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8570 NATIONAL BLVD
8570 NATIONAL BLVD, CULVER CITY, CA
90232

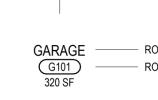
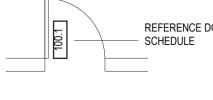
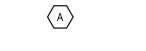
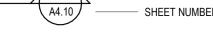
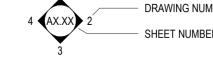
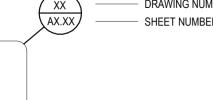
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Q	AT
C	CENTERLINE
E	PROPERTY LINE
D	DIAMETER
N	POUND OR NUMBER
(E)	EXISTING
(N)	NEW
AB	ANCHOR BOLT
ABV	ABOVE
ACC	ACCESS
ACOUS	ACOUSTICAL
ACS	ASPHALT CONCRETE PAVING
ACP	ACCESS PANEL
ACT	ACTUATOR
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES
ADJ	ADJUSTABLE
AFJ	ABOVE FINISHED FLOOR
AGGR	AGGREGATE
AIB	AIR INFILTRATION BARRIER
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
ACTH	ARCHITECTURAL
ASPH	ASPHALT
AUTO	AUTOMATIC
BD	BOARD
BITUM	BITUMINOUS
ADG	BUILDING
BLKG	BLOCKING
BM	BEAM
BO	BOTTOM OF...
BOT	BOTTOM
BRG	BEARING
BSMT	BASEMENT
BUR	BUILT UP ROOFING
CAB	CABINET
CEB	CATCH BASIN
CEM	CEMENT
CER	CERAMIC
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CLG	CEILING
CLK	CAULKING
CLO	CLOSET
CLR	CLEAR
CNU	CONCRETE MASONRY UNIT
CMR	COUNTER
CON	CONCRETE
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTED
CORR	CORRIDOR
CPT	CARPET, CARPET
CSK	COLD ROLLED STEEL
CRS	COUNTERSUNK
CT	CERAMIC TILE
CTR	CENTER
CU FT	CUBIC FEET
DBL	DOUBLE
DEMO	DEMOLITION
DET	DETENTION
DIA	DIAMETER
DIM	DIMENSION
DL	DEAD LOAD
DN	DOWN
DR	DOOR
DR OPENG	DOOR OPENING
DSP	DOWNSPOUT
DSP	DRY STANDPIPE
DT	DRAIN TILE
DW	DISHWASHER
DWG	DRAWING
E	EAST
EJ	EACH
EJ	EXPANSION JOINT
ELEV	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
ENCL	ENCLOSURE
EQU	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE
EW	EACH WAY
EXH/FN	EXHAUST FAN
EXIST	EXISTING
EXP	EXPANDED, EXPANSION
EXP BT	EXPANSION BOLT
EXPO	EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FB	FLAT BOARD
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHING CABINET
FF FL	FINISH FLOOR ELEVATION
FF	FINISH FLOOR
FFC	FIRE HYDRANT
FFC	FIRE HOSE CABINET
FIN FLR	FINISH FLOOR
FF	FINISH TO FINISH
FIN	FINISH
FLASH	FLASHING
FL	FLOOR, FLOORING
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOIC	FURNISHED BY OWNER - INSTALLED BY CONTRACTOR
FOM	FACE OF MASONRY
FOS	FACE OF STUDS
FP	FIREPROOF
FPL	FIREPLACE
FR	FRAME
FT	FOOT OR FEET
FTG	FOOTING
FURR	FURRING
FUT	FUTURE
FW	FULL WIDTH
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLUE-LAMINATED
GLAM	GLASS
GWB	GYPSUM WALL BOARD
GYP	GYPSUM

HC	HOSE BIBB	T	TREAD
HCC	HOLLOW CORE	T&G	TONGUE AND GROOVE
HDO	HIGH DENSITY OVERLAY	TEL	TELEPHONE
HDR	HEADER	TER	TERRAZZO
HDWD	HARDWOOD	TG	TEMPERED GLASS
HDW	HARDWARE	THK	THICK
HM	HOLLOW METAL	TO	TOP OF...
HORIZ	HORIZONTAL	TOB	TOP OF BEAM
HP	HIGH POINT	TOC	TOP OF CONCRETE; CURB
HQR	HIGH RISE	TOF	TOP OF FLOOR; FOOTING; FRAME
HT	HEIGHT	TOM	TOP OF MASONRY
HVAC	HEATING/VENTILATING/AIR	TOP	TOP OF PARAPET; PAVEMENT
	CONDITIONING	TOPO	TOPOGRAPHY
HW	HOT WATER	TOS	TOP OF SLAB; STEEL
HWT	HOT WATER TANK	TOW	TOP OF WALL
		TS	TUBE STEEL
ID	INSIDE DIAMETER	TSTAT	THERMOSTAT
IN	INCH	TYP	TYPICAL
INCL	INCLUDED		
INSUL	INSULATION	UNO	UNLESS OTHERWISE NOTED
INT	INTERIOR		
INV	INVERT		
		VB	VINYL BASE
JB	JUNCTION BOX	VEN	VENER
JF	JOINT FILLER	VERT	VERTICAL
JT	JOINT	VEST	VESTIBULE
		VG	VERTICAL GRAIN
K	KITCHEN	VIF	VERIFY IN FIELD
KIT	KNOCKOUT	VT	VINYL TILE
		W	WEST
LAM	LAMINATE, LAMINATED	W/	WITH
LAV	LAVATORY	W/O	WITHOUT
LP	LOADS	WC	WATER CLOSET
LF	LINEAR FOOT (FEET)	WD	WOOD
LH	LEFT HAND	WDW	WINDOW
LL	LIVE LOAD	WF	WIDE FLANGE
LOC	LOCATION	WF BM	WIDE FLANGE BEAM
LOP	LOW POINT	WG	WIRED GLASS
LT	LIGHT	WH	WATER HEATER
		WL	WATER LINE
		WLD	WELDED
MAS	MASONRY	WP	WATERPROOF
MATL	MATERIAL	WPM	WATERPROOF MEMBRANE
MAX	MAXIMUM	WR	WATER RESISTANT
MB	MACHINE BOLT	WSC	WAINSCOT
MC	MEDICINE CABINET	WSG	WIRE SAFETY GLASS
MDF	MEDIUM DENSITY FIBERBOARD	WTR	WATER
MDO	MEDIUM DENSITY OVERLAY	WWF	WELDED WIRE FABRIC
MECH	MECHANICAL	WWM	WELDED WIRE MESH
MEMB	MEMBRANE	WT	WEIGHT
MEZZ	MEZZANINE		
MFR	MANUFACTURER		
MIN	MINIMUM		
MIR	MIRROR		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		
MTD	MOUNTED		
MTL	METAL		
MUL	MULLION		
N	NORTH		
NA	NOT APPLICABLE		
NIC	NOT IN CONTRACT		
NO	NUMBER		
NOM	NOMINAL		
NR	NOISE REDUCTION		
NTS	NOT TO SCALE		
OA	OVERALL		
OC	ON CENTER		
OD	OUTSIDE DIAMETER		
	OVERFLOW DRAIN		
OFF	OFFICE		
OH	OVERHEAD		
OHWM	ORDINARY HIGH WATER MARK		
OPNG	OPENING		
OPP	OPPOSITE		
OSB	ORIENTED STRAND BOARD		
PBD	PARTICLE BOARD		
PCC	PRECAST CONCRETE		
PCF	POUNDS PER CUBIC FOOT		
PERF	PERFORATED		
PERP	PERPENDICULAR		
PL	PLATE		
PLAM	PLASTIC LAMINATE		
PLAS	PLASTER		
PLWD	PLYWOOD		
PNL	PANEL		
PNT	POINT		
PR	PAIR		
PRCST	PRECAST		
PSF	POUNDS PER CUBIC FOOT		
PSI	POUNDS PER SQUARE INCH		
PT	PRESERVATIVE TREATED		
PTN	PARTITION		
PVC	POLYVINYL CHLORIDE		
R	RISER		
RA	RETURN AIR		
RAD	RADIUS		
RO	ROOF DRAIN		
REF	REFERENCE		
REFR	REFRIGERATOR		
REG	REGISTER		
REINF	REINFORCED		
REM	REMAINDER		
REQ	REQUIRED		
RESIL	RESILIENT		
REV	REVISION; REVISIONS; REVISED		
RH	RIGHT HAND		
RM	ROOM		
RO	ROUGH OPENING		
RWL	RAIN WATER LEADER		
S	SOUTH		
SAF	SELF-ADHERED FLASHING		
SAM	SELF-ADHERED MEMBRANE		
SC	SOLID CORE		
SCHED	SCHEDULE		
SD	SMOKE DETECTOR		
SECT	SECTION		
SG	SAFETY GLASS		
SHV	SHELF; SHELVING		
SHR	SHOWER		
SHT	SHEET		
SHT MTL	SHEET METAL		
SHTG	SHEATHING		
SIM	SIMILAR		
SOG	SLAB ON GRADE		
SPEC	SPECIFICATION		
SQ FT	SQUARE FOOT (FEET)		
SQ IN	SQUARE INCHES)		
SST	STAINLESS STEEL		
STD	STANDARD		
STL	STEEL		
ST	STONE		
STOR	STORAGE		
STRUCT	STRUCTURAL		
SUSP	SUSPENDED		
SYM	SYMMETRICAL		

1. GRID LINE REFERENCE
 
2. ROOM REFERENCE
 
3. DOOR REFERENCE
 
4. WINDOW / SKYLIGHT REFERENCE
 
5. ELEVATION / DATUM REFERENCE
 
6. EXTERIOR ELEVATION
 
7. BUILDING SECTION
 
8. WALL SECTION
 
9. INTERIOR ELEVATION
 
10. DETAIL REFERENCE
 
11. ASSEMBLY REFERENCE
 
12. NORTH SYMBOL
 
13. REVISION REFERENCE
 

	WOOD BLOCKING SHIM		WOOD FRAMING (CONTINUOUS)
	FINISHED WOOD		PLYWOOD
	BATT INSULATION		RIGID INSULATION
	MINERAL INSULATION		FOAMED IN PLACE INSULATION
	GRAVEL		EARTH
	STEEL		ALUMINUM
	CMU		BRICK
	STONE		CONCRETE

LOT SIZE:
17,767 SF

LAND USE DESIGNATION:
IG (INDUSTRIAL)

PROJECT DESCRIPTION:
THREE LEVEL OFFICE BUILDING WITH GROUND FLOOR RESTAURANT SPACE AND
THREE LEVELS OF BELOW-GRADE PARKING.

HEIGHT:
ALLOWED: 43'-0"
PROPOSED: 47.3'

YARD SETBACKS:
STREET FACING SETBACK: 5'-0" ALONG NATIONAL BLVD AND SCHAEFER STREET
SIDE: NONE
REAR: NONE

REQUIRED ENTITLEMENTS:

- SITE PLAN REVIEW (SPR)
- ADMINISTRATIVE MODIFICATION FOR 10% HEIGHT INCREASE.
- ADMINISTRATIVE MODIFICATION FOR 10% REDUCTION TO SELECT PARKING STALLS AND DRIVE ISLE WIDTH.
- ADMINISTRATIVE USE PERMIT (AUP) FOR OUTDOOR DINING.
- ADMINISTRATIVE USE PERMIT (AUP) FOR ALCOHOL SALES INCIDENTAL TO RESTAURANT USE WITHIN 300 FEET OF ALCOHOL SALES ZONED PROPERTY.
- ADMINISTRATIVE MODIFICATION TO REDUCE REQUIREMENT FOR LARGE (12X40' WITH 14' CLEAR) LOADING ZONE WITHIN PROPERTY.

1. CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS ADOPTED BY AUTHORITIES HAVING JURISDICTION.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS.
5. DIMENSIONS ARE CLEAR OPENING FROM FACE OF FINISH TO FACE OF FINISH, UNLESS NOTED OTHERWISE.

SITE ADDRESS:
8570 NATIONAL BLVD
CULVER CITY, CA 90232

OWNER:
REDCAR LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

DESIGN ARCHITECT:
OLSON KUNDIG ARCHITECTS
159 N. SUNDOWN ST. SUITE 600
ST. CECILIA, WA 98104
T: 206.624.5670
F: 206.624.3730

PRINCIPAL ARCHITECT: KEVIN KUD-KING
KEVIN@olsonkundigarchitects.com
CONTACT: ERIK GUNDERSON
ERIK@olsonkundigarchitects.com

EXECUTIVE ARCHITECT:
HOWE & ROBERTSON ARCHITECTS
10125 WASHINGTON BLVD
CULVER CITY, CA 90232
T: 323.535.3158
CONTACT: JAMES BLACK
JAMESB@HRAH.COM

CONTRACTOR:
"ENTER NAME HERE"
"ADDRESS LINE 1"
"ADDRESS LINE 2"
T: "123.456.7890"
F: "123.456.7890"
CONTACT: "ENTER NAME HERE"
"email"@address.com"

STRUCTURAL ENGINEER:
GLOTTMAN SIMPSON
600 WILSHIRE, SUITE 650
LOS ANGELES, CA 90017
T: 213.283.2589
CONTACT: CHRIS SMITH
CSMITH@GLOTTMANSIMPSON.COM

MEP:
LAM + TEA ENGINEERING
901 CORPORATE CENTER DR. #404
MONTEREY PARK CA 91754
T: 323-673-8811 x122
CONTACT: DAVID TEA
DTEA@LAMTEAENG.COM

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BRELAND-HARPER
1846 ECHO PARK AVE
LOS ANGELES, CA 90026
T: 310-254-9449
CONTACT: MICHAEL BRELAND
INFO@STUDIO-MLA.COM

CIVIL:
SHERWOOD DESIGN ENGINEERS
2301 E 7TH ST, SUITE A238
LOS ANGELES, CA 90023
T: 213-921.4623
CONTACT: JIMMY GALVEZ
JGALVEZ@SHERWOODENGINEERS.COM

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Olson Kundig

project:

8570 NATIONAL BLVD

8570 NATIONAL BLVD. CULVER CITY, CA 90232

principal architect TK, KK
project manager EG
drawn by MA

checked by
job no. 20010

revisions:

no. date

NOT FOR CONSTRUCTION

SPR SUBMISSION

06/10/2022

GENERAL INFORMATION

A0.02

ALTA/NSPS LAND TITLE SURVEY

8570 NATIONAL BOULEVARD
CULVER CITY, CALIFORNIA

ITEMS CORRESPONDING TO SCHEDULE "B":

BY: CHICAGO TITLE COMPANY
725 SOUTH FIGUEROA STREET, SUITE 200,
LOS ANGELES, CA 90017
PHONE: (213) 488-4300

ORDER NO.: 00179349-994-LT2-JC
TITLE OFFICER: JORDAN CURIEL
DATED: JUNE 3, 2022

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS, THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
 - 2 EASEMENT FOR THE RIGHT OF BERNARDO J. HIGUELA TO RUN AN IRRIGATION DITCH RECORDING NO. IN BOOK 1334 PAGE 123 OF DEEDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION COULD NOT BE DETERMINED FROM THE RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
 - 3 EASEMENT UTILITIES, RECORDED: IN BOOK 99, PAGE 373, OF DEEDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION COULD NOT BE DETERMINED FROM THE RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
 - 4 EASEMENT UTILITIES, UTILITIES, RECORDED: IN BOOK 3904, PAGE 266 AND RECORDING NO. IN BOOK 4464, PAGE 302, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - 5 EASEMENT UTILITIES, POLES AND POLE LINES, RECORDING NO. IN BOOK 16902 PAGE 96 OFFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - 6 EASEMENT POLES RECORDING DATE: NOVEMBER 28, 1950 RECORDING NO: 2442 OFFICIAL RECORDS, THE EFFECT OF A PARTIAL QUITCLAIM EASEMENT RECORDED: MARCH 7, 2022 AS INSTRUMENT NO. 2022-256599 OF OFFICIAL RECORDS, THIS ITEM NO LONGER AFFECTS THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
 - 7 THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY, RECORDING DATE: NOVEMBER 26, 1975 RECORDING NO: 4313 OFFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 - 8 THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY, RECORDING DATE: NOVEMBER 24, 1998 RECORDING NO: 98-2153318 OFFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 - 10 MATTERS CONTAINED IN DOCUMENT ENTITLED "COVENANT AND AGREEMENT RESTRICTING USE OF PROPERTY", RECORDED JANUARY 16, 2019 AS INSTRUMENT NO. 2019-48143 OF OFFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 - 11 EASEMENT FOR PUBLIC UTILITIES CONDUITS AND INCIDENTAL PURPOSES RECORDED: FEBRUARY 13, 2019 AS INSTRUMENT NO. 2019-132437 OF OFFICIAL RECORDS, THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
 - 12 EASEMENT FOR PUBLIC UTILITIES RECORDED: JUNE 17, 2020 AS INSTRUMENT NO. 2020-658760 OF OFFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ITEMS #'S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT, NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

STATEMENT OF POSSIBLE ENCROACHMENTS:

- (*) APPARENT EASEMENT FOR INGRESS AND EGRESS, UTILITIES AND APPURTENANCES.

