS TOTAL

COMMERCIAL AREA: 30% OF LOT AREA 24,022x0.3=7206.6 SQ FT.

OPEN SPACE REQUIRED: 75 SQ FT OF COMMON AND/OR PRIVATE OPEN SPACE.
OPEN SPACE PROVIDED: EACH UNIT HAS MORE THAN 75 SQ FT OF PRIVATE SPACE WITH A MIN DIMENSION OF 5 FT IN ANY DIRECTION.

PARKING SUMMARY: 1 SPACE FOR EACH UNIT LESS THAN 3 HABITABLE ROOMS, 1.5 SPACES FOR UNITS WITH 3 HABITABLE ROOMS, 2 SPACES FOR UNITS WITH MORE THAN 3 HABITABLE ROOMS
SB 1818 DENSITY BONUS, PARKING SUMMARY: 0-1 BEDROOM - 1 ON-SITE PARKING SPACE, 2-3 BEDROOMS - 2 ON-SITE PARKING SPACES

TOTAL REQUIRED FOR RESIDENTIAL PER SB1818: 70 PARKING SPACES
TOTAL REQUIRED FOR COMMERCIAL: 21 PARKING SPACES
TOTAL REQUIRED FOR PUBLIC: 21 PARKING SPACES

TOTAL PROVIDED FOR RESIDENTIAL: 71 PARKING SPACES (33 TANDEM, 2 SINGLE, 3 ADA VAN ACCESSIBLE)
TOTAL PROVIDED FOR COMMERCIAL: 21 PARKING SPACES (1 ADA VAN ACCESSIBLE)
TOTAL PROVIDED FOR PUBLIC: 21 PARKING SPACES (1 ADA VAN ACCESSIBLE)
ADDITIONAL SPACES : 5 PARKING SPACES

BICYCLE PARKING SUMMARY: RESIDENTIAL - 9 LONG-TERM SPACES, COMMERCIAL - 2 LONG TERM SPACES.
RESIDENTIAL - 2 SHORT-TERM SPACES, COMMERCIAL - 2 SHORT-TERM SPACES.

BUILDING HEIGHT: MAX BUILDING HEIGHT FROM GRADE 56'-0" TOP OF ROOF

GROSS AREA CALCULATION:

2ND LEVEL	14,148 SQ FT
3RD LEVEL	14,148 SQ FT
4TH LEVEL	14,148 SQ FT
MEZZ / ROOF LEVEL	3,027 SQ FT
TOTAL BUILDING AREA:	45,471 SQ FT
BASEMENT LEVEL	27,289 SQ FT
GROUND LEVEL	8,590 SQ FT

UNIT COUNT: 1 BEDROOM - 4 UNITS; 2 BEDROOM - 26 UNITS; 3 BEDROOM - 7 UNITS
TOTAL 37 UNITS (3 VERY LOW INCOME AFFORDABLE UNITS)

STORAGES - 37 STORAGES PROVIDED AT THE BASEMENT LEVEL. 108 CUBIC FOOT EACH. DIMENSIONS 9'x3'x4' TYP.

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PleskowArchitects
13432 Beach Ave.
Marina del Rey, CA 90292
310.577.9300

Contact: Tony Pleskow

Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

Contact: Jim Suhr

Name
Address
Tel:

Contact:

John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

South Coast Engineering Group, Inc.
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

Contact: Todd Schoenhaus

CIVIL ENGINEER
Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

Contact: Phil Robertson, CE

Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

Contact: Esther Marquies, ASLA, RLA

WATERPROOFING
D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777
Contact: Joseph Daniels, BBO

ACOUSTICAL
Veneklasen Associates
1711 Sixteenth St
Santa Monica, CA 90404
310.450.1733
Contact: Jim Good

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PleskowArchitects

13432 Beach Ave.
Marina del Rey, CA 90292
310.577.9300

Contact: Tony Pleskow

OWNER

Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

Contact: Jim Suhr

CONTRACTOR

Name _____
Address _____
Tel: _____

Contact:

STRUCTURAL ENGINEER

John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

MEP ENGINEER

South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

Contact: Todd Schoenhaus

CIVIL ENGINEER

Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
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LANDSCAPE ARCHITECT

Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

Contact: Esther Margulies, ASLA, RLA

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D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777

Contact: Joseph Daniels, RRC

ACOUSTICAL

Veneklasen Associates
1711 Sixteenth St
Santa Monica, CA 90404
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07/01/16**

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12803 W WASHINGTON APARTMENTS
CULVER CITY, CA 90066

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$$1/8'' = 1'-0''$$

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PleskowArchitects

Contact: Tony Pleskow

Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

Contact: Jim Suh

Name

Add
Tel

Contact:

John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

Contact: Todd Schoenhaus

Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

Contact: Phil Robertson, CE

Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

Contact: Esther Marquies, ASLA, RLA

D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777

Contact: Joseph Daniels, RRC

Veneklasen Associates
1711 Sixteenth St
Santa Monica, CA 90404
310.450.1733

Contact: Jim Good

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07/01/18

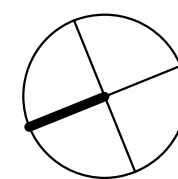
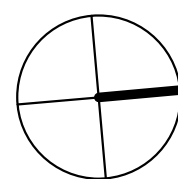
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PERSPECTIVE VIEW DIAGRAMS

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A0.05



PleskowArchitects

13432 Beach Ave.
Marina del Rey, CA 90292
310.577.9300

Contact: Tony Pleskow

OWNER

Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
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CONTRACTOR

Name _____
Address _____
Tel: _____

Contact:

STRUCTURAL ENGINEER

John Labib & Associates
319 Main Street
El Segundo, CA 90245
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Calabasas, CA 91302
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CIVIL ENGINEER

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Contact: Phil Robertson, CE

LANDSCAPE ARCHITECT

Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

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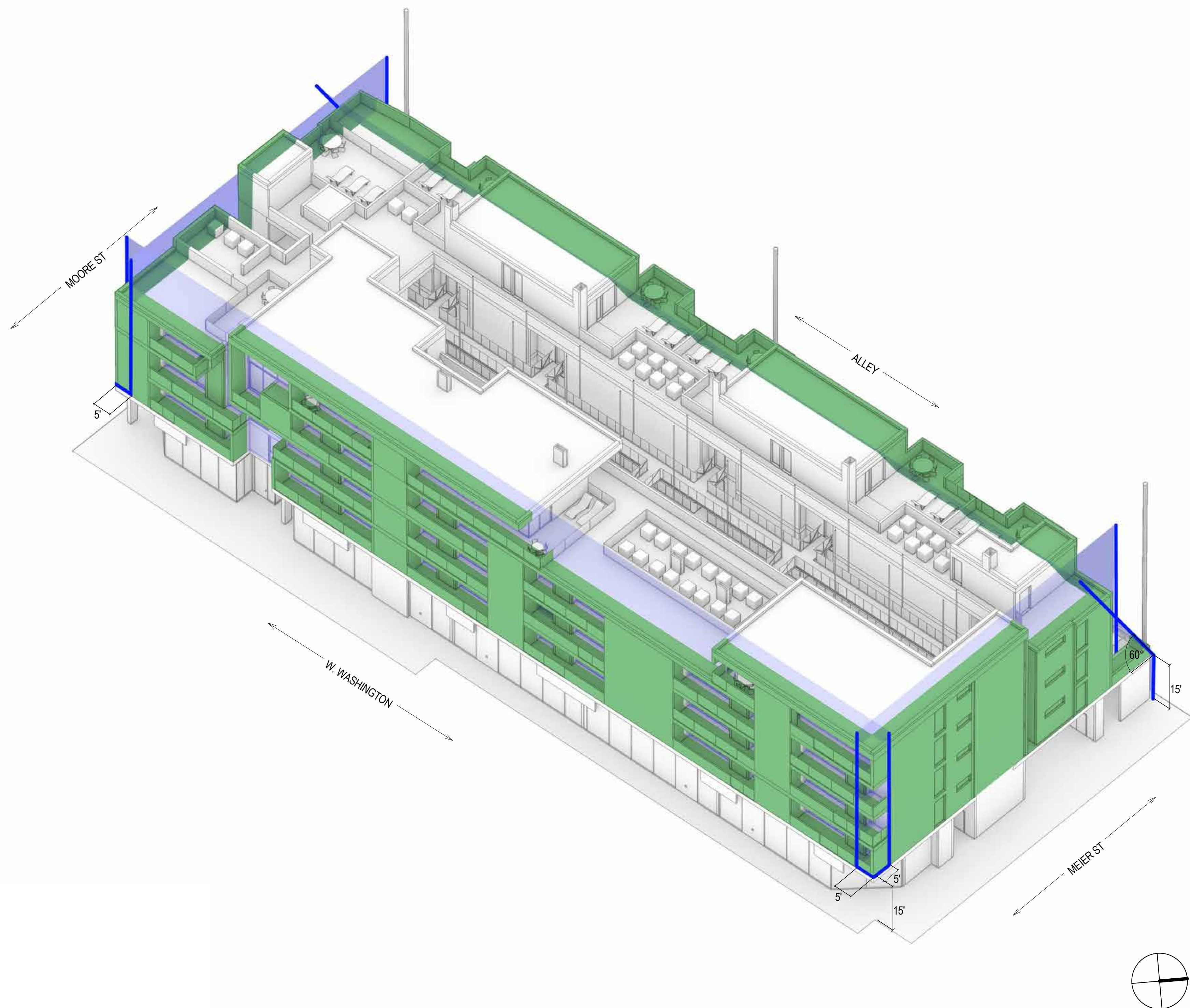
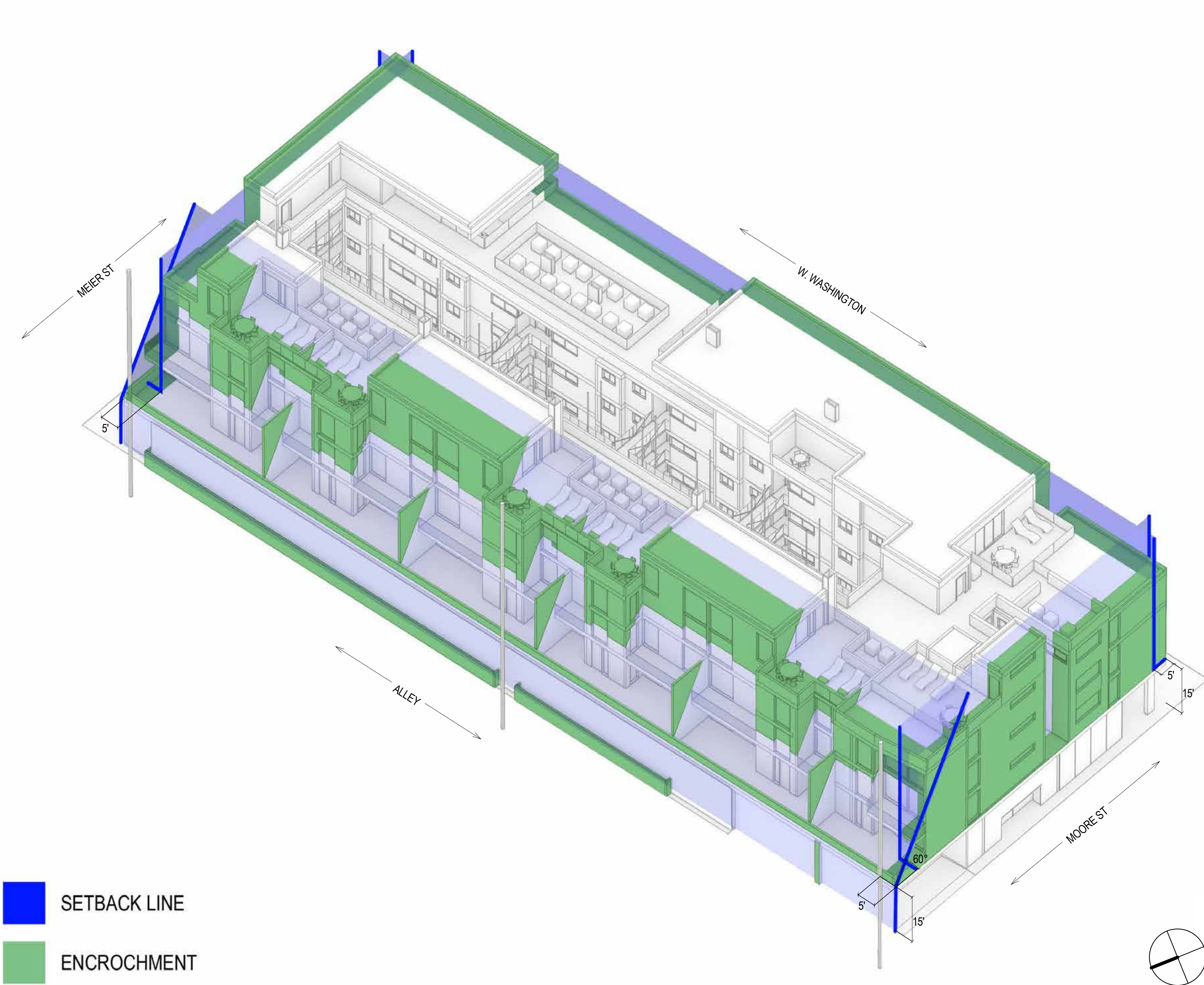
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PERSPECTIVE VIEW SETBACK DIAGRAMS

