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Attachment No. 4

# 8570 NATIONAL BLVD 8570 NATIONAL BLVD, CULVER CITY, CA 90232

SPR SUBMISSION 06/10/2022

Olson Kundig

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### ABBREVIATIONS

@	AT
¢	CENTERLINE
ዊ	PROPERTY LINE
ወ	DIAMETER
#	POUND OR NUMBER
(E)	EXISTING
(N)	NEW
AIB	ANCHOR BOLT ABOVE ACCESS ACOUSTICAL ASPHALT CONCRETE PAVING ACCESS PANEL ACOUSTICAL TILE AREA DRAIN AMERICANS with DISABILITIES ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE AIR INFILTRATION BARRIER ALTERNATE ALUMINUM APPROXIMATE ARCHITECTURAL ASPHALT AUTOMATIC
BD	BOARD
BITUM	BITUMINOUS
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BO	BOTTOM OF
BOT	BOTTOM
BRG	BEARING
BSMT	BASEMENT
BUR	BUILT UP ROOFING
CER CIP CJ CLG CLK CLO CLR CMU CONT CONT CONT CONT CONT CONT CONT CONT	CABINET CATCH BASIN EMENT CERAMIC CAST-IN-PLACE CONTROL JOINT CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT COUNTER COLUMN CONCRETE CONNECTION CONCRETE CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CORRIDOR CARPET; CARPETED COLD ROLLED STEEL COUNTERSUNK CERAMIC TILE CENTER CUBIC FEET
DBL	DOUBLE
DEMO	DEMOLITION
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DL	DEAD LOAD
DN	DOWN
DR	DOOR
DR OPNG	DOOR OPENING
DS	DOOR OPENING
DSP	DOWNSPOUT
DSP	DRY STANDPIPE
DT	DRAIN TILE
DW	DISHWASHER
DWG	DRAWING
E EA EJ ELEC ELEV ENCL EQ EQUIP EST EW EXH FN EXIST EXP EXP BT EXPO EXT	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT ESTIMATE EACH WAY EXHAUST FAN EXISTING EXPANDED; EXPANSION EXPANDED; EXPANSION EXPANSION BOLT EXPOSED EXTERIOR
FH FHC FIN FLR FF FIN FLASH FLR FLUOR FOC FOF FOIC	FIRE ALARM FLAT BAR FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FIRE HYDRANT FIRE HOSE CABINET FINISH FLOOR FINISH TO FINISH FINISH FLASHING FLOOR; FLOORING FLOOR; FLOORING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FURNISHED BY OWNER - INSTALLED BY CONTRACTOR ACE OF MASONRY FACE OF STUDS FIREPROOF FIREPLACE FRAME FOOR OR FEET FOOTING FURRING FUTURE FULL WIDTH GAUGE GALVANIZED GENERAL CONTRACTOR
GL	GLASS
GLAM	GLUE-LAMINATED
GR	GRADE
GWB	GYPSUM WALL BOARD
GYP	GYPSUM

HB HC HDO HDR HDWD HM HORIZ HP HR HT HVAC HW HWT ID IN INCL INSUL INSUL INT INV JB JF JT	HOSE BIBB HOLLOW CORE HIGH DENSITY OVERLAY HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HEATING/VENTILATING/AIR CONDITIONING HOT WATER HOT WATER TANK INSIDE DIAMETER INCH INCLUDED INSULATION INTERIOR INVERT JUNCTION BOX JOINT FILLER JOINT
KIT KO	KITCHEN KNOCKOUT
LAM LAV LBS LF LH LL LOC LP LT	LAMINATE, LAMINATED LAVATORY POUNDS LINEAR FOOT (FEET) LEFT HAND LIVE LOAD LOCATION LOW POINT LIGHT
MAS MATL MAX MB MC MDF MDO MECH MEMB MEZZ MFR MIN MIR MIR MISC MO MTD MTL MUL	MASONRY MATERIAL MAXIMUM MACHINE BOLT MEDICINE CABINET MEDIUM DENSITY FIBERBOARD MEDIUM DENSITY OVERLAY MECHANICAL MEMBRANE MAZZANINE MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOUNTED METAL MULLION
N N/A NIC NO NOM NR NTS	NORTH NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION NOT TO SCALE
OA OC OD OFF OH OHWM OPNG OPP OSB	OVERALL ON CENTER OUTSIDE DIAMETER OVERFLOW DRAIN OFFICE OVERHEAD ORDINARY HIGH WATER MARK OPENING OPPOSITE ORIENTED STRAND BOARD
PBD PCC PCF PERF PL PLAM PLAS PLWD PNL PNT PR PRCST PSF PSI PT PTN PVC	PARTICLE BOARD PRECAST CONCRETE POUNDS PER CUBIC FOOT PERFORATED PERPENDICULAR PLATE PLASTIC LAMINATE PLASTER PLYWOOD PANEL POINT PAIR PRECAST POUNDS PER CUBIC FOOT POUNDS PER SQUARE INCH PRESERVATIVE TREATED PARTITION POLYVINYL CHLORIDE
R RA RD REF REFR REG REINF REM REQ RESIL REV RH RM RO RWL	RISER RETURN AIR RADIUS ROOF DRAIN REFERENCE REFRIGERATOR REGISTER REINFORCED REMAINDER REQUIRED RESILIENT REVISION; REVISIONS; REVISED RIGHT HAND ROOM ROUGH OPENING RAIN WATER LEADER
S SAF SAM SC SCHED SD SECT SG SHV SHR SHT MTL SHTG SIM SOG SPEC SQ FT SQ IN SST STD STL STD STL ST STOR STRUCT SUSP SYM	SOUTH SELF-ADHERED FLASHING SELF-ADHERED MEMBRANE SOLID CORE SCHEDULE SMOKE DETECTOR SECTION SAFETY GLASS SHELF; SHELVING SHOWER SHEET SHEET METAL SHEATHING SIMILAR SLAB ON GRADE SPECIFICATION SQUARE FOOT (FEET) SQUARE INCH(ES) STAINLESS STEEL STANDARD STEEL STONE STORAGE STRUCTURAL SUSPENDED SYMMETRICAL

T&G	TONGUE AND GROOVE
TEL	TELEPHONE
TER	TERRAZZO
TG	TEMPERED GLASS
THK	THICK
TO	TOP OF DF
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE; CURB
TOF	TOP OF FLOOR; FOOTING; FRAME
TOF	TOP OF FLOOR; FOOTING; FRAME
TOP	TOP OF MASONRY
TOP	TOP OF PARAPET; PAVEMENT
TOPO	TOP OF PARAPET; PAVEMENT
TOS	TOP OF SLAB; STEEL
TOW	TOP OF WALL
TS	TUBE STEEL
TSTAT	THERMOSTAT
TYP	TYPICAL
UNO	UNLESS OTHERWISE NOTED
VB	VINYL BASE
VEN	VENEER
VERT	VERTICAL
VEST	VESTIBULE
VG	VERTICAL GRAIN
VIF	VERIFY IN FIELD
VT	VINYLT TILE
W W/ W/O WD WD WF WF BM WF WF WH WL WL WL WL WP WPM WR WSCT WSG WTR WSG WTR WWF WWF WWF	WEST WITH WITHOUT WATER CLOSET WOOD WINDOW WIDE FLANGE WIDE FLANGE BEAM WIRED GLASS WATER HEATER WATER LINE WELDED WATERPROOF WATERPROOF WATERPROOF WATERPROOF WATERPROOF WATER RESISTANT WAINSCOT WIRE SAFETY GLASS WATER WELDED WIRE FABRIC WELDED WIRE MESH WEIGHT

TREAD

### SYMBOLS LEGEND



WOOD BLOCKING SHIM	WOOD FRAMING (CONTINUOUS)
FINISHED WOOD	PLYWOOD
BATT INSULATION	RIGID INSULATION
MINERAL INSULATION	FOAMED IN PLACE INSULATION
GRAVEL	EARTH
STEEL	ALUMINUM
CMU	BRICK
STONE	CONCRETE





1. CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS

NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST. 3. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK.

4. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT,

### PROJECT DIRECTORY

<u>SITE ADDRESS:</u> 8570 NATIONAL BLVD CULVER CITY, CA 90232

<u>OWNER:</u> REDCAR LTD 2341 MICHIGAN AVE SANTA MONICA, CA 90404

DESIGN ARCHITECT: OLSON KUNDIG ARCHITECTS 159 S. JACKSON ST. SUITE 600 SEATTLE, WA 98104 T: 206.624.5670 F: 206.624.3730 PRINCIPAL ARCHITECT: KEVIN KUDO-KING KEVIN@olsonkundigarchitects.com CONTACT: ERIK GUNDERSON ERIK@olsonkundigarchitects.com EXECUTIVE ARCHITECT:

HOUSE & ROBERTSON ARCHITECTS 10125 WASHINGTON BLVD CULVER CITY, CA 90232 T: 323.935.3158 CONTACT: JAMES BLACK JAMESB@HRARCH.COM

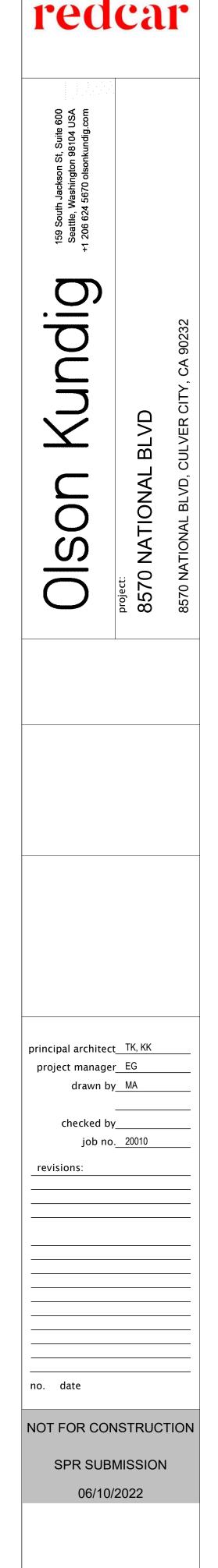
CONTRACTOR: \*\*\*ENTER NAME HERE\*\*\* \*\*\*ADDRESS LINE 1\*\*\* \*\*\*ADDRESS LINE 2\*\*\* T: \*\*\*123.456.7890\*\*\* F: \*\*\*123.456.7890\*\*\* CONTACT: \*\*ENTER NAME HERE\*\*\* \*\*\*email\*\*\*@\*\*\*address\*\*\*.com

STRUCTURAL ENGINEER: GLOTMAN SIMPSON 600 WILSHIRE, SUITE 650 LOS ANGELES, CA 900017 T: 213-283-2359 CONTACT: CHRIS SMITH CSMITH@GLOTMANSIMPSON.COM

MEP: LAM + TEA ENGINEERING 901 CORPORATE CENTER DR. #404 MONTEREY PARK CA 91754 T: 323-673-8811 x122 CONTACT: DAVID TEA DTEA@LAMTEAENG.COM

LANDSCAPE: BRELAND-HARPER 1846 ECHO PARK AVE LOS ANGELES, CA 90026 T: 310-254-9449 CONTACT: MICHAEL BRELAND INFO@STUDIO-MLA.COM

<u>CIVIL:</u> SHERWOOD DESIGN ENGINEERS 2301 E 7TH ST., SUITE A238 LOS ANGELES, CA 90023 T: 213.921.4623 CONTACT: JIMMY GALVEZ JGALVEZ@SHERWOODENGINEERS.COM



GENERAL INFORMATION



### DESCRIPTION OF WORK

NEW 3 LEVEL SUBGRADE PARKING NEW 35,473 SF 3 LEVEL BUILDING WITH: - LANDSCAPING AND HARDSCAPING - EXTERIOR DECKS - RESTROOM FACILITIES - ROOF DECK

### ZONING SUMMARY

ADDRESS: 8570 NATIONAL BLVD., CULVER CITY, CA 90232 ZONING: IG (INDUSTRIAL)

#### PROPERTY SUMMARY

ADDRESS: YEAR BUILT: ASSESSOR PARCEL NUMBER: LOT AREA: LOT SIZE: TRACK/LOT/BLOCK:	8570 National Blvd. 1939,1948 4206-002-007 (MAIN PARCEL), 4206-002-051 (SPUR) +/- 17,767 SF 200' X 108' IRR 318-319
ZONING:	IG
OCCUPANCY:	B, M, S-2
USE:	CREATIVE OFFICE, RESTAURANT/ RETAIL, PARKING
STORIES:	3
HEIGHT:	47' -3.5"
FRONT SETBACK:	5'-0" (NATIONAL BLVD)
STREET FACING SETBACK:	5'-0" (NATIONAL BLVD & SCHAEFER ST)
SIDE SETBACK:	NONE
REAR SETBACK:	NONE

#### HISTORICAL RESOURCE

THIS ADDRESS DOES NOT LIST ANY HISTORICAL RESOURCE, PER CULVER CITY HISTORIC PRESERVATION INFORMATION.

### LAND USE REGULATIONS

EXISTING USE: VACANT LAND, NEW CONSTRUCTION PROPOSED USE: BUSINESS, CREATIVE OFFICE, RESTAURANT

#### OCCUPANT LOAD

OFFICE (OCCUPANT LOAD FACTOR = 150 GROSS): 30,253 SF / 150 = 202 OCCUPANTS PARKING (OCCUPANT LOAD FACTOR = 200 GROSS): 43,995 SF / 200 = 220 OCCUPANT

RESTAURANT OCCUPANT LOAD DEFERED TO FUTURE T.I. UNDER SEPERATE PERMIT

### TYPE OF CONSTRUCTION

PROPOSED CONSTRUCTION TYPE: TYPE IIIA, FULLY SPRINKLERED.

#### ALLOWABLE AREA ANALYSIS:

MIXED-USE BUILDING SHALL HAVE NONSEPARATED OCCUPANCIES (GROUPS B. A-2 AND S-2) PER CBC 508.3. ALLOWABLE AREA SHALL BE GOVERNED BY MOST RESTRICTIVE OCCUPANCY GROUP ALLOWANCE.

ASSUME CONSTRUCTION TYPE IIIA:

TABULAR AREA FOR GROUP, CATEGORY SM (SPRINKLERED, MULTISTORY): GROUP B (OFFICE): 85,500 SF GROUP A-2 (FOOD RETAIL / COMMERCIAL): 42,000 SF GROUP S-2 (GARAGE): 117,000 SF

GROUP A-2 IS MOST RESTRICTIVE. TABULAR AREA OF 42,000 SF EXCEEDS PROPOSED FLOOR AREA OF 35,473 SF, THEREFORE TYPE IIIA IS OK. ✓

#### BASEMENT PARKING USE:

PER CBC 506.1.3, BASEMENTS NEED NOT BE INCLUDED IN THE TOTAL ALLOWABLE FLOOR AREA OF A BUILDING PROVIDED THE TOTAL AREA OF SUCH BASEMENTS DOES NOT EXCEED THE AREA PERMITTED FOR A ONE-STORY ABOVE GRADE PLAN BUILDING TABULAR AREA FOR MOST RESTRICTIVE USE (GROUP A-2) FOR "S1" SPRINKLERED

SINGLE-STORY BUILDING IS 56,000 SF, WHICH EXCEEDS PROPOSED BASEMENT FLOOR AREA OF 43,995 SF. THEREFORE TYPE IIIA IS OK. ✓

### PLUMBING SUMMARY

	OCCUPANT	DETERMI	NATION			
		AREA (SF)	OCC. FACTER (CPC TBLE A)	OCC. TOTAL	OCC. MALE	OCC. FEMALE
L1	FOOD RETAIL / COM.	4820	*	*	*	*
L1	OFFICE	5087	200	25.4	12.7	12.7
L2	OFFICE	12583	200	62.9	31.5	31.5
L3	OFFICE	12583	200	62.9	31.5	31.5
	TOTAL, OFFICE	30253	200	151.3	75.6	75.6

	MINIMU	IM QUANTITY	OF FIXTL	JRES REQ	UIRED		
	WC (M)	WC (F)	UR (M)	LAV (M)	LAV (F)	DRINK FOUNT.	SERVICE SINK
FOOD RETAIL / COM.	*	*	*	×	*	*	*
OFFICE (76 M, 76 F)	2	4	1	2	2	1	i i i
TOTAL:	2	4	1	2	2	1	8
PROPOSED FIXTURES						NONE (DEFER RED TO FUTURE	
PROVIDED:	8 (	UNISEX)	4	8 (UNI	SEX)	T.I.)	1

\* FUTURE FOOD RETAIL/GENERAL COMMERCIAL FIXTURE COUNT DEFERED TO FUTURE T.I. UNDER SEPERATE PERMIT

### AREA SUMMARY

GROSS AREA TO OUTSIDE FACE OF EXTERIOR WALL:

1st FLOOR FOOD RESTAURANT 4,820 SF 1st FLOOR OFFICE 5,087 SF 2ND FLOOR OFFICE: 12.583 SF 3RD FLOOR OFFICE: 12.583 SF TOTAL ABOVE GRADE GROSS AREA: 35,073 SF

1ST FLOOR EXTERIOR "DINING" (BEYOND FIRST 250 SF): 400 SF TOTAL GROSS AREA (CCMC 17.320.020): 35,473 SF

BASEMENT PARKING GROSS AREA: P1: 14,465 SF P2: 14,465 SF P3: 14,465 SF **TOTAL BASEMENT AREA: 43,995 SF** 

### BUILDING USE AND OCCUPANCY

BUSINESS GROUP B: CREATIVE OFFICE ASSEMBLY GROUP A-2: FOOD RETAIL / COMMERCIAL STORAGE GROUP S-2: PARKING

### LAND USES AND PERMIT REQUIREMENTS

CCMC 17.230.015 INDUSTRIAL DISTRICT LAND USES AND PERMIT REQUIREMENTS

A. GENERAL REQUIREMENTS, TABLE 2-8 (ALLOWED USES AND PERMIT REQUIREMENTS FOR INDUSTRIAL AND SPECIAL PURPOSE ZONING DISTRICTS) IDENTIFIES THE USES OF LAND ALLOWED BY THIS TITLE IN EACH INDUSTRIAL ZONING DISTRICT, AND THE LAND USE PERMIT REQUIRED TO ESTABLISH EACH USE, IN COMPLIANCE WITH SUBSECTION 17.200.020.B. (DETERMINATION OF ALLOWABLE LAND USES AND PERMIT REQUIREMENTS).

TABLE 2-8 ALLOWED USES AND PERMIT REQUIREMENTS FOR INDUSTRIAL AND SPECIAL PURPOSE ZONING DISTRICTS

	PERMIT REQ. BY DISTRICT			
LAND USE	IL.	IG		
FOOD RETAIL	PERMITTED	PERMITTED		
RESTAURANTS, COUNTER SERVICE	PERMITTED	PERMITTED		
RESTAURANTS, COUNTER SERVICE	PERMITTED	PERMITTED		
OFFICES	PERMITTED	PERMITTED		

### **DISTRICT DEV. STANDARDS**

CCMC 17.230.020 INDUSTRIAL DISTRICT DEVELOPMENT STANDARDS

A. GENERAL REQUIREMENTS, SUBDIVISIONS, NEW LAND USES AND STRUCTURES, AND ALTERATIONS TO EXISTING LAND USES AND STRUCTURES IN THE IL AND IG ZONES, SHALL BE DESIGNED, CONSTRUCTED. AND/OR ESTABLISHED IN COMPLIANCE WITH THE **REQUIREMENTS IN TABLE 2-9 (INDUSTRIAL DISTRICT DEVELOPMENT** TANDARDS). IN ADDITION, THE APPLICABLE DEVELOPMEN STANDARDS (E.G., LANDSCAPING, PARKING AND LOADING, AND THE LIKE) IN ARTICLE 3 (SITE PLANNING AND GENERAL DEVELOPMENT STANDARDS) SHALL APPLY TO ALL COMMERCIAL ZONING DISTRICTS

	REQUIREMENT BY ZONING DISTRICT		
DEVELOPMENT FEATURE	IG		
DEVELOPMENT FEATURE	MINIMUM LOT AREA DETERMINED THROUGH SUBDIVISION REVIEW PROCESS		
RESIDENTIAL DEVELOPMENT	NONE ALLOWED		
SETBACKS	MINIMUM SETBACKS REQUIRED. SEE 17.300.020		
STREET FACING	5 FEET		
SIDE	NONE REQUIRED		
REAR	NONE REQUIRED		
HEIGHT LIMIT (2)	43 FEET		
LANDSCAPING	AS REQUIRED BY CHAPTER 17.310		
PARKING AND LOADING	AS REQUIRED BY CHAPTER 17.320 (OFF-STREET PARKING AND LOADING)		
SIGNS	AS REQUIRED BY CHAPTER 17.330 (SIGNS)		
NOTES:			

2-2 (EXAMPLES OF GRB, IL, IG SETBACKS ADJACENT TO RESIDENTIAL ZONE)

(2) SEE FIGURE 17.300.025 (HEIGHT MEASUREMENT AND HEIHGT LIMIT EXCEPTIONS)

### ACCESS

CCMC 17.300.015 ACCESS

- A. ACCESS TO STREETS. 1. EVERY STRUCTURE SHALL BE CONSTRUCTED UPON, OR MOVED TO, A LEGALLY RECORDED PARCEL WITH A PERMANENT MEANS OF ACCESS TO A PUBLIC STREET, IN
- COMPLIANCE WITH CITY STANDARDS 2. ALL STRUCTURES SHALL BE PROPERLY LOCATED TO ENSURE SAFE AND CONVENIENT ACCESS FOR SERVICING, FIRE PROTECTION, AND REQUIRED PARKING.
- 3 N/A PEDESTRIAN ACCESS. ALL MULTIPLE-FAMILY RESIDENTIAL, NONRESIDENTIAL, OR MIXED USE DEVELOPMENTS SHALL PROVIDE A MINIMUM OF 1 PEDESTRIAN WALKWAY OF NO LESS THAN 4 FEET IN WIDTH, FROM EACH ADJOINING STREET FRONTAGE CONNECTING SAID STREET WITH EITHER THE MAIN BUILDING ENTRANCE OR
- COMMON PEDESTRIAN CORRIDOR, AS DEEMED NECESSARY AND APPROPRIATE BY THE DIRECTOR.
- N/A

### SETBACK REGULATIONS & EXCEPTIONS

CCMC 17.300.020 SETBACK REGULATIONS AND EXCEPTION

THIS SECTION ESTABLISHES STANDARDS TO ENSURE THE PROVISION OF OPEN AREAS FOR ACCESS TO AND AROUND STRUCTURES, ACCESS TO NATURAL LIGHT AND VENTILATION, LANDSCAPING, RECREATION, SEPARATION OF INCOMPATIBLE LAND USES, AND SPACE FOR PRIVACY, TRAFFIC SAFETY, AND VISIBILITY.

- A. SETBACK REQUIREMENTS. 1. ALL STRUCTURES SHALL CONFORM TO THE SETBACK REQUIREMENTS IDENTIFIED FOR EACH ZONING DISTRICT BY ARTICLE 2 (ZONING DISTRICTS, ALLOWABLE LAND USES AND ZONE-SPECIFIC STANDARDS). AND WITH ANY SPECIAL SETBACKS ESTABLISHED FOR SPECIFIC USES BY THIS TITLE 2. ALL SETBACKS SHALL BE OPEN AND UNOBSTRUCTED FROM THE GROUND UPWARD, EXCEPT FOR TREES AND OTHER PLANT MATERIALS, AND EXCEPT AS PROVIDED IN THIS SECTION.
- B. EXEMPTIONS FROM SETBACK REQUIREMENTS. THE MINIMUM SETBACK REQUIREMENTS OF THIS TITLE SHALL APPLY TO ALL USES/STRUCTURES, EXCEPT FOR THE FOLLOWING: 1. FENCES OR WALLS CONSTRUCTED WITHIN THE HEIGHT LIMITATIONS OF THIS TITLE: 2. DECKS, WITH OR WITHOUT HAND RAILS, STEPS, TERRACES, AND OTHER SITE DESIGN ELEMENTS THAT ARE PLACED DIRECTLY UPON THE FINISH GRADE AND ARE UP TO 24 INCHES ABOVE THE SURROUNDING FINISH GRADE.
- LIMITATIONS ON USE OF SETBACKS, REQUIRED SETBACK AREAS SHALL ONLY BE USED AS FOLLOWS: 1. STRUCTURES. REQUIRED SETBACK AREA SHALL NOT BE OCCUPIED STRUCTURES OTHER THAN: a. STRUCTURES THAT ARE EXEMPT FROM SETBACK REQUIREMENTS BY SUBSECTION 17.300.020.B. (
- EXEMPTIONS FROM SETBACK REQUIREMENTS) ABOVE; b. N/A 2. N/A 3. STORAGE, FRONT OR STREET SIDE SETBACKS SHALL NOT
- BE USED FOR THE STORAGE OF INOPERABLE VEHICLES, SCRAP. JUNK. OR SIMILAR MATERIALS. MEASUREMENT OF SETBACKS. SETBACKS SHALL BE MEASURED AS
- FOLLOWS, SEE FIGURE 3-1 (LOCATION AND MEASUREMENTS OF SETBACKS) BELOW 1. FRONT SETBACK. THE FRONT SETBACK SHALL BE
  - MEASURED AT RIGHT ANGLES FROM THE NEAREST POINT ON THE FRONT PROPERTY LINE TO THE NEAREST WALL OF THE STRUCTURE, EXCEPT AS FOLLOWS:
  - a. CORNER PARCELS. THE SETBACK MEASUREMENT OF CORNER PARCELS SHALL BE TAKEN FROM THE NEAREST POINT ON THE STRUCTURE TO THE NEAREST POINT OF THE PROPERTY LINE ADJOINING THE STREET THAT IS OPPOSITE THE REAR YARD.

b. N/A 2. SIDE AND STREET SIDE SETBACK. THE SIDE AND STREET SIDE SETBACKS SHALL BE MEASURED AT RIGHT ANGLES FROM THE NEAREST POINT ON THE SIDE PROPERTY LINE TO THE NEAREST WALL OF THE STRUCTURE, ESTABLISHING A SETBACK LINE PARALLEL TO THE SIDE PROPERTY LINE THAT EXTENDS BETWEEN THE FRONT AND REAR YARDS. 3. REAR SETBACK. THE REAR SETBACK SHALL BE MEASURED AT RIGHT ANGLES FROM THE NEAREST POINT ON THE REAR PROPERTY LINE TO THE NEAREST WALL OF THE STRUCTURE. ESTABLISHING A SETBACK LINE PARALLEL TO THE REAR PROPERTY LINE THAT EXTENDS BETWEEN THE SIDE YARDS

. ALLOWED PROJECTIONS INTO SETBACKS, ARCHITECTURAL FEATURES MAY EXTENDINTO THE FRONT, SIDE, AND REAR SETBACKS, AS WELL AS REQUIRED OPEN SPACE, IN COMPLIANCE WITH TABLE 3-1 (ALLOWED PROJECTIONS INTO SETBACKS) BELOW

ALLOWE	TABLE 3- D PROJECTIONS	1 INTO SETBACKS	
	MAXIMUM PI	ROJECTION INTO	SETBACK(1)
AWNINGS, CANOPIES - NON-RESIDENTIAL ZONE	FRONT 3' OR 25% OF REQ'D SETBACK, WHICHEVER IS GREATER	SIDE 3' OR 25% OF REO'D SETBACK, WHICHEVER IS GREATER	REAR 3' OR 25% OF REQ' SETBACK, WHICHEVER IS GREATER
STAIRWAYS OPEN AND UNENCLOSED BY OTHER THAN RAILINGS • NON-RESIDENTIAL ZONE	3' OR 25% OF REQ'D SETBACK, WHICHEVER IS GREATER	5.3857642342	3' OR 25% OF REQ' SETBACK, WHICHEVER IS GREATER
BALCONIES, BAY WINDOWS - NON-RESIDENTIAL ZONE	3' OR 25% OF REQ'D SETBACK, WHICHEVER IS GREATER	3' OR 25% OF REQ'D SETBACK, WHICHEVER IS GREATER	3' OR 25% OF REQ SETBACK, WHICHEVER IS GREATER
CORNICES	18 INCHES	18 INCHES	18 INCHES
EAVES, ROOF OVERHANGS, AT LEAST 8 FEET ABOVE GRADE (FOR PRIMARY STRUCTURES; NOT ACCESSORY STRUCTURES)	24 INCHES	24 INCHES	24 INCHES
EQUIPMENT- AIR CONDITIONERS, GROUND MOUNTED WATER HEATERS, AND FIXED COUNTERS, AND SIMILAR EQUIPMENT	24 INCHES	24 INCHES	24 INCHES
PORCH, DECK, OR LANDING - COVERED BUT OTHERWISE UNENCLOSED (NOT HIGHER THAN THE FIRST STORY LINE), WITH A WIDTH NO GREATER THAN 9 FEET OR 25% OF THE SUBJECT WALL SEGMENT ON WHICH THE PORCH, DECK OR LANDING IS ATTACHED. WHICHEVER IS GREATER	5 FEET (INCLUDING EAVES OR OTHER PROJECTION)	NONE	5 FEET (INCLUDIN EAVES OR OTHEF PROJECTION)
PORCH, DECK, LANDING OR RAMP - UNCOVERED, MORE THAN 2 FEET ABOVE GRADE.	5 FEET	NONE	NONE
PORCH, DECK, LANDING OR RAMP, UNCOVERED 2 FEET OR LESS ABOVE GRADE	NO LIMIT	NO LIMIT	NO LIMIT
PORTE COCHERE OR CARPORT, WITH NO LESS THAN 7 FEET OF VERTICAL CLEARANCE ABOVE DRIVEWAY	NONE	TO WITHIN 6 INCHES OF AN INTERIOR SIDE PROPERTY LINE ONLY	5 FEET
UTILITY RISERS, RAIN GUTTERS, DOWNSPOUTS, AND THE LIKE	12 INCHES	12 INCHES	12 INCHES
WING WALL NOT EXCEEDING 12 FEET IN HEIGHT	NONE	TO WITHIN & INCHES OF AN INTERIOR SIDE PROPERTY LINE ONLY	NONE
WING WALL HIGHER THAN 12 FEET IN HEIGHT	NONE	NONE	NONE
LANDSCAPE SUPPORT STRUCTURES - GREEN SCREENS, LATTICES, AND SIMILAR STRUCTURES	12 INCHES	12 INCHES	12 INCHES

#### NOTES

(1) SEE CHAPTER 15.550 (VARIANCES AND ADMINISTRATIVE MODIFICATIONS). (2) UNLESS OTHERWISE NOTED IN THE ABOVE TABLE. FOR A STRUCTURE WITH A SETBACK OF 2 FEET OR LESS, NO PROJECTIONS INTO THE SETBACK IS PERMITTED. IF THE SETBACK IS GREATER THAN 2 FEET, NO PROJECTION SHALL ENCROACH INTO THE 2-FOOT SETBACK.

(3) THESE STRUCTURES SHALL MAINTAIN A CLEARANCE OF 5 FEET FROM THE INTERSECTION OF A DRIVEWAY OR ALLEY WITH A PUBLIC STREET RIGHT-OF-WAY AND 15 FEET FROM THE INTERSECTION OF TWO PUBLIC STREET RIGHTS-OF-WAY.