STATEMENT OF POSSIBLE ENCROACHMENTS:

NOTE: THE FOLLOWING IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES, STATEMENT OF OWNERSHIP OR POSSESSION IS NEITHER IMPLIED NOR THE INTENT OF THIS LISTING.

- (A) BLOCK WALL (NORTH EAST END) 0.5' NORTHEAST AND (EAST FACE) 0.2' EASTERLY OF P.L.

FLOOD NOTE:

ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06037C15956, EFFECTIVE ON 12/21/2018.

ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

REFERENCES:

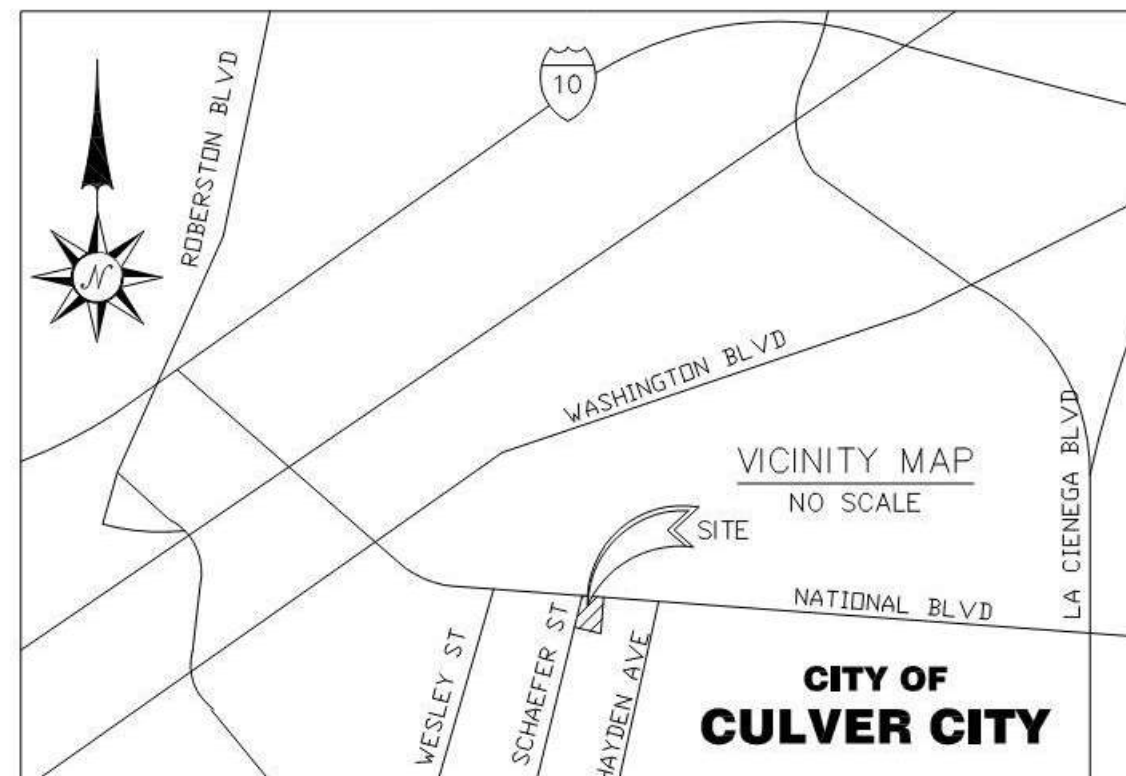
- () - INDICATES RECORD DATA PER TRACT NO. 4161 BOOK 46, PAGE 32, OF MAPS
- [] - INDICATES RECORD DATA PER RSB 146/83.
- { } - INDICATES RECORD DATA PER (LLA P2018-087-LLA) RECORDED AS INSTRUMENT NO. 20211013763.

LINE	BEARING	DISTANCE
L1	N 75°08'00" W	20.03'
	IN 75°07'00" W	

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE
C1	177.45'	276.84'	36°43'29"
	{177.34'}		{36°42'08"}
C2	66.65'	276.84'	13°47'39"
	{66.63'}		{13°47'23"}

PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
STANDARD	12
HANDICAP	0
TOTAL	12

LAND AREA:
21,810 SQUARE FEET
0.50 ACRES



LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CULVER CITY, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOTS 318 AND 319 OF TRACT NO. 4161, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 46, PAGE 32, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

THAT PORTION OF THE WEST 12 ACRES OF LOT 9 OF THE SUBDIVISION OF THE SOUTHERN PART OF RANCHO RINCON DE LOS BUEYES, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 53, PAGE 25 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS FOLLOWS:

BEGINNING IN THE WEST LINE OF SAID LOT, DISTANT NORTH 14°53'00"EAST, 901.27 FEET FROM THE SOUTHWEST CORNER OF SAID LOT, THENCE NORTH 14° 53'00"EAST, ALONG SAID WEST LINE TO THE NORTHWEST CORNER OF SAID LOT; THENCE ALONG THE NORTHERLY LINE OF SAID LOT, SOUTH 83°38'25"EAST, 125.41 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 276.84 FEET, WHICH CURVE IS TANGENT TO A LINE PARALLEL WITH AND 20.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF SAID LOT, A DISTANCE OF 248.22 FEET TO SAID PARALLEL LINE; THENCE ALONG SAID PARALLEL LINE SOUTH 14° 53'00"WEST, TO A LINE PARALLEL WITH THE SOUTH LINE OF SAID LOT 9, WHICH PASSES THROUGH THE POINT OF BEGINNING; THENCE NORTH 81° 24'50"WEST 20.12 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM:

ALL THAT PORTION OF SAID LOT 9 LYING SOUTHWESTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 320 OF TRACT NO. 4161, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 46, PAGE 32 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE ALONG A PROLONGATION OF THE SOUTHWESTERLY LINE OF SAID LOT 320, SOUTH 75°07'00" EAST 20.03 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY LINE OF TRACT NO. 13503, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 278, PAGE 38 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID POINT LYING IN A CURVE HAVING A RADIUS OF 276.84 FEET AS SHOWN ON MAP OF SAID TRACT NO. 13503.

SAID LAND IS SHOWN, DESIGNATED AND DESCRIBED AS PARCEL 2 ON THAT CERTAIN CERTIFICATE OF COMPLIANCE (LOT LINE ADJUSTMENT NO. LLA P2018-0087-LLA) RECORDED JUNE 29, 2021 AS INSTRUMENT NO. 20211013763 OF OFFICIAL RECORDS.

APN: 4206-002-007; 4206-002-051/new

SURVEYOR'S NOTES:

- THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.
- THE INFORMATION, COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT. THIS SURVEY ACCURATELY REPRESENTS THE BOUNDARIES AND AREA OF THE PREMISES DENOTED ON THE TITLE ORDER REFERENCED HEREON AND IS THE SAME PROPERTY AS DESCRIBED THEREIN.
- AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED UNLESS OTHERWISE NOTED HEREON.
- NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF THE SURVEY UNLESS OTHERWISE NOTED HEREON.
- THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY DOES NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT ONLY.
- UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.
- JRN CIVIL ENGINEERS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF ANY THIRD PARTY INFORMATION REFERENCED OR REPRESENTED HEREON. ANY OF SAID INFORMATION SHOWN HEREON HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
- AS OUTLINED IN SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA "THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED."

BASIS OF BEARINGS:

THE BEARING OF N 14°52'32" E ALONG THE CENTERLINE OF SCHAEFER STREET PER RSB 146/83 IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEYOR'S CERTIFICATE:

TO: REDCAR PROPERTIES LTD AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B), 7(C), 8, 9, 13, 14, 16, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 13, 2022.

DATE OF PLAT OR MAP: JULY 1, 2022

JEFFERY L. MAYS
L.S. NO. 6379



REVISIONS

JRN CIVIL ENGINEERS

232 AVENIDA FABRICANTE, STE. 107
SAN CLEMENTE, CALIFORNIA 92672
PHONE (949) 248-4685
FAX (949) 248-4687

PROJECT COORDINATOR: JON CRAWLEY (JCRAWLEY@JRN-CIVIL.COM)

ALTA/NSPS LAND TITLE SURVEY

8570 NATIONAL BOULEVARD
CULVER CITY, CALIFORNIA

REDCAR PROPERTIES LTD

SHEET 1 OF 2

DATE: 07/01/22

DRAWN BY: JFC

CHKD. BY: JRN

FILE NO. 18207-C

ZONED IG - PROPOSED
8570 NATIONAL BLVD - 3 STORY 47.3' TALL OFFICE USE WITH
OFFICE AND FOOD RETAIL/GENERAL COMMERCIAL AT GRADE
PARCEL #4206-002-007 (MAIN PARCEL)
PARCEL #4206-002-057 (SPUR)
CONSTRUCTION TYPE IIIA, FULLY SPRINKLERED
GROSS AREA ABOVE GRADE: 35,473 SF
BASEMENT PARKING GROSS AREA: 43,995 SF

METRO EXPO LINE

NATIONAL BLVD

ZONED IG
EXISTING 1-STORY
BUILDING - INDUSTRIAL

ZONED IG
EXISTING 1-STORY
BUILDING -
INDUSTRIAL

ZONED IG
EXISTING 1-STORY
BUILDING -
INDUSTRIAL

ZONED IG
EXISTING 1-STORY
BUILDING - INDUSTRIAL

3 STORY PLANNED
STRUCTURE- SCHAEFER II -
NOT IN SCOPE OF THIS
SUBMITTAL

SCHAEFER ST

EXISTING POWER UTILITY POLE TO REMAIN
MICROTRANSIT STOP
ON SITE MICRO MOBILITY PARKING
TWO ON SITE SHORT-TERM BIKE PARKING
GARAGE EGRESS STAIR

LEVEL 2 & 3 BAY
WINDOW
PROJECTION INTO
SETBACK
THREE ON SITE
SHORT-TERM BIKE
PARKING
HATCHED AREA
INDICATES EXTENT
OF PV ARRAY
LEVEL 2 & 3 BAY
WINDOW
PROJECTION INTO
SETBACK

OCCUPIED ROOF
AREA

BENCH SEATING

ROOF AT
ELEVATOR
OVERRUN

ROOF AT STAIR
AND ELEV
MACHINE ROOM

SCREEN
WALL

UNOCCUPIED
MECH EQUIPMENT
AREA WITHIN
SCREEN WALL

SCREEN
WALL

OCCUPIED ROOF
AREA

EXTERIOR
BALCONY
AT L2
& L3

RETAIL ENTRY

SECONDARY
MAIN
ENTRANCE

OFFICE
ENTRY

DASHED LINE INDICATES
EXTERIOR WALL LOCATION
AT L1

DASHED LINE INDICATES
EXTERIOR WALL LOCATION
AT L1

UTILITY FENCE

ROOF TERRACE
LANDSCAPE
SOFTSCAPE AREA

OCCUPIABLE
HARDSCAPE

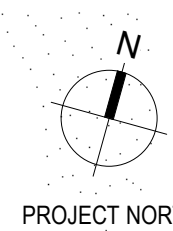
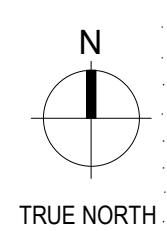
90

200

120

172.35

0 4' 8' 12' 16' 32' 48'



1 SITE PLAN
SCALE: 1/16" = 1'-0"

redcar

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Olson Kundig

project
8570 NATIONAL BLVD

8570 NATIONAL BLVD, CULVER CITY, CA 90232

principal architect TK, KK
project manager EG
drawn by MA

checked by
job no. 20010

revisions:

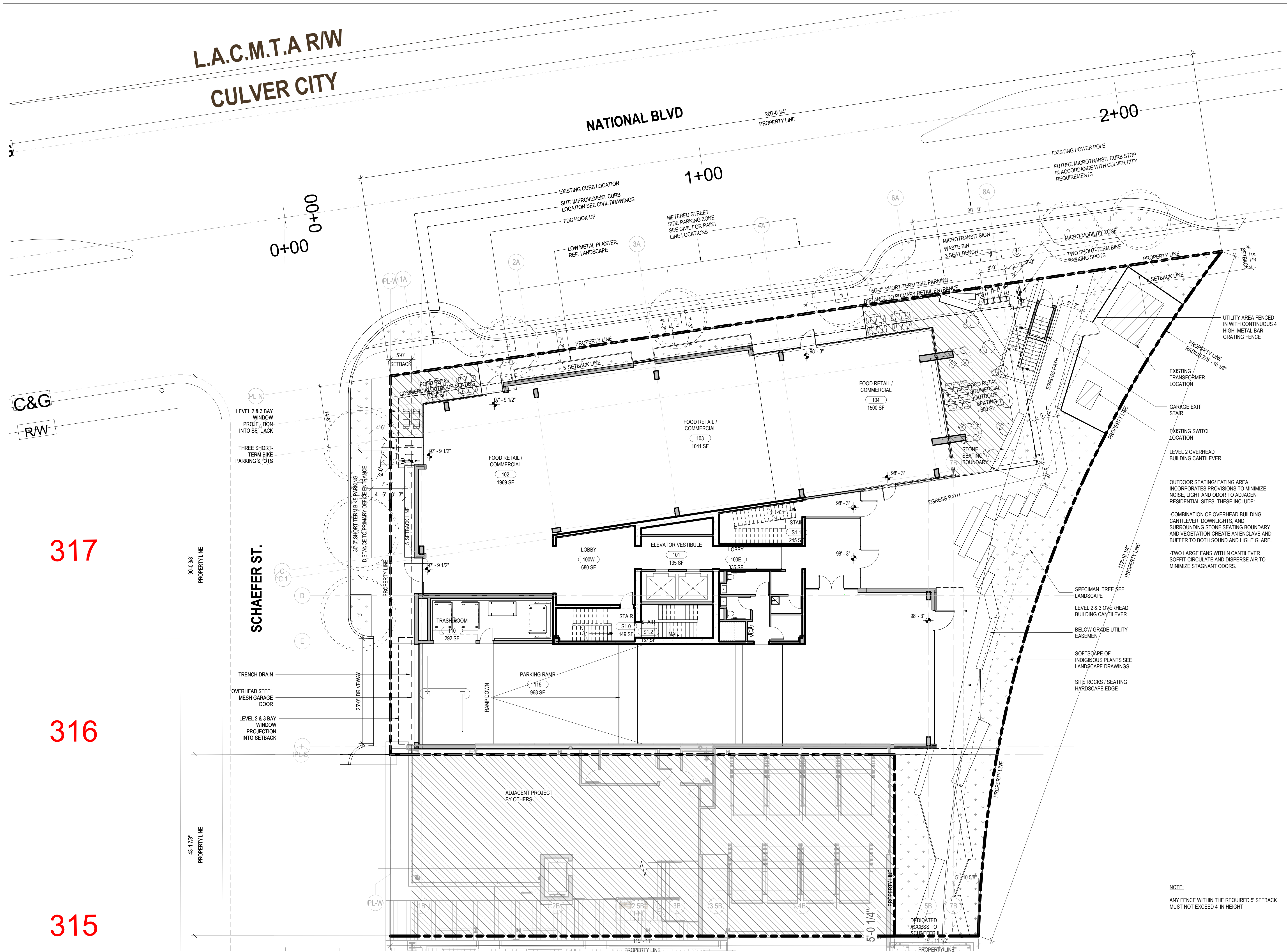
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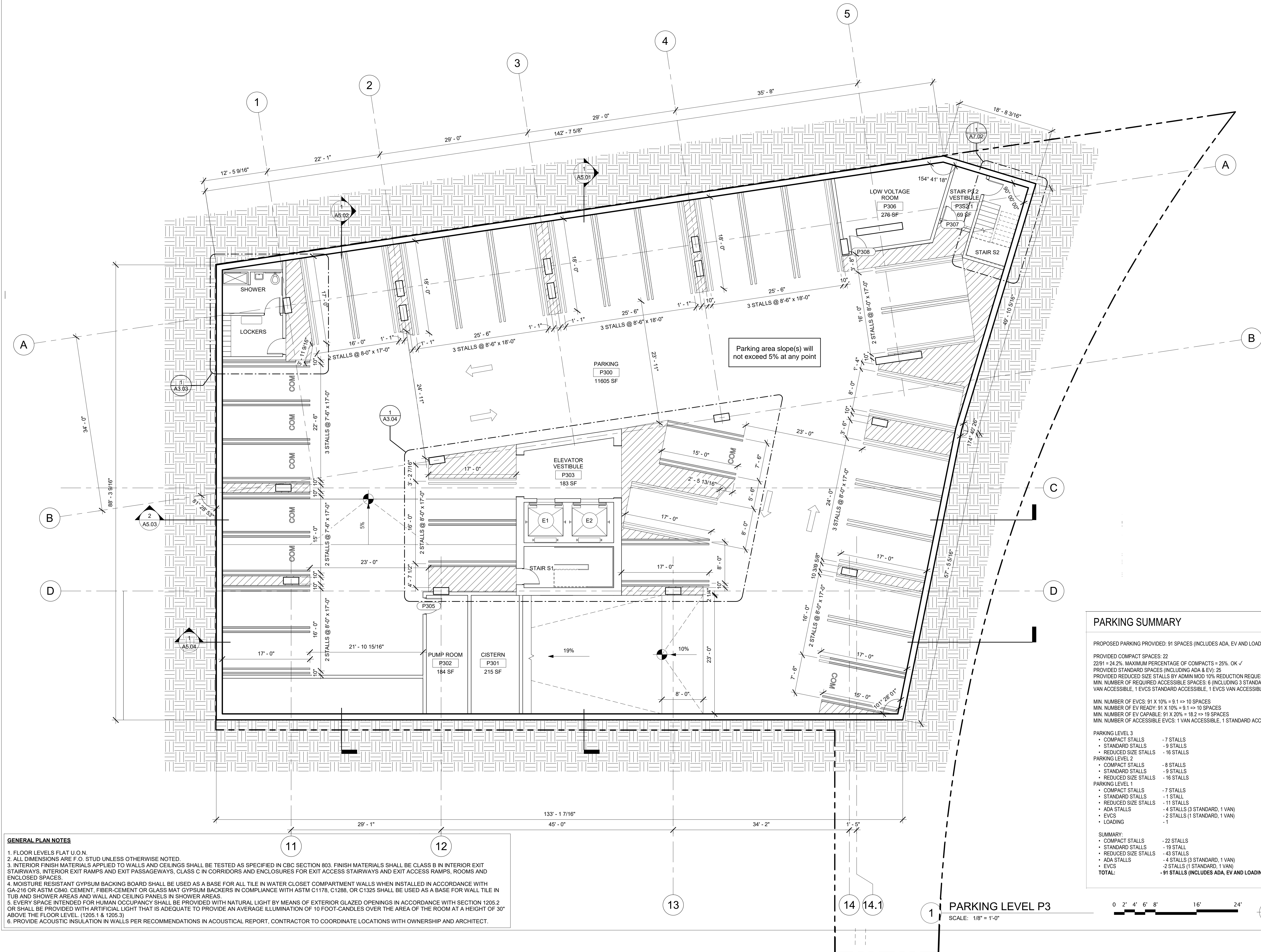
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SPR SUBMISSION
06/10/2022