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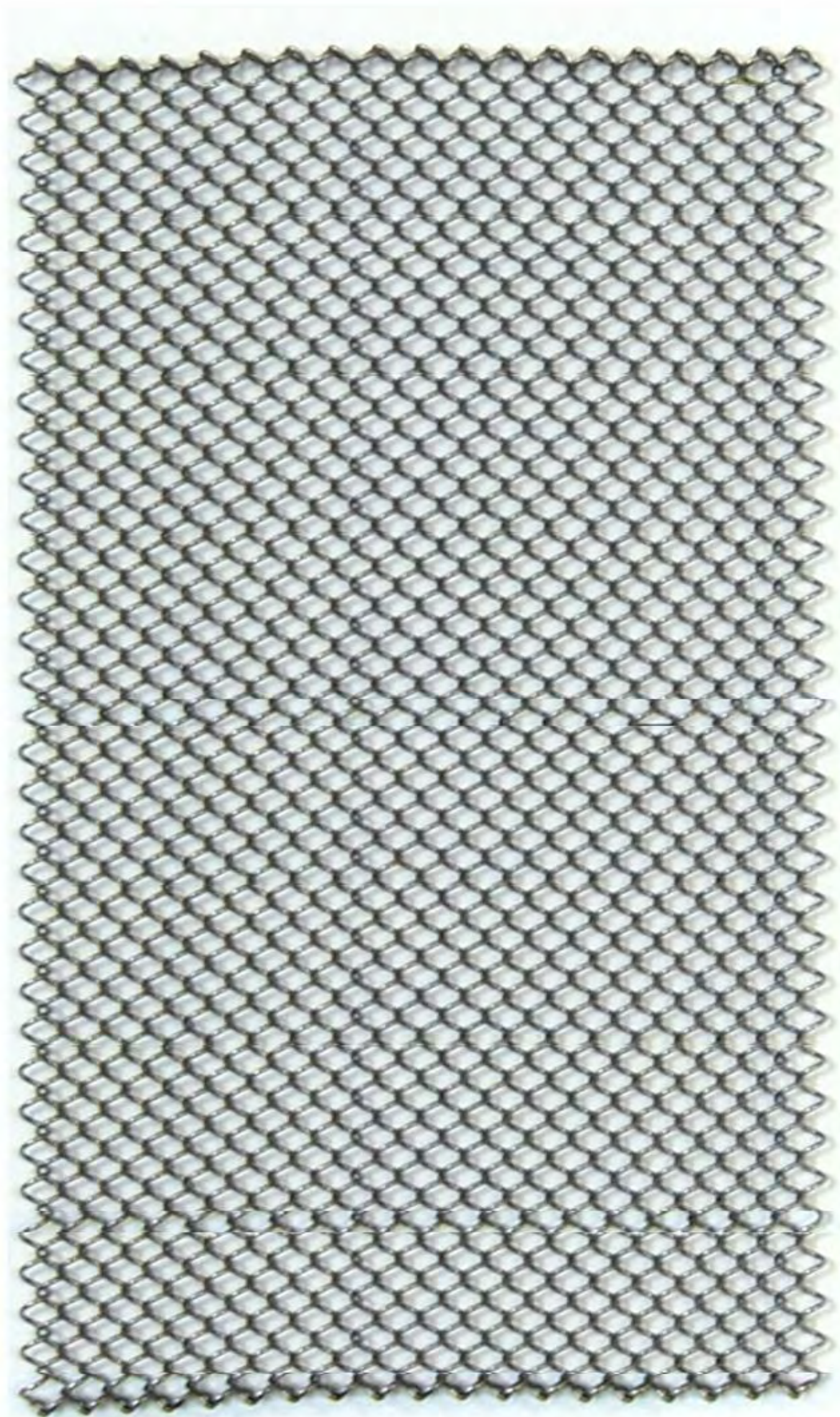
CONCRETE



PARKLEX FACADE PANEL
COLOR: COPPER



GLASS



SCREEN / CASCADE COIL DRAPERY
FINISH: NICKLE PLATED



WINDOW FRAME



STUCCO / SHOT DASH FINISH / WHITE COLOR



ARCHITECT
PleskowArchitects
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CULVER CITY, CA 90066

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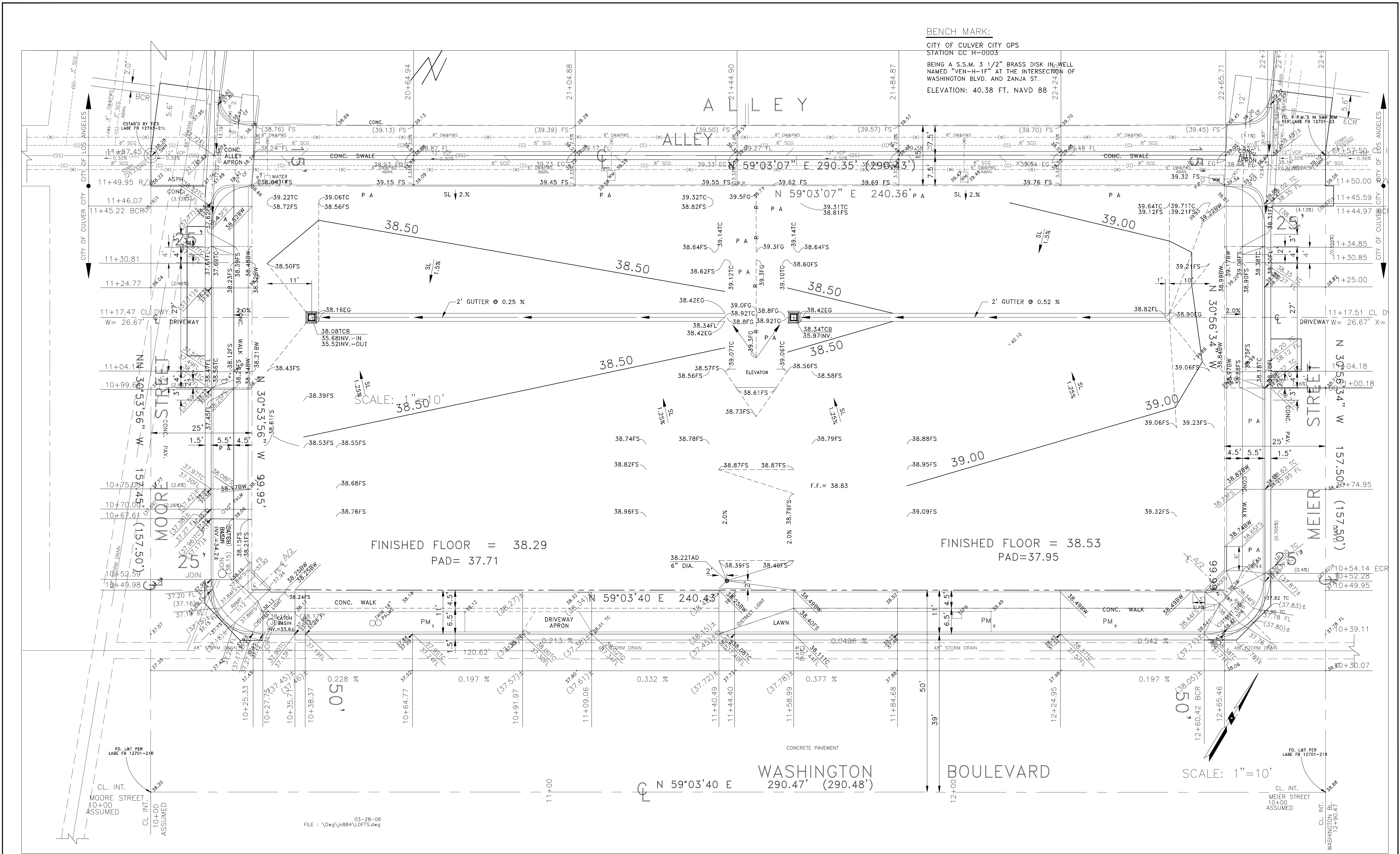
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Contact: Chuck Whitaker, SE

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Office of the Designed Landscape

1131 Superba Ave
Venice, CA 90291

213.364.7397

Contact: Esther Marquies, ASLA, RLA

WATERPROOFING

Contact: Joseph Daniels, RRC

ACOUSTICAL

Veneklasen Associates
4344 Glendale St.