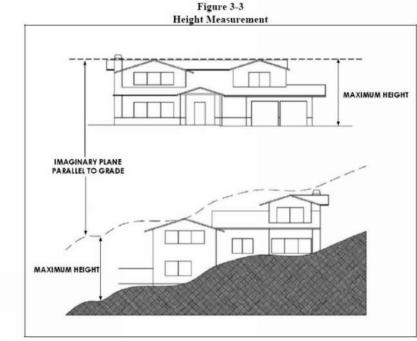
SETBACK REQUIREMENTS FOR SPECIFIC STRUCTURES. HOT TUBS, SWIMMING POOLS. SPAS AND OTHER WATER ELEMENTS INTENDED FOR HUMAN OCCUPANCY MAY BE ALLOWED WITHIN A REQUIRED REAR OR SIDE SETBACK. PROVIDED THAT IT IS LOCATED NO CLOSER THAN 3 FEET TO ANY PROPERTY LINE. PONDS AND OTHER WATER ELEMENTS NOT INTENDED FOR HUMAN OCCUPANCY, AND THAT DO NOT EXCEED A HEIGHT OF 24 INCHES, MAY BE PLACED WITHIN ANY REQUIRED SETBACK. (ORD. NO. 2005-007 § 1 (PART); ORD. NO.2017-014 § 2)

### BUILDING HEIGHT METHODOLOGY

CCMC 17.300.025 HEIGHT MEASUREMENT AND HEIGHT LIMIT EXCEPTIONS ALL STRUCTURES SHALL MEET THE FOLLOWING STANDARDS RELATING TO HEIGHT, EXCEPT FOR FENCES AND WALLS, WHICH COMPLY TO 17,300.030 (FENCES, HEDGES, AND WALLS) AND THE ALLOWABLE EXCEPTIONS IDENTIFIED IN SUBSECTION 17.300.025.C

- MAXIMUM HEIGHT: THE HEIGHT OF STRUCTURES SHALL NOT EXCEED THE STANDARD ESTABLISHED BY THE APPLICABLE ZONING DISTRICT IN ARTICLE 2. (ZONING DISTRICS, ALLOWABLE LAND USES, AND ZONE SPECIFIC STANDARDS).
- HEIGHT MEASUREMENT: THE MAXIMUM ALLOWABLE HEIGHT SHALL BE MEASURED AS THE VERTICAL DISTANCE FROM THE EXISTING GRADE OF THE SITE TO AN IMAGINARY PLANE LOCATED THE ALLOWED NUMBER OF FEET ABOVRE AND PARALLEL TO THE GRADE. SEE FIGURE 3-3 (HEIGHT MEASUREMENT) AT TOP OF NEXT PAGE. "EXISTING GRADE" SHALL BE ESTABLISHED BY THE DIRECTOR. CONSISTENT WITH PARCELS IN THE IMMEDIATE VICINITY, AND SHALL

NOT BE, NOR HAVE BEEN, ARTIFICIALLY RAISED TO GAIN ADDITIONAL BUILDING HEIGHT.



EXCEPTIONS TO HEIGHT LIMITS. EXCEPTIONS TO THE HEIGHT LIMITS IDENTIFIED IN THIS TITLE SHALL APPLY IN THE FOLLOWING MANNER, EXCEPT WHERE OTHERWISE REQUIRED BY THE BUILDING CODE: 1. NOTWITHSTANDING ANY OTHER REGULATION OF THIS TITLE, THE COUNCIL, AFTER CONSIDERATION OF RECOMMENDATION BY THE

COMMISSION, MAY BY RESOLUTION ESTABLISH A MAXIMUM BUILDING HEIGHT FOR NEW CONSTRUCTION IN THE REDEVELOPMENT PROJECT AREA COMPONENT AREAS 1 THROUGH 3, CONSISTENT WITH THE DESIGN FOR DEVELOPMENT ESTABLISHED BY THE REDEVELOPMENT AGENCY.

2. ROOF-MOUNTED STRUCTURES FOR THE HOUSING OF MECHANICAL EQUIPMENT, ANTENNAS, ELEVATORS, STAIRWAYS, TANKS, TOWERS, VENTILATING FANS, OR SIMILAR EQUIPMENT REQUIRED TO OPERATE AND MAINTAIN THE STRUCTURE, SHALL BE ALLOWED AS FOLLOWS, EXCEPT THAT WHERE THE REQUIREMENTS FOR SCREENING PURSUANT TO SECTION 17.300.035.C.1. CONFLICT WITH THE REQUIREMENTS OF THIS SECTION 17.300.025, SUCH CONFLICT SHALL BE

- RESOLVED AT THE DISCRETION OF THE DIRECTOR A. IN MULTIPLE-FAMILY RESIDENTIAL ZONES. UP TO A MAXIMUM OF 13 FEET 6 INCHES ABOVE THE HEIGHT OF A BUILDING. ANY ROOF MOUNTED STRUCTURE OR EQUIPMENT EXCEEDING THE PARAPET HEIGHT SHALL BE SET BACK 5 FEET FROM THE EDGE OF THE STRUCTURE, EXCEPT STAIRS SHALL NOT BE REQUIRED TO BE SET BACK FROM THE EDGE OF THE STRUCTURE. B. IN NON-RESIDENTIAL ZONES, UP TO A MAXIMUM OF 13 FEET 6 INCHES ABOVE THE HEIGHT OF A BUILDING; EXCEPT THAT ELEVATORS SHALL BE ALLOWED UP TO A MAXIMUM OF 19 FEET 6
- INCHES ABOVE THE HEIGHT OF A BUILDING. 3. FIRE OR PARAPET WALLS MAY EXTEND UP TO 5 FEET ABOVE TH BUILDING HEIGHT LIMIT OF THE STRUCTURE, AND AS MAY OTHERWISE BE REQUIRED BY THE CALIFORNIA BUILDING CODE
- 4. IN NON-RESIDENTIAL ZONES, ARCHITECTURAL FEATURES THAT ARE NON-HABITABLE DESIGN ELEMENTS, SUCH AS SPIRES, TURRETS, BELL TOWERS, CLOCK TOWERS, CUPOLAS AND SIMILAR DESIGN ELEMENTS AS DETERMINED BY THE DIRECTOR, SHALL BE ALLOWED, UP TO A MAXIMUM OF 13 FEET, 6 INCHES ABOVE THE HEIGHT OF A BUILDING, AND ARE LIMITED TO 15% OF THE TOTAL ROOF AREA. 5. CHIMNEYS MAY PROJECT UP TO 4 FEET ABOVE THE HEIGHT OF THE BUII DING

6. IN NON-RESIDENTIAL ZONES, TRELLIS AND CARPORT-STYLE STRUCTURES INSTALLED ON A PARKING STRUCTURE ROOF DECK FOR THE PURPOSE OF SUPPORTING SOLAR PANELS AND SOLAR EQUIPMENT AND INSTALLATIONS SHALL BE ALLOWED UP TO A MAXIMUM OF 13 FEET 6 INCHES ABOVE THE HEIGHT OF A BUILDING. (ORD. NO. 2005-007 § 1 (PART); ORD. NO. 2018-012 § 2)

	MAX % OF ROOF AREA	MAX. PROJECTION ABOVE HT LIMIT			
MECHANICAL EQUIPMENT, ANTENNAS, STAIRWAYS, TANKS, TOWERS, & VENTILATING FANS.		13 FT 6 IN			
ELEVATORS		19 FT 6 IN			
FIRE OR PARAPET WALLS		5 FT			
SPIRES, TURRETS, BELL TOWERS, CLOCK TOWERS, & CUPOLAS	15%	13 FT 6 IN			
CHIMNEYS	Ξ.	4 FT			
TRELLIS & CARPORT-STYLE STRUCTURES INSTALLED ON A PARKING STRUCTURE ROOF DECK FOR PURPOSE OF SUPPORTING SOLAR PANELS		13 FT 6 IN			

### COMMERCIAL PARKING STANDARDS

CULVER CITY MUNICIPAL CODE - OFF STREET PARKING AND LOADING CCMC 17.320.020 NUMER OF PARKING SPACES REQUIRED.

THERE SHALL BE NO MINIMUM REQUIRED PARKING FOR ANY USE, EXCEPT AS MAY BE DETERMINED THROUGH A COMPREHENSIVE PLAN. ANY PARKING PROVIDED VOLUNTARILY OR OTHERWISE, SHALL COMPLY WITH THE DEVELOPMENT STANDARDS OUTLINED IN THIS CHAPTER OR OTHER APPLICABLE SECTION OF THIS TITLE.

CCMC 17.320.030 ACCESSIBLE PARKING

A. NUMBER OF SPACES AND DESIGN STANDARDS. PARKING SPACES FOR PERSONS WITH DISABILITIES SHALL BE ROVIDED IN COMPLIANCE WITH THE UNIFORM BUILDING CODE AND THE FEDERAL ACCESSIBILITY GUIDELINE.

### PARKING SUMMARY

PROPOSED PARKING PROVIDED: 91 SPACES (INCLUDES ADA, EV AND LOADING) PROVIDED COMPACT SPACES: 22 22/91 = 24.2%. MAXIMUM PERCENTAGE OF COMPACTS = 25%. OK ✓ PROVIDED STANDARD SPACES (INCLUDING ADA & EV): 25 PROVIDED REDUCED SIZE STALLS BY ADMIN MOD 10% REDUCTION REQUEST : 43 MIN. NUMBER OF REQUIRED ACCESSIBLE SPACES: 6 (INCLUDING 3 STANDARD, ONE VAN ACCESSIBLE, 1 EVCS STANDARD ACCESSIBLE, 1 EVCS VAN ACCESSIBLE)

#### MIN. NUMBER OF EVCS: 91 X 10% = 9.1 => 10 SPACES MIN. NUMBER OF EV READY: 91 X 10% = 9.1 => 10 SPACES MIN. NUMBER OF EV CAPABLE: 91 X 20% = 18.2 => 19 SPACES MIN. NUMBER OF ACCESSIBLE EVCS: 1 VAN ACCESSIBLE, 1 STANDARD ACCESSIBLE

PARKING LEVEL 3 COMPACT STALLS STANDARD STALLS REDUCED SIZE STALLS PARKING LEVEL 2 COMPACT STALLS STANDARD STALLS

- REDUCED SIZE STALLS PARKING LEVEL 1
- COMPACT STALLS STANDARD STALLS
- REDUCED SIZE STALLS ADA STALLS
- EVCS LOADING
- SUMMARY: COMPACT STALLS - 22 STALLS STANDARD STALLS - 19 STALL REDUCED SIZE STALLS - 43 STALLS - 4 STALLS (3 STANDARD, 1 VAN) ADA STALLS -2 STALLS (1 STANDARD, 1 VAN) - 91 STALLS (INCLUDES ADA, EV AND LOADING)
- EVCS TOTAL:

### BICYCLE PARKING STANDARDS

- CCMC 17.320.045 BICYCLE PARKING A. NUMBER OF BICYCLE SPACES REQUIRED. OFFICE USE:
- SHORT-TERM SPACES REQUIRED 1 PER 10,000 SQ. FT LONG-TERM SPACES REQUIRED: 1 PER 5,000 SQ. FT. RESTAURANT AND BAR USE SHORT-TERM SPACES REQUIRED 1 PER 2,000 SQ. FT. LONG-TERM SPACES REQUIRED: 1 PER 2,000 SQ. FT.
- A MINIMUM OF 2 SHORT-TERM AND 2 LONG-TERM SPACES SHALL BE PROVIDED IN ALL CASES. B. BICYCLE PARKING DESIGN. 1. PARKING EQUIPMENT. EACH BICYCLE PARKING SPACE SHALL INCLUDE A
- STATIONARY PARKING DEVICE, AS INDICATED BELOW, TO ADEQUATELY SECURE THE BICYCLE A. SHORT-TERM BICYCLE PARKING. SHORT-TERM BICYCLE PARKING SHALL CONSIST OF BICYCLE RACKS THAT SUPPORT THE BICYCLE FRAME AT TWO POINTS, INCLUDING INVERTED - U" BICYCLE RACKS OR SIMILAR. RACKS THAT SUPPORT ONLY THE WHEEL OF THE BICYCLE ARE NOT PERMISSIBLE.
- I. RACKS SHALL ALLOW FOR THE BICYCLE FRAME AND AT ONE WHEEL TO BE LOCKED TO THE RACKS. II. THE RACK SHALL ALLOW FOR THE USE OF A CABLE AS WELL AS A U-SHAPED LOCK.
- III. IF BICYCLES CAN BE LOCKED TO EACH SIDE OF THE RACK, EACH SIDE SHALL BE COUNTED TOWARD A REQUIRED SPACE. IV. RACKS SHALL BE SECURELY ANCHORED TO A PERMANENT SURFACE. V. IF MORE THAN 20 SHORT-TERM BICYCLE PARKING SPACES ARE PROVIDED. AT LEAST 50 PERCENT SHALL BE COVERED BY A ROOF OR OVERHANG. B. LONG-TERM BICYCLE PARKING. LONG-TERM BICYCLE PARKING SHALL BE
- SECURED FROM THE GENERAL PUBLIC AND ENCLOSED ON ALL SIDES TO PROTECT BICYCLES FROM INCLEMENT WEATHER. I. ACCEPTABLE EXAMPLES OF LONG-TERM BICYCLE PARKING INCLUDE INDIVIDUAL BICYCLE LOCKERS, BIKE RACKS WITHIN A BICYCLE ROOM, AND
- BICYCLE CAGES. II. EXCEPT IN THE CASES OF LOCKERS, ALL LONG-TERM BICYCLE PARKING SHALL PROVIDE MEANS OF SECURING THE BICYCLE FRAME AT TWO POINTS TO A SECURELY ANCHORED RACK.
- PARKING LAYOUT AND SITING REQUIREMENTS. EACH BICYCLE SPACE SHALL BE A MINIMUM OF 2 FEET IN WIDTH. A. BICYCLE SPACES SHALL BE SEPARATED FROM MOTOR VEHICLE PARKING SPACES BY AT LEAST 5 FEET OF OPEN AREA, BICYCLE SPACES SHALL BE CONVENIENTLY LOCATED AND GENERALLY WITHIN PROXIMITY TO THE MAIN ENTRANCE OF A STRUCTURE. B. SPACES SHALL NOT BE REQUIRED TO RELY ON STAIRS OR ESCALATORS FOR ACCESS. FOR SPACES ALLOWED ABOVE OR BELOW THE GROUND FLOOR.
- ELEVATORS SHALL BE A MINIMUM OF 6 FEET, 2 INCHES TO ACCOMMODATE A STANDARD ADULT BICYCLE WITH BOTH WHEELS ON THE FLOOR. C. SHORT-TERM SPACES SHALL BE LOCATED ON THE GROUND FLOOR, OUTSIDE OF THE BUILDING OR WITH DIRECT ACCESS TO PUBLIC RIGHT OF WAY, NO MORE THAN 50 FEET OF WALKING DISTANCE FROM THE MAIN PEDESTRIAN
- ENTRANCE/ACCESS TO THE BUILDING, AND WITH MAXIMUM VISIBILITY FROM THE PEDESTRIAN ACCESS D. LONG-TERM SPACES SHALL BE LOCATED IN ONE OF THE FOLLOWING LOCATIONS, OR IN A COMBINATION THEREOF:
- I. ON THE GROUND FLOOR WITHIN 50-FEET OF THE MAIN ENTRANCE, WITH SAFE AND CONVENIENT ACCESS FROM PUBLIC RIGHT OF WAY AND LOBBY II. ON A FLOOR ABOVE OR BELOW THE GROUND FLOOR, INCLUDING A PARKING STRUCTURE, WITHIN 50-FEET OF THE ELEVATOR, WITH SAFE, CONVENIENT,
- AND DEDICATED ACCESS BETWEEN THE BICYCLE PARKING AND THE ELEVATOR. 3. PARKING DIMENSIONAL REQUIREMENTS. A. SHORT-TERM AND LONG-TERM SPACES SHALL BE A MINIMUM OF 2 FEET WIDE
- BY 6 FEET LONG AND SHALL BE SPACED AT MINIMUM 30 INCHES APART AND 30 INCHES FROM A WALL OR OTHER OBSTRUCTION ON ANY SIDE. A MINIMUM OF 7 FEET OF VERTICAL CLEARANCE SHALL BE PROVIDED AT ALL BICYCLE PARKING SPACES
- B. IF MORE THAN 20 LONG-TERM SPACES ARE PROVIDED, A MINIMUM 100 SQUARE FEET OF WORKSPACE IS REQUIRED ADJACENT TO THE BICYCLE PARKING AREA FOR BICYCLE MAINTENANCE WORK; THE WORKSPACE SHALL BE ADJACENT TO THE AREA WITH THE MOST BICYCLE SPACES IF SPACES ARE PROVIDED IN MORE THAN ONE AREA WITHIN THE SITE.

### BICYCLE PARKING SUMMARY

- REQUIRED NUMBER OF BICYCLE SPACES: OFFICE USE TOTAL GROSS OFFICE AREA (SEE CALCULATION ABOVE): 30,253 SF SHORT-TERM SPACES REQUIRED AT 1:10,000: 3 LONG-TERM SPACES REQUIRED AT 1:5,000 : 6
- RESTAURANT AND BAR USE: TOTAL GROSS RESTAURANT/BAR AREA 4,820 SF SHORT-TERM SPACES REQUIRED AT 1:2,000: 2.4 LONG-TERM SPACES REQUIRED: AT 1:2,000: 2.4
- TOTAL SHORT-TERM SPACES REQUIRED: 5 TOTAL LONG-TERM SPACES REQUIRED: 8
- PROPOSED (16 SPACES):
- 11 LONG-TERM BICYCLE PARKING SPACES IN GARAGE LEVEL P2 SHARED BETWEEN OFFICE AND FOOD RETAIL / COMMERCIAL USES. 3 SHORT-TERM OFFICE USE BICYCLE PARKING SPACES WITHIN SITE ALONG SCHAFFFR.
- 2 SHORT-TERM RETAIL USE BICYCLE PARKING SPACES WITHIN SITE ALONG
- NATIONAL

- 7 STALLS - 9 STALLS - 16 STALLS
- 8 STALLS - 9 STALLS
- 16 STALLS - 7 STALLS - 1 STALL
- 11 STALLS - 4 STALLS (3 STANDARD, 1 VAN) - 2 STALLS (1 STANDARD, 1 VAN) - 1

### PROJECT SUSTAINABILITY FEATURES

IN ADDITION TO MEETING THE REQUIREMENTS OF THE CALIFORNIA TITLE-24 ENERGY CODE AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), THE 8570 NATIONAL IS A NEW SMALL COMMERCIAL CATEGORY 3 PROJECT PER CULVER CITY'S REACH CODES STANDARDS. PER REACH CODES STANDARDS, THE PROJECT WILL COMPLY WITH EIGHTY PERCENT OF ALL ITEMS APPLICABLE TO THE SPECIFIC PROJECT.

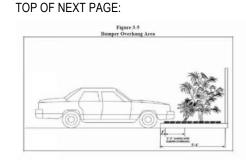
PROPOSED SUSTAINABILITY MEASURES INCLUDE:

- THE PROJECT IS LOCATED WITHIN A SHORT WALK TO THE DOWNTOWN CULVER CITY METRO EXPO (E) LINE LIGHT RAIL STOP WHICH WILL HELP TO ENCOURAGE TENANTS TO USE PUBLIC TRANSPORTATION.
- LOCATED IN A TRANSIT PRIORITY AREA. THE PROJECT WITH PROVIDE A MICROTRANSIT STOP AND MICROMOBILITY ZONE TO FACILITATE USE OF PUBLIC TRANSPORTATION AND SHARED E-SCOOTERS, BIKES, OR OTHER MICROMOBILITY DEVICES.
- SHOWER FACILITIES AND SECURE STORAGE ARE PROVIDED FOR BICYCLE COMMUTERS.
- EVCS STALLS AND EV CAPABLE STALLS ARE PROVIDED AT THE PARKING I EVELS
- EXTERIOR WINDOW SHADING ELEMENTS CONTROL HEAT GAIN AND GLARE, WHILE PROVIDING NATURAL LIGHT AND MAINTAINING VIEWS AND CONNECTIONS TO THE OUTSIDE.
- LANDSCAPING INCORPORATES NEW ON-SITE PERMEABLE GROUND PAVING THAT IS OPEN TO THE SKY AND LOOKS TO PROVIDE DROUGHT TOLERANT LANDSCAPING FOR THE PROJECT.
- EXTENSIVE PV PANEL ARRAY SUPPORTED WITH A ROOFTOP TRELLIS STRUCTURE PROVIDES RENEWABLE ENERGY FOR THE PROJECT.
- A STORMWATER CAPTURE AND REUSE SYSTEM COLLECTS STORMWATER ONSITE AND RECYCLES IT FOR THE PURPOSE OF IRRIGATION.
- EXTENSIVE GREEN ROOF PLANTING AND PRIVATE TENANT BALCONIES PROVIDE VISUAL CONNECTION, GREENERY, AND SCALE ELEMENTS THAT COMPLIMENT NEIGHBORHOOD CHARACTER WHILE PROVIDING OUTDOOR ACCESS FOR TENANTS AND CUSTOMERS.
- SITE PERMEABILITY AND PEDESTRIAN ACCESS IS DESIGNED TO ENHANCE NEIGHBORHOOD CONNECTIVITY.
- RECYCLABLE MATERIAL CONTAINERS WILL BE PROVIDED AT A DESIGNATED AREA ON THE GROUND FLOOR.

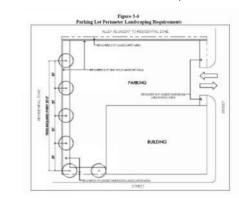
### LANDSCAPE AREA REQUIREMENTS

CCMC 17.310.020 LANDSCAPING SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED BELOW.

- . SETBACKS. ALL SETBACK AND OPEN SPACE AREAS NOT OCCUPIED BY DRIVEWAYS, PARKING AREAS, WALKWAYS, BUILDING PROJECTIONS AND APPROVED HARDSCAPE AREAS, SHALL BE PLANTED, EXCEPT WHERE REQUIRED SETBACK IS SCREENED FROM PUBLIC VIEW. OR IT IS DETERMINED BY THE DIRECTOR THAT PLANTING IS NOT NECESSARY TO FULFILL THE PURPOSES OF THIS CHAPTER
- PARKING AREAS AND PARKWAYS, PARKING AREAS SHALL BE LANDSCAPED IN COMPLIANCE WITH THE FOLLOWING REQUIREMENTS 1. PLANT MATERIALS. PLANT MATERIALS SHALL BE EVENLY DISTRIBUTED THROUGHOUT THE PARKING LOT USING A
- COMBINATION OF TREES, SHRUBS, AND GROUND COVER 2. CURBING. AREAS CONTAINING PLANT MATERIALS SHALL BE BORDERED BY A CONCRETE CURB AT LEAST 6 INCHES HIGH AND 6 INCHES WIDE. ALTERNATIVE BARRIER DESIGN TO PROTECT LANDSCAPED AREAS FROM DAMAGE BY VEHICLES MAY BE APPROVED BY THE DIRECTOR.
- 3. LOCATION OF PLANTED AREA. PARKING LOT LANDSCAPING SHALL BE DESIGNED SO THAT PEDESTRIANS ARE NOT REQUIRED TO CROSS PLANTED AREAS TO REACH BUILDING ENTRANCES FROM PARKED CARS. THIS SHOULD BE ACHIEVED THROUGH PROPER ORIENTATION OF THE PLANTED FINGERS AND ISLANDS.
- 4. BUMPER OVERHANG AREAS. TO INCREASE THE PARKING LOT PLANTED AREA, A MAXIMUM OF 2 FEET OF THE PARKING STALL DEPTH MAY BE PLANTED WITH LOW-GROWTH, HEARTY MATERIALS IN LIEU OF PAVING, ALLOWING A 2-FOOT BUMPER OVERHANG, INCLUDING THE 6-INCH REQUIRED CURBING, WHILE MAINTAINING THE REQUIRED PARKING DIMENSIONS. SEE FIGURE 3-5 (BUMPER OVERHANG AREA) AT



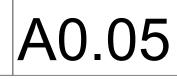
5. PARKING LOT PERIMETER LANDSCAPING. PARKING AREA PERIMETERS SHALL BE PLANTED AS FOLLOWS. THE DIRECTOR MAY ADJUST THE TREE SPACING REQUIREMENTS OF THIS SUBSECTION, BASED UPON THE GROWTH CHARACTERISTICS AND PROPER MAINTENANCE PRACTICES FOR THE SPECIES OF TREES PROPOSED. SEE FIGURE 3-6 (PARKING LOT PERIMETER LANDSCAPING REQUIREMENTS) AT TOP OF NEXT PAGE



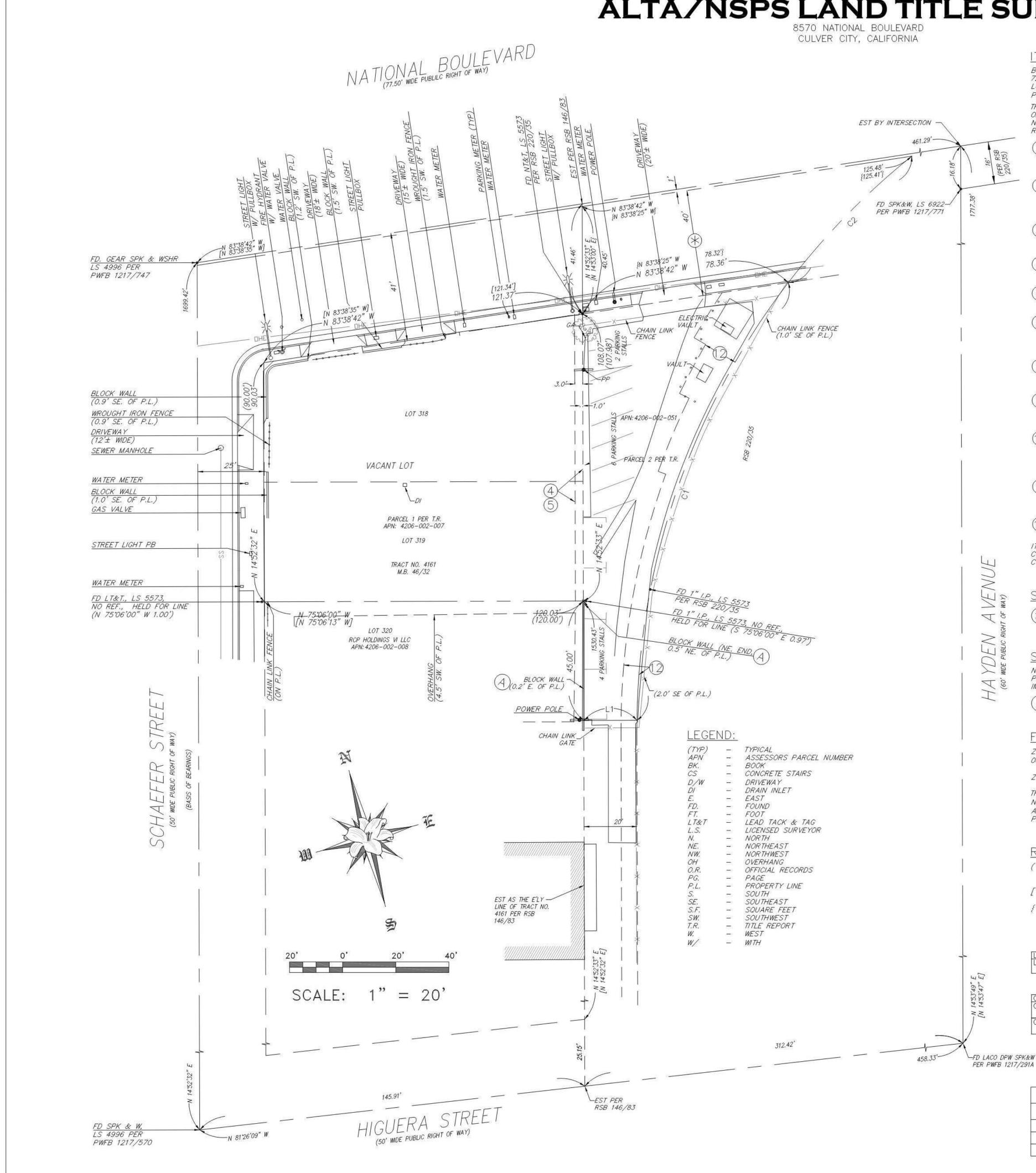
. ADJACENT TO STREETS. PARKING AREAS FOR NON-RESIDENTIAL USES ADJOINING A PUBLIC STREET SHALL BE DESIGNED TO PROVIDE A LANDSCAPED PLANTING STRIP BETWEEN THE STREET RIGHT-OF-WAY AND PARKING AREA WITH A MINIMUM WIDTH OF 5 FEET (INSIDE DIMENSION). I. SCREENING PLANT MATERIALS. THE LANDSCAPING SHALL BE

DESIGNED AND MAINTAINED TO SCREEN CARS FROM VIEW FROM THE STREET, AND PLANT MATERIALS SHALL BE SELECTED TO PROVIDE A MINIMUM HEIGHT OF 36 INCHES AT TIME OF PLANTING. THE DIRECTOR MAY APPROVE SCREENING OF LESS THAN 36 INCHES, WHEN DEEMED NECESSARY TO PROTECT THE PUBLIC INTEREST. SCREENING MATERIALS MAY INCLUDE A COMBINATION OF PLANT MATERIALS, EARTH BERMS, SOLID MASONRY WALLS, RAISED PLANTERS, OR OTHER SCREENING DEVICES TO MEET THE INTENT OF THIS REQUIREMENT; HOWEVER, SCREENING MATERIALS MAY NOT USE ONLY SOLID MASONRY WALLS WITHOUT PLANT COVER. II. SHADE TREES. SHADE TREES SHALL BE PROVIDED AT A MINIMUM RATE OF 1 FOR EVERY 20 LINEAR FEET OF LANDSCAPED AREA AND MAY INCLUDE AREAS OF CLUSTERED TREES.

- SA 00 20 20 20  $\bigcirc$ O Ū D N ЕR BL NATIONAL Ω 8570 20 principal architect TK, KK project manager EG drawn by MA checked by job no. 20010 revisions: no. date NOT FOR CONSTRUCTION SPR SUBMISSION 06/10/2022
- CODE & PROJECT SUMMARY







# **ALTA/NSPS LAND TITLE SURVEY**

ITEMS CORRESPONDING TO SCHEDULE "B"

BY: CHICAGO TITLE COMPANY 725 SOUTH FIGUEROA STREET, SUITE 200, LOS ANGELES, CA 90017 PHONE: (213) 488-4300

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
- EASEMENT FOR THE RIGHT OF BERNARDO J. HIGUELA TO RUN AN IRRIGATION DITCH RECORDING NO: IN BOOK 1334 PAGE 123 OF DEEDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION COULD NOT BE DETERMINED FROM THE RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
- EASEMENT UTILITIES, RECORDED: IN BOOK 99, PAGE 373, OF DEEDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION COULD NOT BE DETERMINED FROM THE RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
- EASEMENT UTILITIES, UTILITIES, RECORDED: IN BOOK 3904, PAGE 266 AND (4)-RECORDING NO: IN BOOK 4464, PAGE 302, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- EASEMENT UTILITIES, POLES AND POLE LINES, RECORDING NO: IN BOOK 16902 PAGE 96 OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT (5)-PROPERTY AND IS PLOTTED HEREON.
- EASEMENT POLES RECORDING DATE: NOVEMBER 28, 1950 RECORDING NO: 2442 OFFICIAL RECORDS. THE EFFECT OF A PARTIAL QUITCLAIM EASEMENT RECORDED: MARCH 7, 2022 AS INSTRUMENT NO. 2022-256599 OF OFFICIAL RECORDS. THIS ITEM NO LONGER AFFECTS THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY, RECORDING DATE: NOVEMBER 26, 1975 RECORDING NO: 4313 OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY, RECORDING DATE: NOVEMBER 24, 1998 RECORDING NO: 98-2155318 OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- MATTERS CONTAINED IN DOCUMENT ENTITLED "COVENANT AND AGREEMENT RESTRICTING USE OF PROPERTY", RECORDED JANUARY 16, 2019 AS INSTRUMENT NO. 2019-48143 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- EASEMENT FOR PUBLIC UTILITIES CONDUITS AND INCIDENTAL PURPOSES RECORDED: FEBRUARY 13, 2019 AS INSTRUMENT NO. 2019-132437 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- EASEMENT FOR PUBLIC UTILITIES RECORDED: JUNE 17, 2020 AS INSTRUMENT NO. 2020-658760 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

ITEMS #'S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

STATEMENT OF POSSIBLE ENCROACHMENTS:

APPARENT EASEMENT FOR INGRESS AND EGRESS, UTILITIES AND APPURTENANCES.