SITE PLAN

A1.00





GENERAL PLAN NOTES

- FLOOR LEVELS FLAT U.O.N.
- ALL DIMENSIONS ARE F.O. STUD UNLESS OTHERWISE NOTED.
- INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILINGS SHALL BE TESTED AS SPECIFIED IN CBC SECTION 803. FINISH MATERIALS SHALL BE CLASS B IN INTERIOR EXIT STAIRWAYS, INTERIOR EXIT PASSAGEWAYS, CLASS C IN CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS, ROOMS AND ENCLOSED SPACES.
- MOISTURE RESISTANT GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR ALL TILE IN WATER CLOSET COMPARTMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1178, C1288, OR C1325 SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL. (1205.1 & 1205.3)
- PROVIDE ACOUSTIC INSULATION IN WALLS PER RECOMMENDATIONS IN ACOUSTICAL REPORT, CONTRACTOR TO COORDINATE LOCATIONS WITH OWNERSHIP AND ARCHITECT.

PARKING SUMMARY

PROPOSED PARKING PROVIDED: 91 SPACES (INCLUDES ADA, EV AND LOADING)

PROVIDED COMPACT SPACES: 22
22/91 = 24.2%, MAXIMUM PERCENTAGE OF COMPACTS = 25%, OK ✓
PROVIDED STANDARD SPACES (INCLUDING ADA & EV): 25
PROVIDED REDUCED SIZE STALLS BY ADMIN MOD 10% REDUCTION REQUEST: 43
MIN. NUMBER OF REQUIRED ACCESSIBLE SPACES: 6 (INCLUDING 3 STANDARD, ONE VAN ACCESSIBLE, 1 EVCS STANDARD ACCESSIBLE, 1 EVCS VAN ACCESSIBLE)

MIN. NUMBER OF EVCS: 91 X 10% = 9.1 ⇒ 10 SPACES
MIN. NUMBER OF EV READY: 91 X 10% = 9.1 ⇒ 10 SPACES
MIN. NUMBER OF EV CAPABLE: 91 X 20% = 18.2 ⇒ 19 SPACES
MIN. NUMBER OF ACCESSIBLE EVCS: 1 VAN ACCESSIBLE, 1 STANDARD ACCESSIBLE

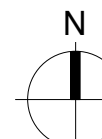
PARKING LEVEL 3	
• COMPACT STALLS	- 7 STALLS
• STANDARD STALLS	- 9 STALLS
• REDUCED SIZE STALLS	- 16 STALLS
PARKING LEVEL 2	
• COMPACT STALLS	- 8 STALLS
• STANDARD STALLS	- 9 STALLS
• REDUCED SIZE STALLS	- 16 STALLS
PARKING LEVEL 1	
• COMPACT STALLS	- 7 STALLS
• STANDARD STALLS	- 1 STALL
• REDUCED SIZE STALLS	- 11 STALLS
• ADA STALLS	- 4 STALLS (3 STANDARD, 1 VAN)
• EVCS	- 2 STALLS (1 STANDARD, 1 VAN)
• LOADING	- 1

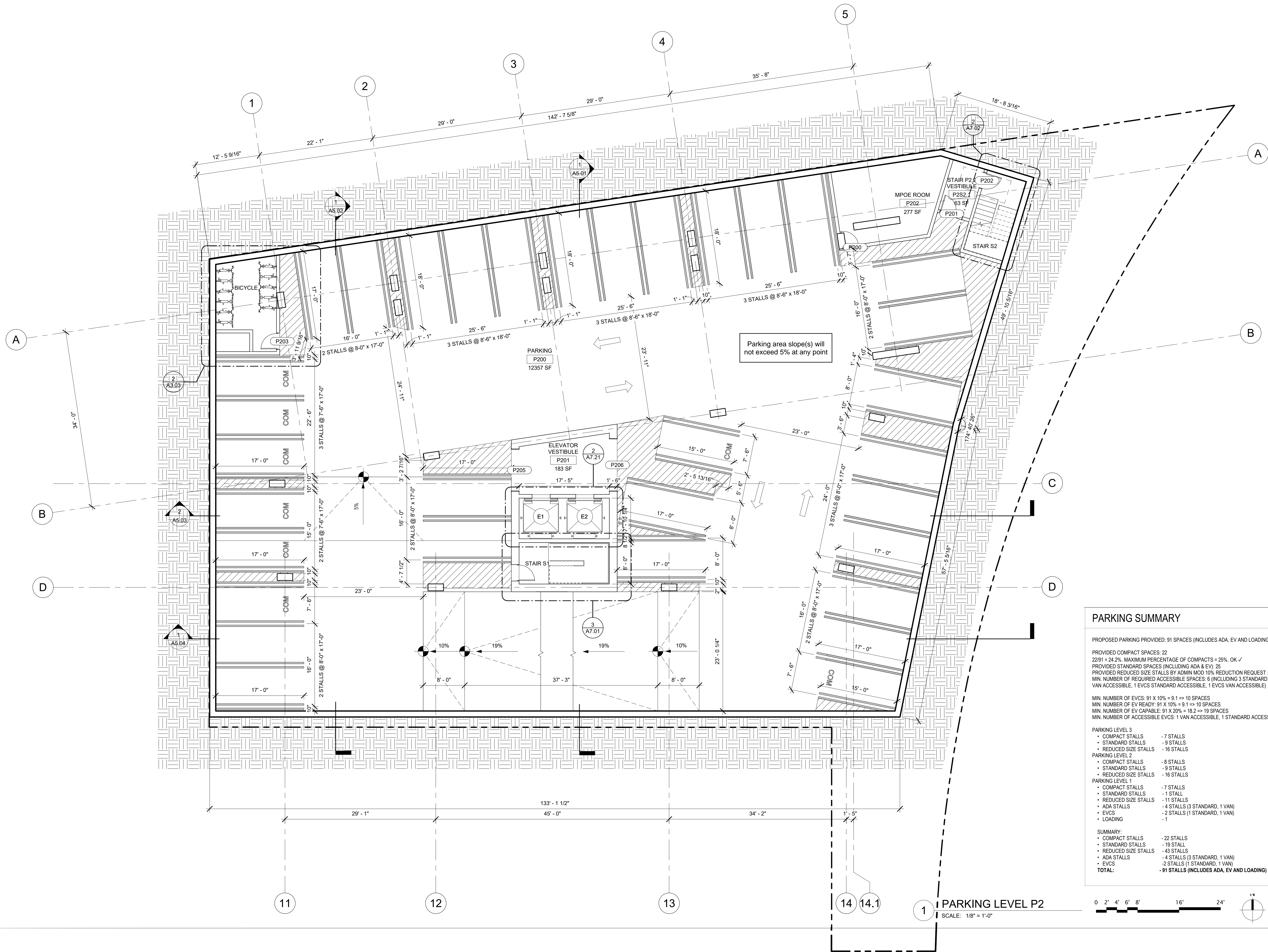
SUMMARY:	
• COMPACT STALLS	- 22 STALLS
• STANDARD STALLS	- 19 STALL
• REDUCED SIZE STALLS	- 43 STALLS
• ADA STALLS	- 4 STALLS (3 STANDARD, 1 VAN)
• EVCS	- 2 STALLS (1 STANDARD, 1 VAN)
TOTAL:	- 91 STALLS (INCLUDES ADA, EV AND LOADING)

PARKING LEVEL P3

SCALE: 1/8" = 1'-0"

0 2' 4' 6' 8' 16' 24'





PARKING SUMMARY

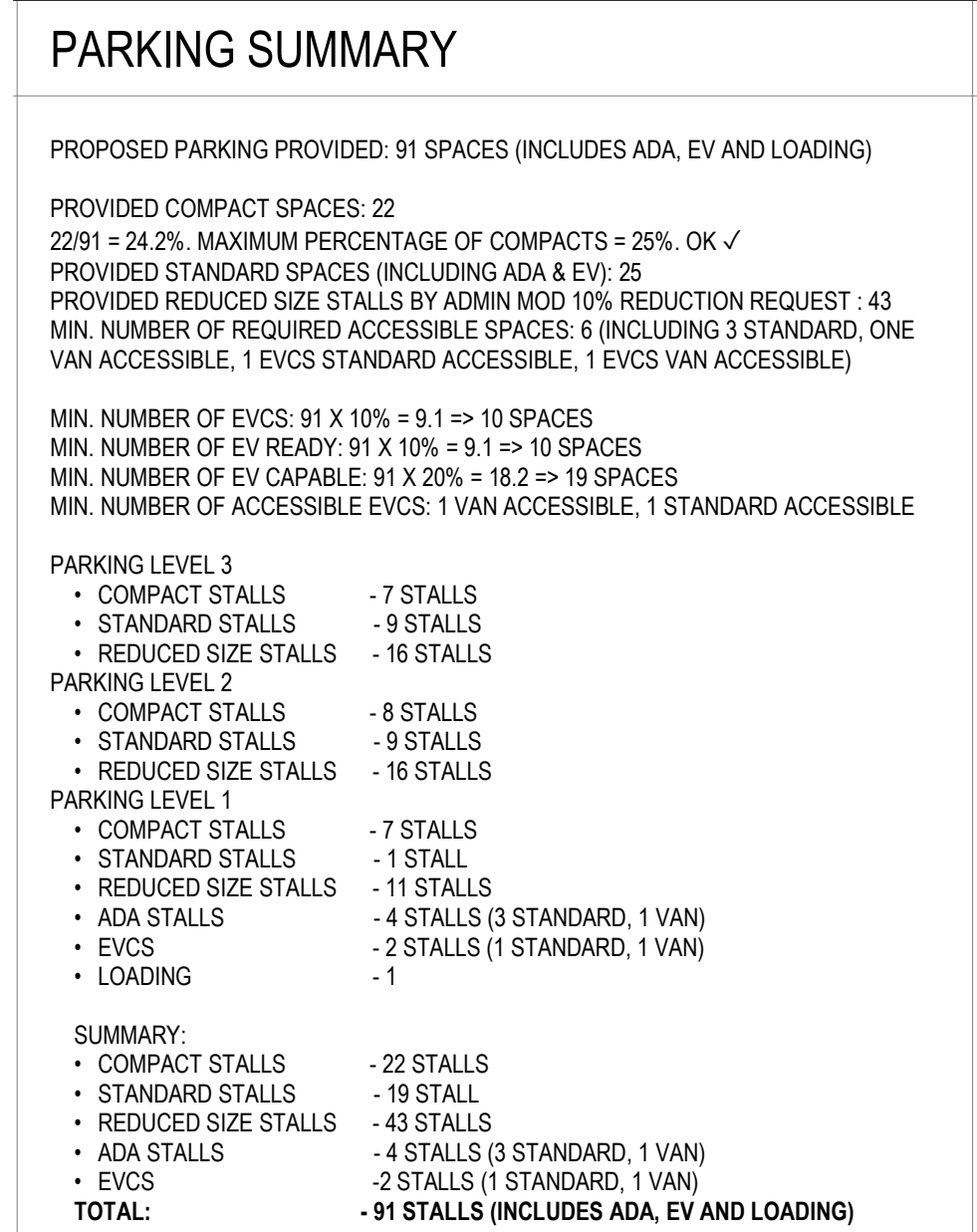
PROPOSED PARKING PROVIDED: 91 SPACES (INCLUDES ADA, EV AND LOADING)

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22/91 = 24.2%, MAXIMUM PERCENTAGE OF COMPACTS = 25%, OK ✓
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PARKING LEVEL 3	
• COMPACT STALLS	- 7 STALLS
• STANDARD STALLS	- 9 STALLS
• REDUCED SIZE STALLS	- 16 STALLS
PARKING LEVEL 2	
• COMPACT STALLS	- 8 STALLS
• STANDARD STALLS	- 9 STALLS
• REDUCED SIZE STALLS	- 16 STALLS
PARKING LEVEL 1	
• COMPACT STALLS	- 7 STALLS
• STANDARD STALLS	- 1 STALL
• REDUCED SIZE STALLS	- 11 STALLS
• ADA STALLS	- 4 STALLS (3 STANDARD, 1 VAN)
• EVCS	- 2 STALLS (1 STANDARD, 1 VAN)
• LOADING	- 1