1711 Sixteenth St
Santa Monica, CA 90404

310.450.1733

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SHEET TITLE:

SITE PLAN

SHEET NO.

A1.00

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310.577.9300

OWNER

Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

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Name

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Tel:

Contact:

STRUCTURAL ENGINEER

John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

MEP ENGINEER

South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

Contact: Todd Schoenhaus

CIVIL ENGINEER
Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

Contact: Phil Robertson, CE

LANDSCAPE ARCHITECT

Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

Contact: Esther Marquies, ASLA, RLA

between center and edge,

WATERPROOFING
D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660

949.955.2777

Contact: Joseph Daniels, F

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SHEET TITLE:
BASEMENT LEVEL

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Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

CONTRACTOR
Name
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Tel:

STRUCTURAL ENGINEER
John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

MEP ENGINEER
South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

CIVIL ENGINEER
Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

LANDSCAPE ARCHITECT
Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

WATERPROOFING
D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777

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OWNER
Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
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Name
Address
Tel:

STRUCTURAL ENGINEER
John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

MEP ENGINEER
South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

CIVIL ENGINEER
Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

LANDSCAPE ARCHITECT
Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

WATERPROOFING
D7 Consulting Inc.
1000 Dove Street, Suite 102
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310.454.6446

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Name
Address
Tel:

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John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

MEP ENGINEER
South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

CIVIL ENGINEER
Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

LANDSCAPE ARCHITECT
Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

WATERPROOFING
D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
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817 Chautauqua Blvd.,
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310.454.6446

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STRUCTURAL ENGINEER

John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

MEP ENGINEER

South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

Contact: Todd Schoenhaus

CIVIL ENGINEER

CIVIL ENGINEER
Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

Contact: Phil Robertson, CF

LANDSCAPE ARCHITECT

Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

Contact: Esther Margulies, ASI A, PIA

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D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777

Contact: Joseph Daniels, BBC

ACoustical

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Name

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Contact: Chuck Whitaker, SE

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2	PARKLEX COPPER FINISH	5	METAL SCREEN MESH
3	GLASS	6	BRUSH METAL FINISH
		7	COLOR STUCCO SHOT DASH FINISH

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13432 Beach Ave.
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310.577.9300

Contact: Tony Pleskow

Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

Contact: Jim Suhr

CONTRACTOR

Name _____
Address _____
Tel: _____

Contact:

STRUCTURAL ENGINEER

John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

MEP ENGINEER

South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

Contact: Todd Schoenhaus

CIVIL ENGINEER

Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

Contact: Phil Robertson, CE

LANDSCAPE ARCHITECT
Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

Contact: Esther Margulies, ASLA, RLA

WATERPROOFING

D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777

Contact: Joseph Daniels, RRO

ACOUSTICAL

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② WEST
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Marina del Rey, CA 90292
310.577.9300

Contact: Tony Pleskow

OWNER

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817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

Contact: Jim Suhr

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Address _____
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Contact:

STRUCTURAL ENGINEER

John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

MEP ENGINEER

South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

Contact: Todd Schoenhaus

CIVIL ENGINEER

Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

Contact: Phil Robertson, CE

LANDSCAPE ARCHITECT

Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

Contact: Esther Margulies, ASLA, RLA

WATERPROOFING

D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777

Contact: Joseph Daniels, RRC

ACOUSTICAL

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Santa Monica, CA 90404
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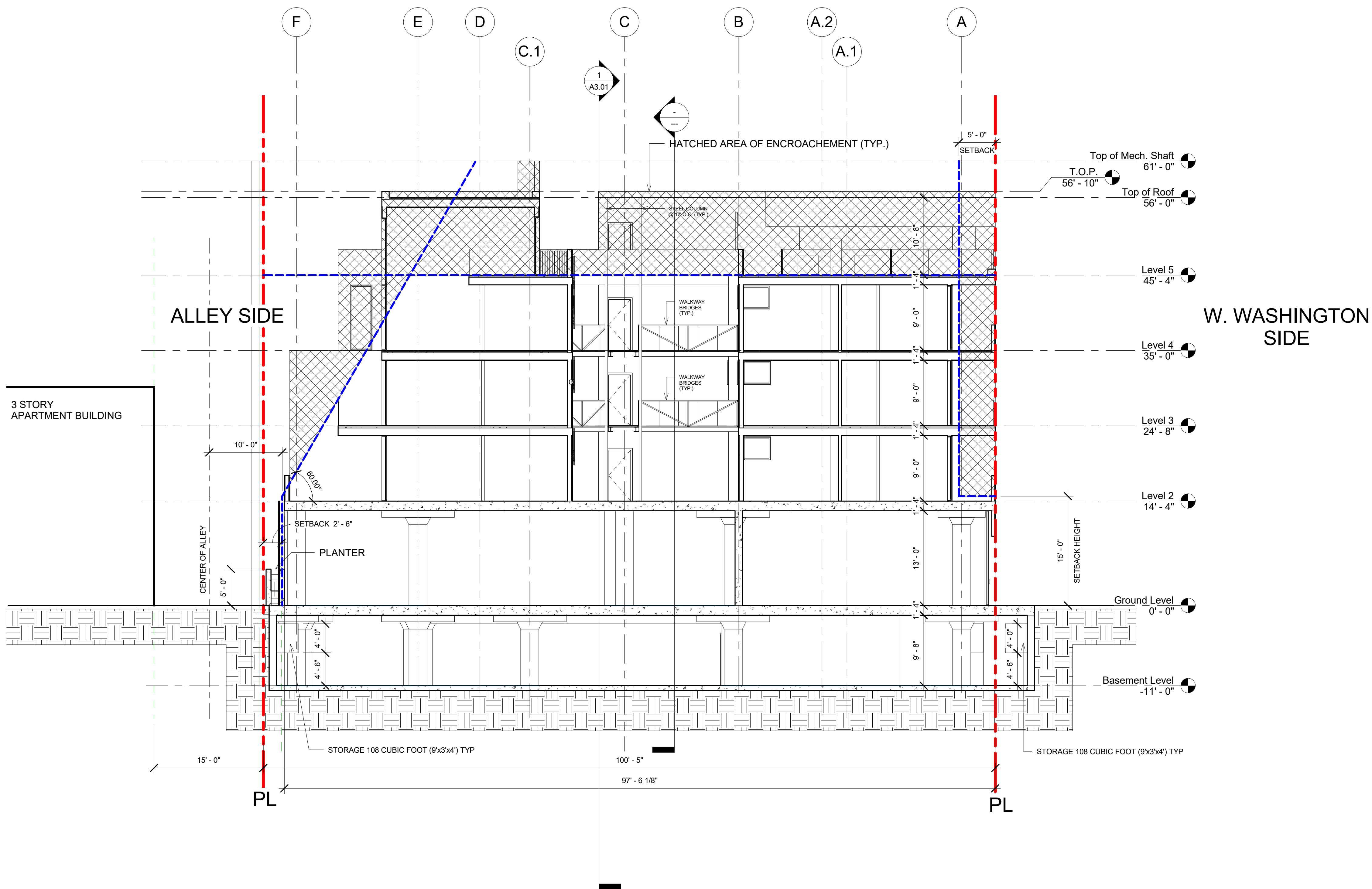
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13432 Beach Ave.
Marina del Rey, CA 90292
310.577.9300

Contact: Tony Pleskow

OWNER

Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
310.454.6446

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Contact:

STRUCTURAL ENGINEER

John Labib & Associates
319 Main Street
El Segundo, CA 90245
213.239.9700

Contact: Chuck Whitaker, SE

MEP ENGINEER

South Coast Engineering Group, Inc
5000 N. Parkway Calabasas, Suite 307
Calabasas, CA 91302
818.224.2700

Contact: Todd Schoenhaus

CIVIL ENGINEER

Paller-Roberts Engineering
5701 W. Slauson Ave., Suite 208
Culver City, CA 90230
310.641.1853

Contact: Phil Robertson, CE

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Office of the Designed Landscape
1131 Superba Ave
Venice, CA 90291
213.364.7397

Contact: Esther Marquies, ASLA, RLA

WATERPROOFING

D7 Consulting Inc.
1000 Dove Street, Suite 102
Newport Beach, CA 92660
949.955.2777

Contact: Joseph Daniels, RRC

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**ISSUED FOR
SITE PLAN REVIEW
07/01/16**

SEAL:

PROJECT ADDRESS:
12803 W WASHINGTON APARTMENTS
CULVER CITY, CA 90066

ISSUED FOR

ISSUE DATE:

07/01/16

SCALE:

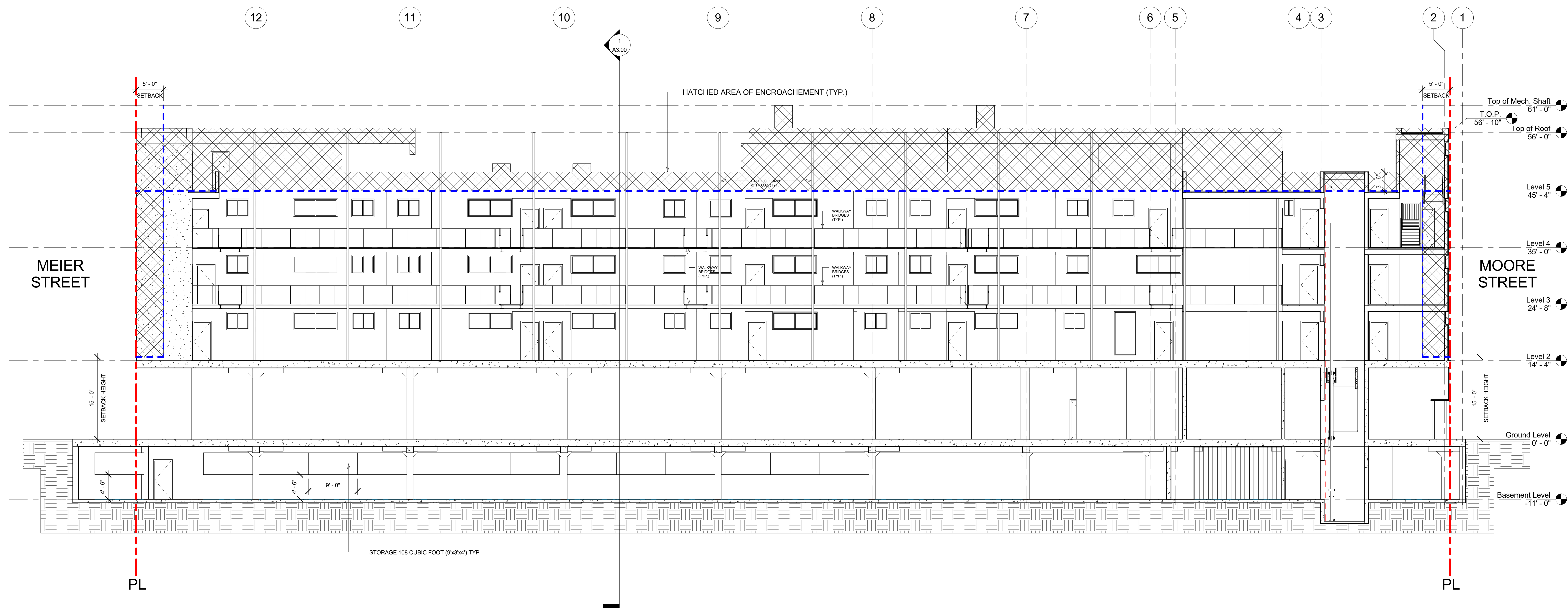
$$1/8'' = 1'-0''$$

SHEET TITLE

SECTION B

SHEET NO.

A3.01

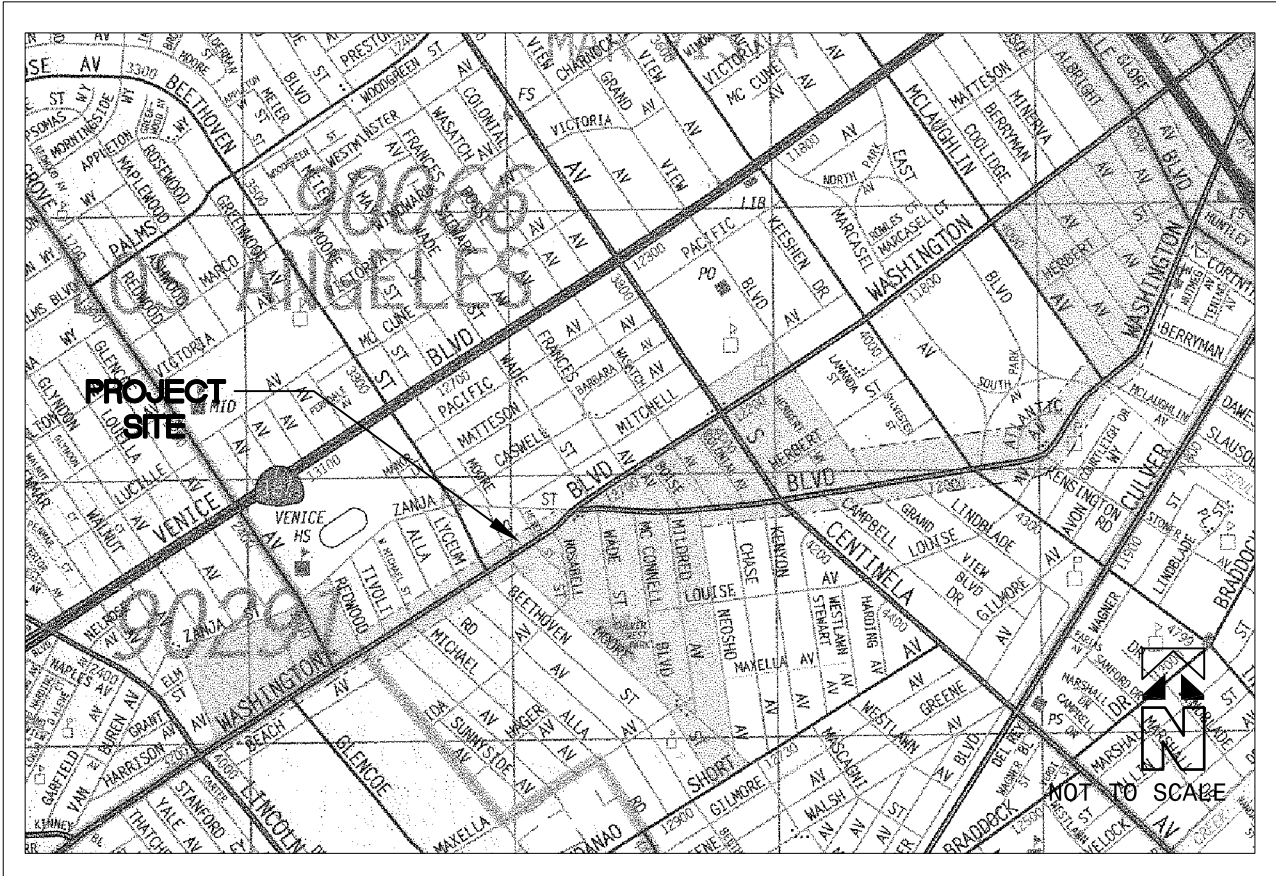


GENERAL NOTES

1. THE EXECUTION OF ALL WORK, CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", LATEST EDITION AND AMENDMENTS THERETO.
2. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY.
3. CONTRACTOR SHALL COORDINATE WITH GOVERNMENT AGENCIES AND UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK.
4. ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF WORK.
5. THE EXISTING GROUND SHOWN ON THE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PREPARED BY PALLER-ROBERTS ENGINEERING INC. 5701 SLAUSON AVENUE, SUITE 208, CULVER CITY CALIFORNIA, DATED MARCH 6, 2008.
6. PRIOR TO THE BEGINNING OF ANY WORK, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND LICENSES NECESSARY TO ACCOMPLISH THE WORK. PERMITS CAN INCLUDE, BUT ARE NOT LIMITED TO: ENCROACHMENT PERMIT, GRADING PERMIT, STORM DRAIN CONNECTION PERMIT AND UTILITY COMPANY'S PERMITS FOR THE WORK TO BE PERFORMED ON THEIR RESPECTIVE FACILITIES.
7. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE JOB SITE AND LOCATION OF ALL EXISTING FACILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR WILL BE UNILATERALLY RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES AND UNDERGROUND UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS; AND IF DAMAGED, FACILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER. CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-642-2444, FOR LOCATION REQUEST PRIOR TO CONSTRUCTION.
8. THE CIVIL ENGINEER'S RESPONSIBILITIES SHALL BE THOSE THAT ARE WITHIN HIS AREA OF SPECIAL EXPERTISE AS SPECIFIED IN SECTION 7014 (C) OF THE UNIFORM BUILDING CODE. THIS RESPONSIBILITY DOES NOT INCLUDE THE SUPERINTENDENCE OF CONSTRUCTION PROCESS, SITE CONDITION, COMPACTION, OPERATIONS, EQUIPMENT, PERSONNEL, OR THE MAINTENANCE OF A SAFE PLACE TO WORK OR ANY SAFETY IN, OR ABOUT THE SITE.
9. NOT ALL IMPROVEMENTS HAVE BEEN FLAGGED. USE THE SAME DETAILS FOR SIMILAR FORMS UNLESS OTHERWISE NOTED.
10. EXISTING ELEVATIONS TO BE JOINED SHALL BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION STAKING.
11. ALL DETAILS ARE NOT TO SCALE. USE DIMENSIONS.
12. LOCATION OF ELEVATION CONTROL POINTS MAY BE SCALED IF NOT DIMENSIONED.
13. THE PROPOSED GRADES AS SHOWN ARE THE FINISHED GRADES UNLESS OTHERWISE NOTED.
14. STRAIGHT GRADE SHALL BE RUN BETWEEN CONTOURS AND/OR SPOT ELEVATIONS UNLESS OTHERWISE INDICATED.
15. ALL RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEERING INVESTIGATION REPORT PREPARED BY DATED , AND ALL AMENDMENTS THERETO SHALL BE PART OF THIS PLAN.
16. REFER TO ARCHITECTURAL PLOT PLAN FOR ADDITIONAL DIMENSIONS, TIES, AND STAKING DATA.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE SUPERVISION TO PREVENT DAMAGE AND MOVEMENT FROM EQUIPMENT WORKING AROUND CONSTRUCTION STAKES. THESE CONSTRUCTION STAKES SHALL REMAIN IN PLACE AND PROTECTED UNTIL OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY LICENSED LAND SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
18. CONTRACTOR SHALL OBTAIN PERMISSION FROM THE CITY OF LOS ANGELES FOR ALL WORK IN AND ADJACENT TO THE PUBLIC RIGHT-OF-WAY.
19. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITY LINES AT THE POINT OF CONNECTION PRIOR TO CONSTRUCTION.
20. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
21. BURNING ON, OR NEAR THE JOB SITE WILL NOT BE PERMITTED.
22. ALL CURB INTERSECTIONS SHALL BE ROUNDED TO 1'- 0" RADIUS, UNLESS OTHERWISE NOTED.
23. PROTECT UNDERGROUND UTILITIES AND THEIR APPURTENANCES TO REMAIN ON THE SITE FROM DAMAGES DURING CONSTRUCTION OPERATIONS.
24. DIMENSIONS TO MANHOLES, VALVES, PIPELINES, ETC., ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
25. DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCES BETWEEN STRUCTURES AND NOT PIPE LENGTHS.
26. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASSURE THAT THE FINISHED FLOW LINES OF THE GUTTER DRAIN FREELY WITHOUT PONDING OF WATER.
27. ALL TRENCHING AND BACKFILL BY UTILITY COMPANIES AND OTHER AGENCIES SHALL CONFORM WITH THE EARTHWORK SECTION OF THE SPECIFICATIONS AND BE SUBJECT TO TESTING BY THE SOILS ENGINEER. FLOODING AND JETTING SHALL NOT BE ALLOWED.
28. THE CONTRACTOR SHALL RESET ALL MANHOLE COVERS, CATCH BASIN GRATES AND ANY OTHER UTILITY ACCESS COVER TO FINISHED PAVEMENT SURFACE OR SIDEWALK GRADE.
29. ALL EARTHWORK OPERATIONS SHALL BE CONTINUOUSLY INSPECTED AND OBSERVED BY A QUALIFIED SOILS ENGINEER EMPLOYED BY THE OWNER.
30. ALL FILL SHALL BE COMPACTED TO 90% PER ASTM D 1557-78, OR 95% FOR SOILS HAVING LESS THAN 15% FINER THAN 0.005 MM.
31. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION RELATED MATERIAL OR DEBRIS TO THE OWNER'S SATISFACTION.
32. THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD, IT IS SPECIFICALLY UNDERSTOOD THAT HE DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION, SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION, RESPONSIBILITY FOR SCHEDULING THE WORK OR FOR INSURING COMPLETE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR ANY AND ALL CODES REQUIREMENTS, RULES AND REGULATIONS OF ANY PUBLIC OR PRIVATE AUTHORITY HAVING JURISDICTION OVER THE WHOLE OR ANY PART OF THE WORK. IN ADDITION, THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.
33. ALL EXISTING IMPROVEMENTS DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS, SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
34. TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN NOVEMBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. [>200 CY] SEC. 91.7007.1