STATEMENT OF POSSIBLE ENCROACHMENTS: NOTE: THE FOLLOWING IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES, STATEMENT OF OWNERSHIP OR POSSESSION IS NEITHER IMPLIED NOR THE INTENT OF THIS LISTING.

(A)— BLOCK WALL (NORTH EAST END) 0.5' NORTHEAST AND (EAST FACE) 0.2' EASTERLY OF P.L.

FLOOD NOTE:

ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06037C1595G, EFFECTIVE ON 12/21/2018.

ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

### REFERENCES

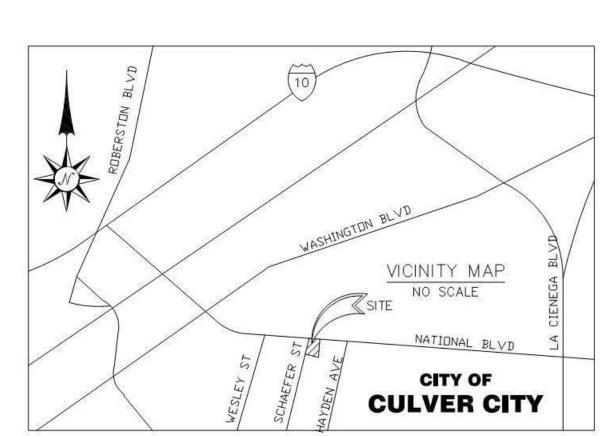
- ( ) INDICATES RECORD DATA PER TRACT NO. 4161 BOOK 46, PAGE 32, OF MAPS
- INDICATES RECORD DATA PER RSB 146/83.
- INDICATES RECORD DATA PER (LLA P2018-087-LLA) RECORDED AS INSTRUMENT NO. 20211013763.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE
C1	177.45' {177.34'}	276.84'	36*43'29" {36*42'08"}
C2	66.65' {66.63'}	276.84'	13*47'39" {13*47'23"}

PARKING SP	ACE TABLE				
TYPE OF SPACE	TOTAL EXISTING				
STANDARD	12				
HANDICAP	0				
TOTAL	12				

ORDER NO.: 00179349-994-LT2-JC TITLE OFFICER: JORDAN CURIEL DATED: JUNE 3, 2022





LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CULVER CITY, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOTS 318 AND 319 OF TRACT NO. 4161, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 46, PAGE 32, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

#### PARCEL 2:

THAT PORTION OF THE WEST 12 ACRES OF LOT 9 OF THE SUBDIVISION OF THE SOUTHERN PART OF RANCHO RINCON DE LOS BUEYES, IN THE CITY OF CULVER CIT COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 53, PAGE 25 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS FOLLOWS:

BEGINNING IN THE WEST LINE OF SAID LOT, DISTANT NORTH 14'53' 00" EAST, 901.2. FEET FROM THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTH 14\* 53'00"EAS ALONG SAID WEST LINE TO THE NORTHWEST CORNER OF SAID LOT; THENCE ALONG THE NORTHERLY LINE OF SAID LOT, SOUTH 83'38'25" EAST, 125.41 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 276.84 FEET, WHICH CURVE IS TANGENT TO A LINE PARALLEL WITH AND 20.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF SAID LOT, DISTANCE OF 248.22 FEET TO SAID PARALLEL LINE; THENCE ALONG SAID PARALLE LINE SOUTH 14" 53'00" WEST, TO A LINE PARALLEL WITH THE SOUTH LINE OF SAID LOT 9, WHICH PASSES THROUGH THE POINT OF BEGINNING; THENCE NORTH 81\* 24'50" WEST 20.12 FEET TO THE POINT OF BEGINNING.

#### EXCEPTING THEREFROM:

ALL THAT PORTION OF SAID LOT 9 LYING SOUTHWESTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 320 OF TRACT NO. 4161, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA , AS PER MAP RECORDED IN BOOK 46, PAGE 32 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE ALONG A PROLONGATION OF THE SOUTHWESTERLY LINE OF SAID LOT 320, SOUTH 75'07'00' EAST 20.03 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY LINE OF TRAC NO. 13503, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 278, PAGE 38 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID POINT LYING IN A CUR HAVING A RADIUS OF 276.84 FEET AS SHOWN ON MAP OF SAID TRACT NO. 1350.

SAID LAND IS SHOWN, DESIGNATED AND DESCRIBED AS PARCEL 2 ON THAT CERTAI CERTIFICATE OF COMPLIANCE (LOT LINE ADJUSTMENT NO. LLA P2018-0087-LLA) RECORDED JUNE 29, 2021 AS INSTRUMENT NO. 20211013763 OF OFFICIAL RECORDS

APN: 4206-002-007; 4206-002-051/new

#### SURVEYOR'S NOTES:

- THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED. - THE INFORMATION, COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT. THIS SURVEY ACCURATELY REPRESENTS THE BOUNDARIES AND AREA OF THE PREMISES DENOTED ON THE TITLE ORDER REFERENCED HEREON AND IS THE SAME PROPERTY AS DESCRIBED THEREIN. -AT THE TIME OF SURVEY, NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED UNLESS OTHERWISE NOTED HEREON -NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF THE SURVEY UNLESS OTHERWISE NOTED HEREON. -THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY DOES NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT ONLY. -UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION, THIS IN NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE. -JRN CIVIL ENGINEERS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF ANY THIRD PARTY INFORMATION REFERENCED OR REPRESENTED HEREON. ANY OF SAID INFORMATION SHOWN HEREON HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY. -AS OUTLINED IN SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA "THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR THE

PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED."

#### BASIS OF BEARINGS:

THE BEARING OF N 14'52'32" E ALONG THE CENTERLINE OF SCHAEFER STREET PER RSB 146/83 IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S CERTIFICATE:

TO: REDCAR PROPERTIES LTD AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B1), 7(C), 8, 13, 14, 16, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 13, 2022.

DATE OF PLAT OR MAP: JULY 1, 2022

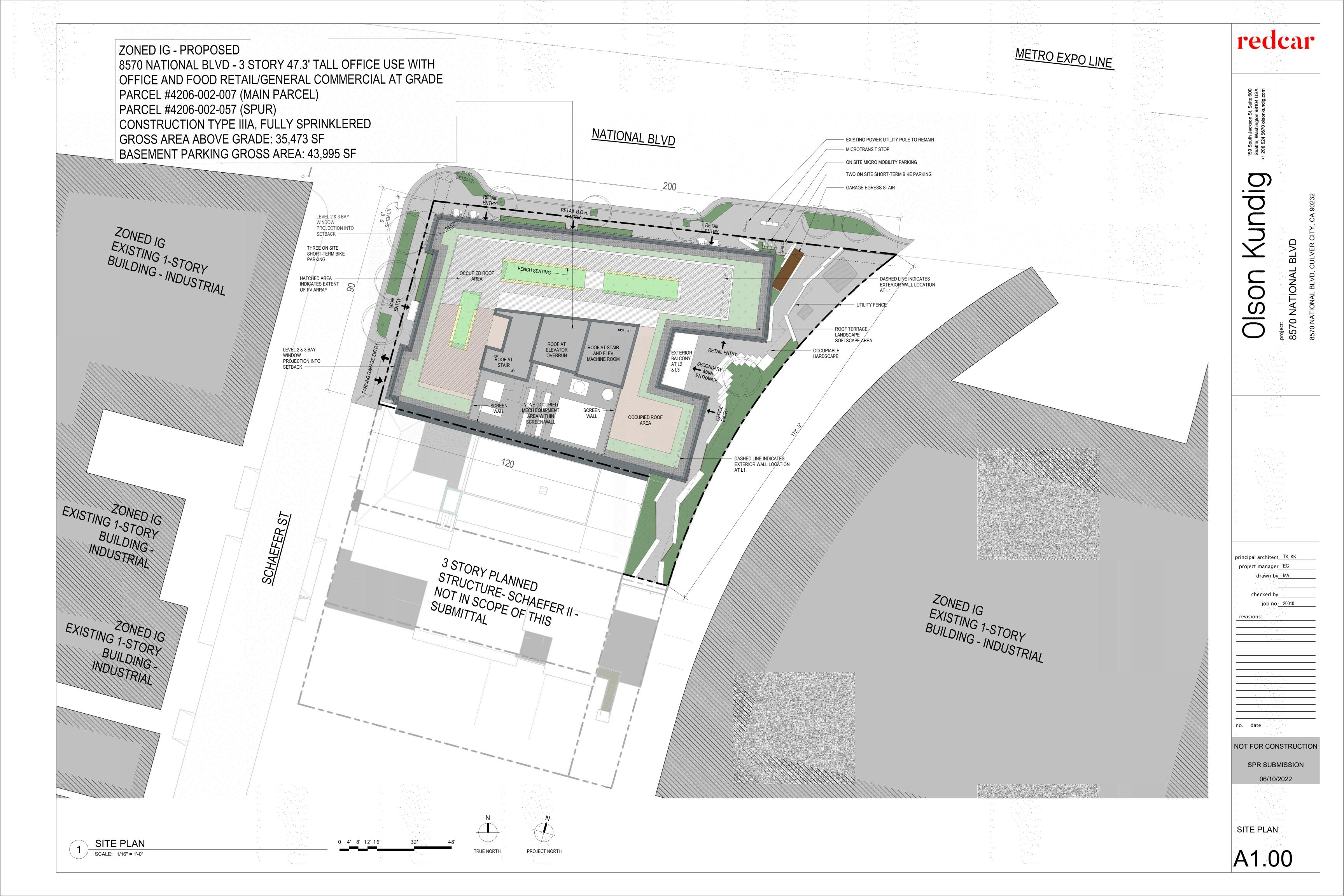
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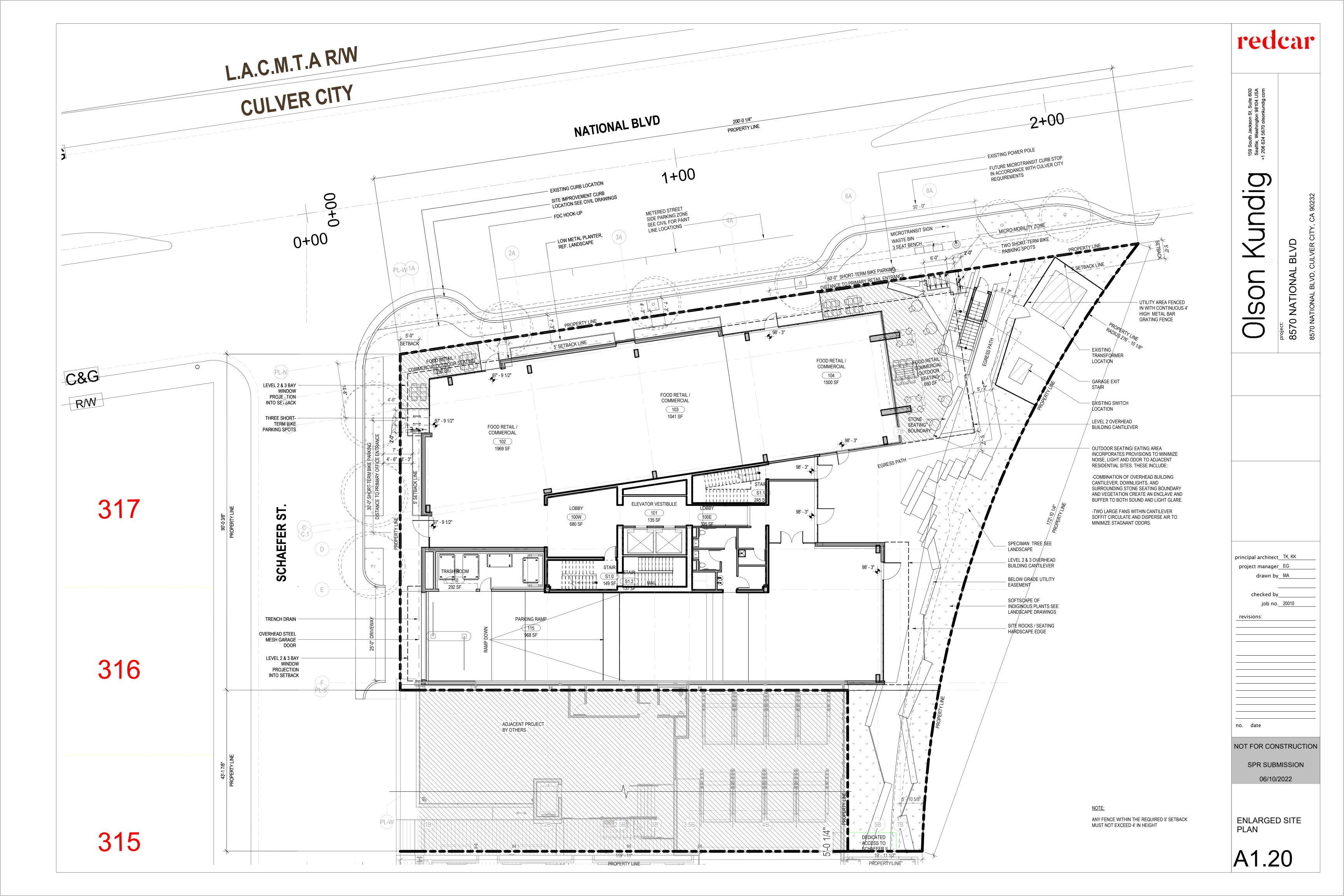


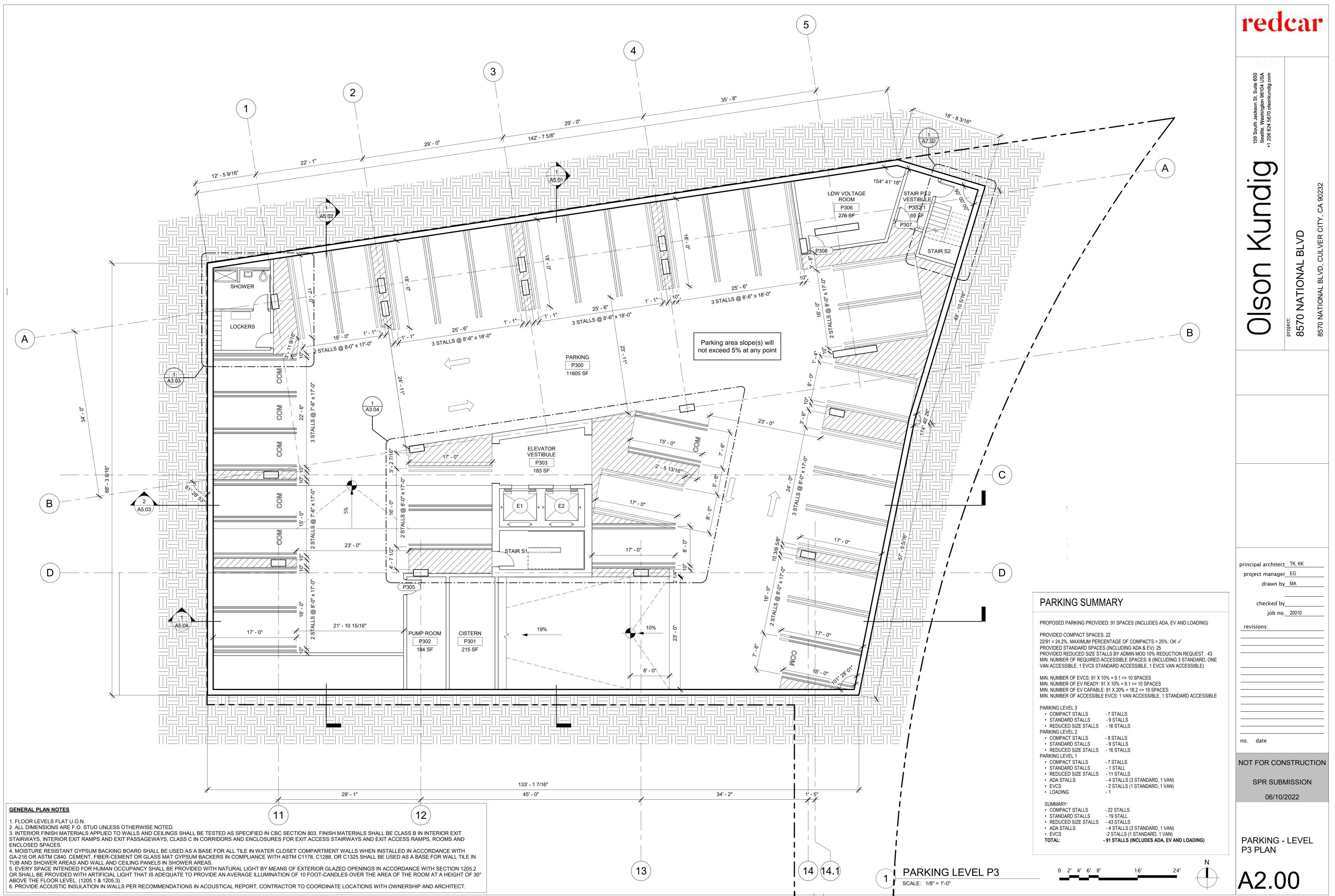
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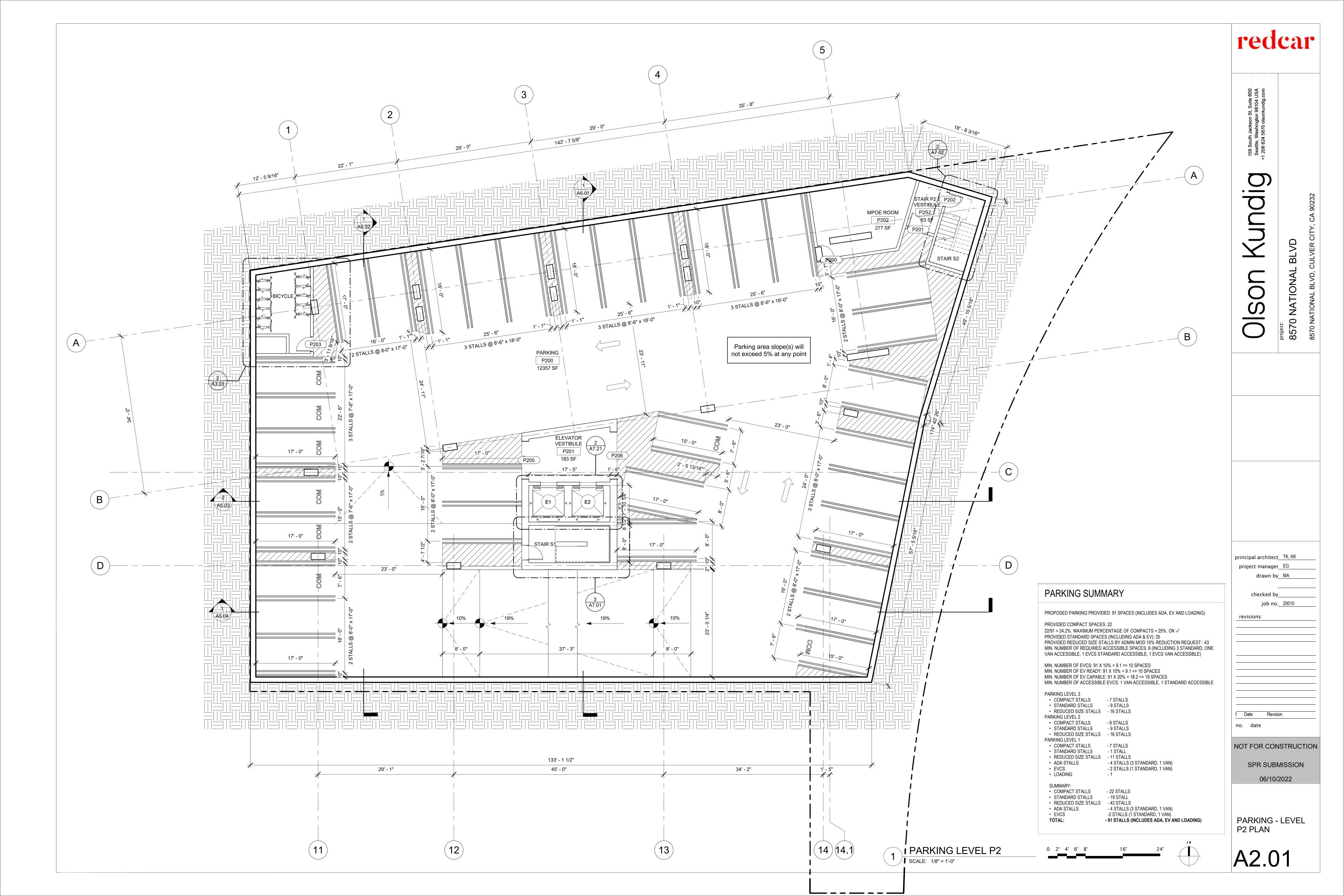
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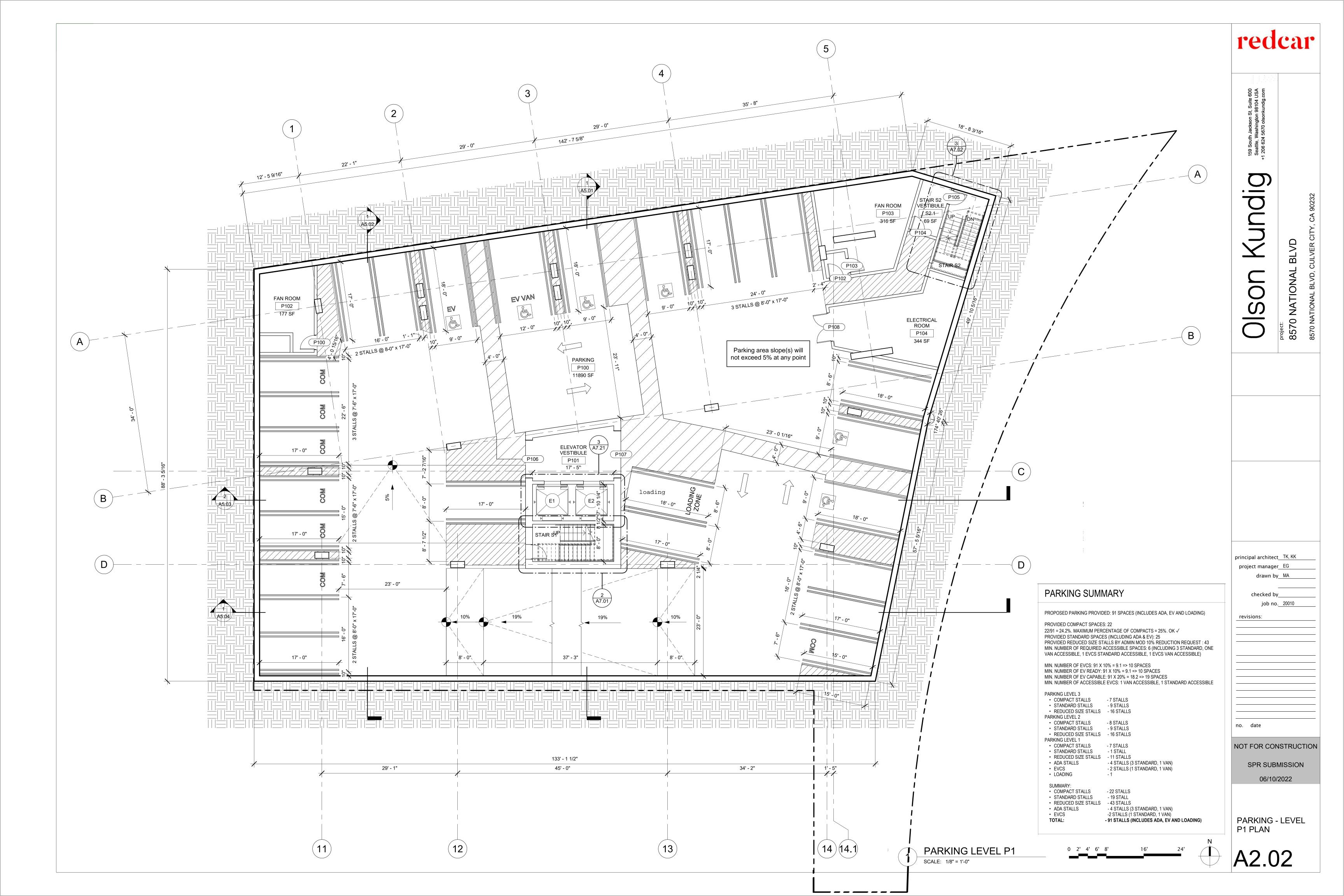
REVISIONS				
х 7. 4	<b>N</b> CIVIL ENGINEERS	232 AVENINA FARRICANTE STE 107	SAN CLEMENTE, CALIFORNIA 92672	JON CRAWLEY (JCRAWLEY@JRNCIVIL.COM)
		PHONF (949) 248-4685	FAX (949) 248-4687 SAN CLEMEN	PROJECT COORDINATOR: JON CRAWLEY
	ALIA/ NSPS LAND III LE SURVEY	8570 NATIONAL BOLLI FVARD	CULVER CITY, CALIFORNIA	REDCAR PROPERTIES LTD
	ALIAINSP		ADDRESS:	CLIENT:
.c Scale: 1" = 20'	DATE: 07/01/22		DRAWN BY: JFC	CHKD, BY: JRN