SUMMARY:	
• COMPACT STALLS	- 22 STALLS
• STANDARD STALLS	- 19 STALL
• REDUCED SIZE STALLS	- 43 STALLS
• ADA STALLS	- 4 STALLS (3 STANDARD, 1 VAN)
• EVCS	- 2 STALLS (1 STANDARD, 1 VAN)
TOTAL:	- 91 STALLS (INCLUDES ADA, EV AND LOADING)



principal architect TK, KK
project manager EG
drawn by MA

checked by _____
job no. 20010

Revisions:

no. date

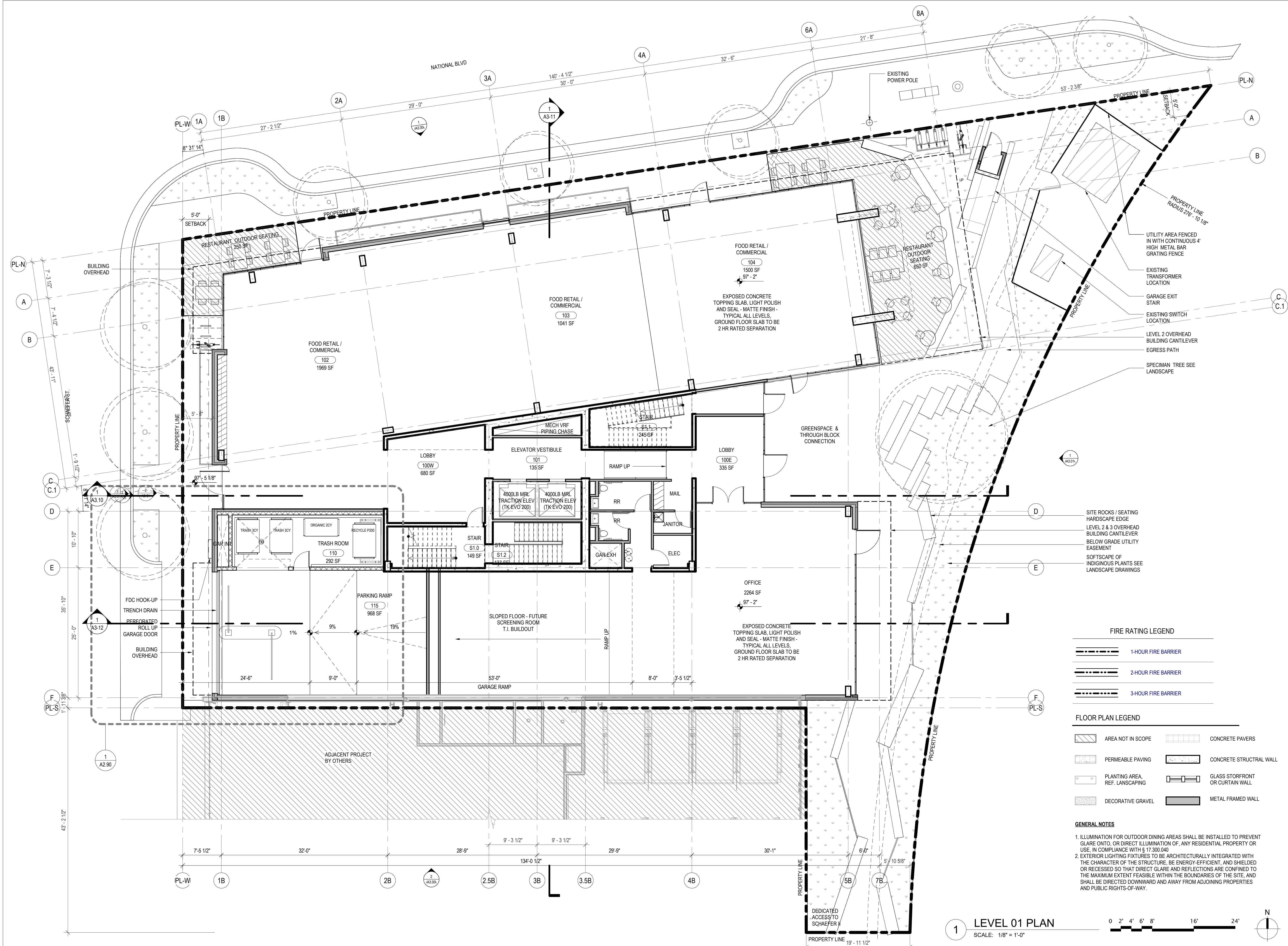
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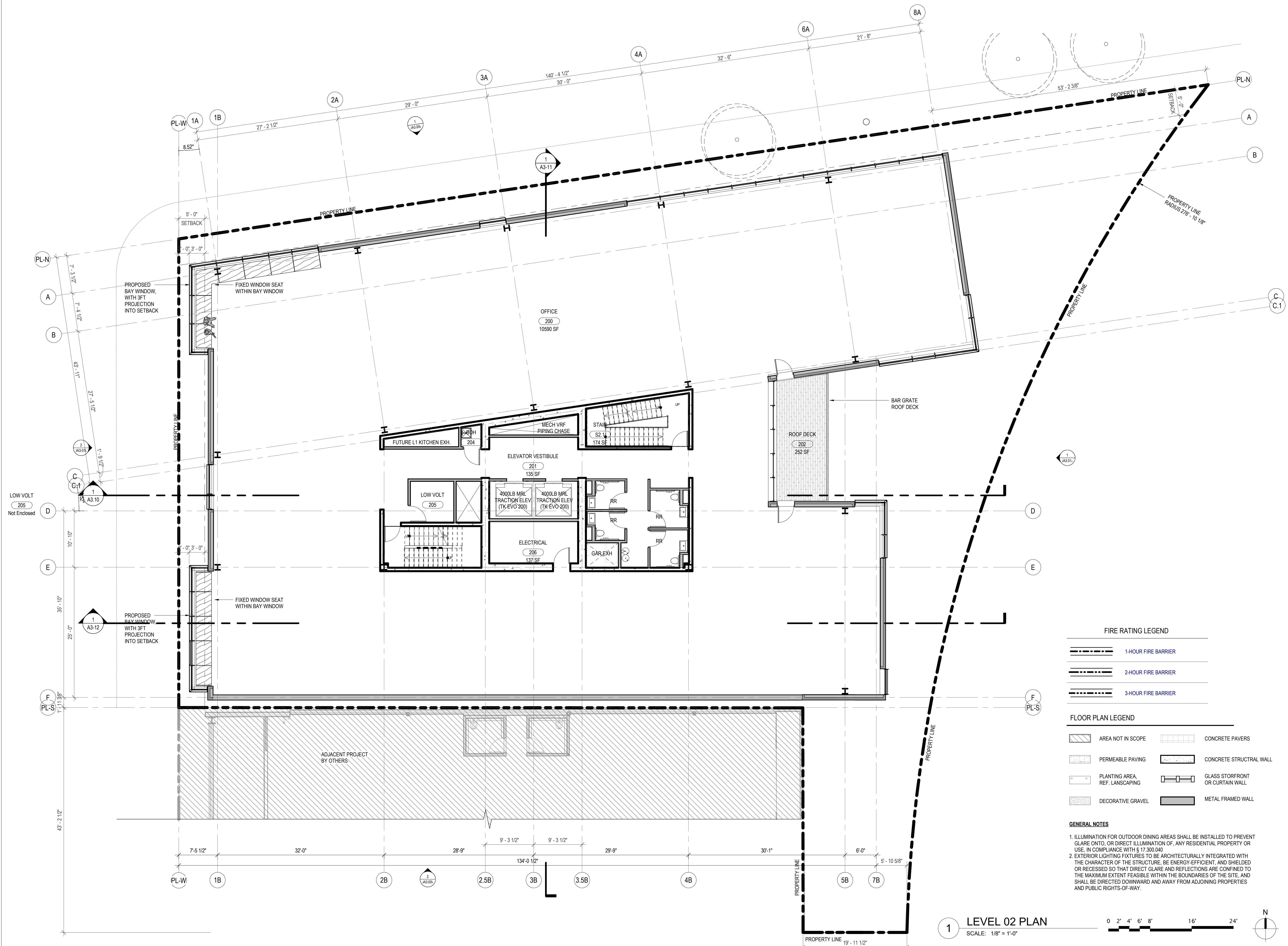
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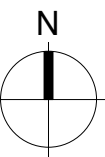
LEVEL 01 PLAN

A2.10





1 LEVEL 02 PLAN
SCALE: 1/8" = 1'-0"



FIRE RATING LEGEND	
	1-HOUR FIRE BARRIER
	2-HOUR FIRE BARRIER
	3-HOUR FIRE BARRIER

FLOOR PLAN LEGEND	
	AREA NOT IN SCOPE
	CONCRETE PAVERS
	PERMEABLE PAVING
	CONCRETE STRUCTURAL WALL
	PLANTING AREA, REF. LANDSCAPING
	GLASS STOREFRONT OR CURTAIN WALL
	DECORATIVE GRAVEL
	METAL FRAMED WALL

- GENERAL NOTES**
- ILLUMINATION FOR OUTDOOR DINING AREAS SHALL BE INSTALLED TO PREVENT GLARE ONTO, OR DIRECT ILLUMINATION OF, ANY RESIDENTIAL PROPERTY OR USE, IN COMPLIANCE WITH § 17.300.040.
 - EXTERIOR LIGHTING FIXTURES TO BE ARCHITECTURALLY INTEGRATED WITH THE CHARACTER OF THE STRUCTURE, BE ENERGY-EFFICIENT, AND SHIELDED OR RECESSED SO THAT DIRECT GLARE AND REFLECTIONS ARE CONFINED TO THE MAXIMUM EXTENT FEASIBLE WITHIN THE BOUNDARIES OF THE SITE, AND SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY.

principal architect TK, KK
project manager EG
drawn by MA

checked by _____
job no. 20010

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no. date

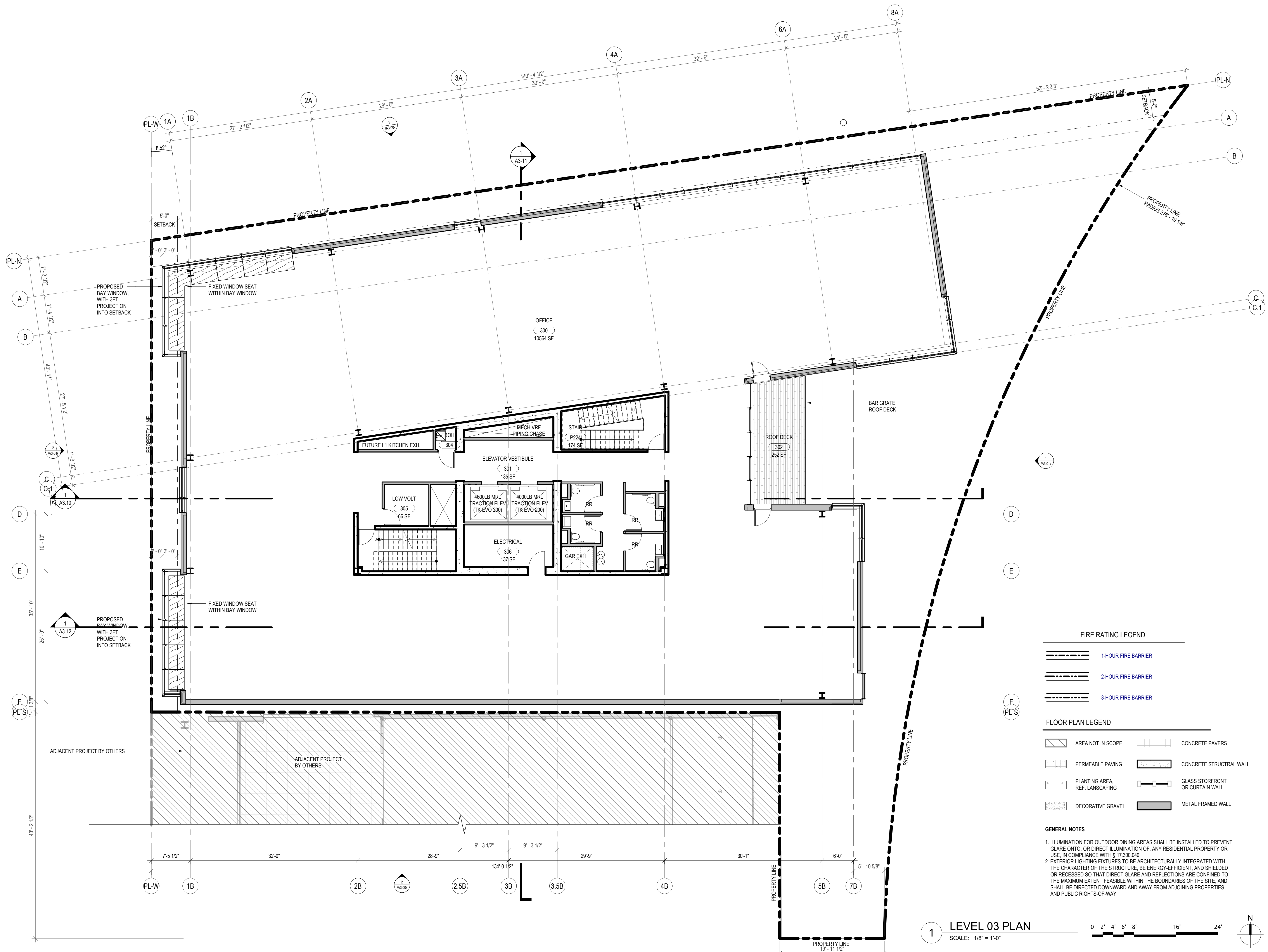
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LEVEL 03 PLAN

A2.12



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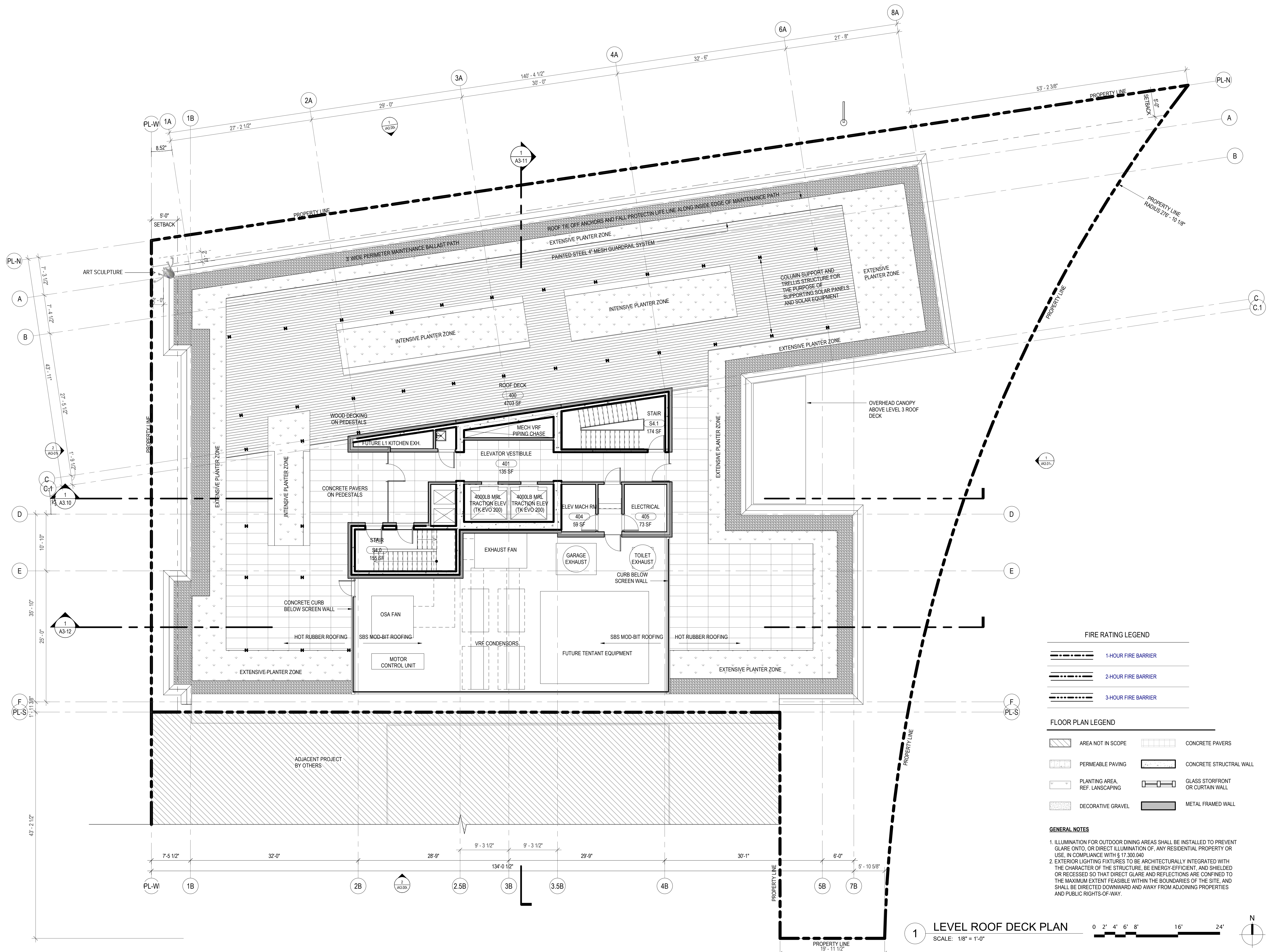
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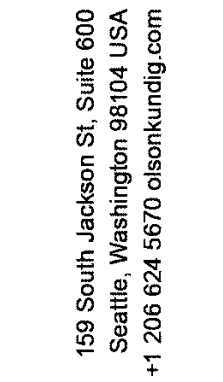
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ROOF DECK PLAN