12803 W. WASHINGTON

12803 W. WASHINGTON BOULEVARD
CULVER CITY, CALIFORNIA



VICINITY MAP

LEGEND

PL	PROPERTY LINE		HEAVY DUTY ASPHALT CONCRETE PAVEMENT
Ø	DIAMETER		
TMH	TOP OF MANHOLE		LIGHT DUTY ASPHALT CONCRETE PAVEMENT
INV	INVERT		
TB	TOP OF BERM		CONCRETE PAVEMENT
FL	FLOW LINE		CATCH BASIN OR CURB INLET
RCP	REINFORCED CONCRETE PIPE		LIMIT OF GRADING / WORK
PVC	POLYVINYL CHLORIDE PIPE		
SL	SLOPE		EXISTING SLOPE
EL	ELEVATION		ROOF DRAIN LINE
CMP	CORRUGATED METAL PIPE		CENTER LINE
1070	EXISTING CONTOUR		PROPERTY LINE
70	PROPOSED FINISHED GRADE CONTOUR		FLOW LINE
R	RIDGE LINE/HIGH POINT		GRADE CHANGE
69.6	PROPOSED FINISHED GRADE SPOT ELEVATION		DETAIL NO. SHEET NO.
69.5	EXISTING SPOT ELEVATION		NUMBER OF EQUALLY SPACED PARKING SPACES (NOT INCLUDING HANDICAP)
SD	EX. STORM DRAIN LINE		C = COMPACT
SS	EXISTING SANITARY SEWER		PROPOSED SANITARY SEWER
W	EXISTING WATER		PROPOSED WATER
E	EXISTING ELECTRIC		PROPOSED ELECTRIC CONDUIT
T	EXISTING TELEPHONE		PROPOSED TELEPHONE CONDUIT
			OVERFLOW ELEVATION

INDEX OF DRAWINGS

- C-1 TITLE SHEET, NOTES AND VICINITY MAP
- C-2 DEMOLITION PLAN
- C-3 GRADING AND UTILITY PLAN
- C-4 EROSION CONTROL PLAN
- C-5 EROSION CONTROL NOTES

LOS ANGELES CITY GRADING NOTES

1. ALL GRADING WORK SHALL COMPLY WITH THE CURRENT LOS ANGELES BUILDING CODE DIV. 70 AND THE GENERAL GRADING REQUIREMENTS OF BUILDING AND SAFETY B-164 (REV. 2-86).
2. NO GRADING WHATSOEVER SHALL COMMENCE UNTIL THE CITY GRADING INSPECTOR HAS BEEN NOTIFIED.
3. NO FILL SHALL BE PLACED UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM OF EXCAVATION.
4. CLEAN UP DUST CONTROL PER SECTION 7-8.1 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
5. THE AREAS TO RECEIVE COMPACTED FILL SHALL BE STRIPPED OF ALL VEGETATION, EXISTING FILL, AND SOFT OR DISTURBED SOILS. THE EXCAVATED AREA SHALL BE OBSERVED BY THE SOILS ENGINEER PRIOR TO PLACING CONTROLLED COMPACTED FILL.
6. ALL GRADED SLOPES SHALL BE PLANTED & SPRINKLER SYSTEM INSTALLED PER SEC. 91.7012.1 LAMC.
7. STANDARD 12-INCH HIGH BERM IS REQUIRED AT THE TOP OF ALL GRADED SLOPES.
8. THE PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
9. MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% COHESION-LESS SOILS WITH LESS THAN 15% FINER THAN 0.005 mm REQUIRE 95% COMPACTION. SEC. 91.7011.3
10. A RETAINING WALL PERMIT IS REQUIRED.
11. ALL FOOTINGS SHALL BE FOUNDED IN UNDISTURBED NATURAL SOIL PER CODE.
12. A REGISTERED DEPUTY INSPECTOR IS REQUIRED PER CODE.
13. TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES [>200 CY] (7007.1)

PROPERTY OWNER:

AXIS MUNDI RE II, LLC
817 CHAUTAUQUE BOULEVARD
PACIFIC PALISADES, CA 90272
ATTN: JIM SUHR

CIVIL ENGINEER:

PALLER-ROBERTS ENGINEERING, INC.
5701 SLAUSON AVENUE, SUITE 208
CULVER CITY, CA 90230
(310) 641-1853
ATTN: PHILLIP ROBERTS

LEGAL DESCRIPTION

LOTS 55, 56, 57, 58, 59, 60, 61 AND 62 OF TRACT NO. 5951, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 77, PAGE 72 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NO.s

4236-021-900 4236-021-901
4236-021-902 4236-021-903

BENCH MARK

CITY OF CULVER CITY GPS STATION CC H-0003

BEING A S.S.M. 3 1/2" BRASS DISK IN WELL NAMED "VEN-H-1F" AT THE INTERSECTION OF WASHINGTON BLVD. AND ZANJA STREET.

ELEVATION = 40.38 FT. NAVD 88

EARTHWORK QUANTITIES

FILL = 0 C.Y. ; CUT = 9,500 C.Y.
EXPORT = 9,500 C.Y.

NOTE:

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN EARTHWORK CALCULATIONS.

ARCHITECT

PLESKOWArchitects

13432 Beach Ave.
Marina del Rey, CA 90292
Tel: 310.577.9300
Fax: 310.499.5661
email: pleskow@pleskowarchitects.com
Contact: Tony Pleskow

OWNER

Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
Tel: 310.454.6446
email:
Contact: Jim Suhr

CONTRACTOR

Name
Address
Tel:
email:
Contact:

STRUCTURAL ENGINEER

Name
Address
Tel:
email:
Contact:

MECHANICAL & PLUMBING

Name
Address
Tel:
email:
Contact:

ELECTRICAL ENGINEER

Name
Address
Tel:
email:
Contact:

CIVIL ENGINEER

Name
Address
Tel:
email:
Contact:

SURVEY

Name
Address
Tel:
email:
Contact:

GEOTECH

Name
Address
Tel:
email:
Contact:

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ISSUED FOR
Review
03/21/2016

SEAL:

PROJECT ADDRESS:

12803 W WASHINGTON
CULVER CITY, CA 90066

ISSUED FOR:

Schematic Design Review

ISSUE DATE:

04 March, 2016

SCALE:

SHEET TITLE:

TITLE SHEET

SHEET NO.

C-1



PALLER-ROBERTS ENGINEERING, INC.
CONSULTING CIVIL ENGINEERS
5701 SLAUSON AVENUE, SUITE 208
CULVER CITY, CALIFORNIA 90230 PHONE (310) 641-1853

ARCHITECT
PLESKOWArchitects
13432 Beach Ave.
Marina del Rey, CA 90292
Tel: 310.577.9300
Fax: 310.499.5661
email: pleskow@pleskowarchitects.com
Contact: Tony Pleskow

OWNER
Axis Mundi RE II, LLC
817 Chautauqua Blvd.,
Pacific Palisades, CA 90272
Tel: 310.454.6446
email:
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SURVEY
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GEOTECH
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03/21/2016