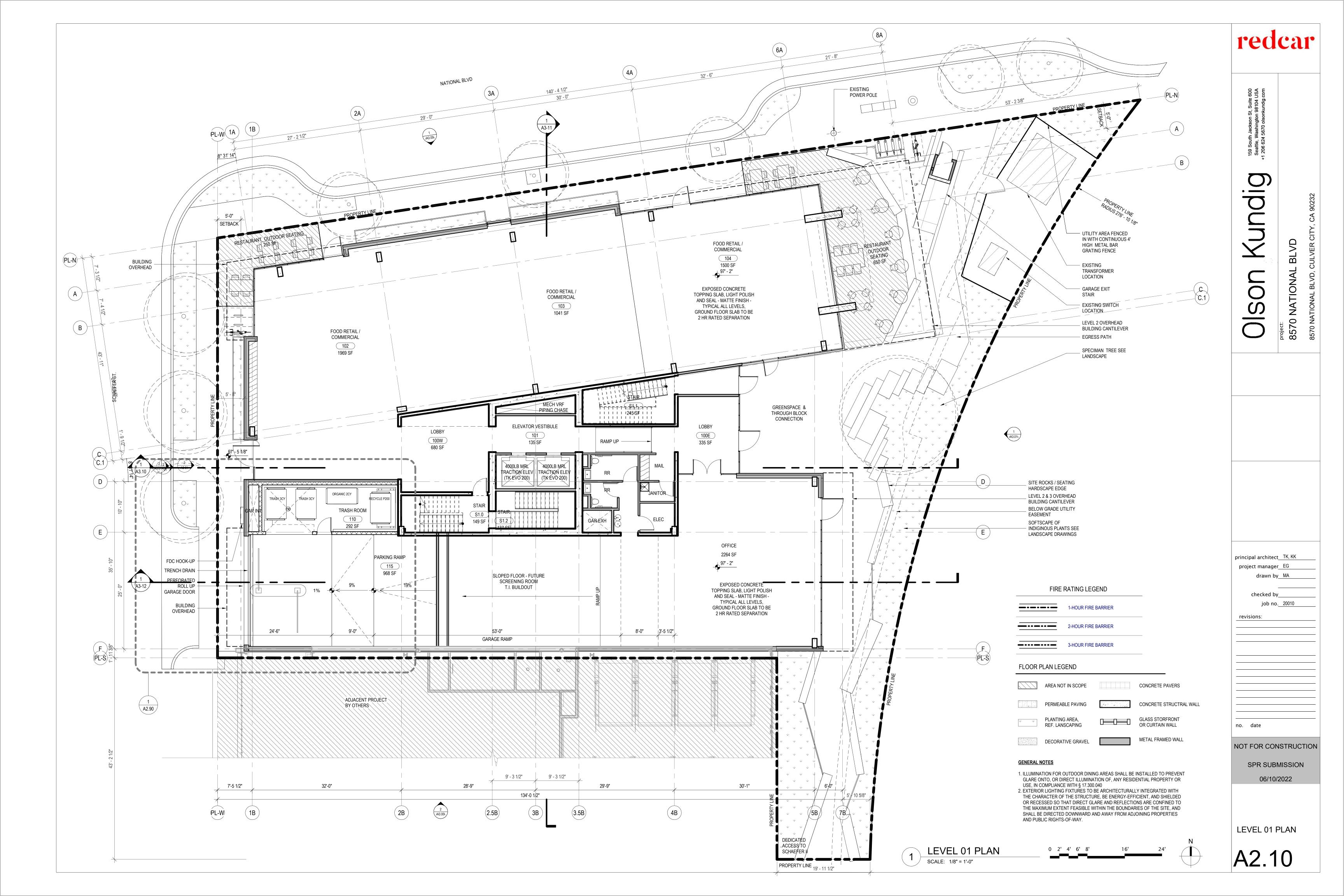


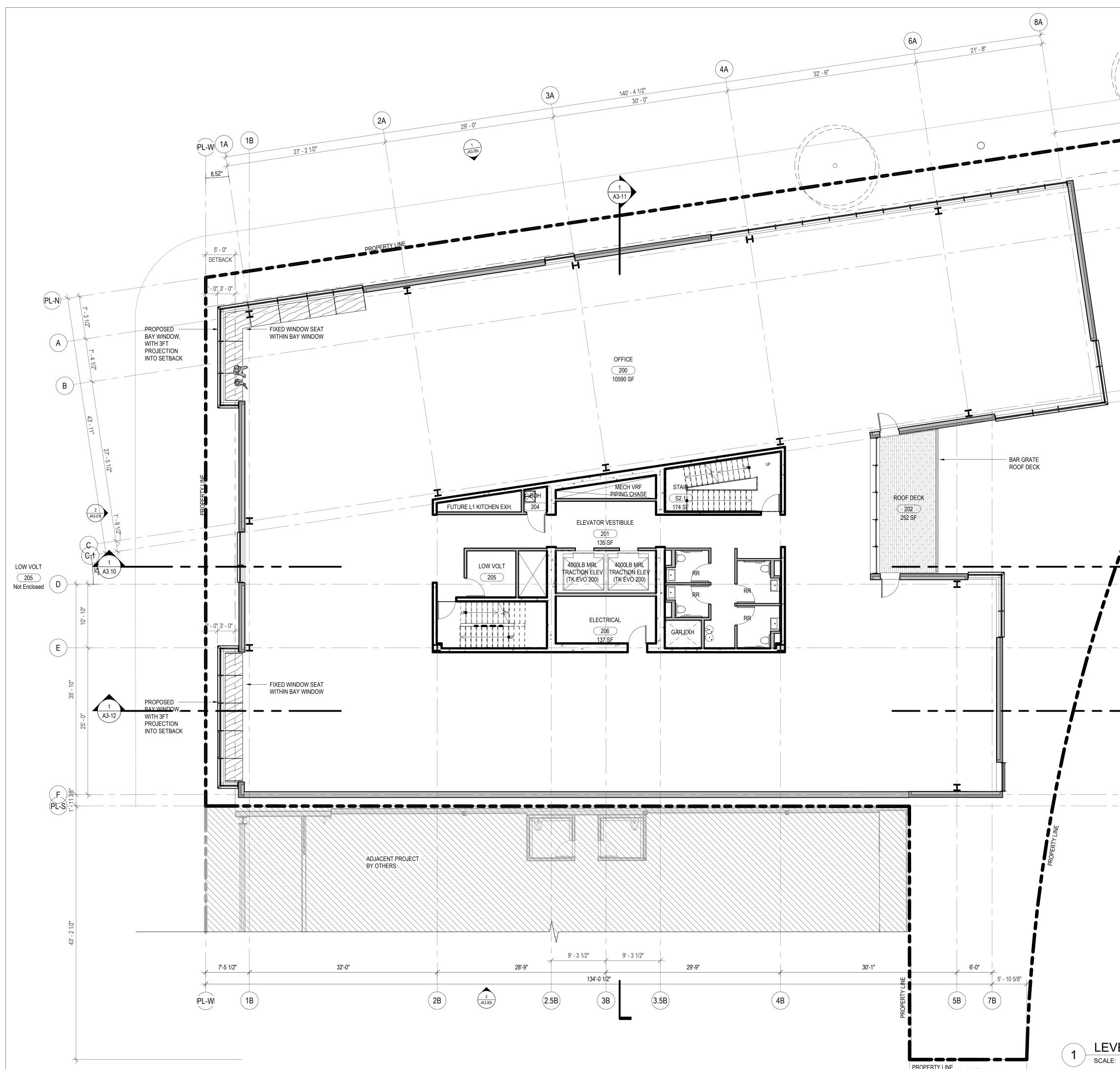




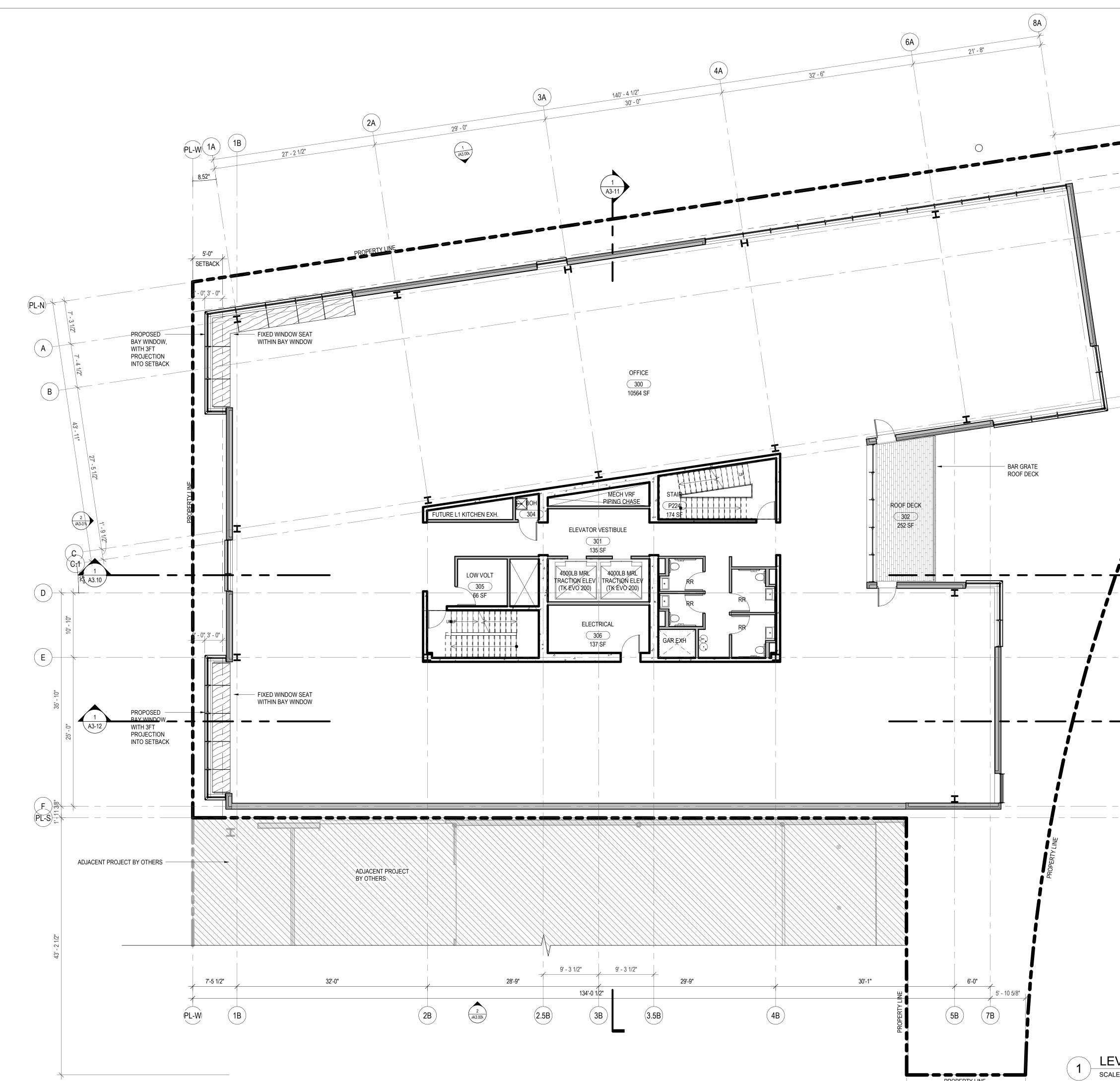




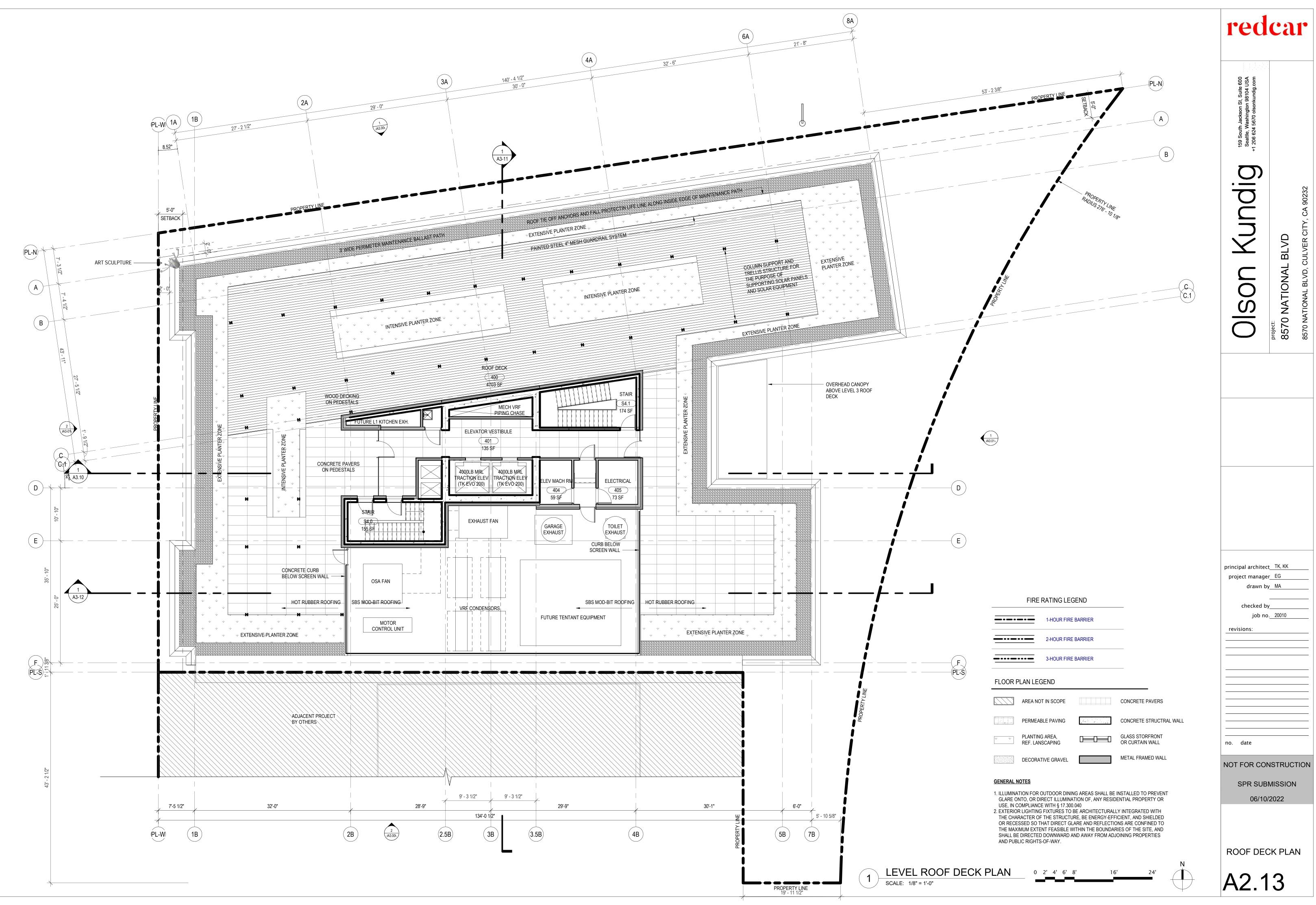


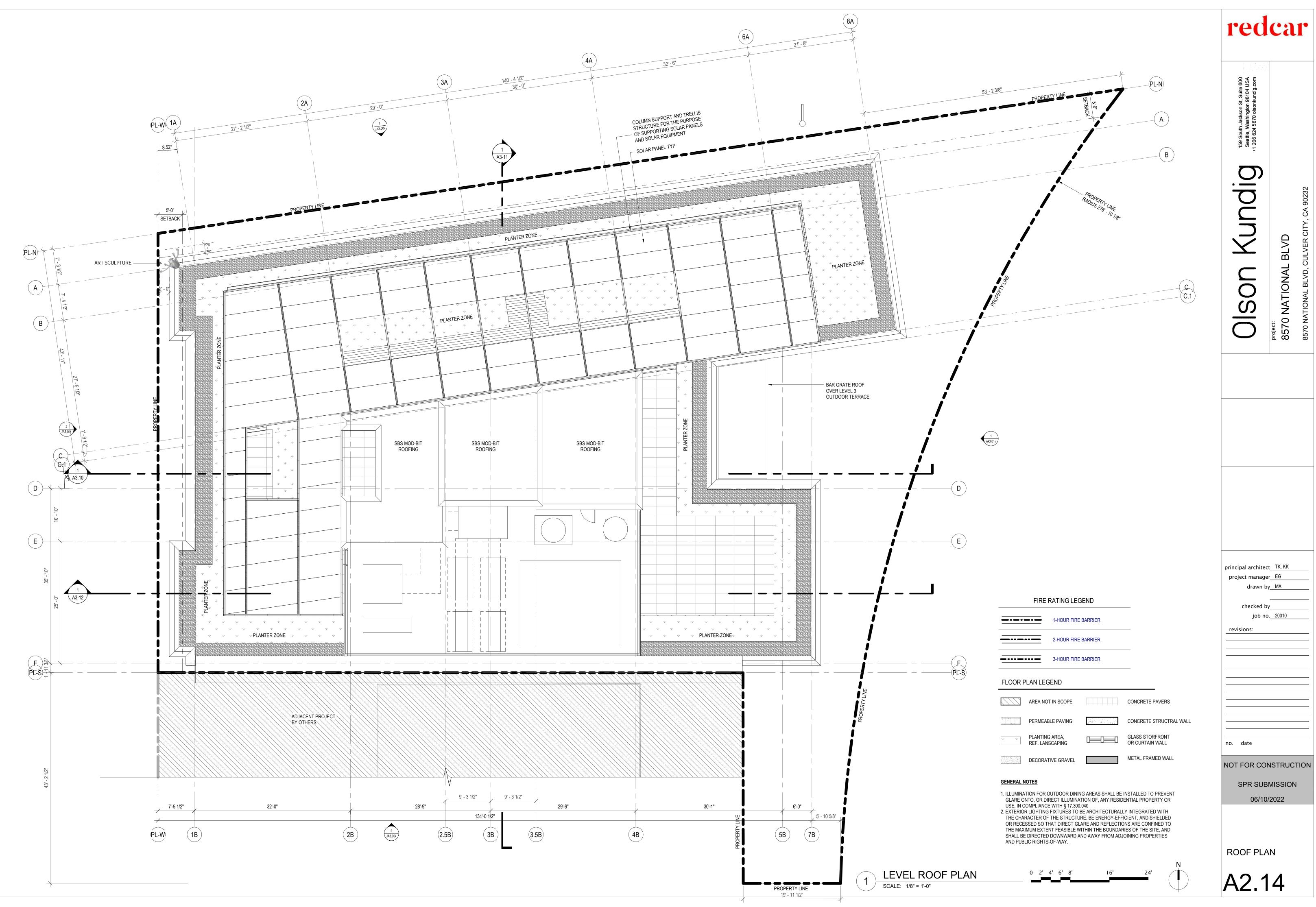


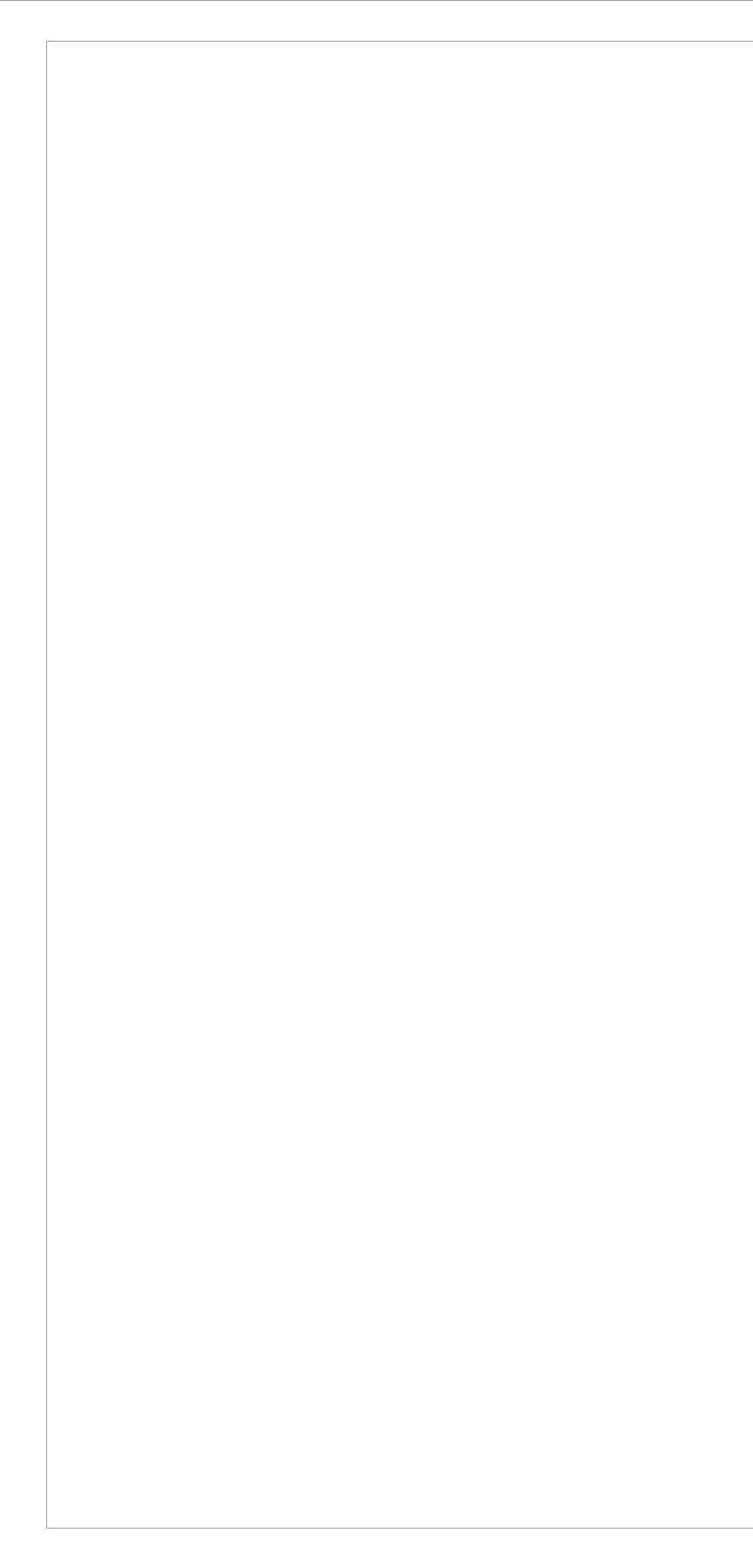
		redcar
	B	159 South Jackson St, Suite 600 Seattle, Washington 98104 USA +1 206 624 5670 olsonkundig.com
	PROPERTY LINE RADIUS 276-10 1/8+ TO 1/8+	Olson kundigg project: 8570 NATIONAL BLVD 8570 NATIONAL BLVD 8570 NATIONAL BLVD, CULVER CITY, CA 90232
	1 /#301	
E	FIRE RATING LEGEND	principal architect <u>TK, KK</u> project manager <u>EG</u> drawn by <u>MA</u>  checked by
– – – – – – – – – – – – – – – – – – –	I-HOUR FIRE BARRIER	job no
	Image: Area NOT IN SCOPE       Image: CONCRETE PAVERS         Image: PERMEABLE PAVING       Image: CONCRETE STRUCTRAL WALL         Image: PERMEABLE PAVING PERMEABLE       Image: CONCRETE STRUCTRAL WALL         Image: PERMEABLE         Image: PERMEABLE PERMEABLE PERMEABLE       Image: PERMEABLE PERMEABLE         Image: PERMEABLE PERMEABLE PERMEABLE       Image: PERMEABLE PERMEABLE         Image: PERMEABLE PERMEABLE PERMEABLE       Image: PERMEABLE         Image: PERMEABLE PERMEABLE       Image: PERMEABLE         Image: PERMEABLE       Image: PERMEABLE       Image: PERMEABLE         Image: PERMEABLE       Image: PERMEABLE       Image: PERME	no. date NOT FOR CONSTRUCTION SPR SUBMISSION 06/10/2022
/EL 02 PLAN : 1/8" = 1'-0"	0 2' 4' 6' 8' 16' 24'	LEVEL 02 PLAN

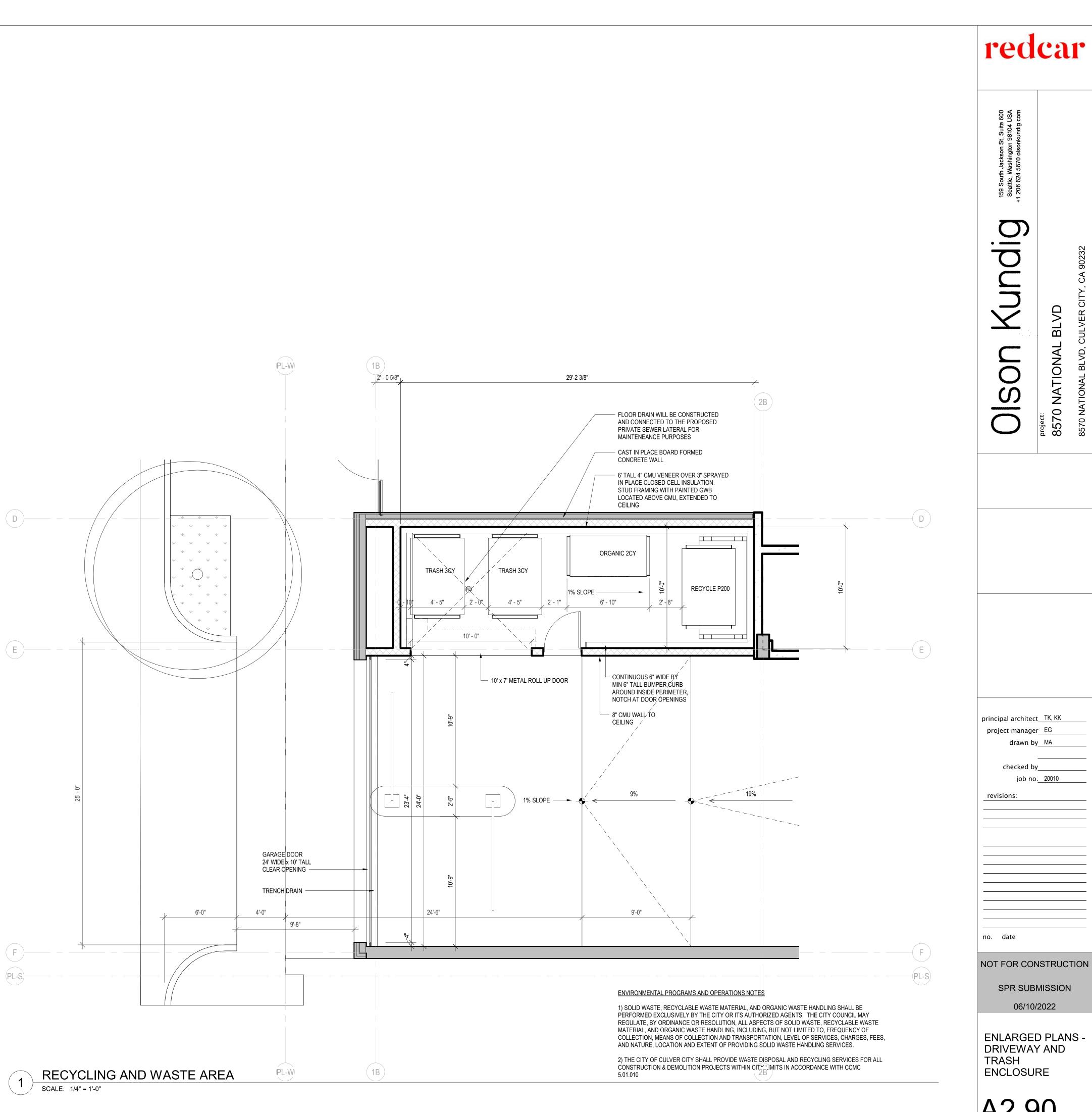


		redcar
	53-238" PROPERTY LINE BOOK PROPERTY LINE PROPERTY LINE PROPERTY LINE PROPERTY LINE PROPERTY LINE PROPERTY LINE Day (C. 1)	Olsoon Konstruction       195 South Jackson St, Suite 600 Seattle, Washington 98104 USA Paster, Washington 98104 USA Paster, Mashington 98104 USA Paster, CA 90232         8570 NATIONAL BLVD, CULVER CITY, CA 90232
D	La	principal architect_TK, KK project manager_EGdrawn by_MA
F PL-S	FIRE RATING LEGEND     I-HOUR FIRE BARRIER   I-HOUR HIR HIR BARRIER   I-HOUR HIR HIR HIR HIR HIR HI	checked by
<b>VEL 03 PLAN</b> LE: 1/8" = 1'-0"	OR RECESSED SO THAT DIRECT GLARE AND REFLECTIONS ARE CONFINED TO THE MAXIMUM EXTENT FEASIBLE WITHIN THE BOUNDARIES OF THE SITE, AND SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY.	LEVEL 03 PLAN



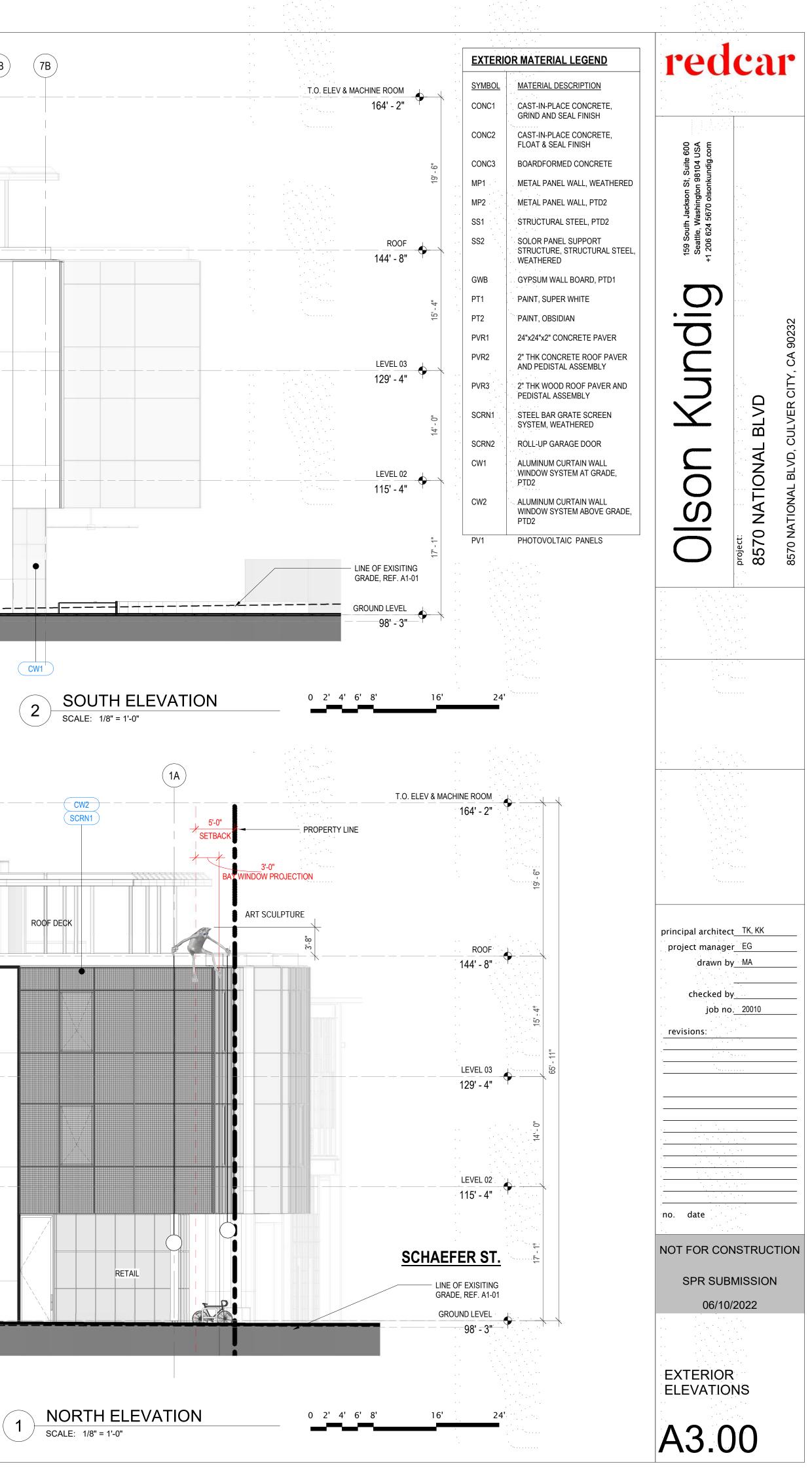




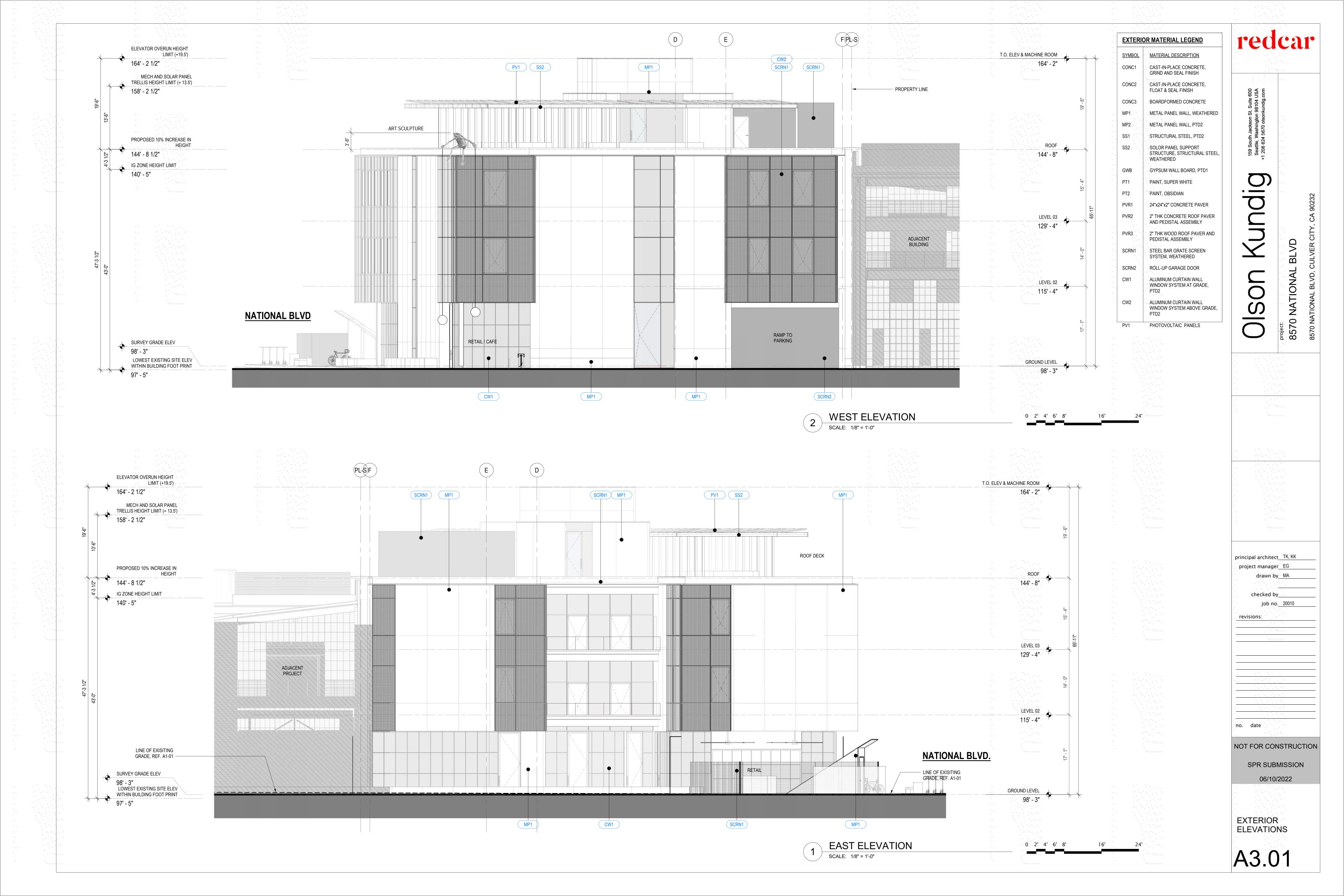


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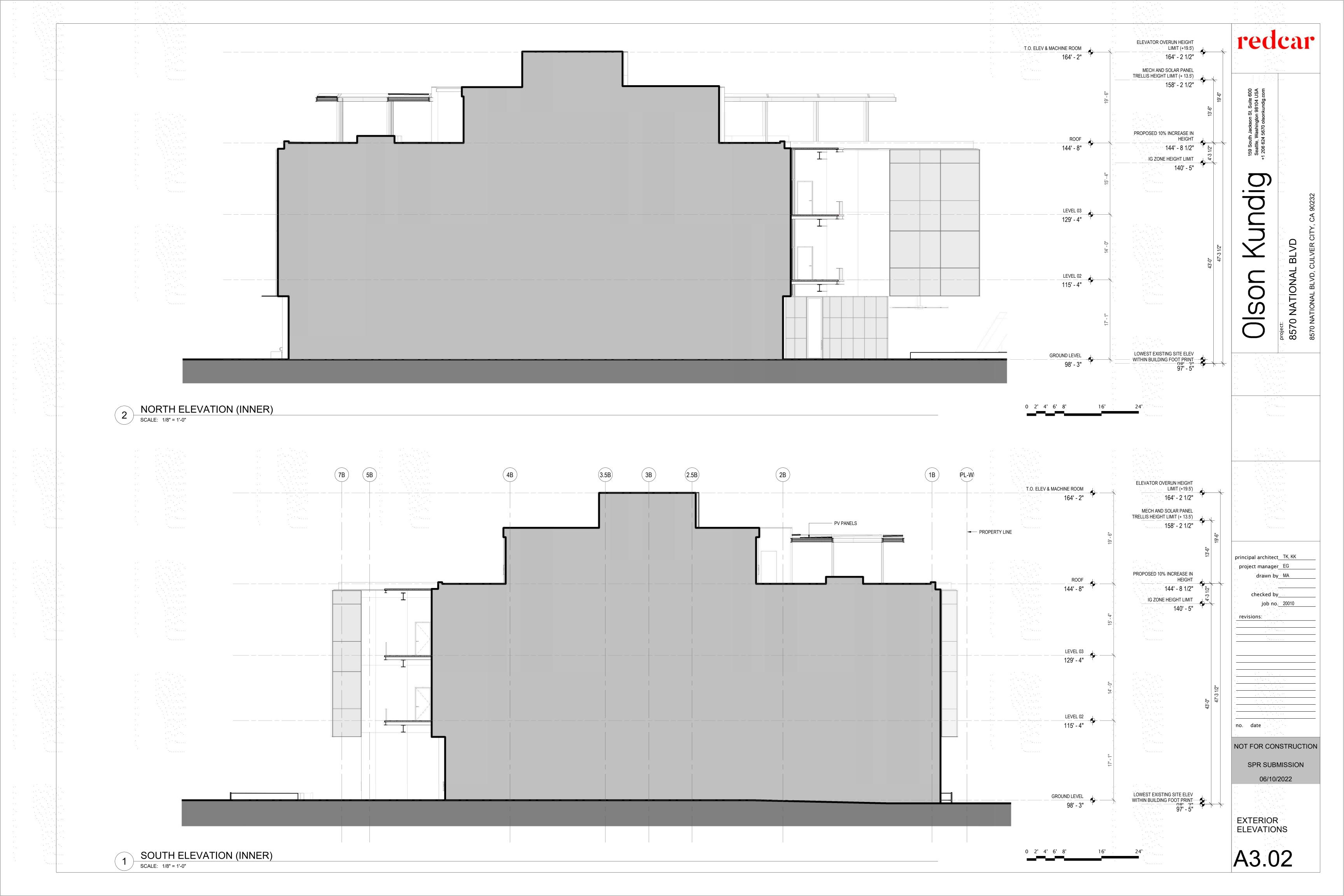