A2.13





8570 NATIONAL BLVD

8300 NATIONAL BLVD, CULVER CITY, CA 90232

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job no. 20010

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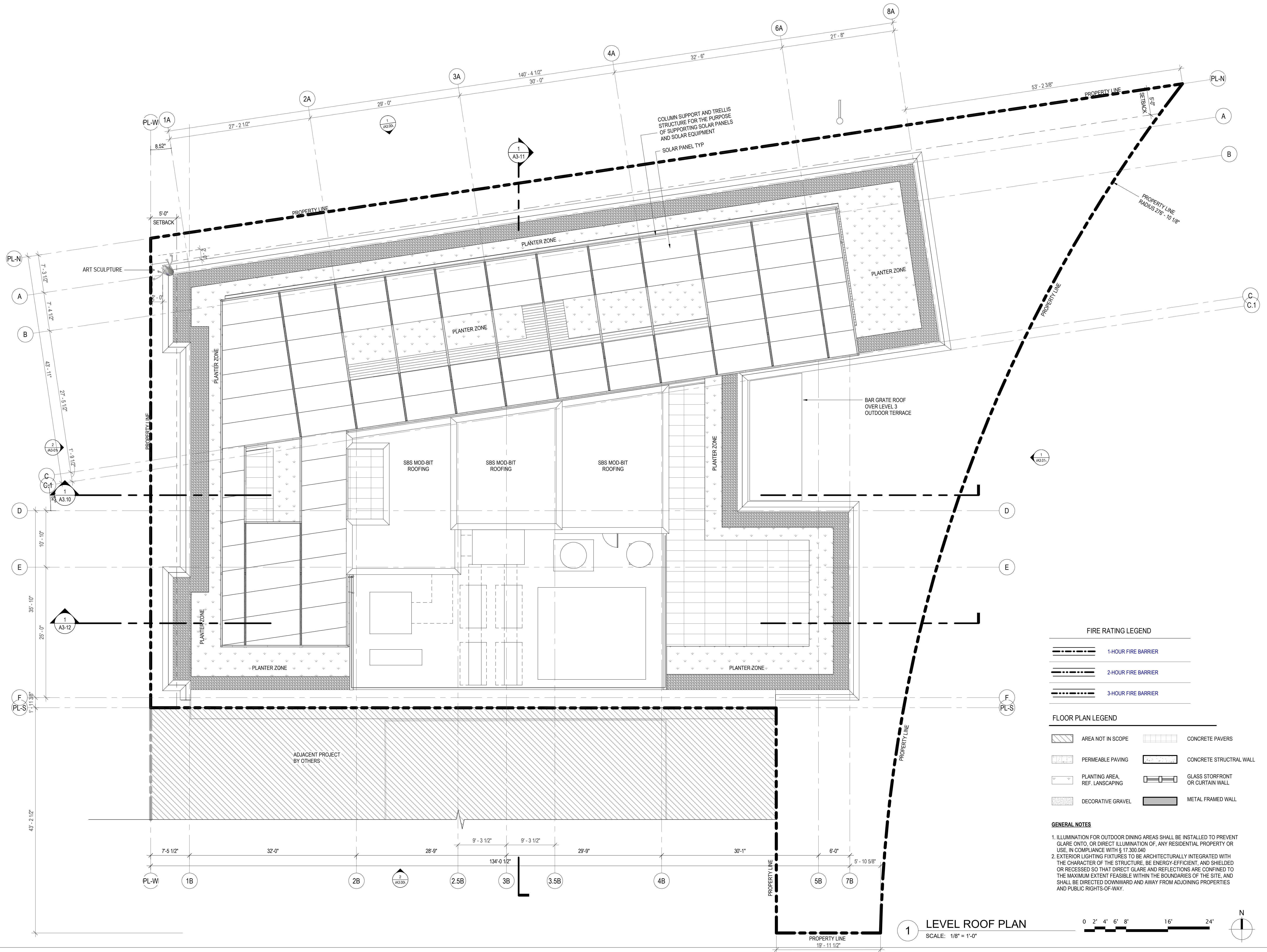
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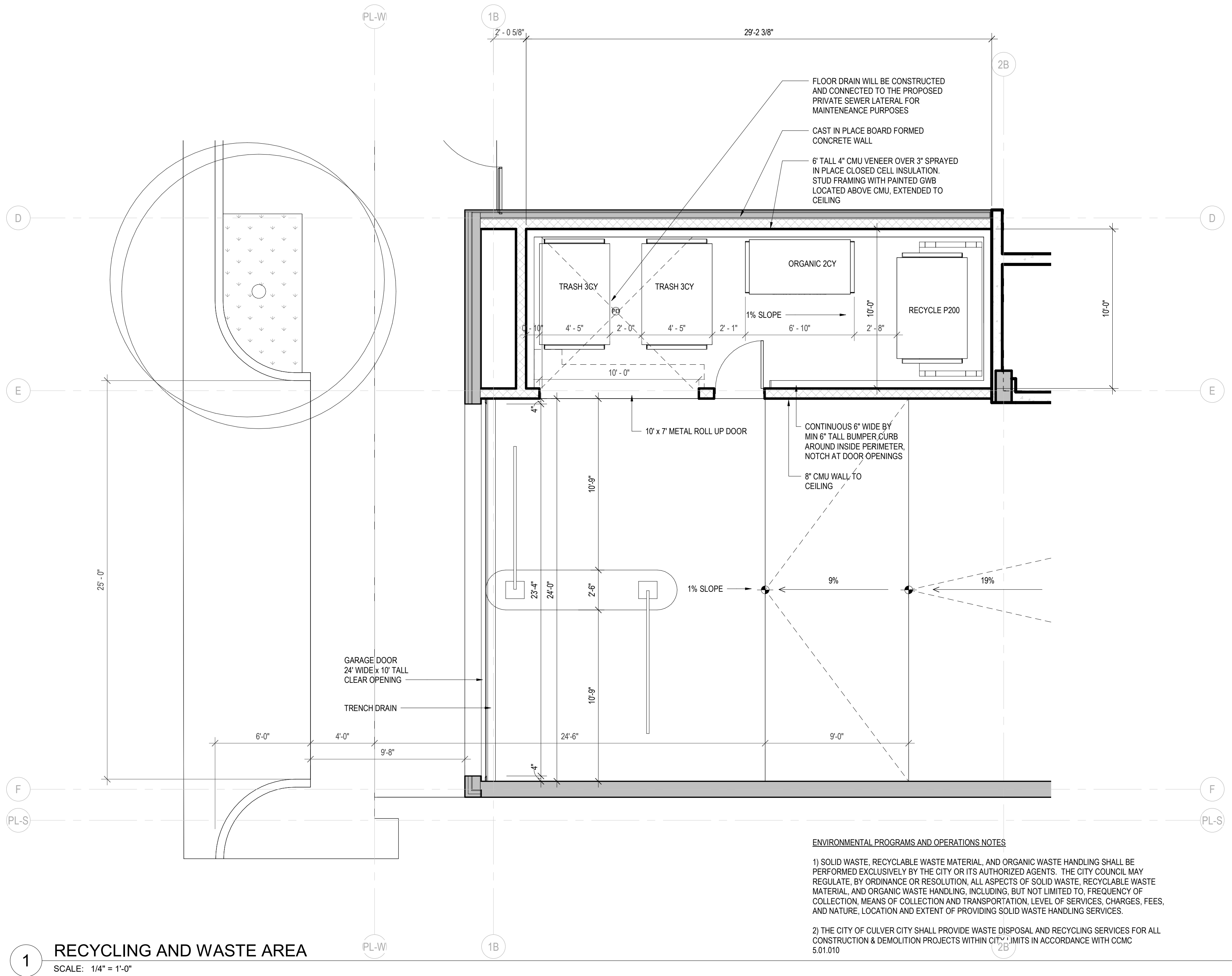
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ROOF PLAN

A2.14





1 RECYCLING AND WASTE AREA
SCALE: 1/4" = 1'-0"

principal architect TK, KK
project manager EG
drawn by MA

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job no. 20010

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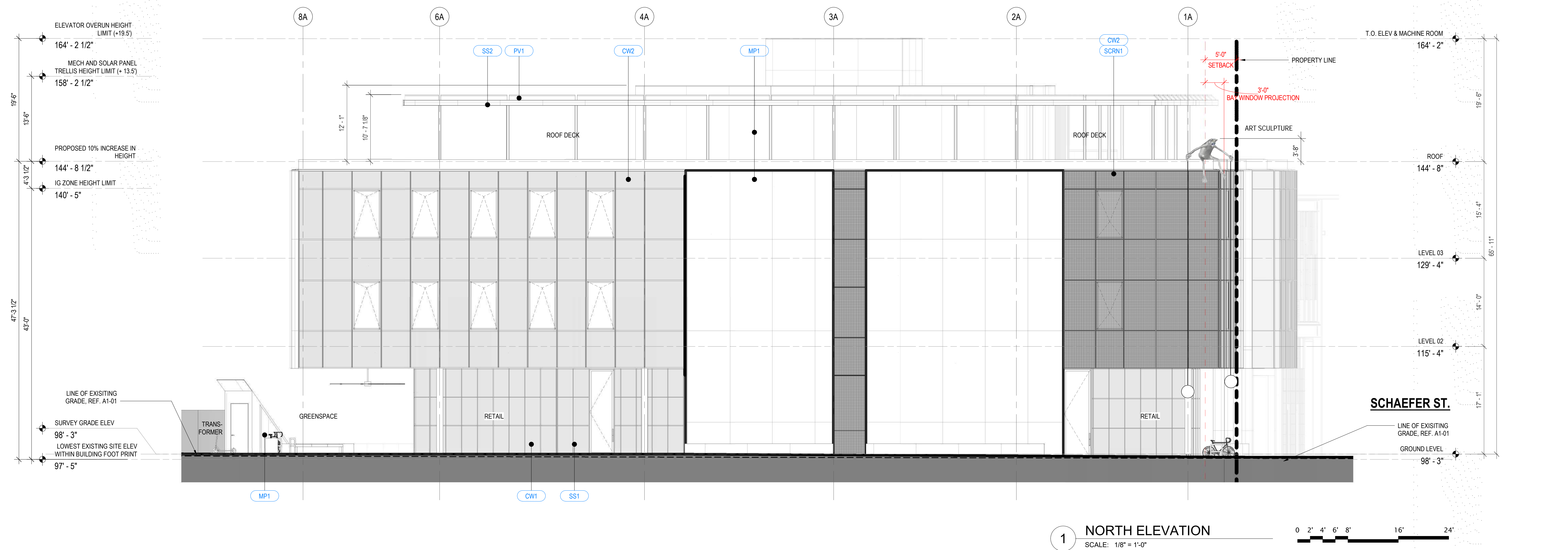
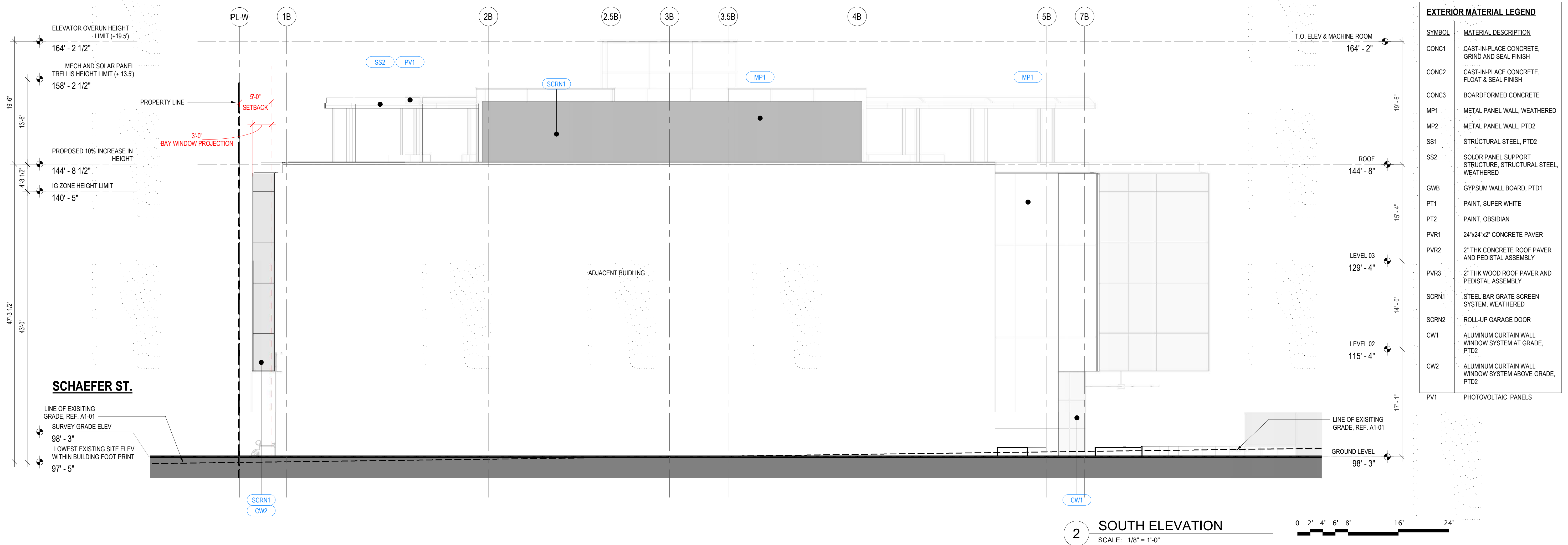
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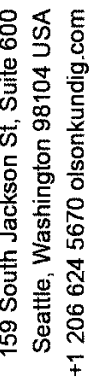
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EXTERIOR ELEVATIONS

A3.00





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principal architect TK, KK
project manager EG
drawn by MA

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EXTERIOR
ELEVATIONS
COLORED

A3.00A



SOUTH ELEVATION (COLORED)

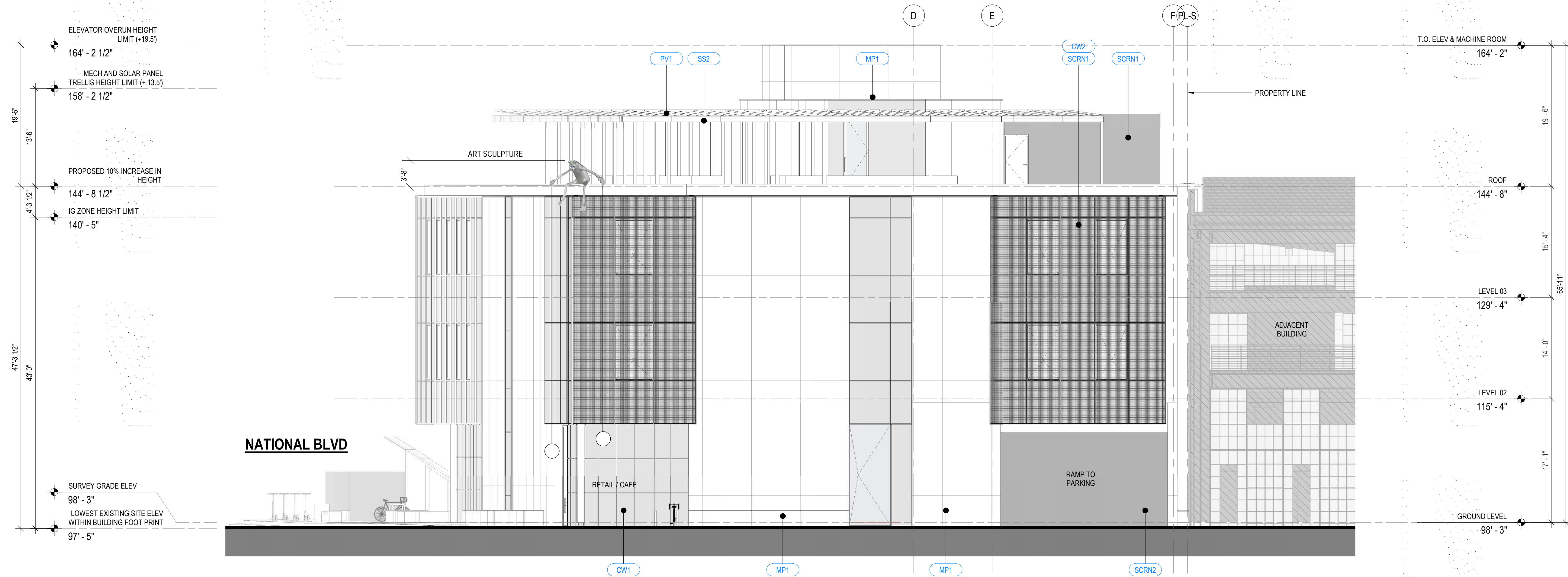
SCALE: 1/8" = 1'-0"