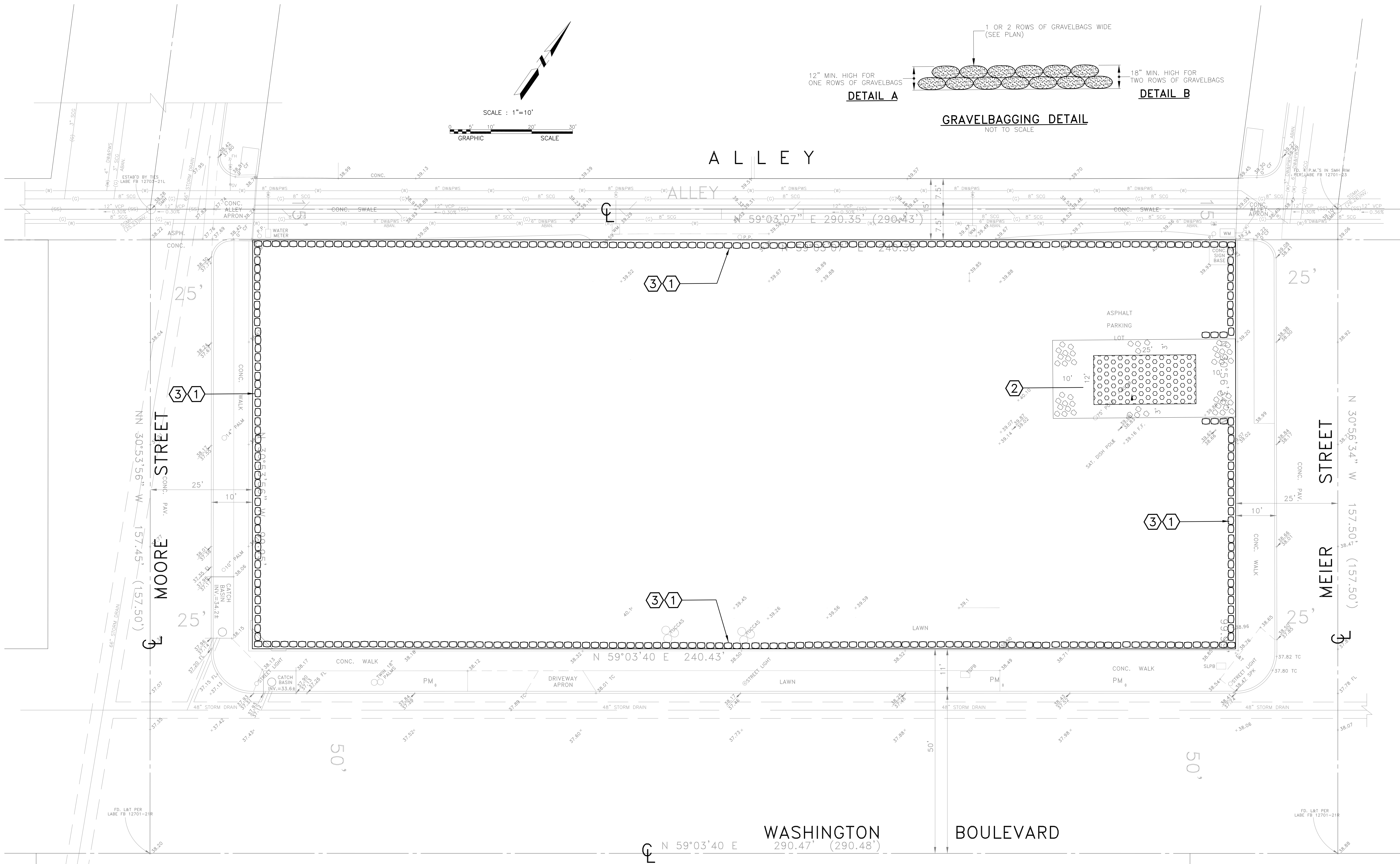
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SHEET TITLE:
**EROSION
CONTROL
PLAN**

SHEET NO.
C-3



DETAIL A

DETAIL B

GRAVELBAGGING DETAIL
NOT TO SCALE

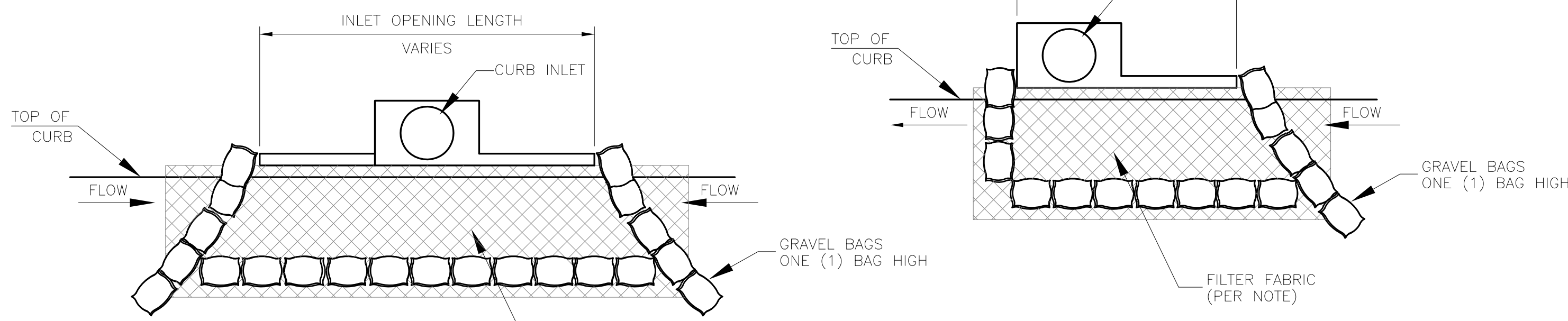
ALLEY

MOORE STREET

MEIER STREET

WASHINGTON

BOULEVARD



NOTE: FILTER FABRIC.
MATERIAL: POLYETHYLENE OR POLYPROPYLENE FABRIC
FABRIC WEIGHT: MINIMUM 4 OZ. / SQUARE YARD
MINIMUM WATER FLOW RATE: 125 GPM / SF (PER ASTM D4491)
MINIMUM TENSILE STRENGTH: 120 LBS. (PER ASTM D4632)

STORM DRAIN INLET PROTECTION

CONSTRUCTION NOTES

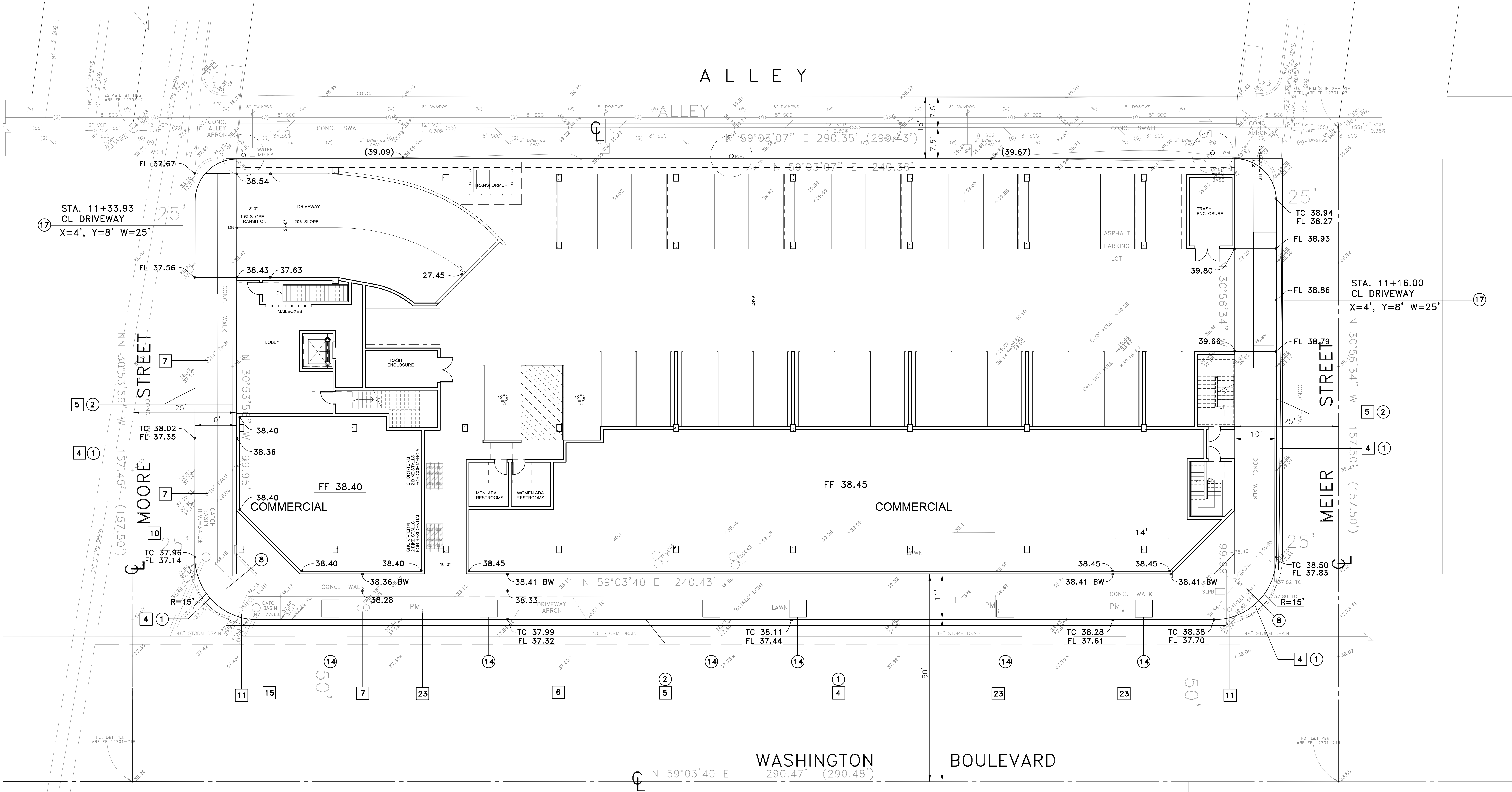
1. CONSTRUCT GRAVELBAGS PER GRAVELBAGGING DETAIL HEREON.
2. PROVIDE STABILIZED CONSTRUCTION EGRESS/INGRESS WITH AGGREGATE AND CORRUGATED STEEL PANELS (TC-1) PER CALTRANS BMP NO. CD29A(2). SEE DETAIL HEREON.
3. CONSTRUCT SILT FENCE (SE-1) PER DETAIL HEREON.
4. CONSTRUCT INLET PROTECTION PER DETAIL HEREON.

LEGEND

- GRAVEL BAGS
- STABILIZED CONSTRUCTION EGRESS/INGRESS PER TC-1.