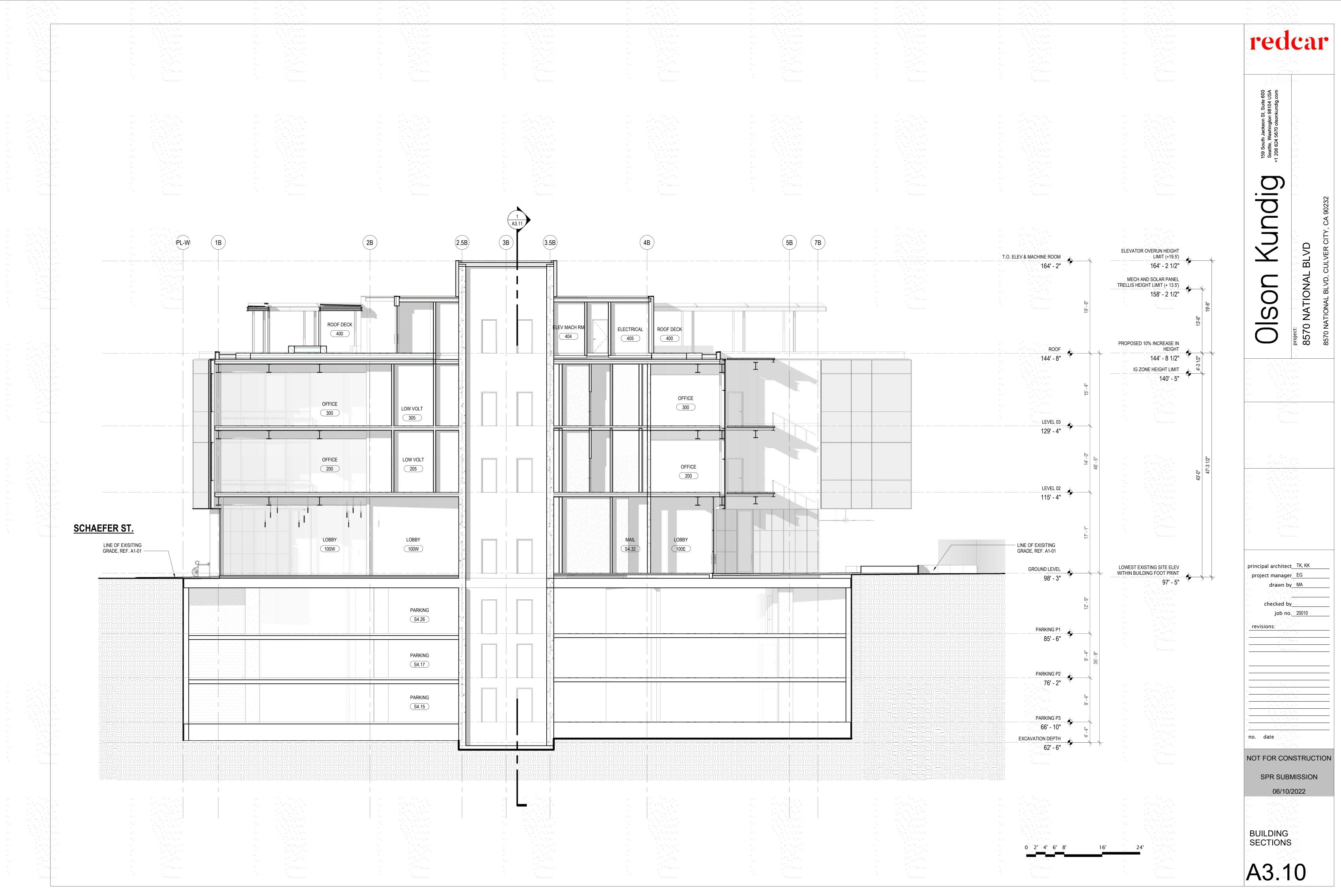








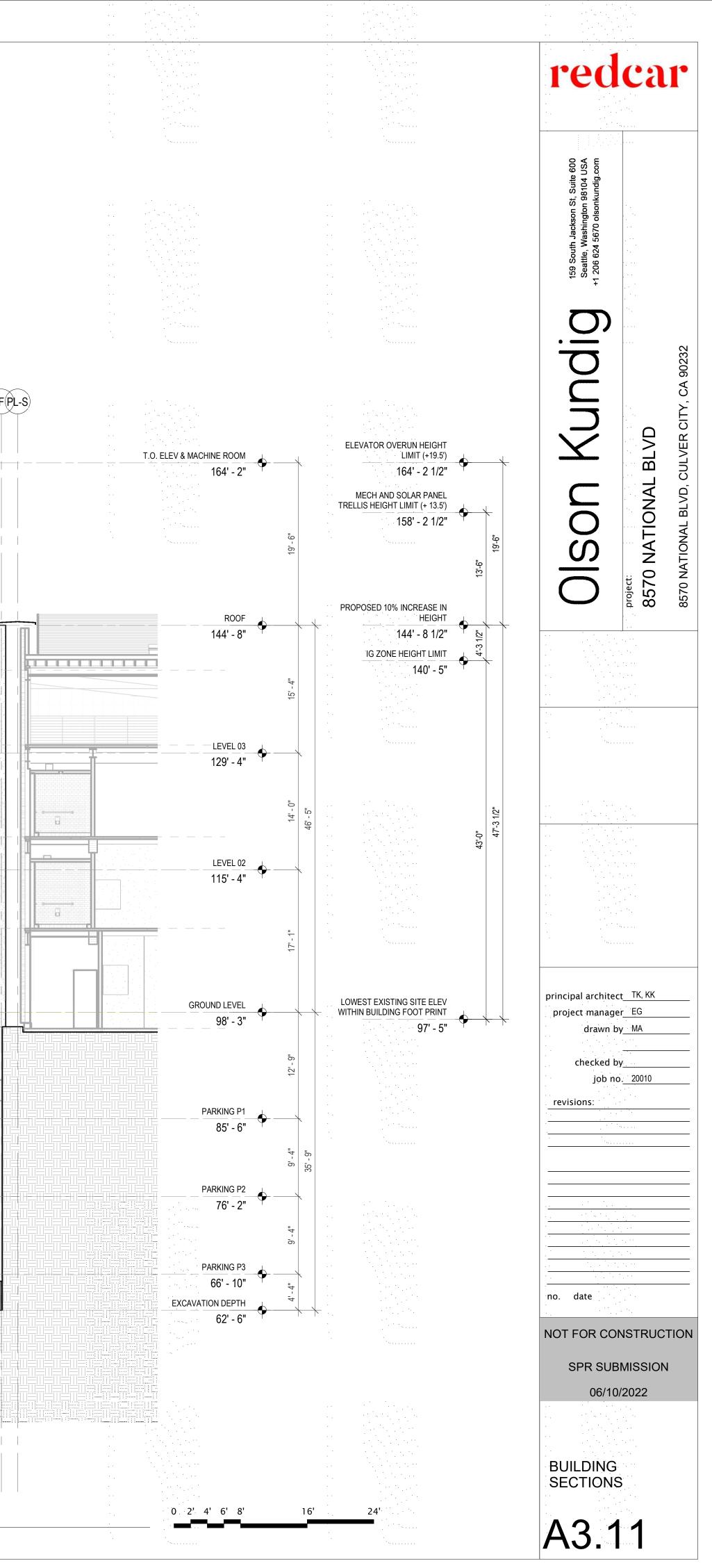


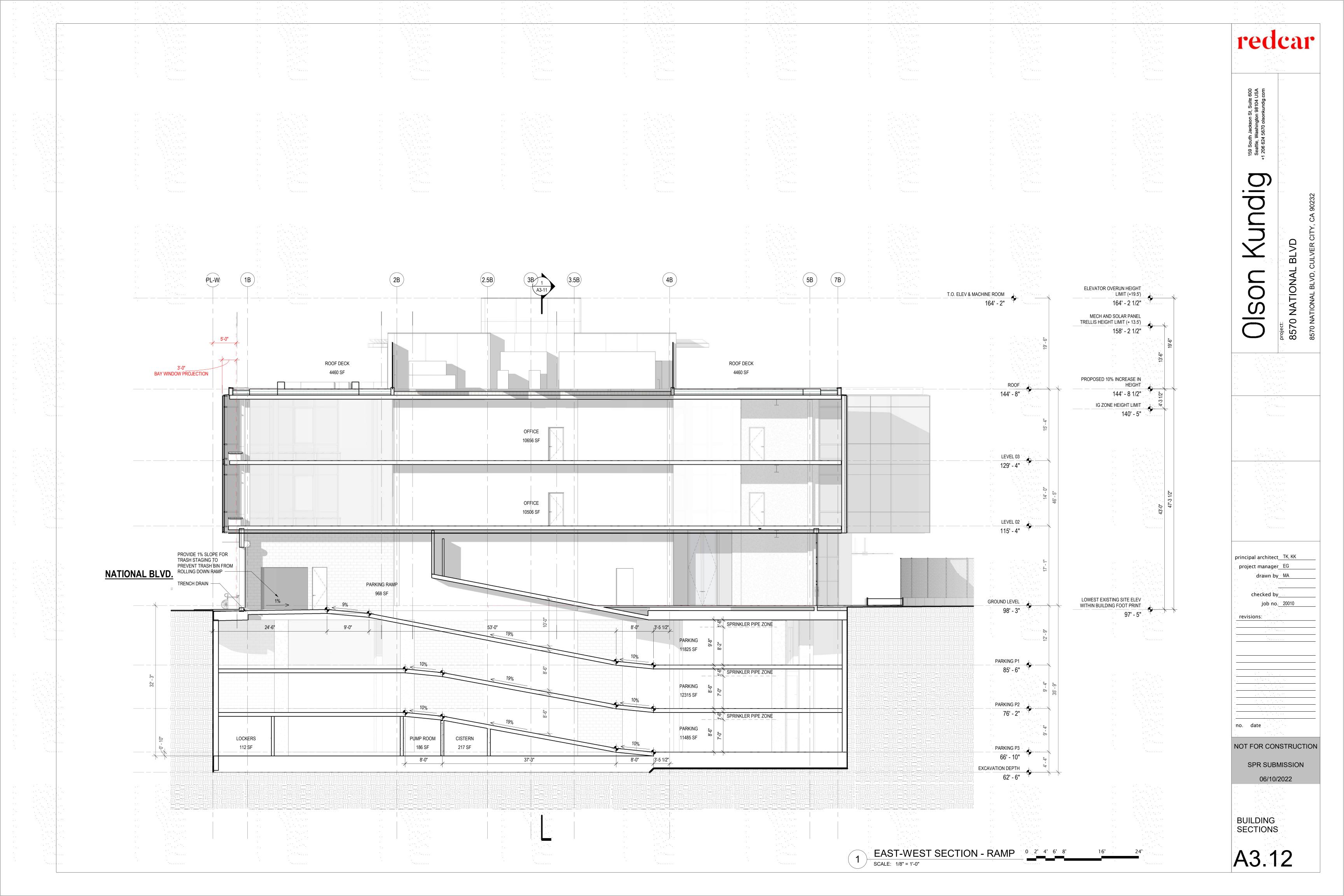


EAST-WEST SECTION - RAMP

•••		
· . · · · · · ·		
· · · · · · · · ·		
		1 NORTH-SOUTH SI SCALE: 1/8" = 1'-0"

									• . •	
PR	OPERTY LINE			ELEVATOR	overrun	1 D A3.10	)	E	1 A3-12	F
				DF DECK						
		OFFICE 300			ELEVATOR VESTIBULE		ELECTRICAL 306		OFFICE 300	
	I	OFFICE 200			ELEVATOR VESTIBULE		ELECTRICAL 206		OFFICE	
	1	RETAIL 103	ад а Д а д ај		ELEVATOR VESTIBULE		STAIR S1.2			
		PARKING S4.26			ELEVATOR VESTIBULE	ELEVATOR S4.30	STAIR P1.1 S4.28			
		PARKING S4.17		4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	ELEVATOR VESTIBULE	ELEVATOR S4.21	STAIR P2.1			
		PARKING S4.15			ELEVATOR VESTIBULE	ELEVATOR S4.13	STAIR P3.1			
SECTIO										







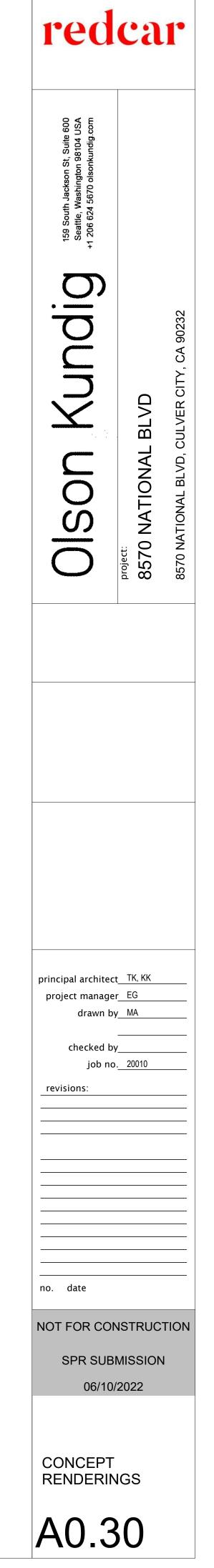






**RENDER - SITE PLAN** 

**RENDER - AERIAL VIEW NORTHWEST** 





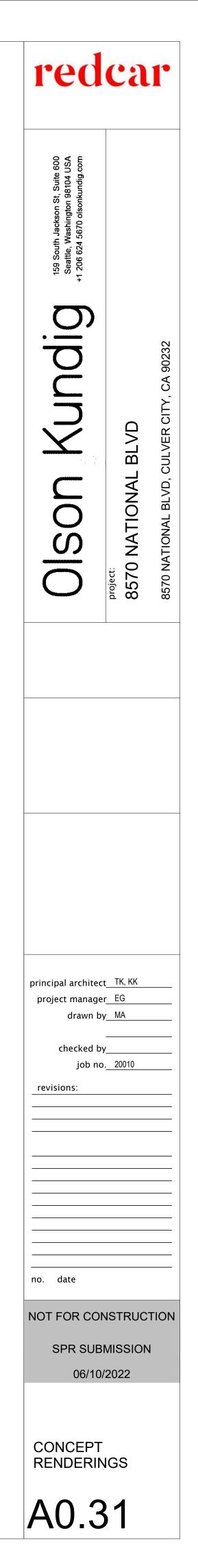


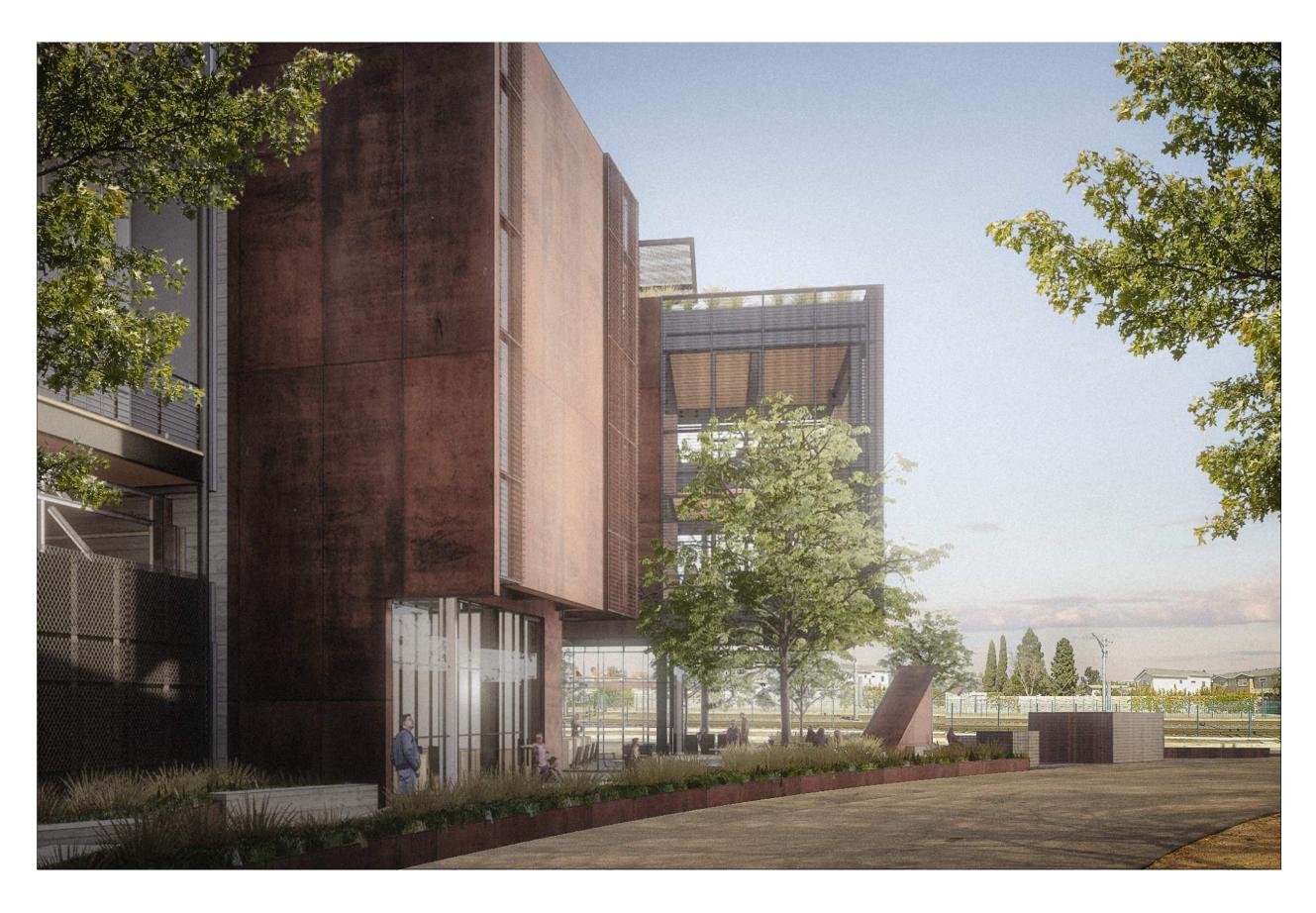
**RENDER - WEST VIEW** 

## **RENDER - NORTH VIEW**



## RENDER - NORTHWEST VIEW



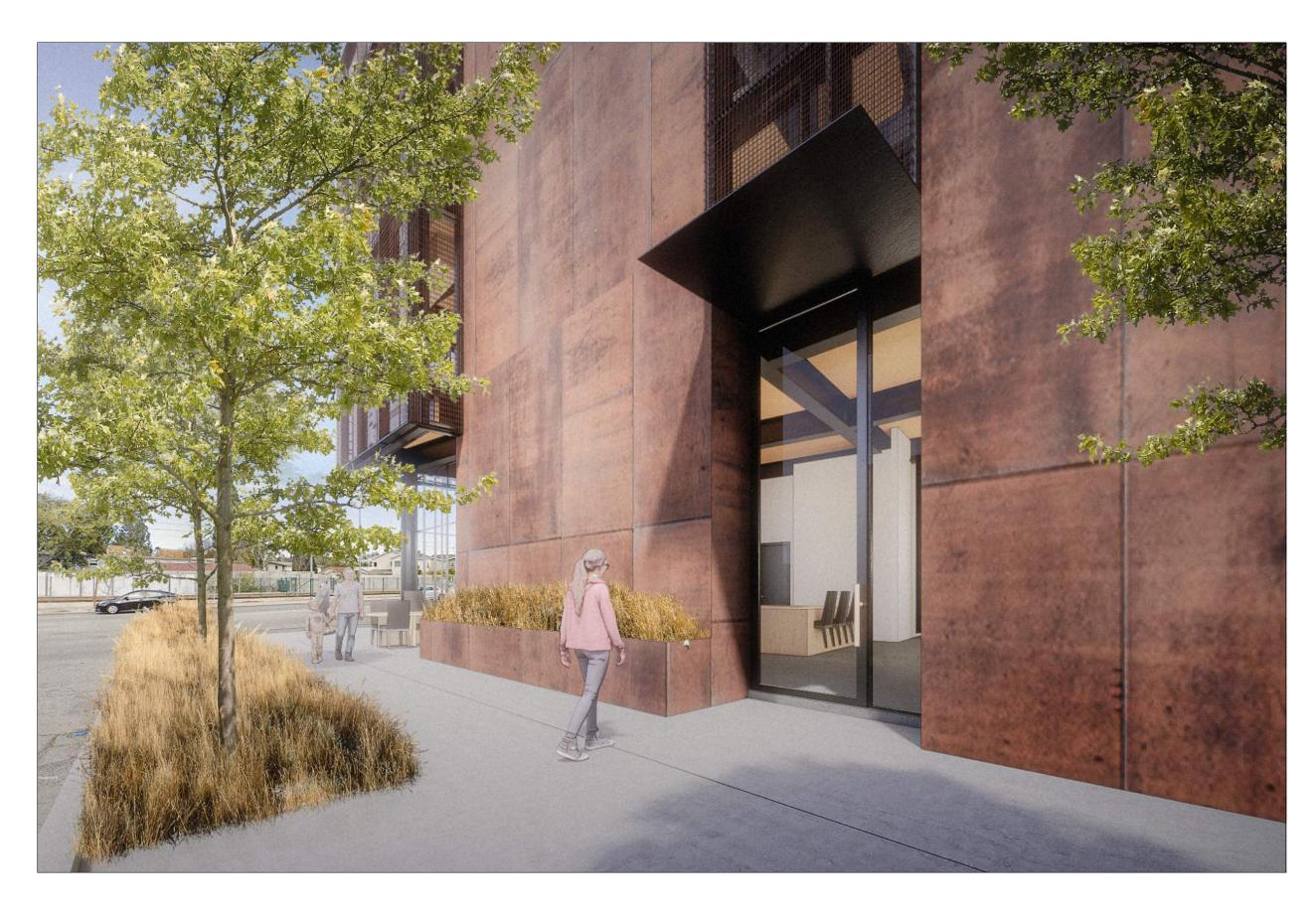




RENDER - SPUR VIEW 1

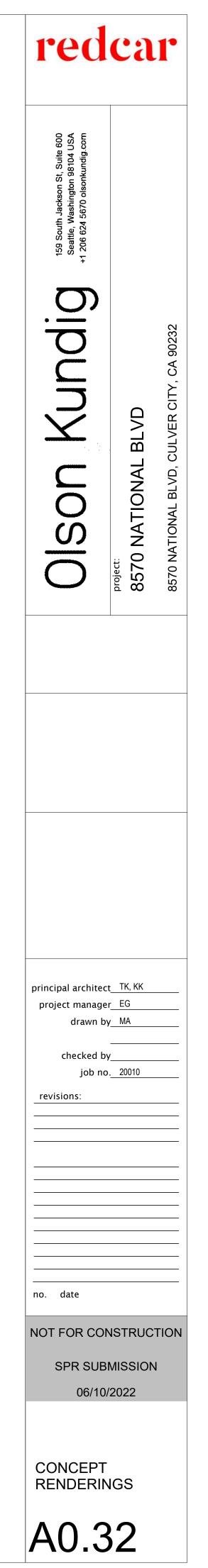




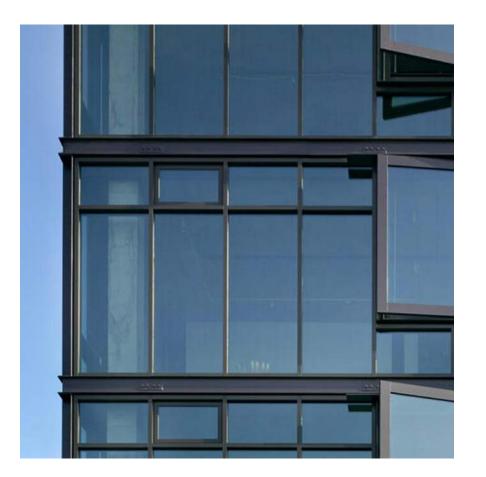


## **RENDER - NORTHEAST VIEW**

## **RENDER - SCHAEFER APPROACH**







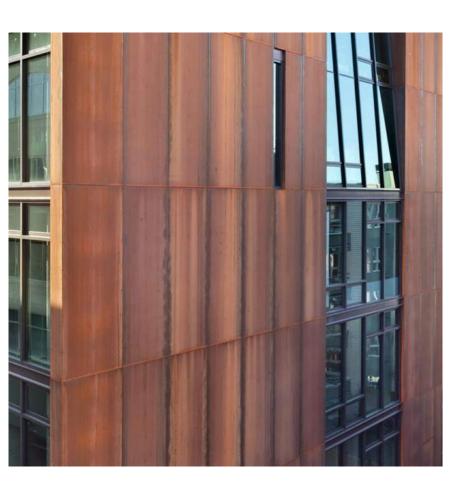
### <u>CONC 3</u>

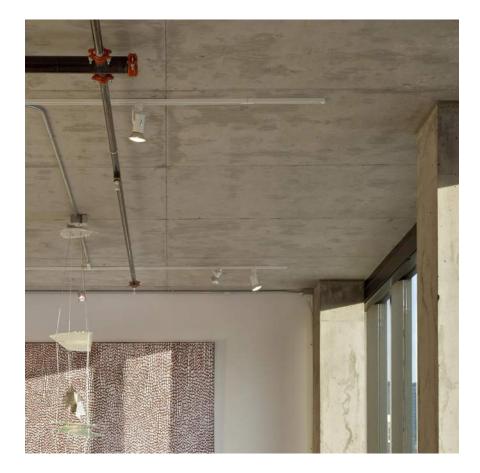
BOARDFORMED CONCRETE 2" X 4" BOARDS 03-1100