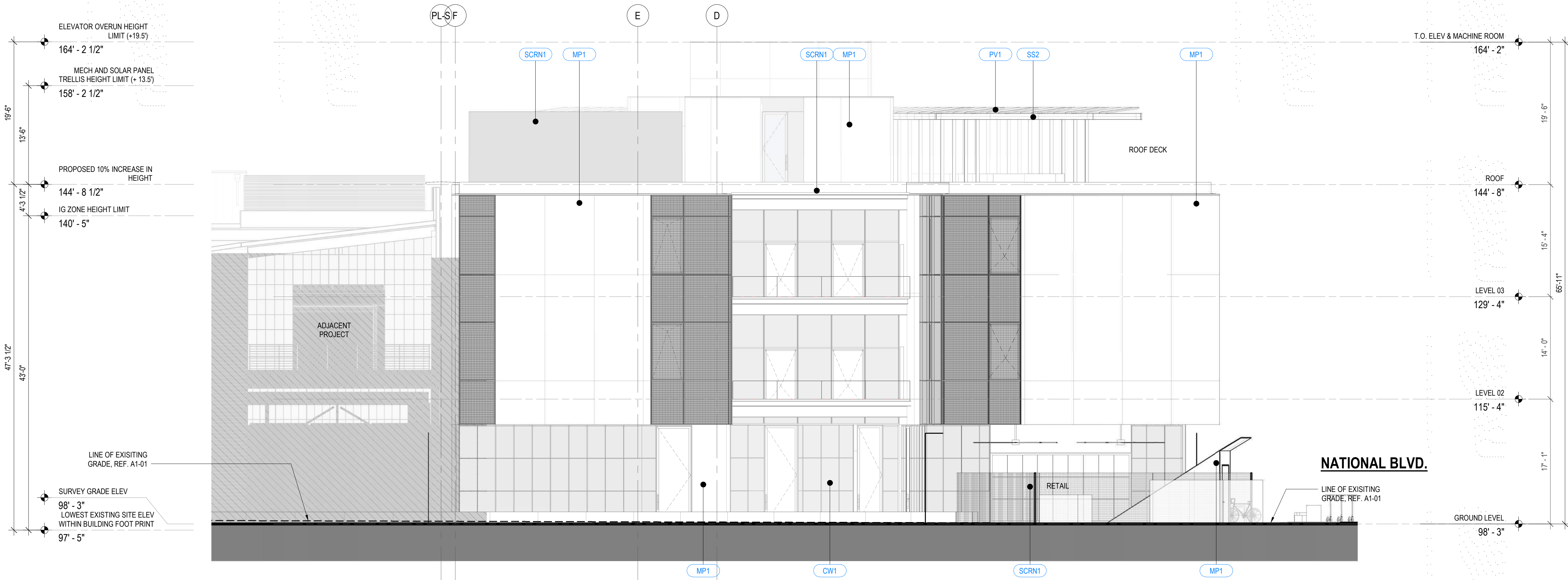
NORTH ELEVATION (COLORED)

SCALE: 1/8" = 1'-0"





EXTERIOR MATERIAL LEGEND	
SYMBOL	MATERIAL DESCRIPTION
CONC1	CAST-IN-PLACE CONCRETE, GRIND AND SEAL FINISH
CONC2	CAST-IN-PLACE CONCRETE, FLOAT & SEAL FINISH
CONC3	BOARDFORMED CONCRETE
MP1	METAL PANEL WALL, WEATHERED
MP2	METAL PANEL WALL, PTD2
SS1	STRUCTURAL STEEL, PTD2
SS2	SOLOR PANEL SUPPORT STRUCTURE, STRUCTURAL STEEL, WEATHERED
GW8	GYPSUM WALL BOARD, PTD1
PT1	PAINT, SUPER WHITE
PT2	PAINT, OBSIDIAN
PVR1	24"x24"x2" CONCRETE PAVER
PVR2	2" THK CONCRETE ROOF PAVER AND PEDISTAL ASSEMBLY
PVR3	2" THK WOOD ROOF PAVER AND PEDISTAL ASSEMBLY
SCRN1	STEEL BAR GRATE SCREEN SYSTEM, WEATHERED
SCRN2	ROLL-UP GARAGE DOOR
CW1	ALUMINUM CURTAIN WALL WINDOW SYSTEM AT GRADE, PTD2
CW2	ALUMINUM CURTAIN WALL WINDOW SYSTEM ABOVE GRADE, PTD2
PV1	PHOTOVOLTAIC PANELS



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Olson Kundig

project
8570 NATIONAL BLVD

8570 NATIONAL BLVD, CULVER CITY, CA 90232

principal architect TK, KK
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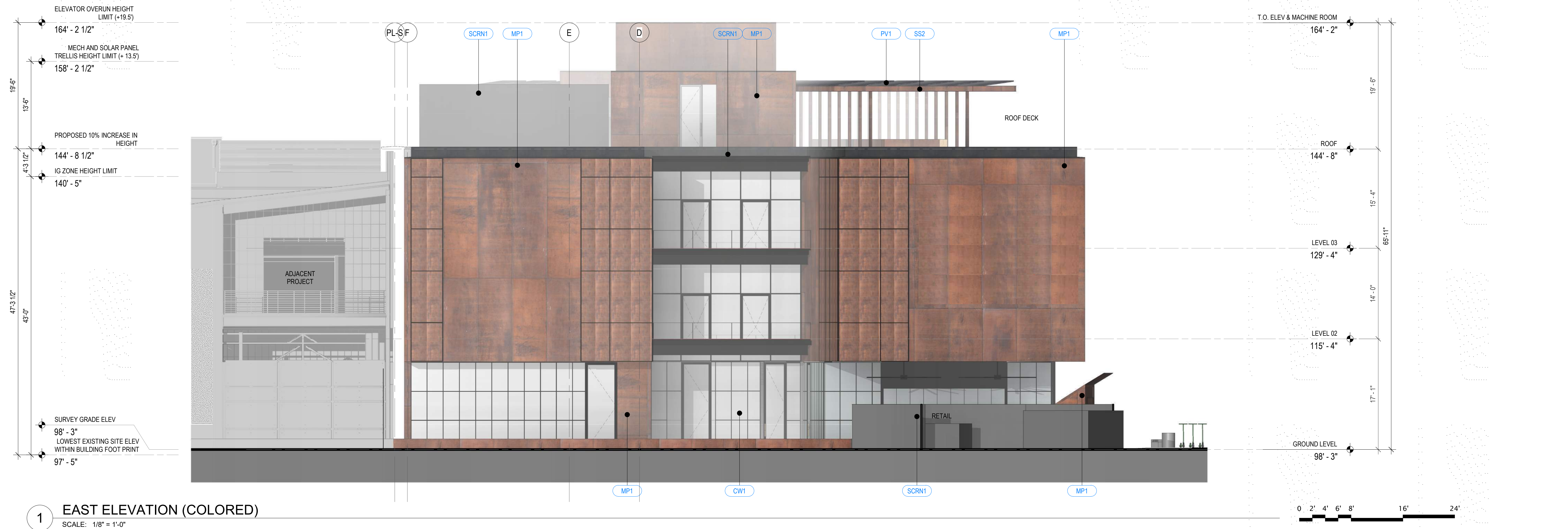
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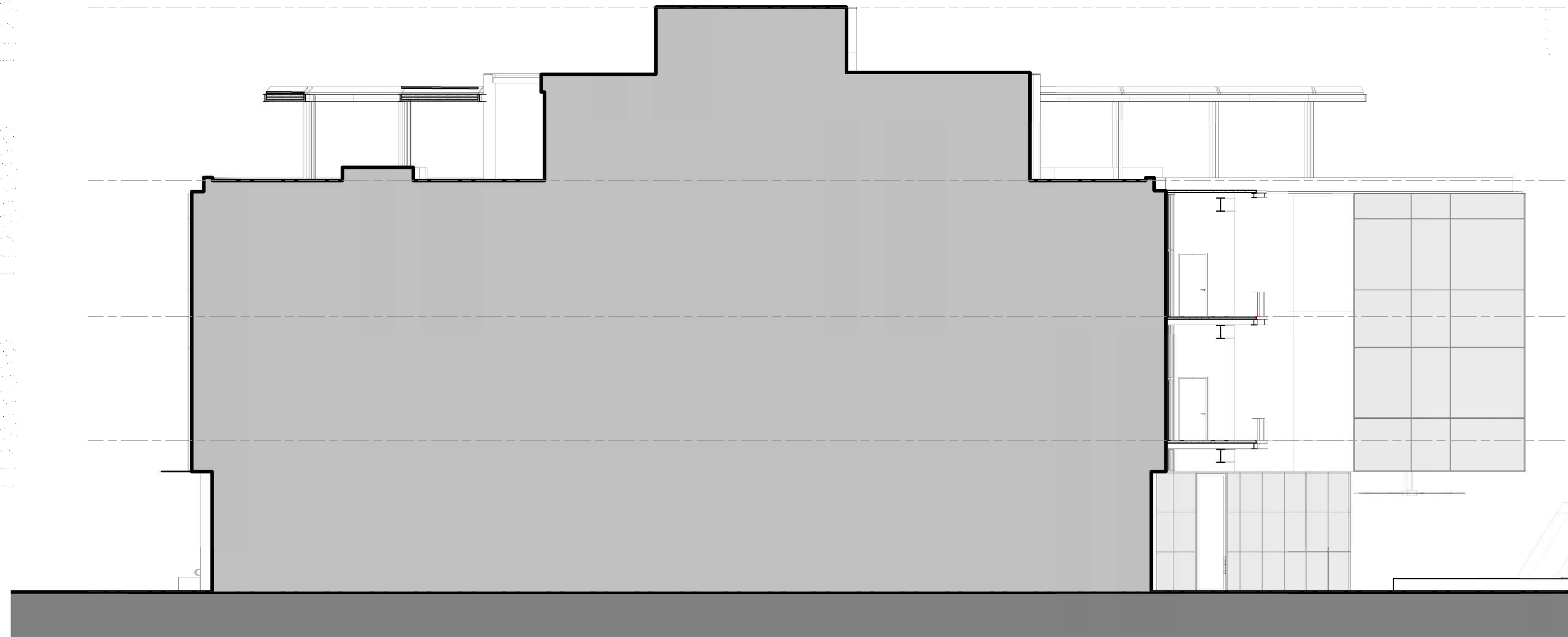
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06/10/2022

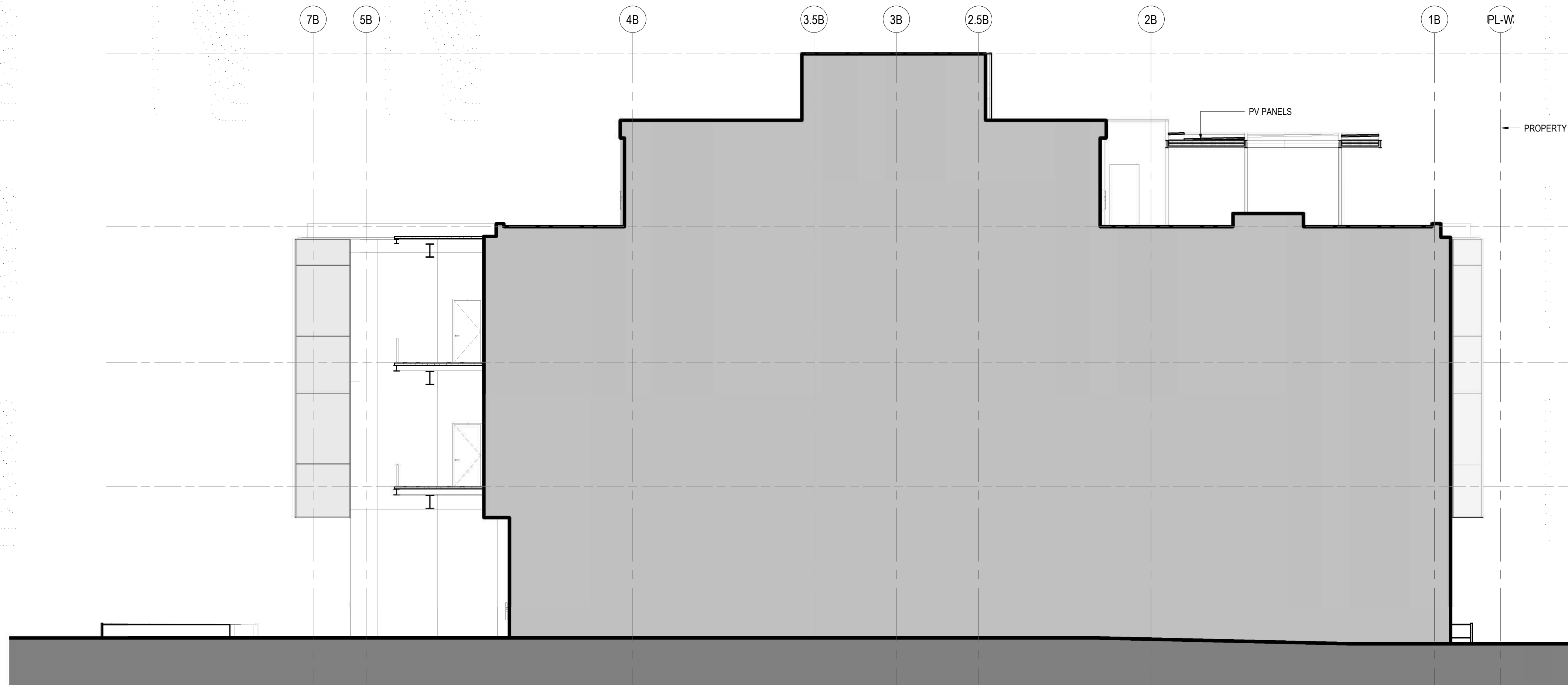
EXTERIOR
ELEVATIONS

A3.01





2 NORTH ELEVATION (INNER)
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION (INNER)
SCALE: 1/8" = 1'-0"

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project manager EG
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revisions:

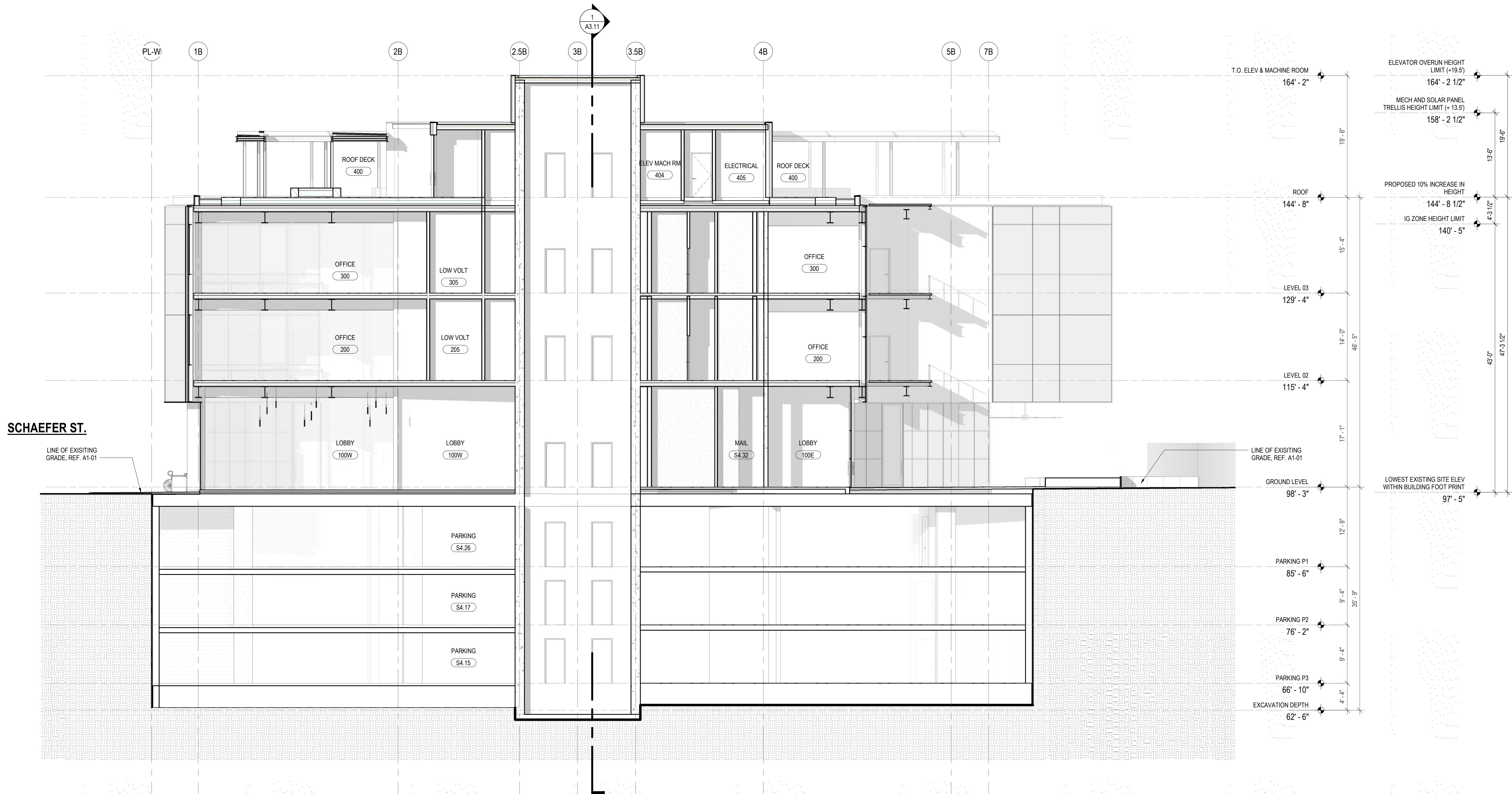
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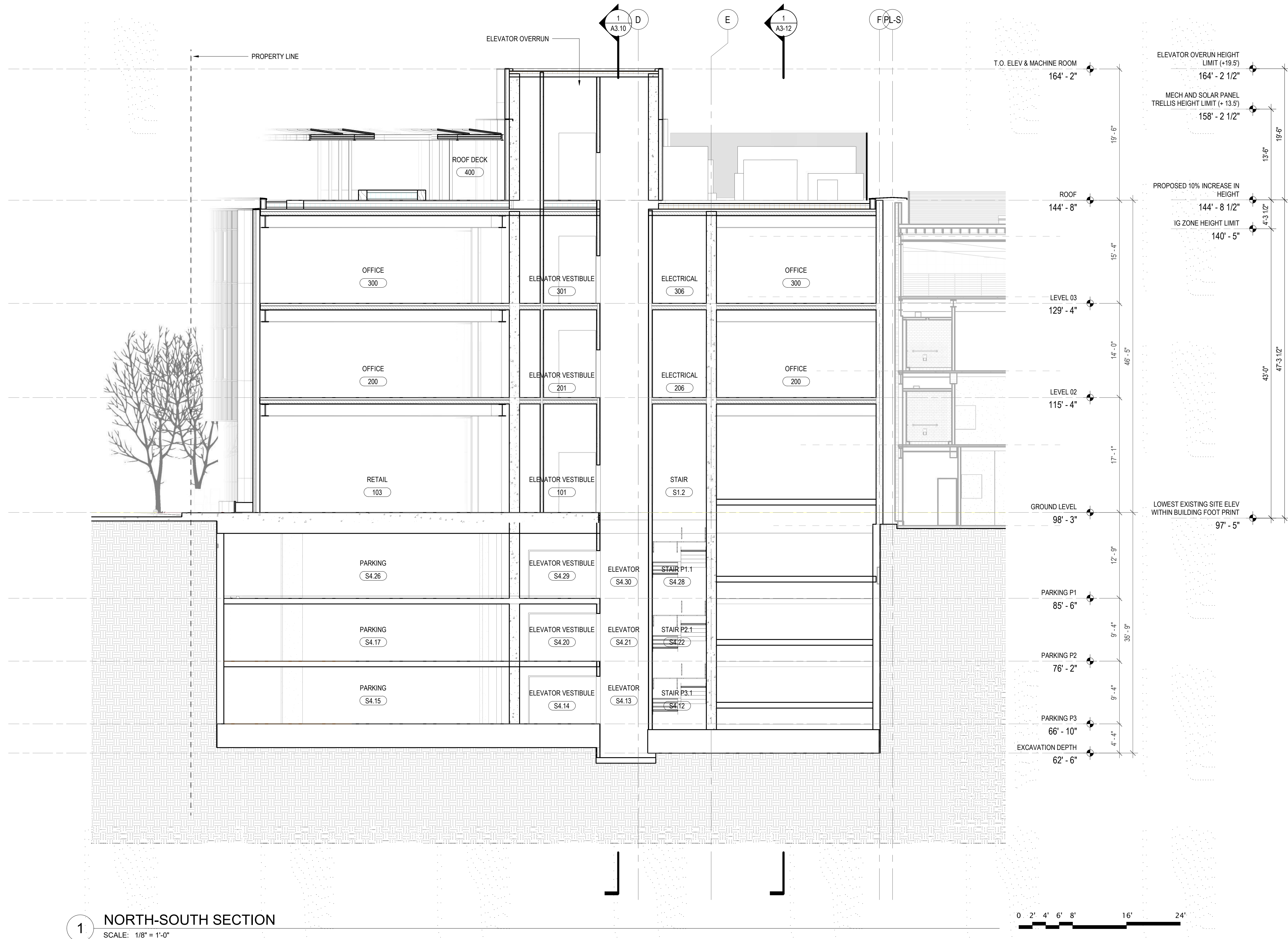
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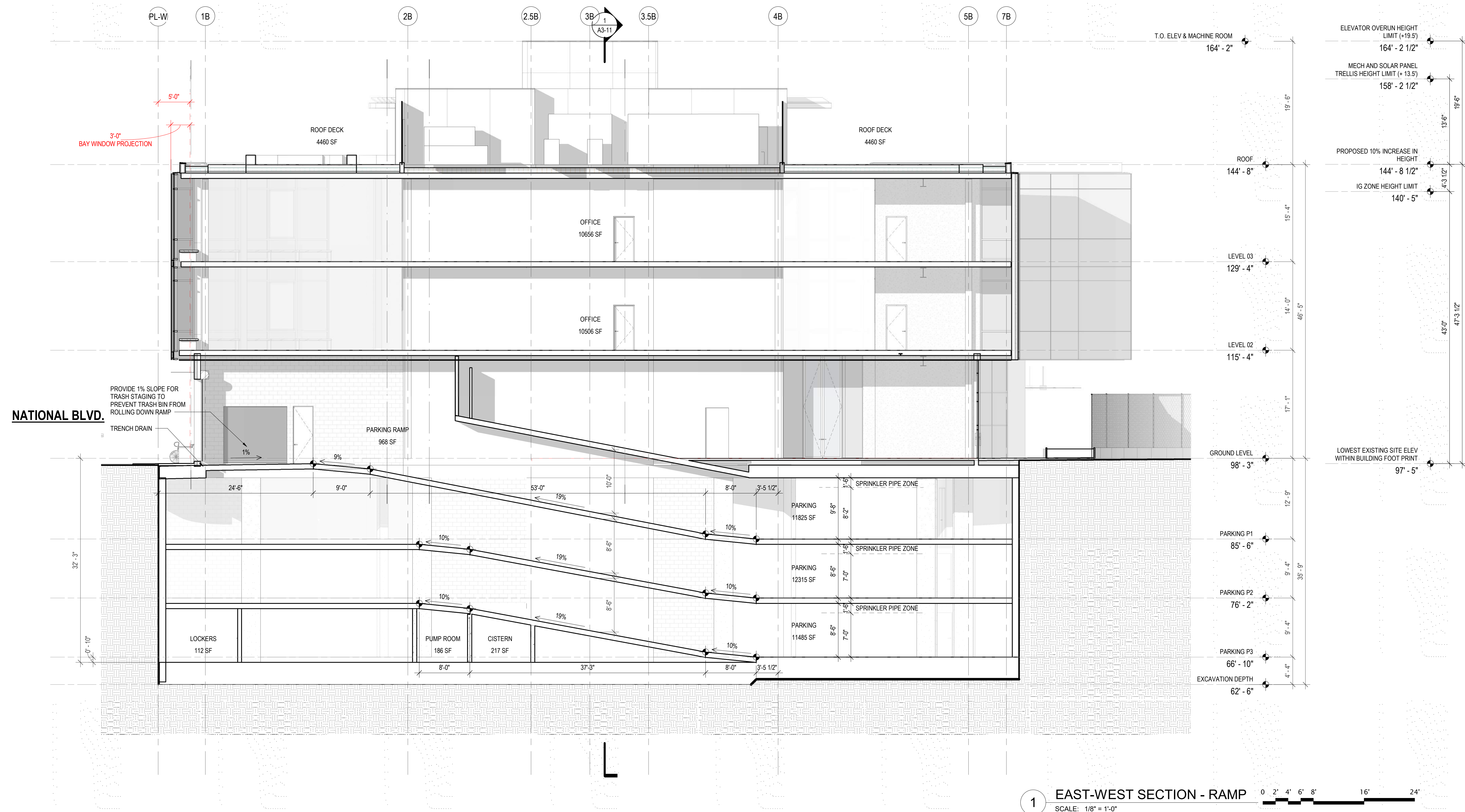
SPR SUBMISSION
06/10/2022