PALLER-ROBERTS ENGINEERING, INC.
CONSULTING CIVIL ENGINEERS
5701 SLAUSON AVENUE, SUITE 208
CULVER CITY, CALIFORNIA 90230 PHONE (310) 641-1853

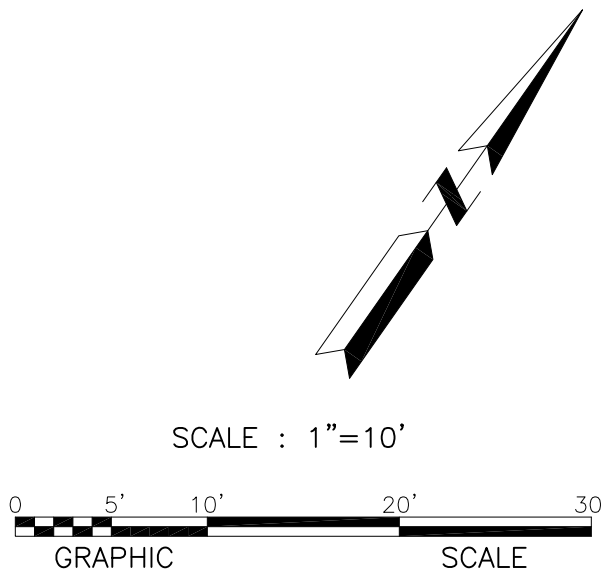


03-28-06
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○ CONSTRUCTION NOTES

1. CONSTRUCT CONCRETE CURB AND GUTTER PER APWA STD. PLAN 120-1, TYPE A2-200(8), W=1.50'
2. CONSTRUCT 4" THICK P.C.C. SIDEWALK PER APWA STD. PLAN 112-1. (CONSTRUCT 6" P.C.C. SIDEWALK AT DRIVEWAY LOCATIONS).
3. CONSTRUCT ASPHALT CONCRETE PAVEMENT ON COMPACTED CRUSHED AGGREGATE BASE. (6" A.C. ON 6" BASE)
4. REMOVE EXISTING CONCRETE CURB.
5. REMOVE EXISTING CONCRETE SIDEWALK.
6. REMOVE EXISTING DRIVEWAY.
7. EXISTING TREE TO BE REMOVED.
8. CONSTRUCT CURB RAMP PER APWA STD. PLAN 111-2, CASE A, TYPE 6-SIMILAR.
9. CONSTRUCT 10-1/2" 3250 PSI HIGH-EARLY PORTLAND CEMENT CONCRETE PAVEMENT OVER 4" CRUSHED AGGREGATE BASE.
10. EXISTING CATCH BASIN TO REMAIN.
11. REMOVE EXISTING LUMINAIRE ON TOP OF EXISTING LIGHT POLE AND REPLACE WITH NEW GENERAL ELECTRIC (M4AR4057M) 400 WATT HPS LUMINAIRE WITH MULTI-TAP VOLTAGE BALLAST (M4AC4057M2GMC32) WITH POWER DOOR, CUT OFF LENSES AND PHOTO ELECTRIC CONTROL.
14. 4.17'x4.17' TREE WELL, PER CITY STANDARD, INCLUDING TREE (WASHINGTONIA ROBUSTA) PER CITY REQUIREMENTS.
15. EXISTING CATCH BASIN TO BE REMOVED. CONSTRUCT NEW CATCH BASIN.
16. EXISTING UTILITY BOX TO BE ADJUSTED TO NEW FINISHED SURFACE
17. CONSTRUCT DRIVEWAY APPROACH-SPECIAL USE PER CULVER CITY STD. PLAN CC-101-2.2
18. CONSTRUCT CONCRETE CURB PER APWA STD. PLAN 120-1, TYPE A1-150(6).
22. REMOVE EXISTING STREET LIGHT PULLBOX
23. EXISTING PARKING METER TO REMAIN. PROTECT FROM DAMAGE.

FOR WASHINGTON BLVD., MEIER STREET AND MOORE STREET,
SEE STREET IMPROVEMENT PLANS.



ARCHITECT
PLESKOWArchitects
13432 Beach Ave.
Marina del Rey, CA 90292
Tel: 310.577.9300
Fax: 310.499.5661
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OWNER
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CONTRACTOR
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04 March, 2016
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SHEET TITLE:

GRADING
PLAN

SHEET NO.

C-4

WATER NOTE

FIRE SERVICE AND WATER METERS TO BE INSTALLED BY DWP.
CONTRACTOR TO INSTALL PIPING AND BACKFLOW DEVICES
DOWNSTREAM OF METERS OR FIRE SERVICE.

TABULATION OF FLOW THRU PLANTERS

FTP	PLANTER AREA (PROVIDED) (sq ft)	VOLUME (cu ft)
1	447	1,028
TOTAL	447	1,028

** VOLUME = $(3.25 \times 0.4) + 1.00 = 2.30$ cf/sf

TOTAL REQUIRED VOLUME PER PMFR CALC. = 1,228 cf

FLOW THRU PLANTER (INCL. 1.5x) = 1,028 cf
FLOW THRU PLANTER (WITHOUT 1.5x) = 685 cf

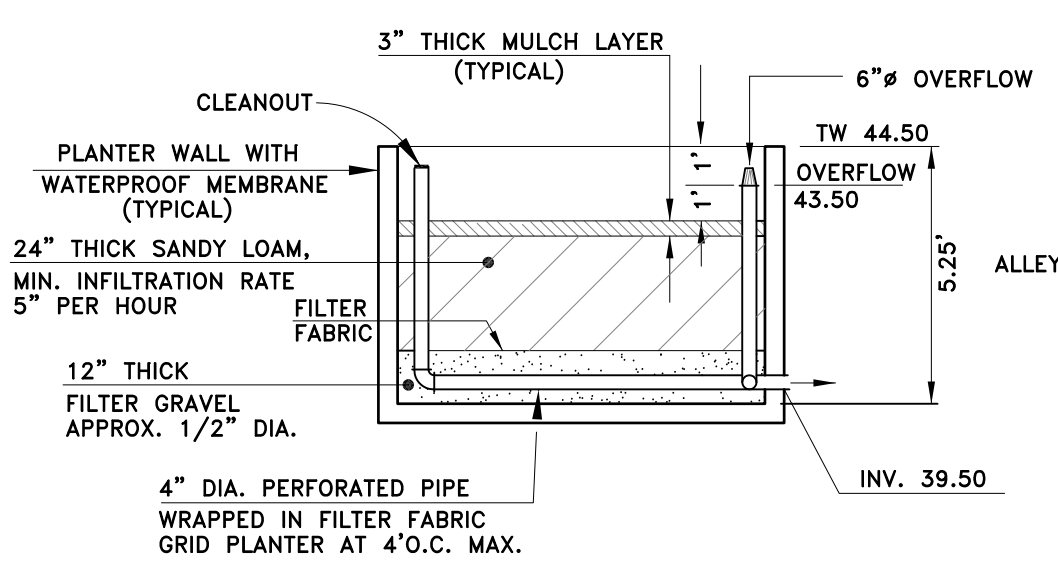
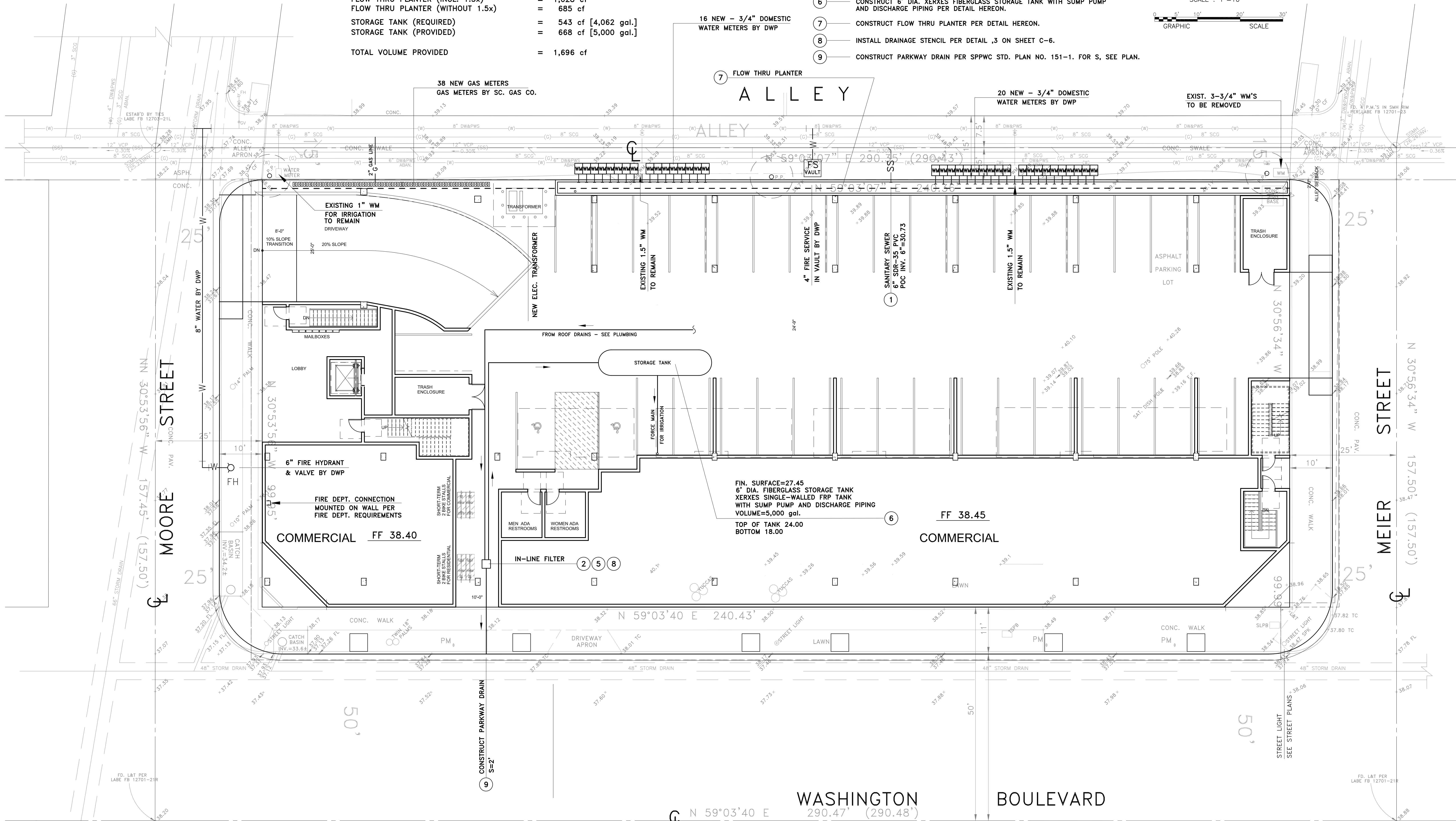
STORAGE TANK (REQUIRED) = 543 cf [4,062 gal.]
STORAGE TANK (PROVIDED) = 668 cf [5,000 gal.]