CURTAIN WALL

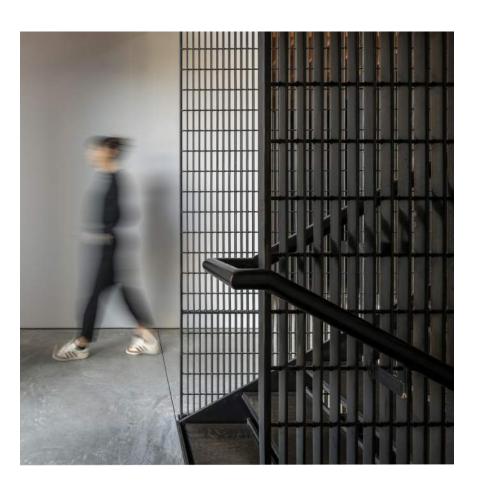
<u>CW1</u>







<u>CONC 1</u>



<u>SCRN1</u> STEEL BAR GRATE SCREEN SYSTEM

05-7500

WEATHERED STEEL PANEL

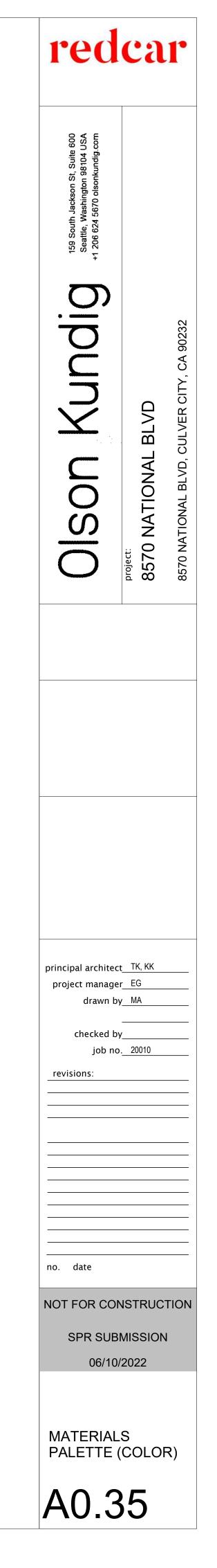
EXPOSED CIP CONC

07-4213

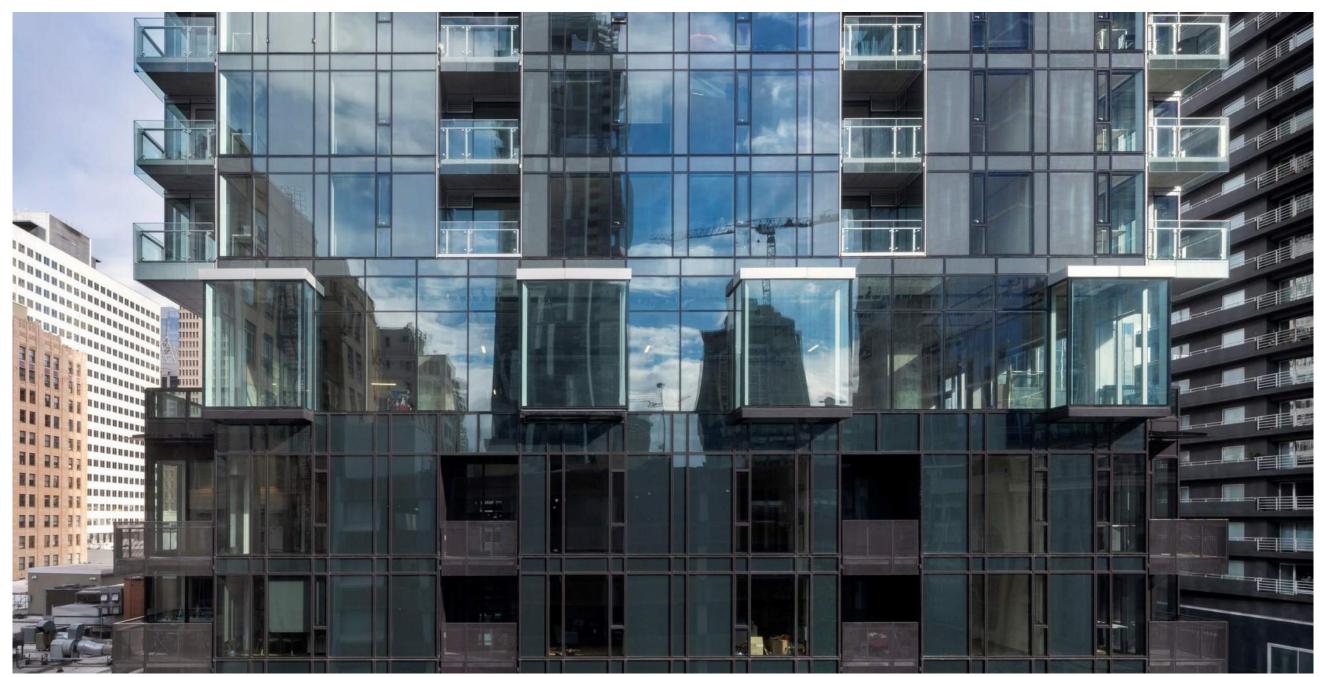
<u>IMP1</u>

<u>SS1</u>

STEEL STRUCTURE, PTD OBSIDIAN

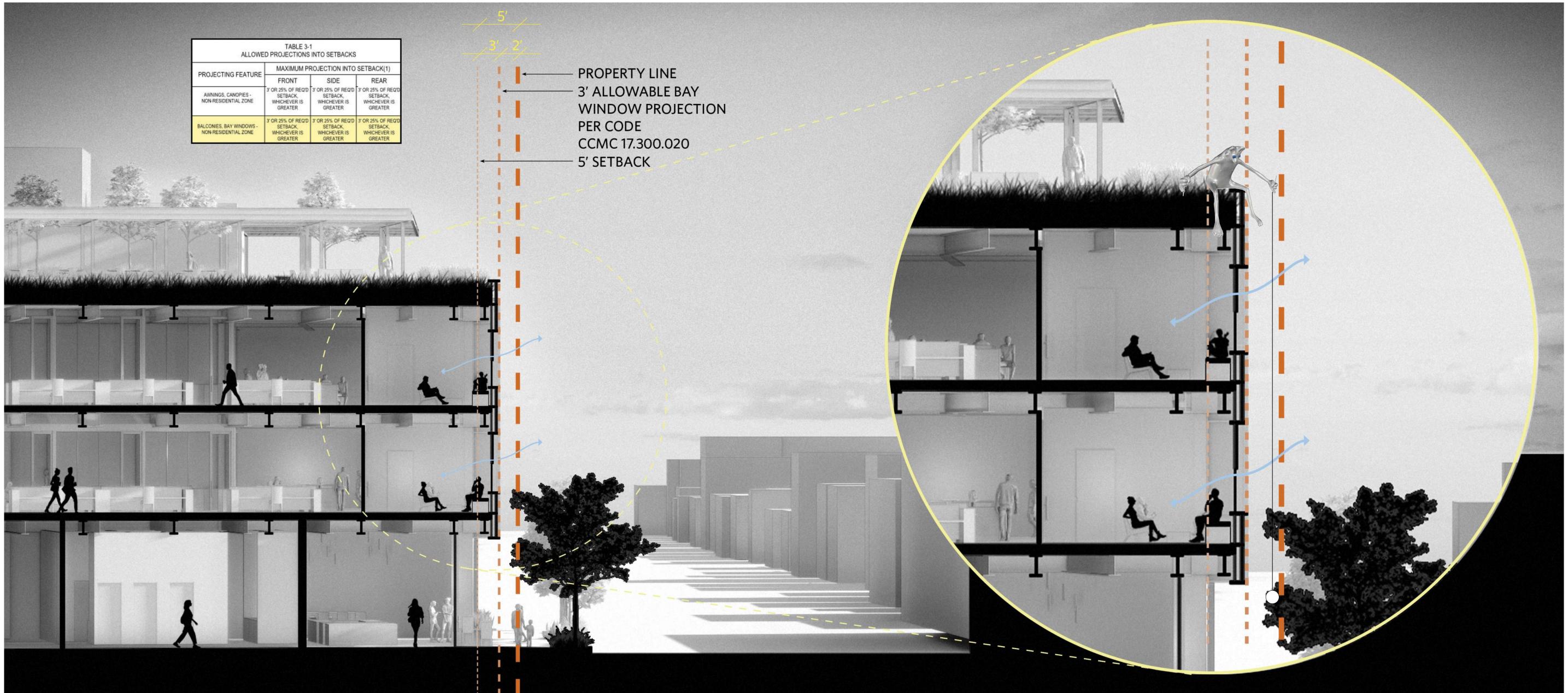


### BAY WINDOW PRECEDENTS



WEST EDGE TOWER | OLSON KUNDIG

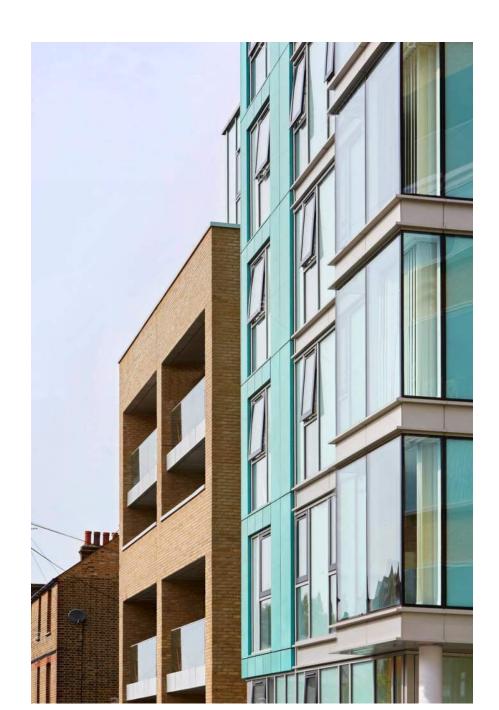
## BAY WINDOW DIAGRAM



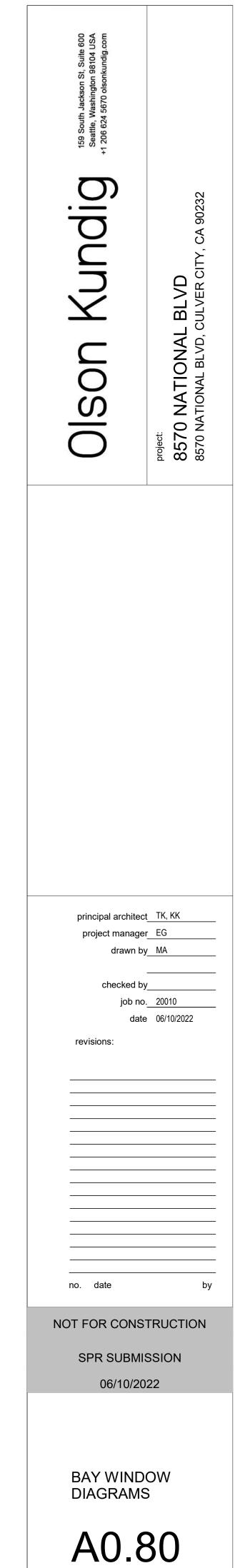


MULTI FAMILY PROJECT | LOS ANGELES





MULTI-FAMILY | LOS ANGELES



# GENERAL NOTES

- INSTALL ALL IMPROVEMENTS IN ACCORDANCE WITH CALTECH REQUIREMENTS. IN CASE OF DISCREPANCY BETWEEN THESE PLANS AND THE CALTECH REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS WILL APPLY.
- 2. A VISIT TO THE SITE IS REQUIRED. VERIFY ALL CONDITIONS PRIOR TO SUBMITTING A PROPOSAL OF COST FOR CONSTRUCTION.
- 3. REVIEW THESE PLANS AND NOTES COMPLETELY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- 4. EXTRA WORK TO BE APPROVED IN WRITING BY THE OWNER PRIOR TO COMMENCEMENT OF WORK.
- 5. IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, UTILITIES, SEWERS, WATER LINES, ETC. COORDINATE WORK WITH OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES UNDER PAVING, ELECTRICAL CONNECTIONS, WATER HOOK-UPS, ETC.
- 6. ALL REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE SHALL APPLY TO THE WORK SPECIFIED HEREIN UNLESS OTHERWISE MODIFIED BY THESE DOCUMENTS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE WORK SPECIFIED PRIOR 7. TO COMMENCEMENT OF WORK.
- 8. BEFORE COMMENCING ANY WORK, OBTAIN AN UNDERGROUND SERVICE I.D. BY CALLING DIG-ALERT AT 1-800-422-4133 TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
- 9. CONTRACTOR TO COORDINATE A PRE-CONSTRUCTION MEETING ON SITE TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION. NOTIFY OWNER, LANDSCAPE ARCHITECT, AND ALL SUB-CONTRACTORS.
- 10. SUBMIT REQUESTS FOR MEETINGS, OBSERVATIONS, AND APPROVALS BY THE LANDSCAPE ARCHITECT TWO (2) WORKING DAYS PRIOR TO THE DATE AND TIME PROPOSED.
- 11. OBTAIN CITY INSPECTOR'S AND LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL OF WORK IN PROGRESS AT VARIOUS TIMES DURING CONSTRUCTION. THE FOLLOWING REVIEWS/MEETINGS ARE MANDATORY. PROVIDE TWO (2) WORKING DAYS NOTICE FOR EACH REQUESTED VISIT. \*PRE-JOB CONFERENCE

\*CONSTRUCTION STAKING \*MAIN LINE PRESSURE TEST AND TRENCH DEPTHS PRIOR TO BACKFILL OF TRENCHES \*COVERAGE TEST UPON COMPLETION OF SPRINKLER INSTALLATION \*FINAL GRADING REVIEW \*PLANT MATERIAL LOCATION REVIEW PRIOR TO INSTALLATION \*PLANT MATERIAL APPEARANCE AND QUALITY REVIEW **\*SOIL PREPARATION AND PLANTING INSTALLATION METHODS** \*FINAL WALK THROUGH (AT COMPLETION OF PLANTING INSTALLATION) \*FINAL WALK THROUGH (AT COMPLETION OF MAINTENANCE PERIOD)

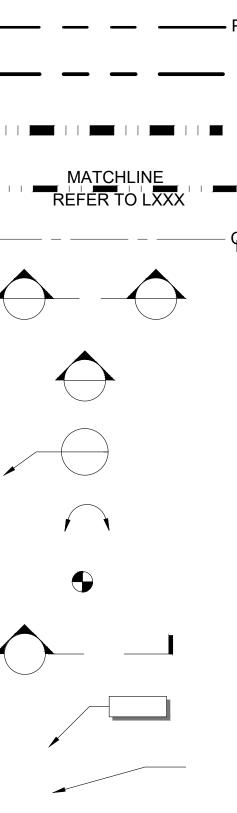
DIRECT ANY QUESTIONS REGARDING THESE PLANS TO : STUDIO-MLA 251 S. MISSION STREET LOS ANGELES, CA 90033

ATTN: JAN DYER PRINCIPAL

### ABBREVIATIONS

&	AND	D.I.	DRAIN INLET	LP	LOW POINT	S.C.	SAWCUT JOINT
@	AT	D,DIA.	DIAMETER	MAX.	MAXIMUM	SCH.	SCHEDULE
#	NUMBER	DWGS.	DRAWINGS	M.E.P.	MECHANICAL, ELECTRICAL,	SE	SOUTHEAST
%	PERCENT	(E)	EXISTING	N 41 N I	PLUMBING	SF	SQUARE FEET
A.C.	ASPHALTIC CONCRETE	EA.	EACH	MIN.		SIM.	SIMILAR
AD	AREA DRAIN	E.J.	EXPANSION JOINT	(N)	NEW	S.J.	SCORE JOINT
ADJ.	ADJACENT	ELEV	ELEVATION	N.A.	NOT APPLICABLE	S.L.	SCORELINE
ALT.	ALTERNATIVE	EOC.	END OF CURVE	NAT.	NATURAL	SQ.	SQUARE
AM	APICAL MERISTEM	ETC.	ETCETERA	NE	NORTHEAST	SS	STAINLESS STEEL
ARCH.	ARCHITECTURE	EQ.	EQUAL	N.I.C.	NOT IN CONTRACT	STD.	STANDARD
ASTM	AMERICAN SOCIETY OF TESTING &	E.W.	EACH WAY	N.T.S.	NOT TO SCALE	SSTL	STAINLESS STEEL
	MATERIALS	EX.	EXISTING	NW	NORTHWEST	SW	SOUTHWEST
BC	BOTTOM OF CURB	F.D.C.	FIRE DEPARTMENT CONNECTIONS	O/C / O.C.	ON CENTER	Т.	TREAD
BCR	BEGIN CURB RADIUS	FFE	FINISH FLOOR ELEVATION	O.D.	OUTSIDE DIAMETER	TBD/T.B.D	TO BE DETERMINED
BLDG.	BUILDING	FF	FINISH FLOOR	OF/CI	OWNER FURNISHED/CONTRACTOR		
BOC	BEGINNING OF CURVE	FG	FINISH GRADE		INSTALLED	ТС	TOP OF CURB
BS	BOTTOM OF STEP	FIN.	FINISH	PA	PLANTING AREA	TF	TOP OF FOOTING
BTH	BROWN TRUNK HEIGHT	FS	FINISH SURFACE	P.O.B.	POINT OF BEGINNING	TG	TOP OF GRATE
BW	BOTTOM OF WALL	FTG.	FOOTING	PP	POWER POLE	TOW/TW	TOP OF WALL
CIP/C.I.P.	CAST IN PLACE	GALV.	GALVANIZED	PL	PROPERTY LINE	TYP.	TYPICAL
C.J.	CONSTRUCTION JOINT	H.B.	HEADERBOARD	PT	PRESSURE TREATED	VERT.	VERTICAL, VERTICALLY
CL	CENTER LINE	H,HT.	HEIGHT	PVC	POLY VINYL CHLORIDE	V.I.F.	VERIFY IN FIELD
CLR	CLEAR	HOR.	HORIZONTAL, HORIZONTALLY	QTY.	QUANTITY	W	WIDTH
CMB	CRUSHED MISCELLANEOUS BASE	HSS	HOLLOW STRUCTURAL SECTION	R.	RISER	W/	WITH
CMU	CONCRETE MASONRY UNIT	HP	HIGH POINT	R, RAD.	RADIUS	WL	WATER LEVEL
CONC.	CONCRETE	L	LENGTH	R.C.B.	ROOT CONTROL BARRIER	W.W.M.	WELDED WIRE MESH
CONT.	CONTINUOUS	LB.	POUND	REINF.	REINFORCED		
CORP.	CORPORATION	LF/L.F.	LINEAR FEET	REP.	REPRESENTATIVE		
d	PENNY (NAIL SIZE)	L.O.W.	LIMIT OF WORK	R.O.W.	RIGHT-OF-WAY		
D.G.	DECOMPOSED GRANITE	L. O. VV.					

# SYMBOLS

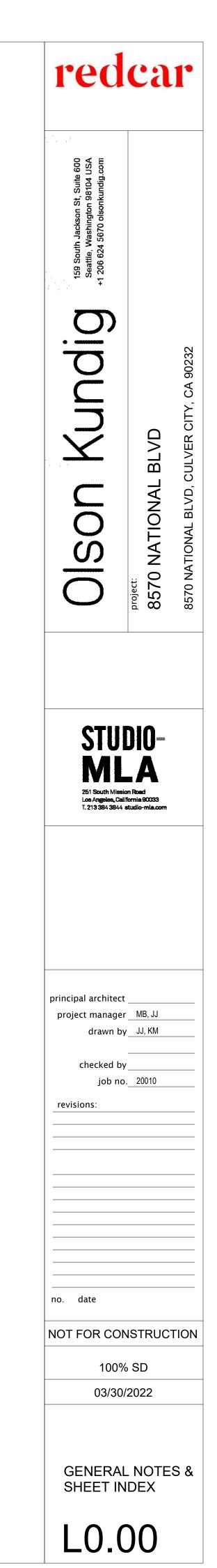


	-		
ዊ	PROPERTY LINE		
	RIGHT-OF-WAY		
	LIMIT OF WORK LINE		
-	MATCHLINE	LEGEND	<u>)</u>
ç	CENTER LINE	SHEET	NOT ISSUED
L		ISSUED	FOR INFORMATION AND COORDI
	SECTION	SHEET	DELETED FROM SET
		SHEET	SCOPE COMPLETED PREVIOUSLY
	ELEVATION		
	DETAIL	L0.00	GENERAL NOTES & SHEET INDE
		L2.00	CONSTRUCTION NOTES AND SC
	ALIGN	L2.01	CONSTRUCTION PLAN - LEVEL (
	POINT OF BEGINNING/	L2.04	CONSTRUCTION PLAN - ROOF D
	ORIGIN POINT OF LAYOUT	L8.00	PLANTING NOTES AND SCHEDU
	DETAIL SECTION	L8.01	PLANTING PLAN - LEVEL 01
		L8.04	PLANTING PLAN - ROOF DECK
	KEYNOTE		
	CALLOUT		

# SHEET INDEX

RDINATION SLY	SPR SUBMITTAL				
NDEX					
SCHEDULE					
EL 01					
F DECK					
DULE					
K					

DIAL BEFORE YOU DIG
PLAY IT SAFE. DIAL BEFORE YOU DIG! AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATING
SERVING NINE SOUTHERN CALIFORNIA COUNTIES



### CONSTRUCTION NOTES

1. DRAWING IS DIAGRAMMATIC. VERIFY ALL CONDITIONS AND LOCATIONS ON SITE PRIOR TO THE START OF CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF ANY ERRORS OR DISCREPANCIES ARE FOUND, BEFORE PROCEEDING WITH ANY WORK.

2. DO NOT SCALE DRAWINGS. USE DIMENSIONS AS INDICATED ON PLAN.

3. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN APPARENT DURING DESIGN. OBTAIN DIRECTION BEFORE PROCEEDING WITH CONSTRUCTION IN SUCH CASES.

4. THE LOCATION OF ALL SERVICE RUNS, SUCH AS WATER SUPPLY, ELECTRICAL (OVERHEAD AND UNDERGROUND), TELEPHONE, SANITARY SEWER, ETC. SHOULD BE ASCERTAINED BEFORE WORK IS STARTED. WHERE THEY WILL BE AFFECTED BY EXCAVATION OR WHERE MACHINES MAY BE WORKING NEARBY, THEY SHOULD BE CAREFULLY SEALED, PROTECTED, OR DIVERTED. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

5. COORDINATE ALL UTILITY RUNS AND INSTALLATIONS (EXISTING AND NEW) PRIOR TO PAVING INSTALLATION. VERIFY ALL SLEEVES AND ELECTRIC SOURCES FOR IRRIGATION CLOCK AND LIGHTING WITH PROPER SUB-CONTRACTORS.

6. CLEAN OUT AND ADJUST EXISTING DRAINS TO ACCOMMODATE PROPOSED DRAINAGE. ADJUST LATERAL DRAIN LINES AS NECESSARY TO BEST LINK EXISTING MAIN LINES.

7. OBTAIN INSPECTION AND APPROVAL OF ALL FORMS PRIOR TO PLACING CONCRETE. 8. TRANSITIONS FROM EXISTING PAVING TO NEW PAVING SHALL BE FLUSH.

9. REFER TO PLANS AND GENERAL NOTES FOR ADDITIONAL NOTES AND INFORMATION REGARDING THE CONSTRUCTION OF THIS PROJECT.

10. CONSTRUCT ALL WALLS, PAVING, DRAIN LINES, SLEEVING, ETC. PER PLAN AND DETAILS.

11. CONCRETE TO SLOPE FROM FOUNDATION TOWARDS DRAIN INLETS AND DRAINAGE SWALES AT AS MINIMUM RATE OF 1/8" PER FOOT. INSTALL CONCRETE FORMS WITH LONG, SMOOTH GRADIENTS TO ELIMINATE DIPS, RIDGES, ABRUPT CHANGES OF GRADE, AND SHARP TRANSITIONS.

12. INSTALL EXPANSION JOINTS AT ALL VERTICAL ELEMENTS INSTALL CRACK CONTROL JOINTS AT MAX. 12'-0". ZIP JOINTS WILL NOT BE ALLOWED. INSTALL EJ'S AND CCJ'S AT 90° TO THE EDGE OF CONCRETE PAVING, UNLESS OTHERWISE SPECIFIED. SEE PLAN FOR ADDITIONAL INFORMATION AND LOCATIONS.

13. PRIOR TO PLACING CONCRETE, SUFFICIENTLY MOISTEN THE SUBGRADE AND PROVIDE SUBGRADE PREPARATIONS PER THE SOILS ENGINEER.

14. INSTALL TYPE V CONCRETE THAT OBTAINS A MINIMUM COMPRESSIVE STRENGTH OF 2,500 P.S.I. AT 28 DAYS UNLESS OTHERWISE SPECIFIED ON THESE PLANS AND DETAILS. SUBMIT CONCRETE SAMPLE TO OWNER AND LANDSCAPE ARCHITECT PRIOR TO LAYING OUT FORMS. INSTALL CONCRETE FLATWORK PER RECOMMENDATIONS OF SOILS ENGINEER AND SOILS REPORT. IN CASE OF CONFLICT BETWEEN SOILS REPORT AND DETAILS, THE MOST STRINGENT REQUIREMENTS WILL APPLY.

15. BACKFILL AND COMPACT BEHIND ALL WALLS AND MASONRY STRUCTURES, AS REQUIRED ON DRAWINGS AND DETAILS. BACKFILL PLANTERS WITH TOP GRADE SANDY-LOAM TOPSOIL PER PLANTING NOTES.

16. CLEAN UP AND REMOVE ALL DEBRIS FROM SITE PRIOR TO REQUESTING FINAL APPROVAL. GRADE ALL AREAS WITHIN .5 INCH OF FINISH GRADES. NOTE AREAS OF ADDITIONAL GRADING SHOWN. COORDINATE WITH LANDSCAPE ARCHITECT THE FINAL FORM OF LANDSCAPE MOUNDS.

17. OPEN GRID OR PERMEABLE PAVEMENT SYSTEMS (P-201, P-301, P-302) (9,526 SF) IS AT LEAST 25% OF THE TOTAL SITE HARDSCAPE (25,416 SF).

## **REFERENCE NOTES SCHEDULE**

	RENCE NOTES SCH		_			
	AMENITIES					
SYMBOL	DESCRIPTION	DETAIL	MANUFACTURER			
A-101	COUNTER AT ROOF DECK		CUSTOM			
	EDGING					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAC
E-401	GRAVEL BANDING		GRAVEL	TBD	TBD	SOUTHW
						OR EQUA
	FENOE					
	FENCE					
SYMBOL	DESCRIPTION	DETAIL		COLOR	MANUFACTURER	
F-101	PERIMETER FENCE		SS MESH AND WEATHERED STEEL POST	TBD	-	
	GATE					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER	REMARKS
G-101			STAINLESS STEEL			
	TRANSFORMER YARD GATE		MESH AND	TBD	TBD	8` TALL
			WEATHERED STEEL			
	PAVING					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAC
P-101	PEDESTRIAN CONCRETE PAVING	DETAIL	CIP CONCRETE	BROOM	NATURAL GRAY	TRADEMA
P-102						
1 102	PLAZA PAVING		CIP CONCRETE	SEEDED AGGREGATE	TBD	TRADEMA
P-103	PERMEABLE PAVING AT PARKING		CASCADE CORTE		MANOR	ORCO BL
P-401	CONCRETE PAVERS AT ROOF DECK		PRECAST	TBD	TBD	TBD
P-402	WOOD DECKING AT ROOF DECK		CONCRETE THERMORY WOOD	TBD		
	WOOD DECKING AT KOOF DECK		THERMORT WOOD	עסו		
	RAILING					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	REMARKS	
R-401			TUBULAR STEEL		STAINLESS STEEL MESH INFILL	
	ROOF TERRACE GUARD RAIL		POSTS	STAINLESS STEEL	PANELS	
	SITE FURNISHING					
SYMBOL	DESCRIPTION	DETAIL	MODEL/MATERIAL	REMARKS		
S-101	MULTI-SPACE PARKING METER			MATCH CITY GUIDELINES		
S-102	STREET TREE GRATE		WEATHERED STEEL			
S-103	BICYCLE RACK			MATCH CITY GUIDELINES		
	WALL					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAC
W-102	STONE PLANTER WALLS		STONE	NATURAL	NATURAL	SOUTHW OR EQUA
W-401	METAL PLANTER WALL AT ROOF DECK		METAL	WEATHERED	TBD	CUSTOM
W-402	SEAT WALL AT ROOF DECK		WOOD	TBD	TBD	TBD

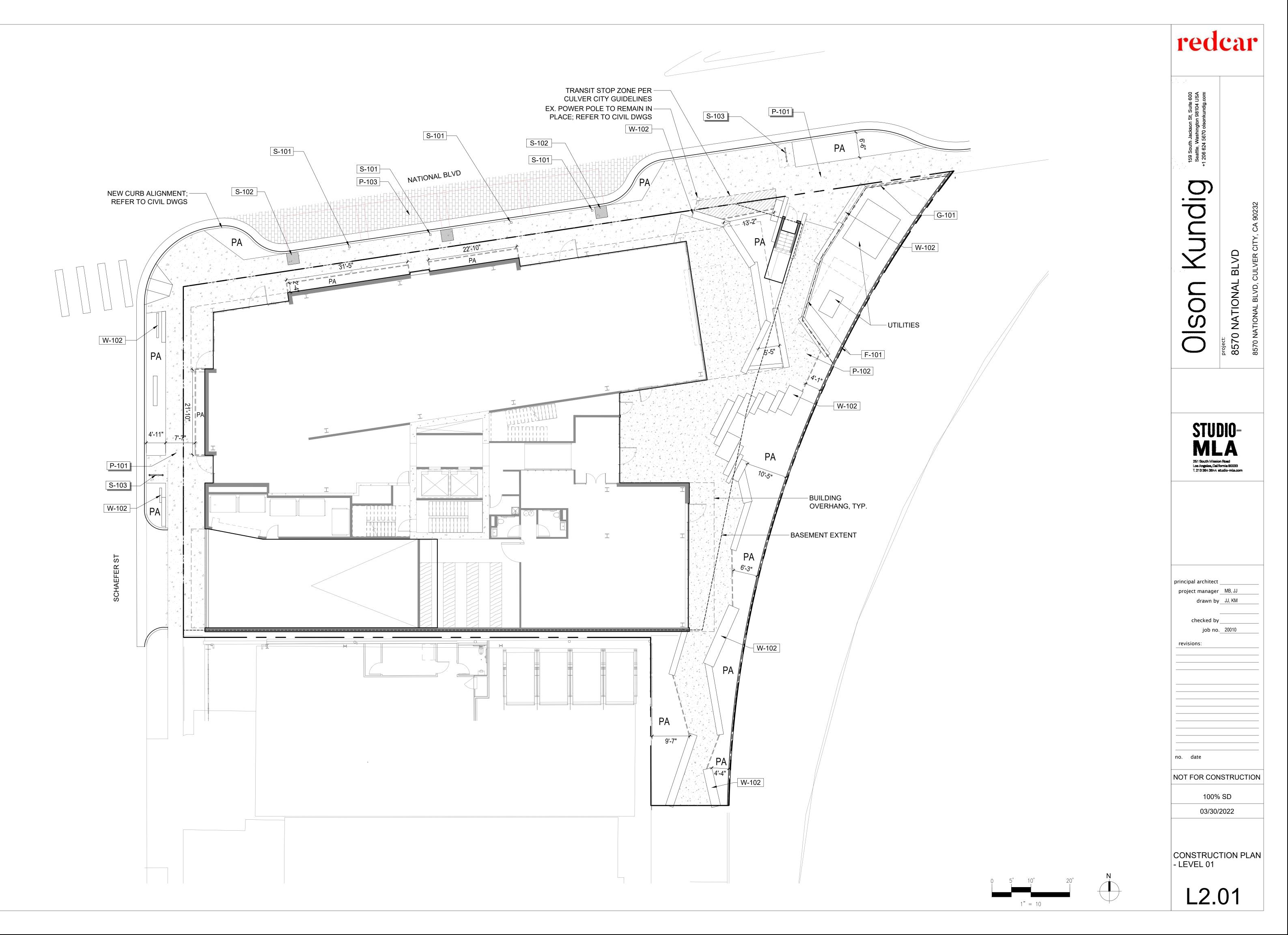
	AMENITIES					
SYMBOL	DESCRIPTION	DETAIL	MANUFACTURER			
A-101	COUNTER AT ROOF DECK		CUSTOM			
	EDGING					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAG
E-401	GRAVEL BANDING		GRAVEL	TBD	TBD	SOUTHW OR EQUA
						1
	FENCE					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER	
F-101	PERIMETER FENCE		SS MESH AND WEATHERED STEEL POST	TBD	-	
	GATE					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER	REMARKS
G-101	TRANSFORMER YARD GATE		STAINLESS STEEL MESH AND WEATHERED STEEL	TBD	TBD	8` TALL
	PAVING					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAG
P-101	PEDESTRIAN CONCRETE PAVING		CIP CONCRETE	BROOM	NATURAL GRAY	TRADEMA
P-102	PLAZA PAVING		CIP CONCRETE	SEEDED AGGREGATE	TBD	TRADEM
P-103	PERMEABLE PAVING AT PARKING		CASCADE CORTE		MANOR	ORCO BL
P-401	CONCRETE PAVERS AT ROOF DECK		PRECAST CONCRETE	TBD	TBD	TBD
P-402	WOOD DECKING AT ROOF DECK		THERMORY WOOD	TBD		
	RAILING					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	REMARKS	
R-401	ROOF TERRACE GUARD RAIL		TUBULAR STEEL POSTS	STAINLESS STEEL	STAINLESS STEEL MESH INFILL PANELS	
	SITE FURNISHING					
SYMBOL S-101		DETAIL	MODEL/MATERIAL			
S-101 S-102	MULTI-SPACE PARKING METER			MATCH CITY GUIDELINES		
S-102	STREET TREE GRATE BICYCLE RACK		WEATHERED STEEL	MATCH CITY GUIDELINES		
0-103	DICTULE NACK			MATCH CITT GUIDELINES		
	WALL					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFA
W-102	STONE PLANTER WALLS		STONE	NATURAL	NATURAL	SOUTHW OR EQUA
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W-402	SEAT WALL AT ROOF DECK		WOOD	TBD	TBD	TBD

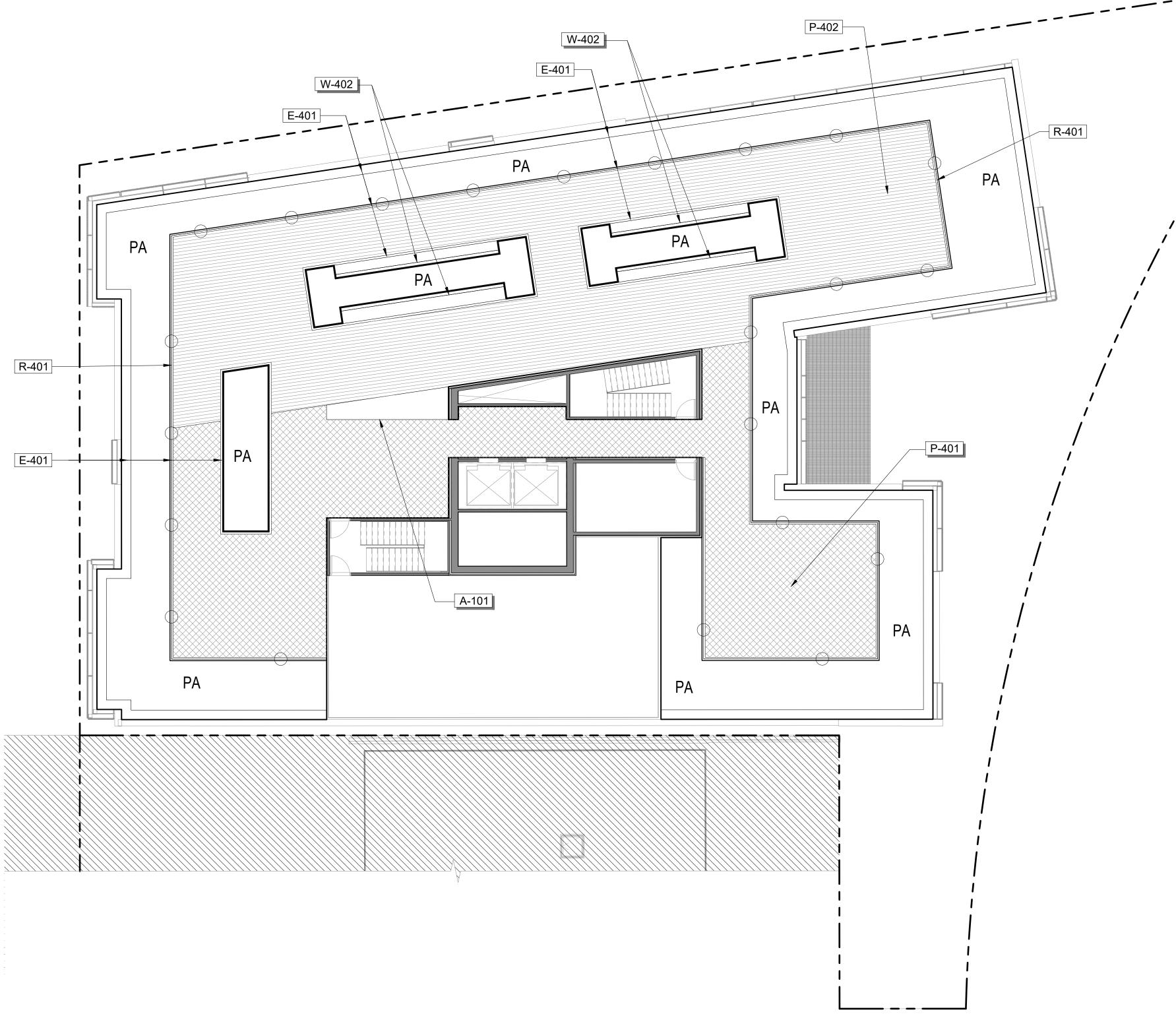
	AMENITIES		<u> </u>			
SYMBOL	DESCRIPTION	DETAIL	MANUFACTURER			
A-101	COUNTER AT ROOF DECK		CUSTOM			
	EDGING					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAG
E-401	GRAVEL BANDING		GRAVEL	TBD	TBD	SOUTHW
						OR EQUA
	FENCE					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER	
F-101	PERIMETER FENCE		SS MESH AND WEATHERED STEEL POST	TBD	-	
	GATE					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER	REMARK
G-101	TRANSFORMER YARD GATE		STAINLESS STEEL MESH AND WEATHERED STEEL	TBD	TBD	8` TALL
	PAVING					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAG
P-101	PEDESTRIAN CONCRETE PAVING		CIP CONCRETE	BROOM	NATURAL GRAY	TRADEM
P-102	PLAZA PAVING		CIP CONCRETE	SEEDED AGGREGATE	TBD	TRADEM
P-103	PERMEABLE PAVING AT PARKING		CASCADE CORTE		MANOR	ORCO BL
P-401	CONCRETE PAVERS AT ROOF DECK		PRECAST CONCRETE	TBD	TBD	TBD
P-402	WOOD DECKING AT ROOF DECK		THERMORY WOOD	TBD		
	RAILING					
SYMBOL R-401	DESCRIPTION	DETAIL	MATERIAL TUBULAR STEEL	FINISH	REMARKS STAINLESS STEEL MESH INFILL	
11-401	ROOF TERRACE GUARD RAIL		POSTS	STAINLESS STEEL	PANELS	
			- 1			
	SITE FURNISHING					
SYMBOL	DESCRIPTION	DETAIL	MODEL/MATERIAL	REMARKS		
S-101	MULTI-SPACE PARKING METER			MATCH CITY GUIDELINES		
S-102	STREET TREE GRATE		WEATHERED STEEL			
S-103	BICYCLE RACK			MATCH CITY GUIDELINES		
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SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAG
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W-402	SEAT WALL AT ROOF DECK		WOOD	TBD	TBD	TBD

	AMENITIES		-			
	AMENITIES					
SYMBOL		DETAIL	MANUFACTURER			
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SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAC
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	FENCE					
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER	
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SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER	REMARKS
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SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	REMARKS	
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	WALL	<b></b>				
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFAC
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W-401	METAL PLANTER WALL AT ROOF DECK		METAL	WEATHERED	TBD	CUSTOM
W-402	SEAT WALL AT ROOF DECK		WOOD	TBD	TBD	TBD

ACTURER WEST BOULDER & STONE JAL	
KS	
ACTURER	REMARKS
MARK OR APPROVED EQUAL	
MARK OR APPROVED EQUAL	ALT: 60% CIP CONCRETE; 40% PRECAST CONCRETE PAVERS
BLOCK AND HARDSCAPE	
	ON PEDESTAL
ACTURER WEST BOULDER & STONE	REMARKS
JAL M	STONE SLABS

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251 South Missi Los Angeles, Cal T. 213 384 3844	
	rMB, JJ
no. date NOT FOR COI 100% 03/30	6 SD
CONSTRUC - ROOF DEC L2.0	CK

1" = 10

### PLANTING NOTES

- 1. DRAWING IS DIAGRAMMATIC. VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- 2. INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. ALL TREE STAKING LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY DIGGING.
- 3. CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- 4. NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- 5. ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- 6. ALL PLANT MATERIAL TO BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL STORE PLANT MATERIAL IN SHADE AND PROTECT FROM SUN. ENSURE ON SITE WATERING PRIOR TO PLANTING.
- 7. FINISH GRADE TO BE 1" BELOW ALL WALKS, CURBS, AND PAVING.
- 8. ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. **ROTO-TILL AMENDMENTS TO A DEPTH OF 6"** \*150 LBS. GRO-POWER
  - \*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- 9. PLANT HOLE TO BE TWICE AS WIDE AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% WITH 60% SOIL OF SITE AND 40% FIR BARK, UNLESS OTHERWISE NOTED. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

1 GAL	2
5 GAL	5
15 GAL	10
24" BOX AND UP 14	

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS.

- 10. "DEEP ROOT" BARRIERS ARE TO BE USED AROUND ALL TREES LOCATED WITHIN 5 FT. OF PAVING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES AFTER PLANTING.
- 11. ALL PROPOSED SHRUB AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- 12. ALL PLANTING AREAS TO BE TOP DRESSED WITH MULCH PER SPECIFICATIONS.
- 13. INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- 14. NO CASTING AND SPRAYING OF SEED FOR SOD INSTALLATION IS INTENDED FOR THIS PROJECT. LANDSCAPE DWGS WILL ADD A GENERAL NOTE STATING THAT THIS APPLICATION SHALL NOT BE IMPLEMENTED, REFERENCE MMRP-LAXN-PDF-111.

### PLANTER SOIL MIX

SPECIFICATIONS.

1. TOP 12" OF PLANTING SOIL TO BE PROVIDED AS IMPORT SOIL, EQUAL TO EARTHWORKS- 80/20 CUSTOM TOPSOIL/WCP MIX OR AGROMIN- UNIVERSAL BLEND. 2. ALL OTHER PLANTING SOIL TO BE PROVIDED AS AMENDED SITE SOIL OR AS DIRECTED PER THE AGRONOMIC SOILS REPORT. 3. ALL SOILS TO COMPLY WITH SOIL REQUIREMENTS AS NOTED IN THE SOIL PREPARATION

FINAL TREE LOCATIONS

THE FINAL LOCATIONS FOR ALL TREES SHALL BE AT THE **DIRECTION OF THE CAMPUS ARBORIST. CONFIRM** PLACEMENT BEFORE PLANTING

TREES	CODE	BOTANICAL / COMMON NAME	CONT	WATER USE	QTY
•	PLA COL	PLATANUS X ACERIFOLIA `COLUMBIA` / COLUMBIA LONDON PLANE TREE	48" BOX	LOW	5
•	QUE AGR	QUERCUS AGRIFOLIA / COAST LIVE OAK	60" BOX	LOW	1
	RHU MU2	RHUS LANCEA / AFRICAN SUMAC MULTI-TRUNK	24" BOX	LOW	3
	RHU MUL	RHUS LANCEA / AFRICAN SUMAC MULTI-TRUNK	48" BOX	LOW	6
	TIP TIP	TIPUANA TIPU / TIPU TREE	48" BOX	LOW	3

## CONCEPT PLANT SCHEDULE



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ZONE A - STREETSCAPE 20% LOW GROUNDCOVER; 80% MEDIUM SHRUB; LOW WATER USE



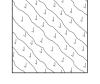
770 SF ZONE B - POCKET PARK 40% LOW GROUND COVER; 40% MEDIUM SHRUB; 20% TALL SHRUB; LOW-MEDIUM WATER USE



ZONE C - RAIL SPUR 60% LOW GROUND COVER; 20% MEDIUM SHRUB; 20% TALL SHRUB; LOW WATER USE

N	0/0/0/0	
1Q	10000	
N	66666	
1	66664	
12	66664	

2,787 SF ZONE D - ROOF DECK EDGE 100% LOW GROUNDCOVER; LOW-MEDIUM WATER USE -



ZONE E - ROOF DECK INTERIOR 40% LOW GROUND COVER; 60% MEDIUM SHRUB; LOW-MEDIUM WATER USE

562 SF

706 SF

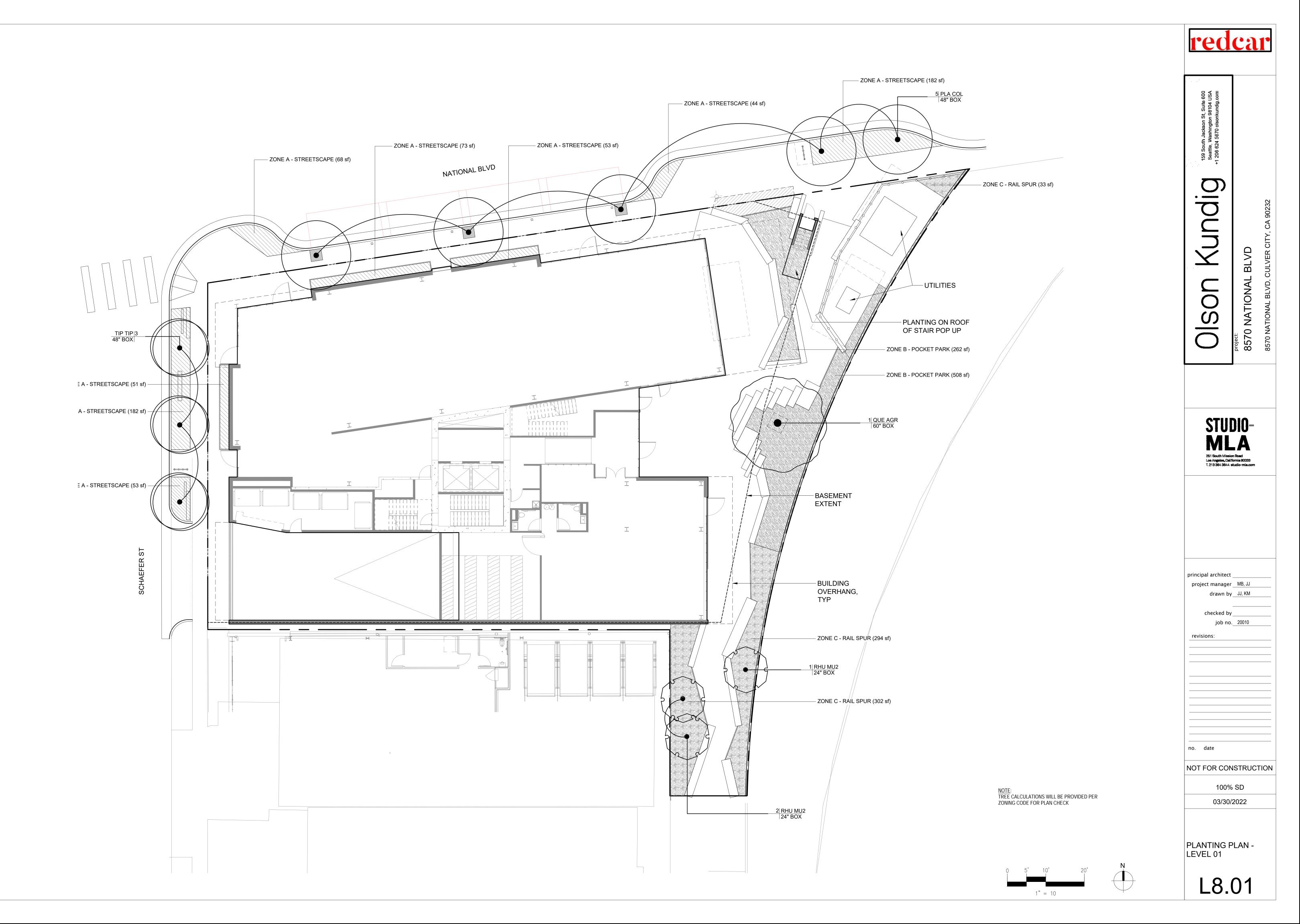
629 SF

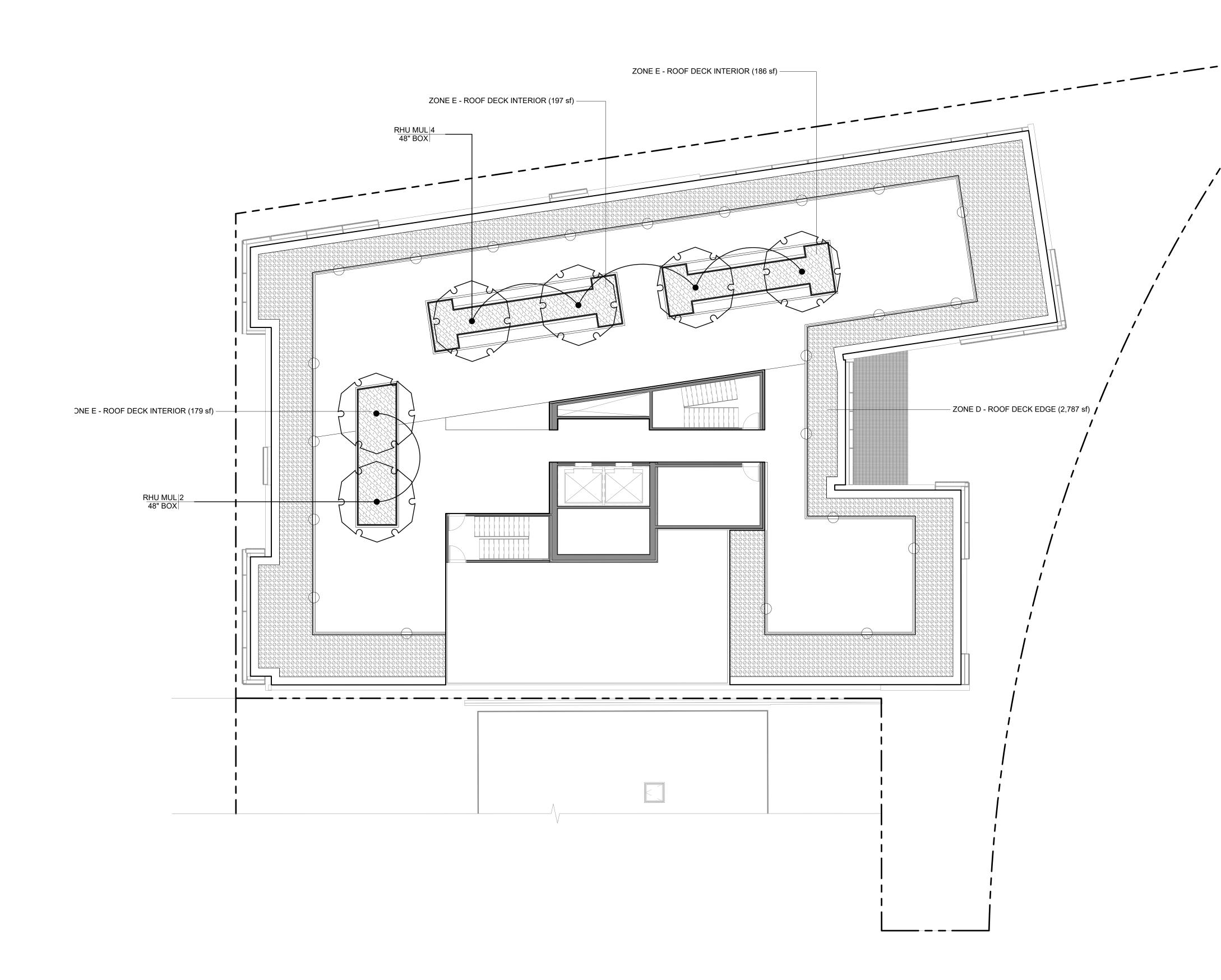
PLANTING CALCULATIONS PUBLIC RIGHT-OF-WAY PLANTING: 706 SF PUBLIC RIGHT-OF-WAY TREE COUNT: 8

**GROUND LEVEL PLANTING: 1399 SF GROUND LEVEL TREE COUNT: 4** 

**ROOFTOP PLANTING 3,349 SF ROOFTOP TREE COUNT: 6** 

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		STUI STUI Dis Angeles, Calif T. 213 384 3844 s	n Road formia 90033
		principal architect project manager drawn by checked by job no. revisions:	
			SD
10' 20' 1" = 10	N	PLANTING F ROOF DECK	

### ABBREVIATIONS

BW	BACK OF WALK	INV	INVERT OF PIPE
СВ	CATCH BASIN	MAX	MAXIMUM
CF	CUBIC FEET	MIN	MINIMUM
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	(P)	PROPOSED
ELEV	ELEVATION	PL	PROPERTY LINE
FC	FACE OF CURB	RIM	TOP OF STRUCTURE COVER
FG	FINISH GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FL	FLOWLINE	STD	STANDARD
FS	FINISH SURFACE	ТС	TOP OF CURB
FW	FIRE WATER	TEMP	TEMPORARY
GB	grade break	TYP	TYPICAL
HP	HIGH POINT	VIF	VERIFY IN FIELD

## UTILITY COMPANY CONTACTS

### COMPANY

Underground Utility Southern California Gas Company-Distribution Golden State Water Company Southern California Edison Verizon MCI Worldcom AT&T LA DWP (Water) LA (Sewer) Time Warner Cable Abovenet, INC. Exxon-Mobile Oil Corporation Chevron Pipeline Company MWD-Pipeline Maintenance Group

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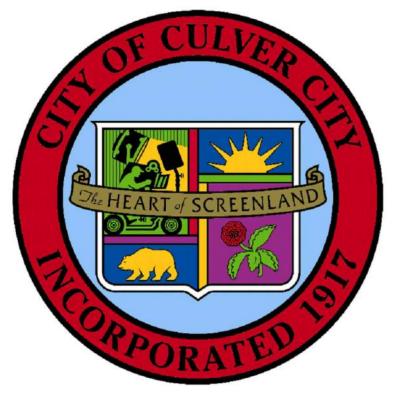
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### UNAUTHORIZED CHANGE AND USE

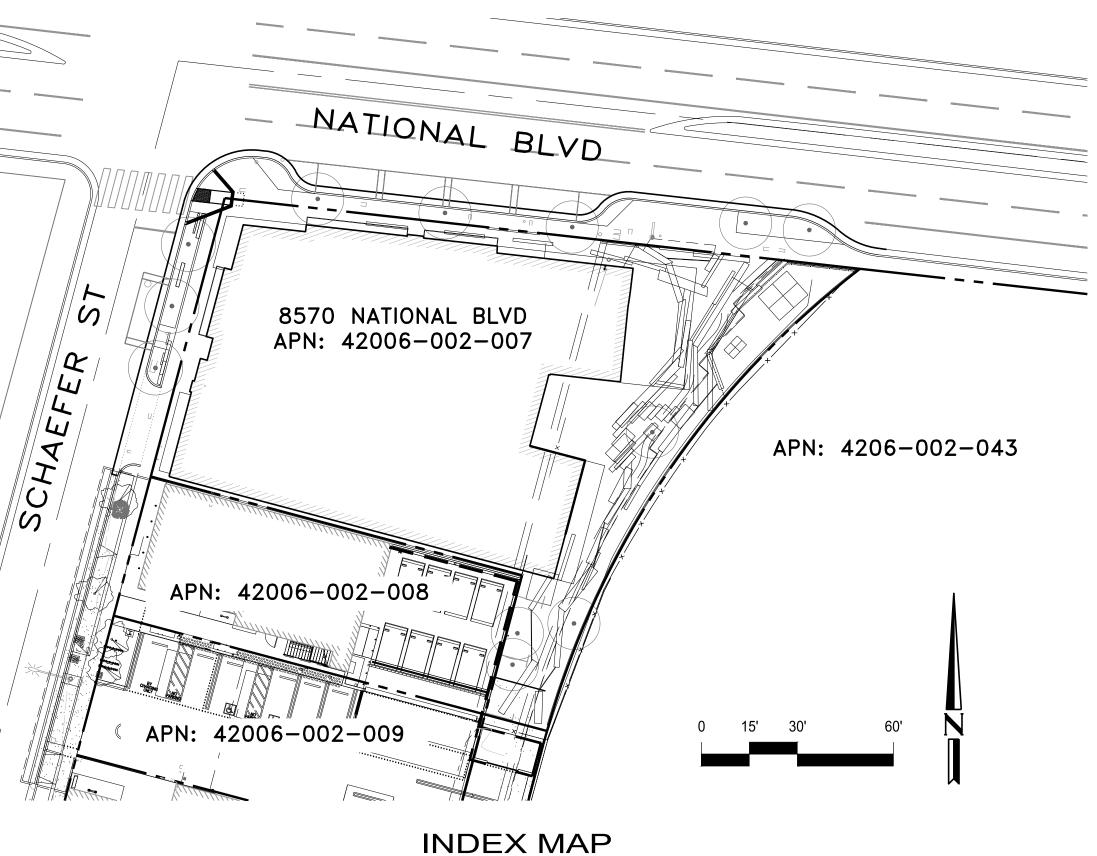
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- 2. THE CIVIL DESIGN ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. ANY MODIFICATIONS TO THIS DOCUMENT, WITHOUT THE WRITTEN PERMISSION OF SHERWOOD DESIGN ENGINEERS, LTD., SHALL RENDER THE PLANS INVALID AND UNUSABLE.
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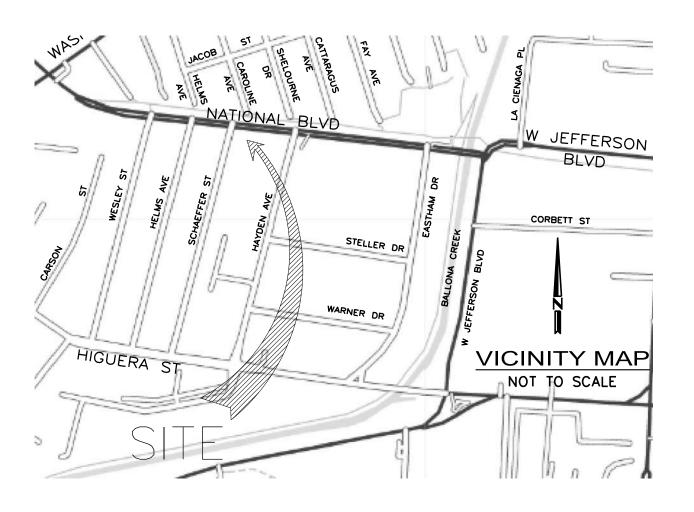


# 8570 NATIONAL BLVD **OFF-SITE STREET IMPROVEMENT**



SCALE=1"=30'

PLANS PREPARED UNDER THE SUPERVISION OF:	$\wedge$	
	<u>_1</u>	
	2	
Project Number: PR-	3	
Drawing No.	NO.	REVISION



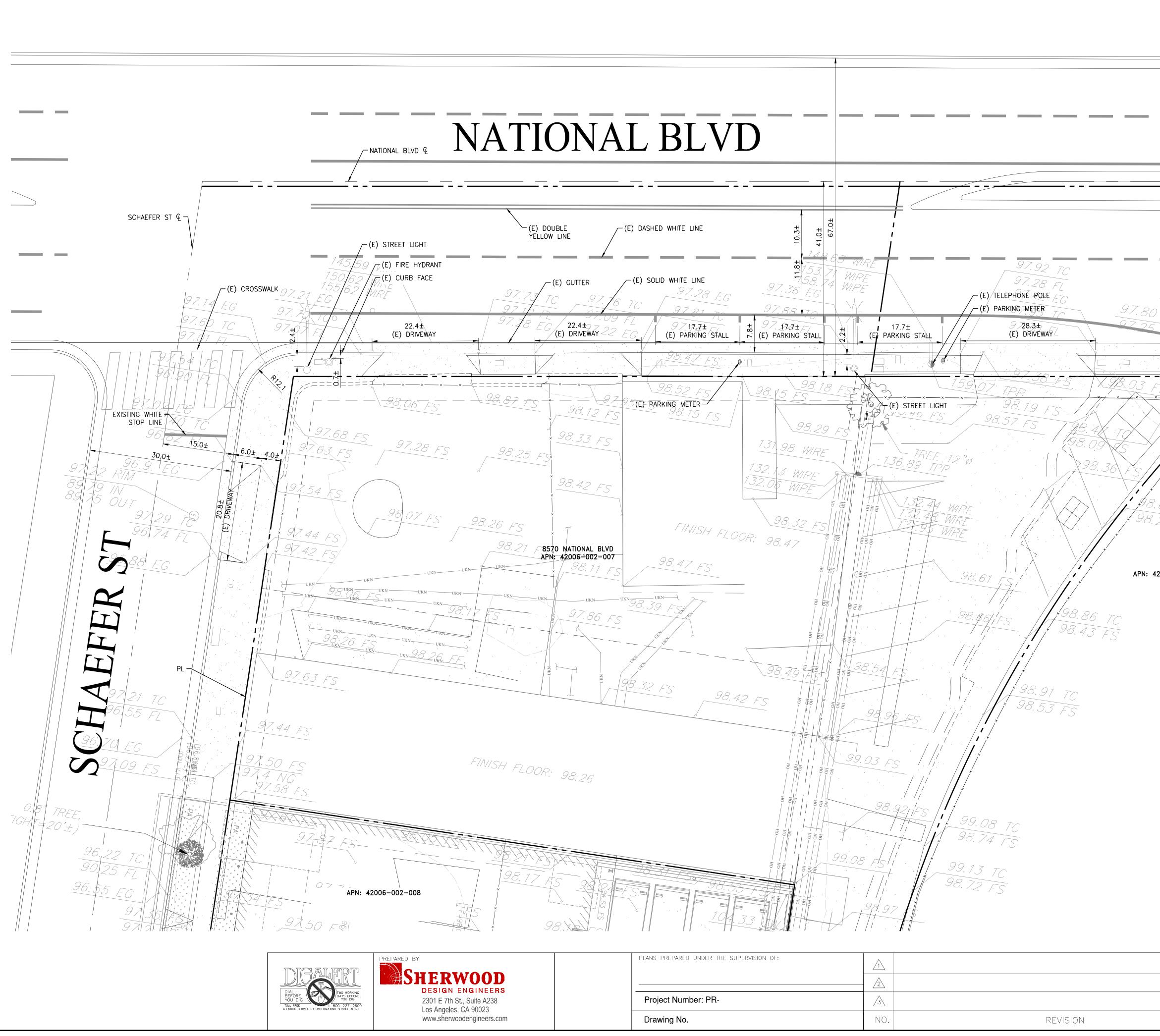
### SHEET INDEX

- SHEET1: TITLE SHEETSHEET2: GENERAL NOTES
- SHEET 3: DETAILS SHEET 4: DETAILS
- SHEET 5: EXISTING CONDITIONS PLAN
- SHEET 6: SCHAEFER ST AND NATIONAL BLVD STREET IMPROVEMENTS PLAN SHEET 7: SCHAEFER ST AND NATIONAL BLVD GRADING AND DRAINAGE PLAN
- SHEET 8: SCHAEFER ST AND NATIONAL BLVD STRIPING PLAN

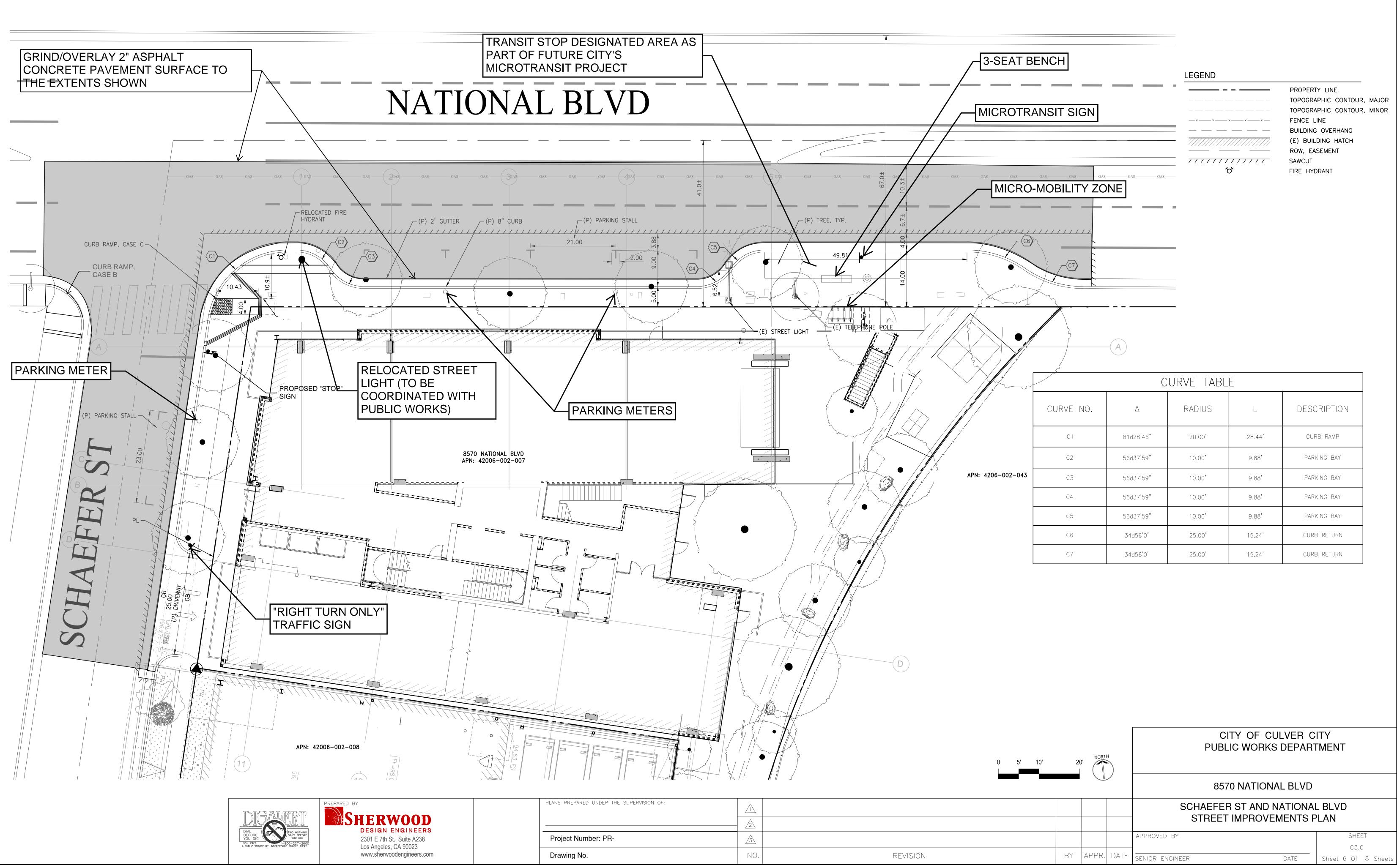
### **EXISTING CONDITIONS**

- 1. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON ALTA/NSPS LAND TITLE SURVEY OF 8570 & 8573 NATIONAL BOULEVARD (APN 4206-002-006 AND 35) PROVIDED BY JRN CIVIL ENGINEERS, WITH THE RECORDED DATE OF JULY 12, 2019. THE BEARING OF N 14°52'32" E ALONG THE CENTERLINE OF SCHAEFFER STREET PER RSB 146/83 IN THE CITY OF CUVLER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY. GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT FIELD INVESTIGATIONS TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- 2. THIS TOPOGRAPHIC SURVEY IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. INFORMATION REGARDING EXISTING SURFACE OR SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS REFLECTS INCOMPLETE AVAILABLE INFORMATION AS OF THE DATE OF DESIGN. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES (WHETHER SHOWN ON THESE PLANS OR NOT) PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
- 3. FEMA FLOOD INSURANCE RATE MAP NUMBER 06037C1585F, EFFECTIVE DATE 09/26/2008, WAS USED TO REVIEW THE SITE'S LOCATION RELATIVE TO FLOODPLAINS, SPECIAL HAZARD AREAS, AND RISK PREMIUM ZONES. THE PROJECT SITE IS LOCATED IN "ZONE X" – AN AREA OF MINIMAL FLOOD HAZARD.