TOTAL VOLUME PROVIDED = 1,696 cf

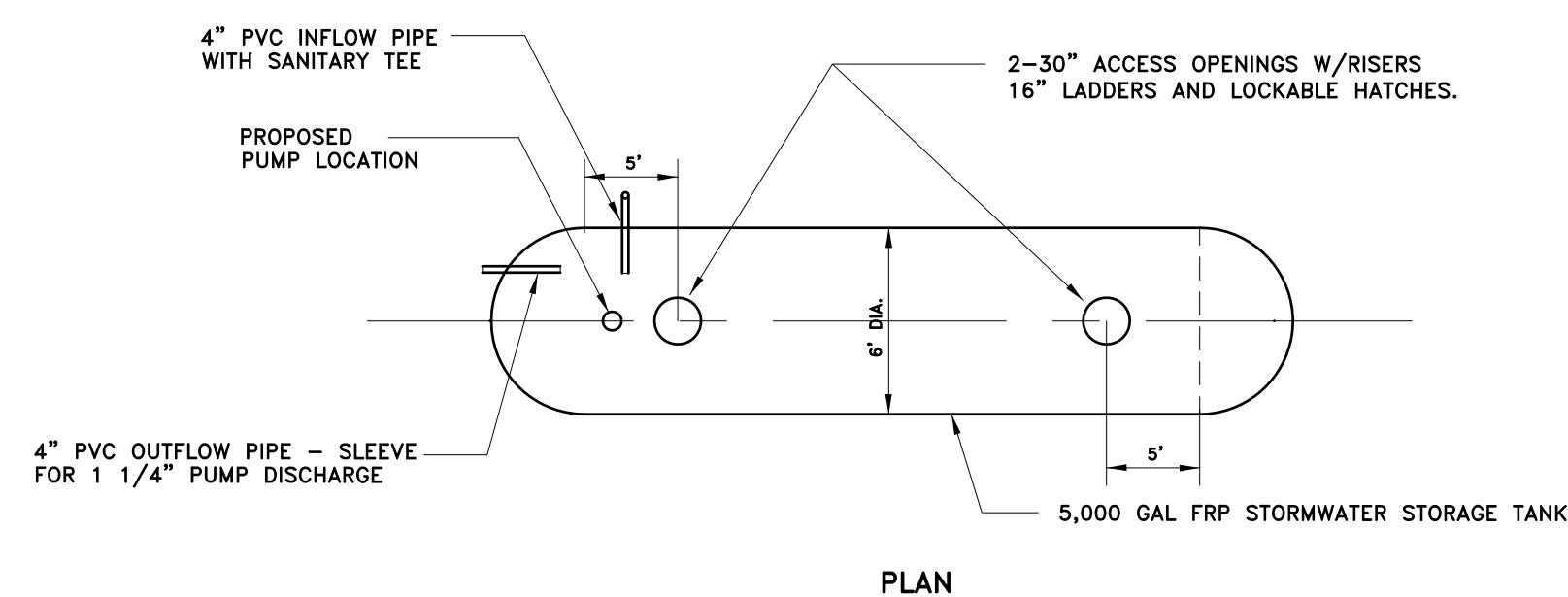
CONSTRUCTION NOTES

1. CONSTRUCT 6" SDR-35 PVC SANITARY SEWER HOUSE CONNECTION PER APWA STANDARD PLAN NO. 222-1.
2. CONSTRUCT CATCH BASIN TYPE A WITH IN-LINE FILTER PER DETAIL 2 ON SHEET C-6.
3. CORE DRILL BACK OF CATCH BASIN AND CONNECT PER APWA STANDARD PLAN NO. 335-1.
4. INSTALL PVC OR DIP STORM DRAIN PIPING IN TRENCH PER DETAIL 7 ON SHEET C-6.
5. INSTALL IN-LINE FILTER IN CATCH BASIN PER DETAIL 5 ON SHEET C-6.
6. CONSTRUCT 6' DIA. XERXES FIBERGLASS STORAGE TANK WITH SUMP PUMP AND DISCHARGE PIPING PER DETAIL HEREON.
7. CONSTRUCT FLOW THRU PLANTER PER DETAIL HEREON.
8. INSTALL DRAINAGE STENCIL PER DETAIL ,3 ON SHEET C-6.
9. CONSTRUCT PARKWAY DRAIN PER SPPWC STD. PLAN NO. 151-1. FOR S, SEE PLAN.

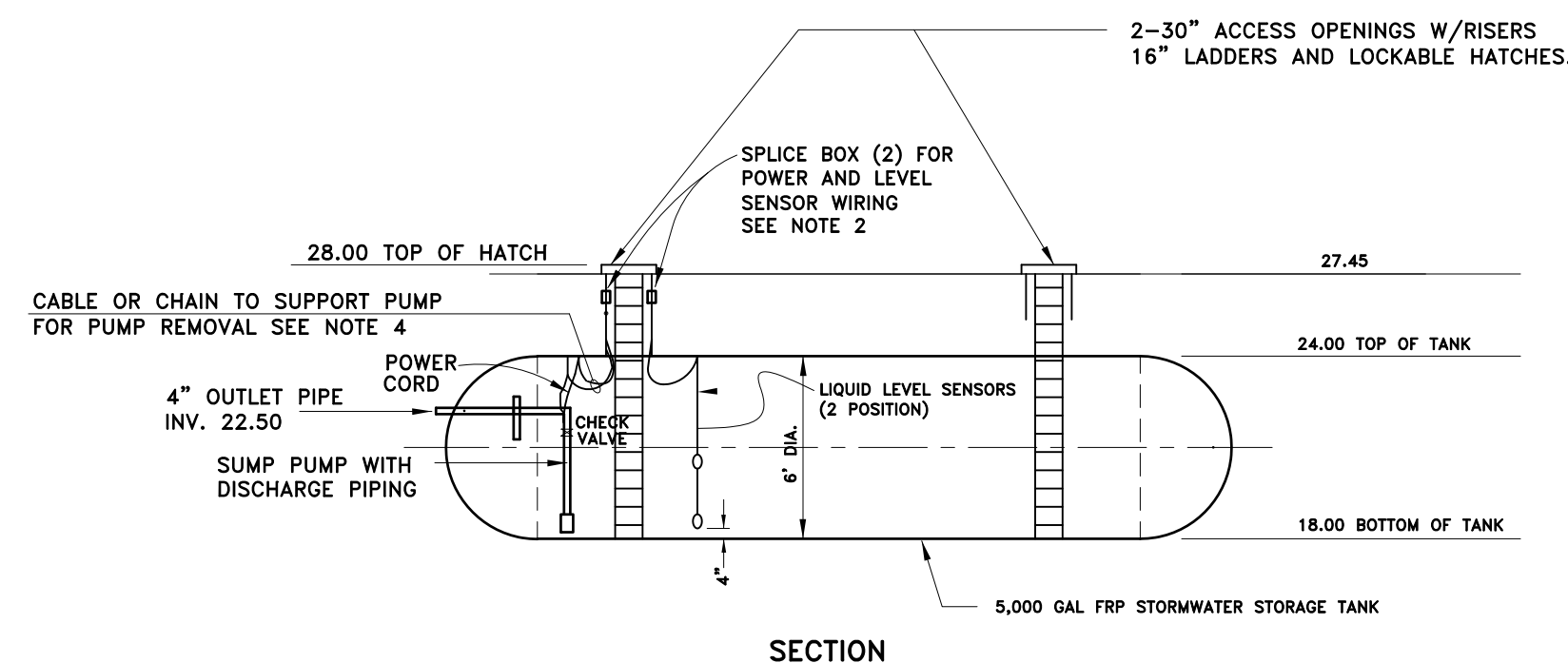
SCALE : 1"=10'



FLOW THROUGH PLANTER
NOT TO SCALE



STORMWATER STORAGE TANK DETAIL
NOT TO SCALE



SECTION

ARCHITECT
PLESKOWArchitects
13432 Beach Ave.
Marina del Rey, CA 90292
Tel: 310.577.9300
Fax: 310.499.5661
email: pleskow@pleskowarchitects.com
Contact: Tony Pleskow
OWNER
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817 Chautauqua Blvd.,
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Tel: 310.454.6446
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CONTRACTOR

Name
Address
Tel:
email:
Contact:

STRUCTURAL ENGINEER

Name
Address
Tel:
email:
Contact:

MECHANICAL & PLUMBING

Name
Address
Tel:
email:
Contact:

ELECTRICAL ENGINEER

Name
Address
Tel:
email:
Contact:

CIVIL ENGINEER

Name
Address
Tel:
email:
Contact:

SURVEY

Name
Address
Tel:
email:
Contact:

GEOTECH

Name
Address
Tel:
email:
Contact:

REVISIONS

NO.	DATE	DESCRIPTION

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**ISSUED FOR
Review
03/21/2016**

SEAL:

PROJECT ADDRESS:
12803 W WASHINGTON
CULVER CITY, CA 90066

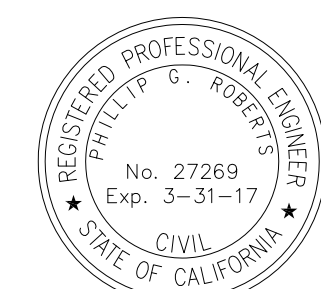
ISSUED FOR:
Schematic Design Review
ISSUE DATE:
04 March, 2016
SCALE:

SHEET TITLE:

**LID AND
UTILITY PLAN**

SHEET NO.

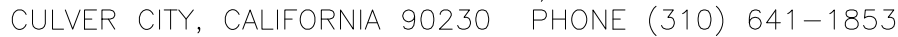
C-5



PALLER-ROBERTS ENGINEERING, INC.
CONSULTING CIVIL ENGINEERS
5701 Slauson Avenue, Suite 208
Culver City, California 90230 PHONE (310) 641-1853



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