			CITY OF CULVER CITY				
			PUBLIC WORKS DEPARTMENT				
			857	0 NATIONAL BLVD			
				TITLE SHEET			
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BY	APPR.	DATE	SENIOR ENGINEER	DATE	Sheet 1 Of 8 Sheets		

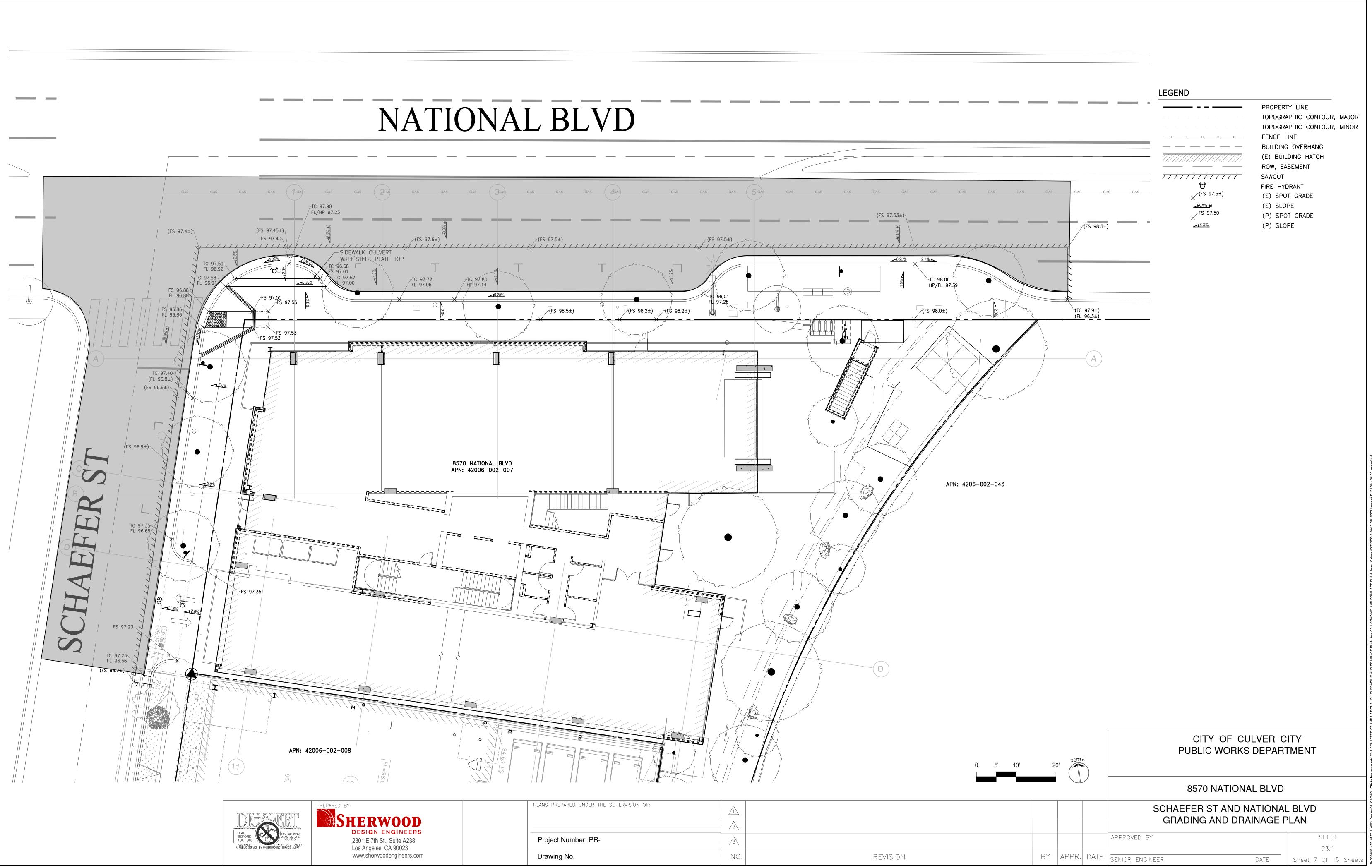


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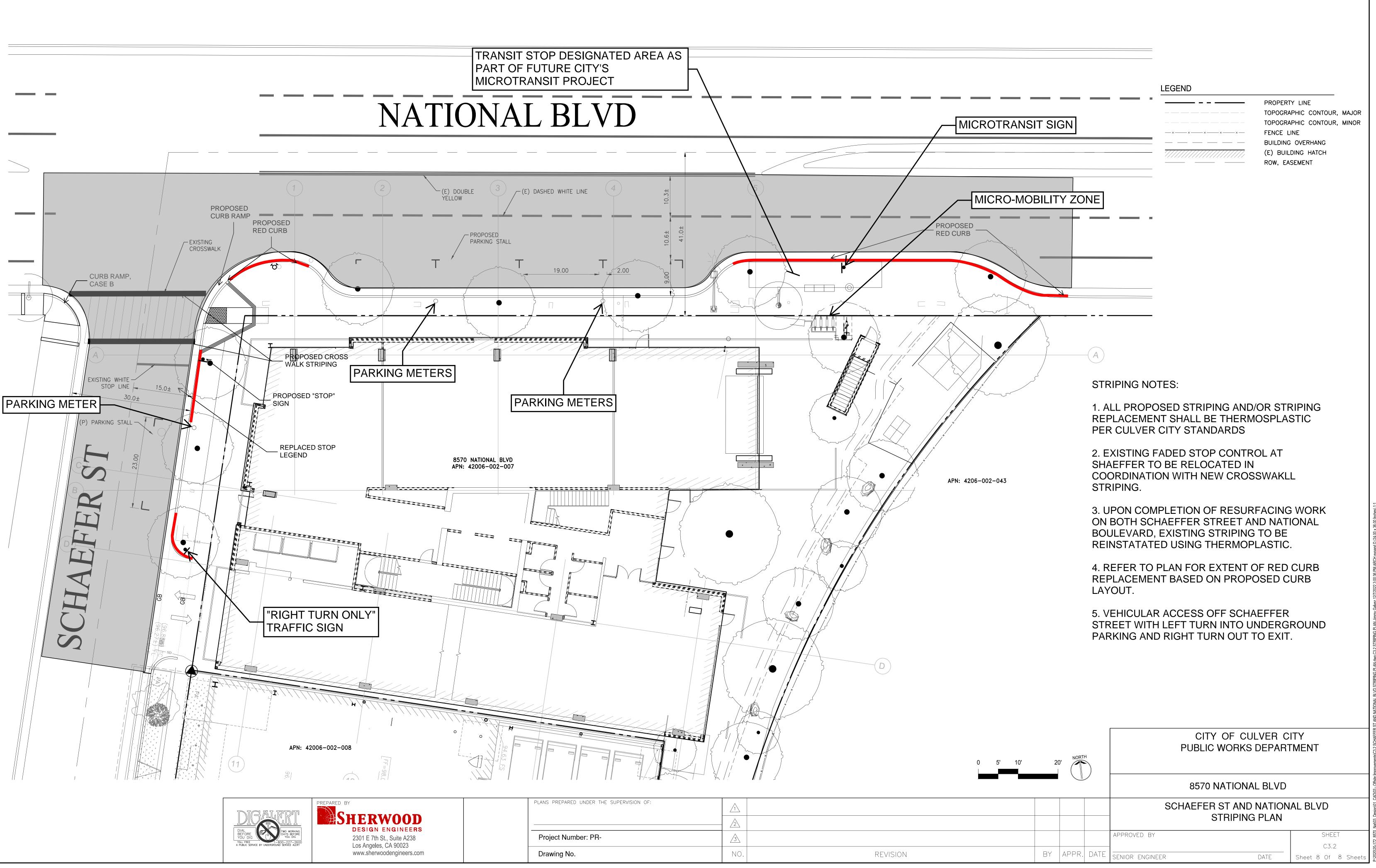


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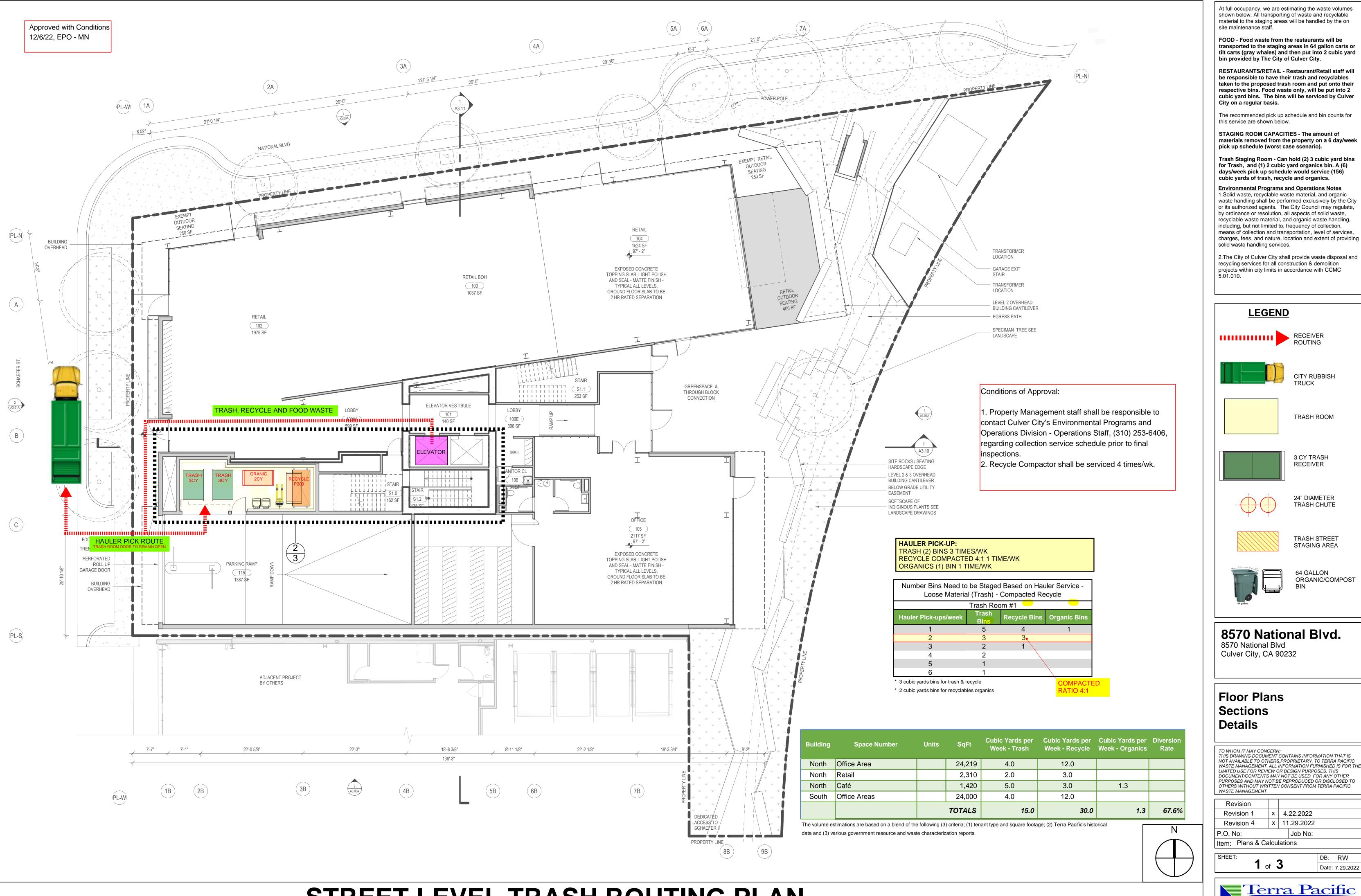
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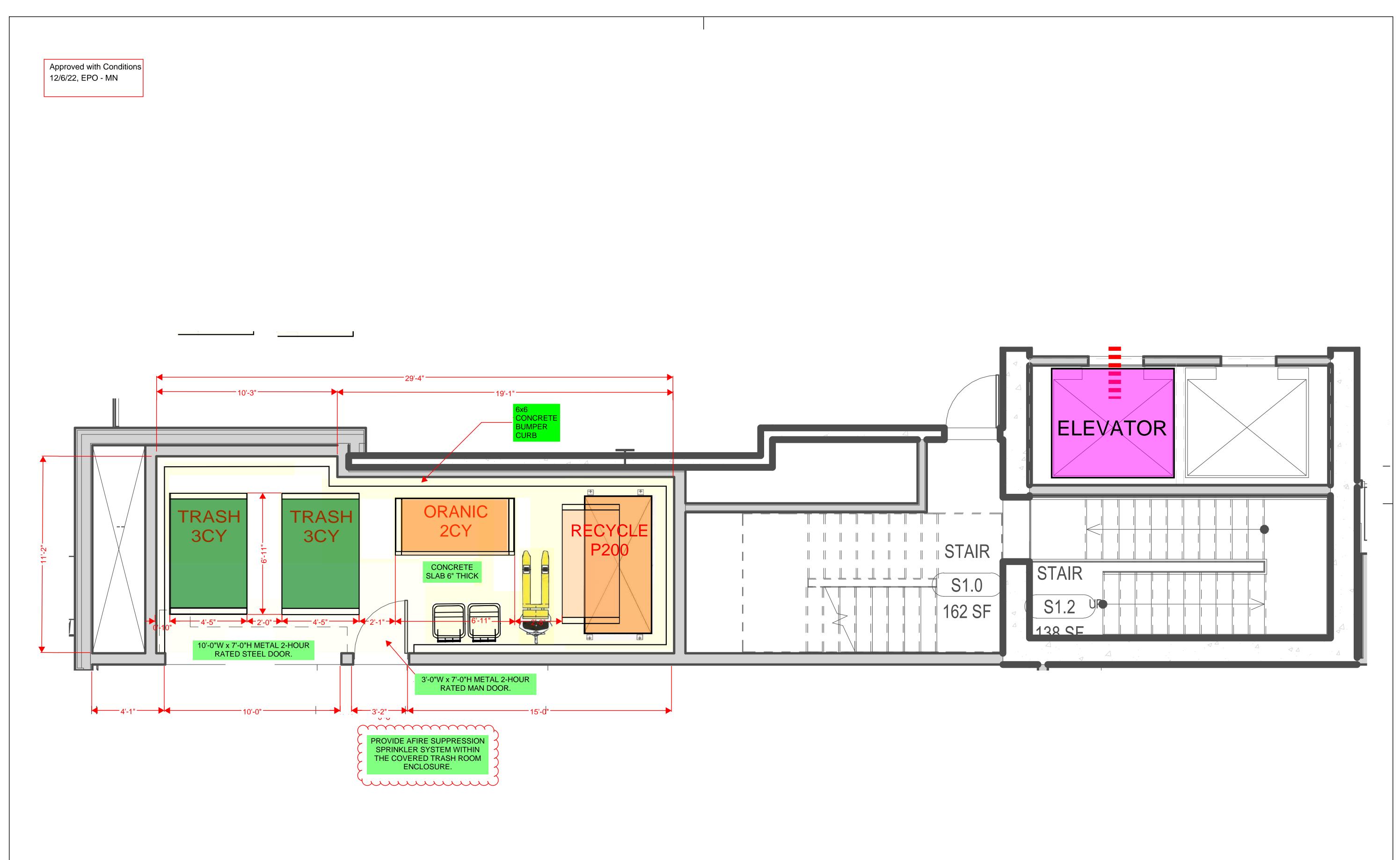


# STREET LEVEL TRASH ROUTING PLAN

WASTE MANAGEME

Design. Build. Manage.™

2081 business center dr., ste 230, irvine ca 92612 · 800.765.1308 tel | fax · www.terrapacificwaste.co



Conditions of Approval:

1. Property Management staff shall be responsible to contact Culver City's Environmental Programs and Operations Division - Operations Staff, (310) 253-6406, regarding collection service schedule prior to final inspections.

2. Recycle Compactor shall be serviced 4 times/wk.

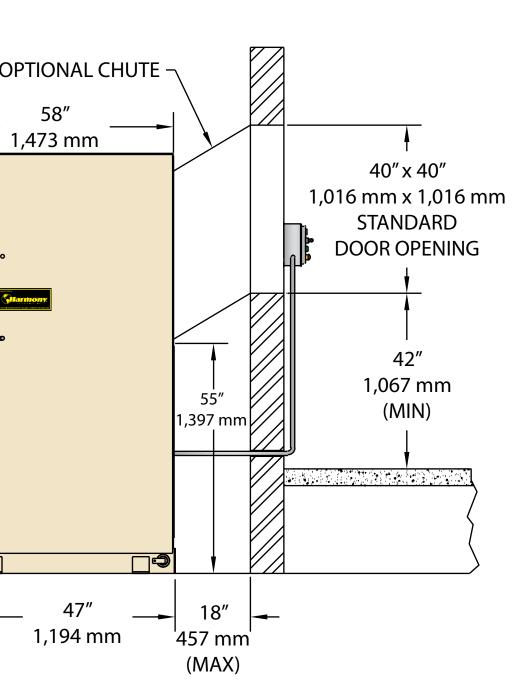
# ENLARGED TRASH AREA PLAN

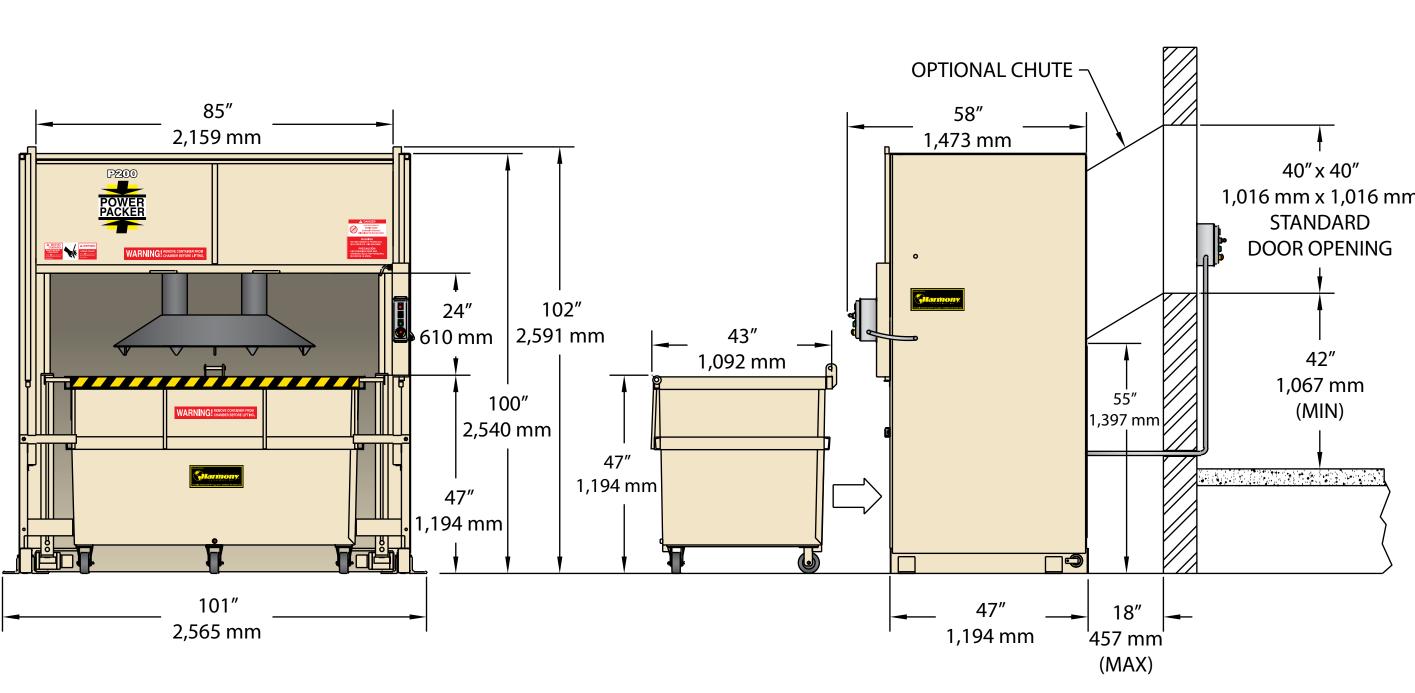
1	KEY NOTES
	24" diameter chute fabricated from 16 Gauge
	aluminized steel. Intake door 15" Wide x 18" High bottom hinged
	noiseless, self closing, self latching, stainless stee
2	front, back and skirt, bearing UL label 1-1/2 hour maximum temperature rise 250 degrees Farenheit
2	30 minute. Embossed "RECYCLE" or "RUBBISH
	stainless steel trim. ADA lever handle with lock and
	2 keys. Rubber Baffle @ each intake UL label 1-1/2 hour rated Rolling Incline Discharge
2	Interlocking spring loaded blades held open b
3	fusible link for automatic closing when heat rise
	above 165 degrees farenheit. 3/4" Flushing spray head ready for connection
4	Plumbing connection BY OTHERS.
	Chute support, by means of clips welded at quarters
5	to sit on angle iron and bar grid type floor frame
5	Steel to be 3/16" thick minimum. (Structural suppor
	of chute floor frame to be provided BY OTHERS).
6	165° F sprinklers to be furnished only; installation hook-up BY OTHERS. (Sprinklers are located inside
0	the intake and placed at L2, L4, L6 etc.
	Heavy guage aluminum vent extending full diamte
7	above roof (per NFPA-82-2009). Aluminum hinger
	rain cap top with 1" air space and holdown clips Heavy guage aluminum w/flat, pirched or curbed
8	1 floor Retainer Flange provided above discharge.
	Manual disinfecting unit w/proportioning valve a
	flushing spray head above top intake. 15" x 15" righ
9	side hinged access door bearing UL label. AD/ locking lever handle with 2 keys. Installation B
	OTHERS. (Vacuum breaker, control valve an
	backflow preventer BY OTHERS).
	Electrical Interlock System (EIS) with push button to unlock door and trigger lights indicating CHUTE-IN
10	USE. Manual control box at discharge level to loc
10	out intake doors and activate IN-USE light fo
	service. Flexible conduit & wiring included. (Note Shown)
	Shown) Mason Type ND (Per floor) Isolating Pads on all floo
11	frames support legs. (Not shown)
12	Factory applied sound dampening from discharge
	level to top of last intake. One heat device with connection will be provided
13	Smoke device and connection to be provided B
	OTHERS. (Not shown)
	NOTES
Α	WALL BUMPERS - 4x12 P.T. 36" ABOVE FLOOR
B	2 CUBIC YARD TRASH/RECYCLE CONTAINERS
Б С	FLOOR DRAIN
D	COMPACTOR POWER UNIT
E	HOSE BIB WITH SECURITY KEY
F G	CHUTE OFFSET. (MAXIMUM 15 DEGREE PER NFPA-82)
G H	SHIFT OPENING TO PROVIDE ACCESS/REMOVAL OF
<u></u>	THE TRASH COMPACTED CONTAINER.
	STEEL CORNER GUARDS.
J	TRASH/RECYCLE CONTROL PANEL
	"PILAN" ODOR UNIT. MOUNTED 48" ABOVE GROUND.
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Terra Pacific WASTE MANAGEMENT



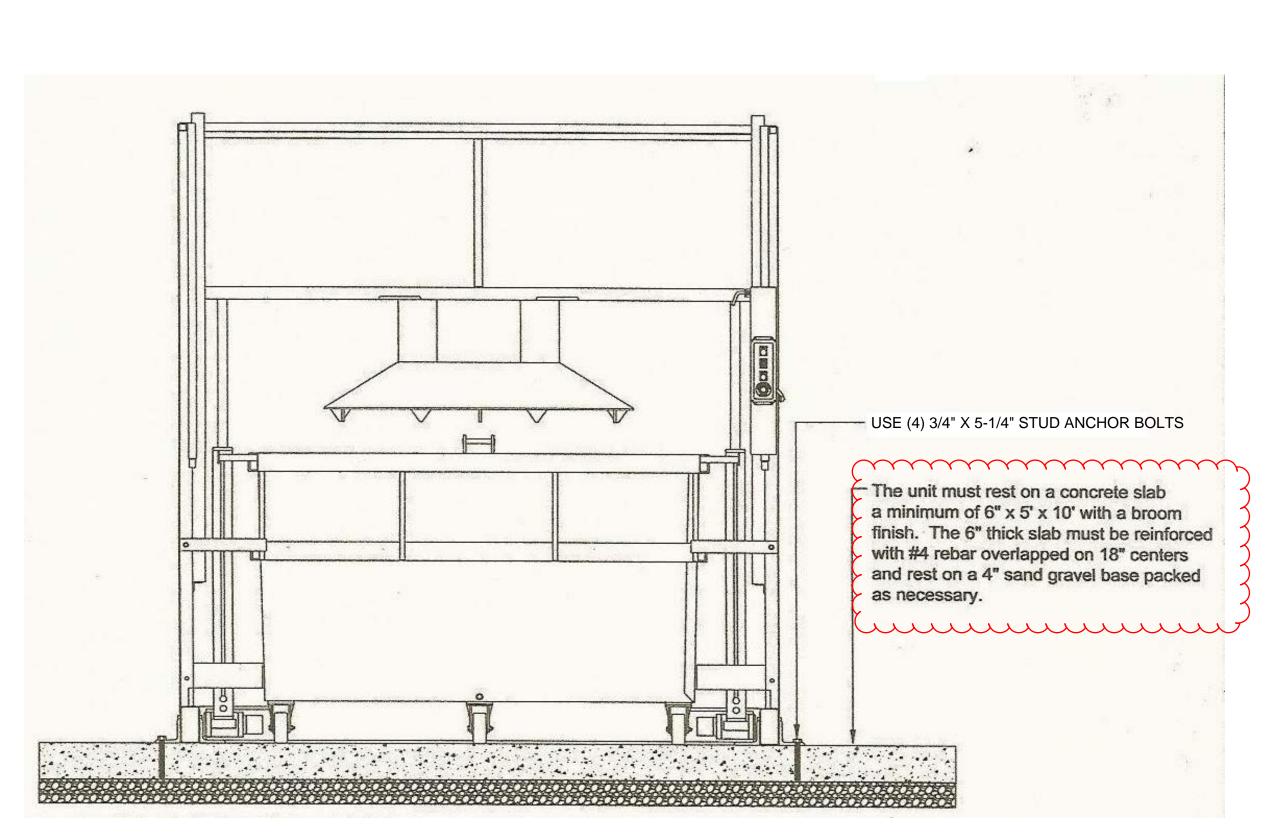


### SPECIFICATIONS

Container Capacity	2 cubic yards
Ram Pressure	34,000 lbs. maximum (15,422 kg)
Cycle Time	28 seconds
Twin Cylinders	3" bore (76 mm) 1.5" rod (38 mm) 37.5" stoke (953 mm)
Motor	2 horsepower, TEFC
Pump	Two-stage
Electrical Power	115/230 volt, 1 phase, 60 hz

#### DIMENSIONS

Loading Door Opening	85″x
Container Height	47"(1
Overall Height	102″
Overall Width	101″
Overall Depth	58"(1
Load Opening	85″ x
Ram Face	48″ x
Oil Reservoir	6 gal
Shipping Weight - Compactor - Container	3,250 734



# **CHUTE SECTIONS**

### x 24" (2,159 mm x 610 mm)

- (1,194 mm)
- 2" (2,591 mm)
- " (2,565 mm)
- (1,473 mm)
- x 24" (2,159 mm x 610 mm)
- x 27" (1,219 mm x 686 mm)
- allons
- 50 lbs. (1,474 kg) 4 lbs. (333 kg)







KEY NOTES		
1	24" diameter chute fabricated from 16 Gauge aluminized steel.	
	Intake door 15" Wide x 18" High bottom hinged,	
	noiseless, self closing, self latching, stainless steel front, back and skirt, bearing UL label 1-1/2 hour,	
2	maximum temperature rise 250 degrees Farenheit, 30 minute. Embossed "RECYCLE" or "RUBBISH"	
	stainless steel trim. ADA lever handle with lock and	
	2 keys. Rubber Baffle @ each intake UL label 1-1/2 hour rated Rolling Incline Discharge.	
3	Interlocking spring loaded blades held open by	
3	fusible link for automatic closing when heat rises above 165 degrees farenheit.	
4	3/4" Flushing spray head ready for connection.	
·	Plumbing connection BY OTHERS.	
_	Chute support, by means of clips welded at quarters, to sit on angle iron and bar grid type floor frame.	
5	Steel to be 3/16" thick minimum. (Structural support	
	of chute floor frame to be provided BY OTHERS).	
6	165° F sprinklers to be furnished only; installation, hook-up BY OTHERS. (Sprinklers are located inside	
	the intake and placed at L2, L4, L6 etc.	
7	Heavy guage aluminum vent extending full diamter above roof (per NFPA-82-2009). Aluminum hinged	
1	rain cap top with 1" air space and holdown clips.	
8	Heavy guage aluminum w/flat, pirched or curbed 1 floor Retainer Flange provided above discharge.	
	Manual disinfecting unit w/proportioning valve at	
	flushing spray head above top intake. 15" x 15" right	
9	side hinged access door bearing UL label. ADA locking lever handle with 2 keys. Installation BY	
	OTHERS. (Vacuum breaker, control valve and	
	backflow preventer BY OTHERS). Electrical Interlock System (EIS) with push button to	
	unlock door and trigger lights indicating CHUTE-IN-	
10	USE. Manual control box at discharge level to lock out intake doors and activate IN-USE light for	
	service. Flexible conduit & wiring included. (Note	
10	Shown) Mason Type ND (Per floor) Isolating Pads on all floor	
11	frames support legs. (Not shown)	
12	Factory applied sound dampening from discharge level to top of last intake.	
13	One heat device with connection will be provided. Smoke device and connection to be provided BY	
13	OTHERS. (Not shown)	
	NOTES	
Α	WALL BUMPERS - 4x12 P.T. 36" ABOVE FLOOR	
B	2 CUBIC YARD TRASH/RECYCLE CONTAINERS	
C	FLOOR DRAIN	
D	COMPACTOR POWER UNIT	
Ε	HOSE BIB WITH SECURITY KEY	
F	NC50 COMPACTOR	
G	CHUTE OFFSET. (MAXIMUM 15 DEGREE PER NFPA-82)	
Η	SHIFT OPENING TO PROVIDE ACCESS/REMOVAL OF THE TRASH COMPACTED CONTAINER.	
I	STEEL CORNER GUARDS.	
J	TRASH/RECYCLE CONTROL PANEL	
K	"PILAN" ODOR UNIT. MOUNTED 48" ABOVE GROUND.	
L	2 CY ORGANIC BIN 2 CY COMPACTOR BIN	
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Revision		
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Revision 4         x         11.29.2022           P.O. No:         Job No:		
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