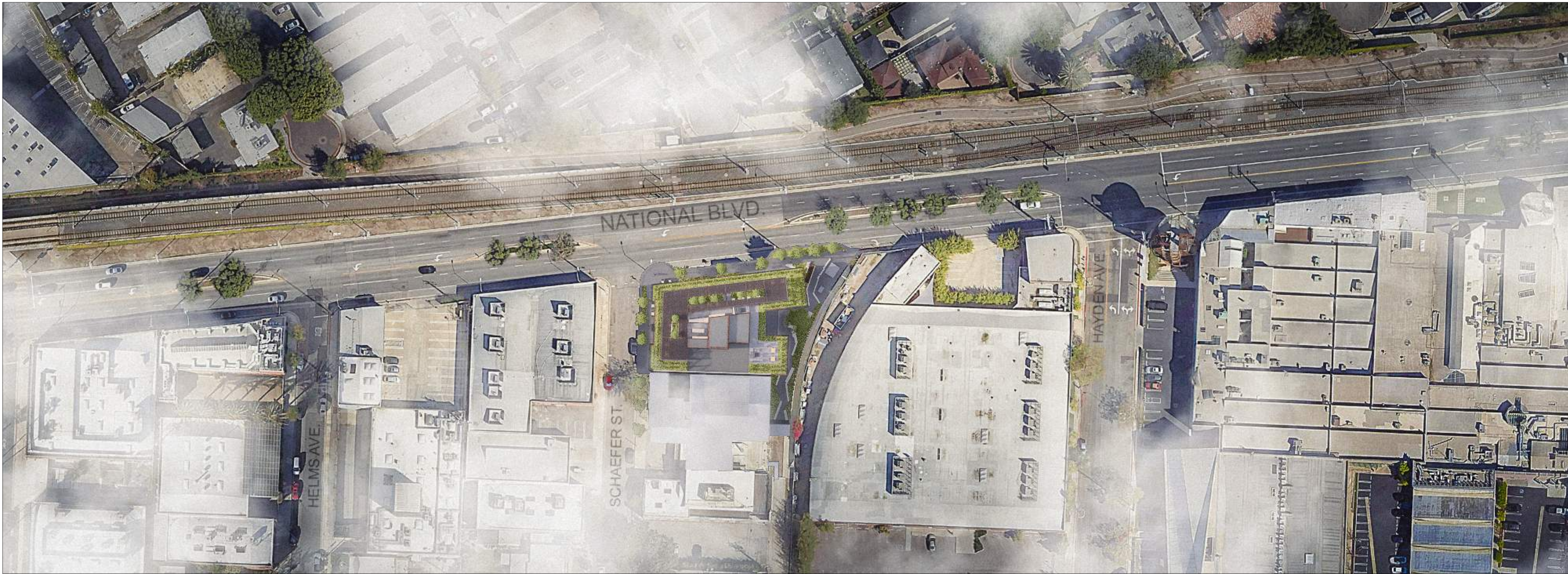
EXTERIOR
ELEVATIONS

A3.02









RENDER - SITE PLAN



RENDER - AERIAL VIEW NORTHEAST



RENDER - AERIAL VIEW NORTHWEST



RENDER - NORTH VIEW

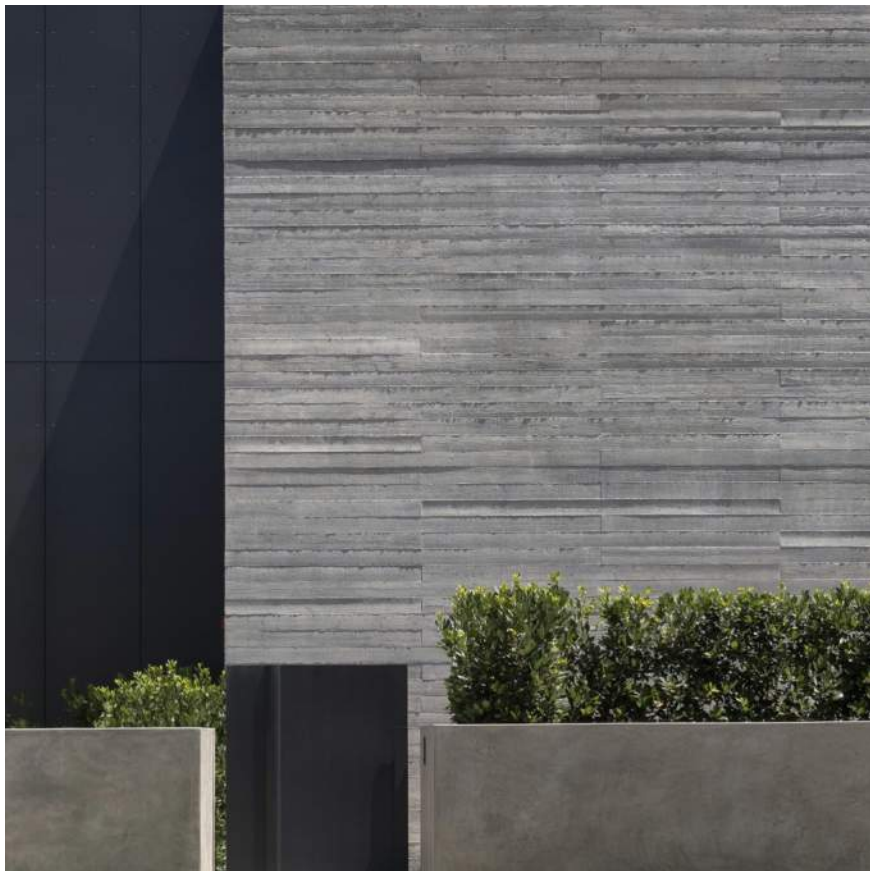


RENDER - WEST VIEW



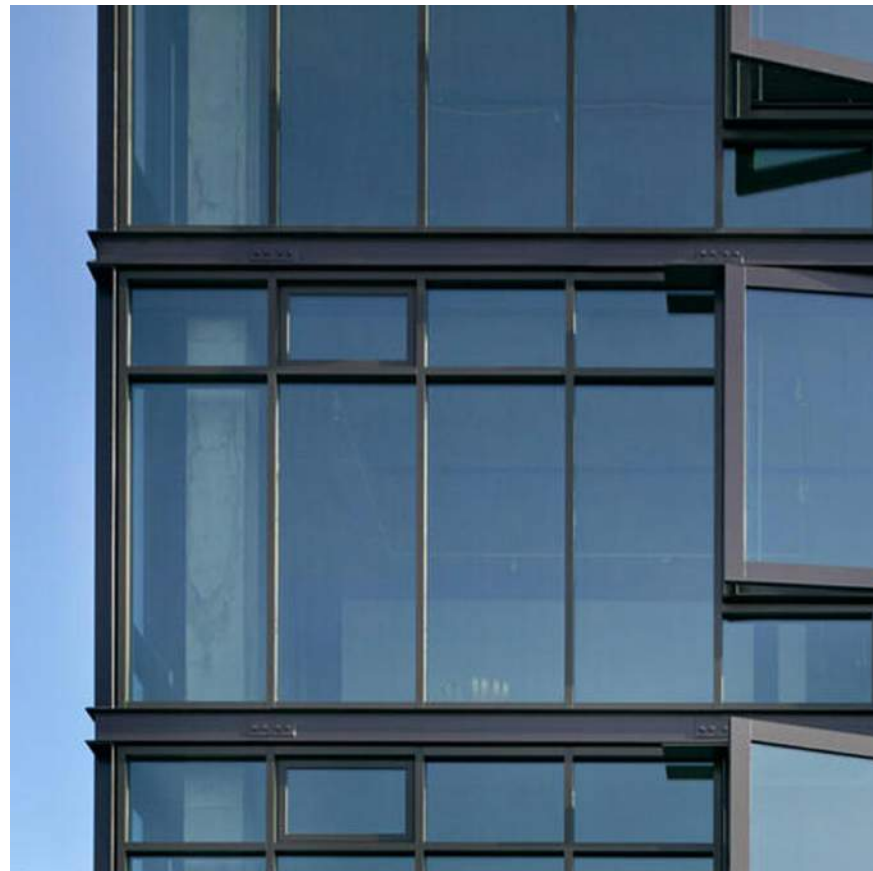
RENDER - NORTHWEST VIEW





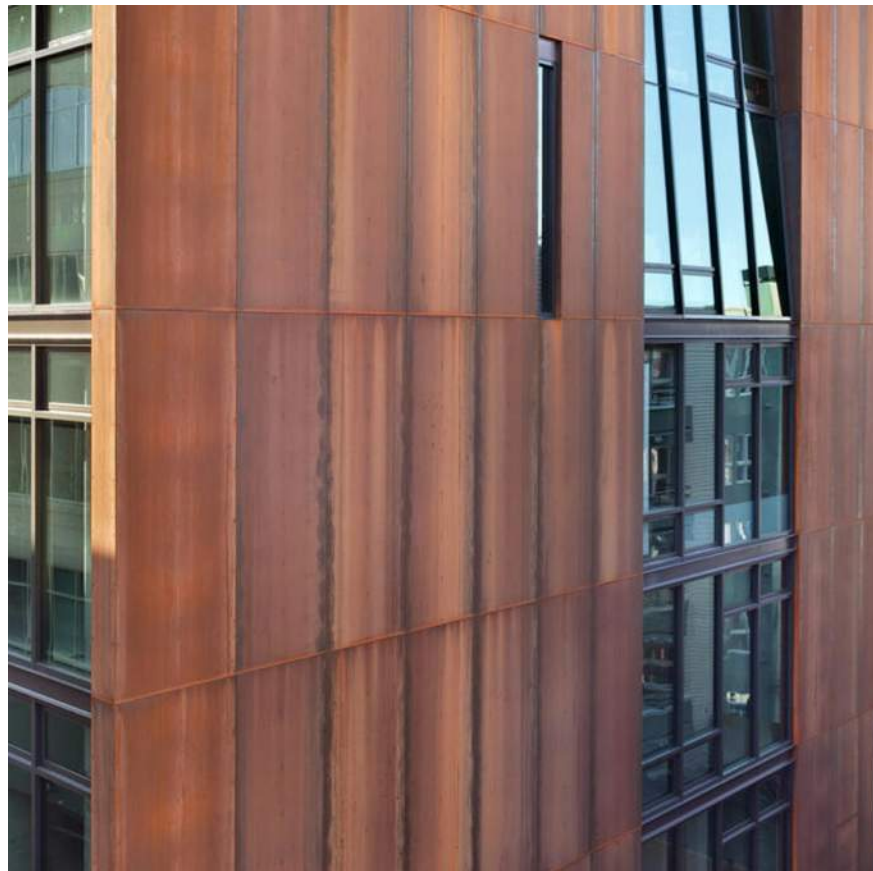
CONC 3

BOARDFORMED CONCRETE
2" X 4" BOARDS
03-1100



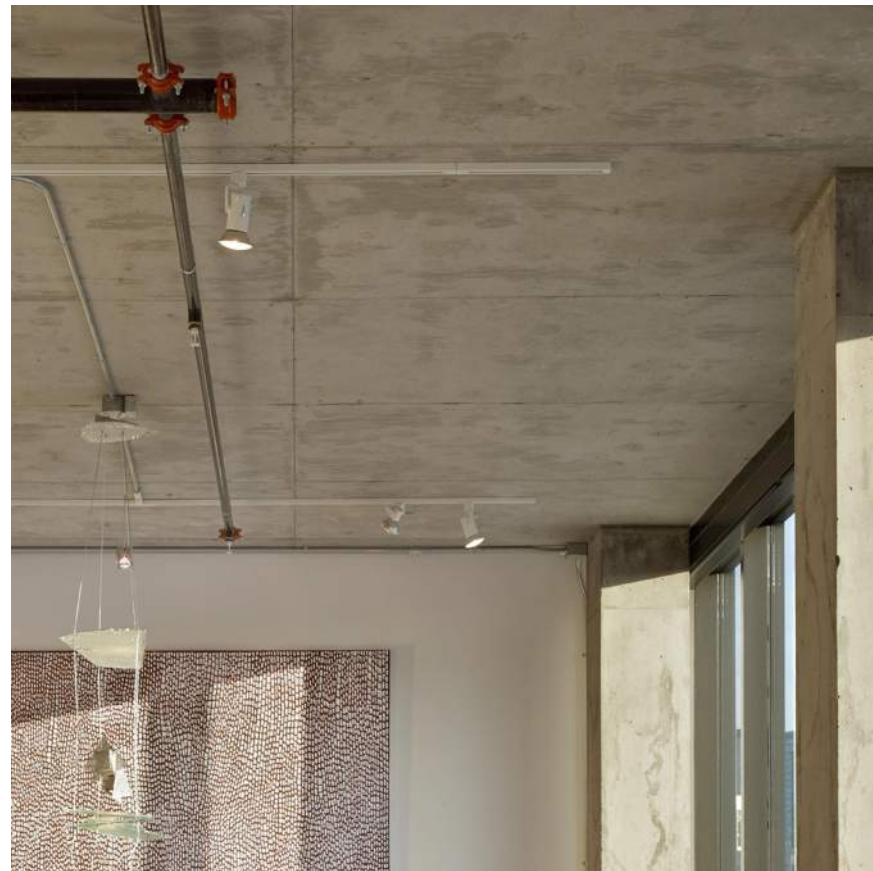
CW1

CURTAIN WALL



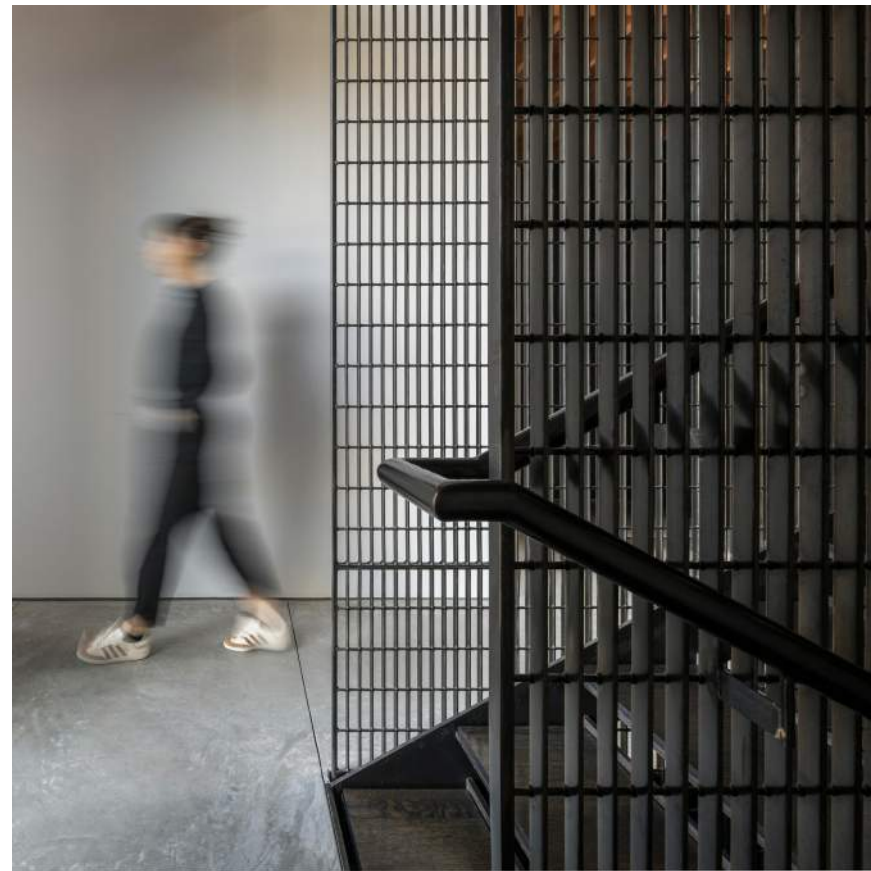
IMP1

WEATHERED STEEL PANEL
07-4213



CONC 1

EXPOSED
CIP CONC



SCRN1

STEEL BAR GRATE
SCREEN SYSTEM
05-7500



SS1

STEEL STRUCTURE,
PTD OBSIDIAN



BAY WINDOW PRECEDENTS



WEST EDGE TOWER | OLSON KUNDIG



MULTI FAMILY PROJECT | LOS ANGELES

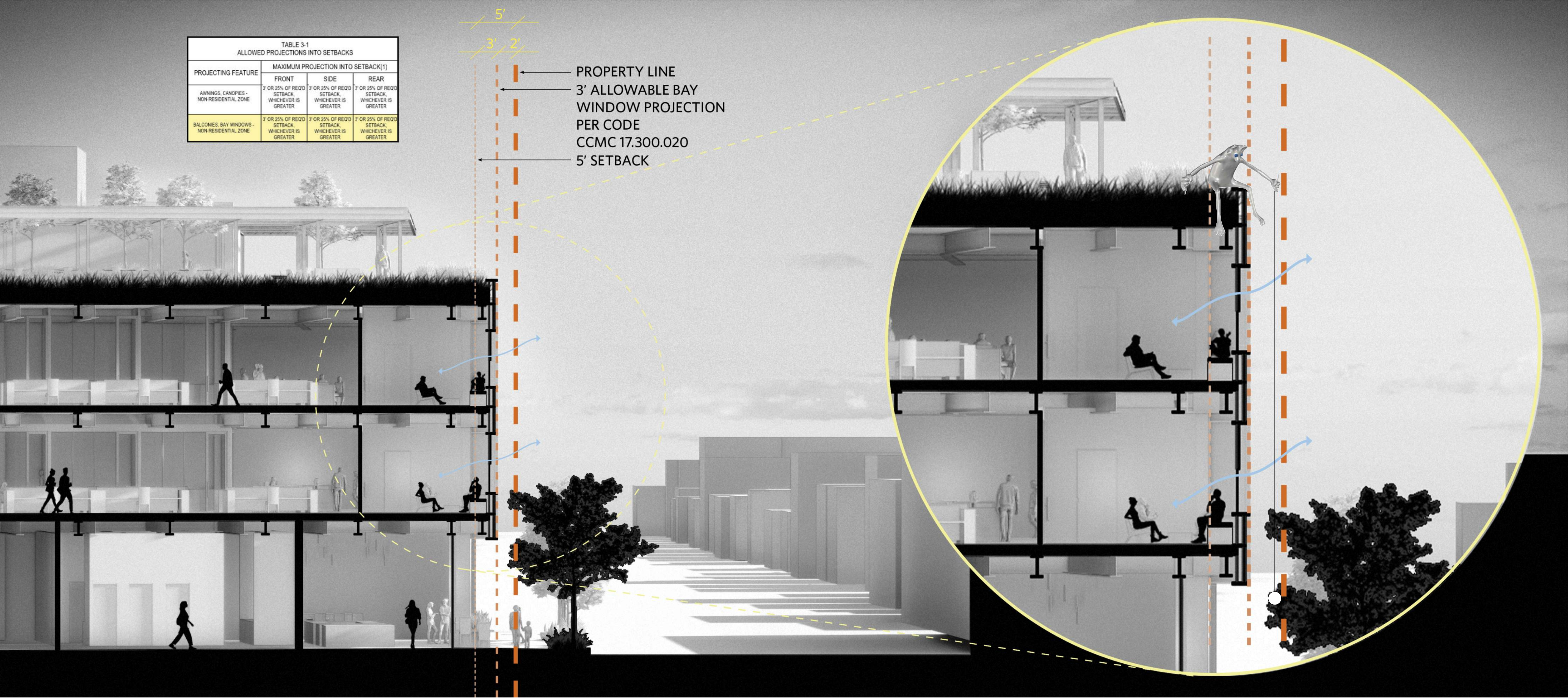


HISTORIC COMMERCIAL/OFFICE BUILDING | SEATTLE WA.



MULTI-FAMILY | LOS ANGELES

BAY WINDOW DIAGRAM



GENERAL NOTES

1.

INSTALL ALL IMPROVEMENTS IN ACCORDANCE WITH CALTECH REQUIREMENTS. IN CASE OF DISCREPANCY BETWEEN THESE PLANS AND THE CALTECH REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS WILL APPLY.
2.

A VISIT TO THE SITE IS REQUIRED. VERIFY ALL CONDITIONS PRIOR TO SUBMITTING A PROPOSAL OF COST FOR CONSTRUCTION.
3.

REVIEW THESE PLANS AND NOTES COMPLETELY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY.
4.

EXTRA WORK TO BE APPROVED IN WRITING BY THE OWNER PRIOR TO COMMENCEMENT OF WORK.
5.

IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, UTILITIES, SEWERS, WATER LINES, ETC. COORDINATE WORK WITH OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES UNDER PAVING, ELECTRICAL CONNECTIONS, WATER HOOK-UPS, ETC.
6.

ALL REQUIREMENTS OF THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE SHALL APPLY TO THE WORK SPECIFIED HEREIN UNLESS OTHERWISE MODIFIED BY THESE DOCUMENTS.
7.

CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE WORK SPECIFIED PRIOR TO COMMENCEMENT OF WORK.
8.

BEFORE COMMENCING ANY WORK, OBTAIN AN UNDERGROUND SERVICE I.D. BY CALLING DIG-ALERT AT 1-800-422-4133 TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
9.

CONTRACTOR TO COORDINATE A PRE-CONSTRUCTION MEETING ON SITE TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION. NOTIFY OWNER, LANDSCAPE ARCHITECT, AND ALL SUB-CONTRACTORS.
10.

SUBMIT REQUESTS FOR MEETINGS, OBSERVATIONS, AND APPROVALS BY THE LANDSCAPE ARCHITECT TWO (2) WORKING DAYS PRIOR TO THE DATE AND TIME PROPOSED.
11.

OBTAIN CITY INSPECTOR'S AND LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL OF WORK IN PROGRESS AT VARIOUS TIMES DURING CONSTRUCTION. THE FOLLOWING REVIEWS/MEETINGS ARE MANDATORY. PROVIDE TWO (2) WORKING DAYS NOTICE FOR EACH REQUESTED VISIT.

*PRE-JOB CONFERENCE

*CONSTRUCTION STAKING

*MAIN LINE PRESSURE TEST AND TRENCH DEPTHS PRIOR TO BACKFILL OF TRENCHES

*COVERAGE TEST UPON COMPLETION OF SPRINKLER INSTALLATION

*FINAL GRADING REVIEW

*PLANT MATERIAL LOCATION REVIEW PRIOR TO INSTALLATION

*PLANT MATERIAL APPEARANCE AND QUALITY REVIEW

*SOIL PREPARATION AND PLANTING INSTALLATION METHODS

*FINAL WALK THROUGH (AT COMPLETION OF PLANTING INSTALLATION)

*FINAL WALK THROUGH (AT COMPLETION OF MAINTENANCE PERIOD)
- DIRECT ANY QUESTIONS REGARDING THESE PLANS TO :
STUDIO-MLA
251 S. MISSION STREET
LOS ANGELES, CA 90033
- ATTN: JAN DYER
PRINCIPAL
- ABBREVIATIONS
- | | | | | | | | |
|------------|---|---------|-----------------------------|------------|--------------------------------------|-----------|----------------------|
| & | AND | D.I. | DRAIN INLET | LP | LOW POINT | S.C. | SAWCUT JOINT |
| @ | AT | D.DIA. | DIAMETER | MAX. | MAXIMUM | SCH. | SCHEDULE |
| # | NUMBER | DWGS. | DRAWINGS | M.E.P. | MECHANICAL, ELECTRICAL, PLUMBING | SE | SOUTHEAST |
| % | PERCENT | (E) | EXISTING | MIN. | MINIMUM | SF | SQUARE FEET |
| A.C. | ASPHALTIC CONCRETE | EA. | EACH | (N) | NEW | SIM. | SIMILAR |
| AD | AREA DRAIN | E.J. | EXPANSION JOINT | N.A. | NOT APPLICABLE | S.J. | SCORE JOINT |
| ADJ. | ADJACENT | ELEV | ELEVATION | NAT. | NATURAL | S.L. | SCORELINE |
| ALT. | ALTERNATIVE | EOC. | END OF CURVE | NE | NORTHEAST | SQ. | SQUARE |
| AM | APICAL MERISTEM | ETC. | ETCETERA | N.I.C. | NOT IN CONTRACT | SS | STAINLESS STEEL |
| ARCH. | ARCHITECTURE | EQ. | EQUAL | N.T.S. | NOT TO SCALE | STD. | STANDARD |
| ASTM | AMERICAN SOCIETY OF TESTING & MATERIALS | E.W. | EACH WAY | NW | NORTHWEST | SSTL | STAINLESS STEEL |
| BC | BOTTOM OF CURB | EX. | EXISTING | O/C / O.C. | ON CENTER | SW | SOUTHWEST |
| BCR | BEGIN CURB RADIUS | F.D.C. | FIRE DEPARTMENT CONNECTIONS | O.D. | OUTSIDE DIAMETER | T. | TREAD |
| BLDG. | BUILDING | FFE | FINISH FLOOR ELEVATION | O.F/CI | OWNER FURNISHED/CONTRACTOR INSTALLED | TBD/T.B.D | TO BE DETERMINED |
| BOC | BEGINNING OF CURVE | FF | FINISH FLOOR | PA | PLANTING AREA | TC | TOP OF CURB |
| BS | BOTTOM OF STEP | FG | FINISH GRADE | P.O.B. | POINT OF BEGINNING | TF | TOP OF FOOTING |
| BTH | BROWN TRUNK HEIGHT | FIN. | FINISH | PP | POWER POLE | TG | TOP OF GRATE |
| BW | BOTTOM OF WALL | FTG. | FOOTING | PL | PROPERTY LINE | TOW/TW | TOP OF WALL |
| CIP/C.I.P. | CAST IN PLACE | GALV. | GALVANIZED | PT | PRESSURE TREATED | TYP. | TYPICAL |
| C.J. | CONSTRUCTION JOINT | H.B. | HEADERBOARD | PVC | POLY VINYL CHLORIDE | VERT. | VERTICAL, VERTICALLY |
| CL | CENTER LINE | H.HT. | HEIGHT | QTY. | QUANTITY | V.I.F. | VERIFY IN FIELD |
| CLR | CLEAR | HOR. | HORIZONTAL, HORIZONTALLY | R. | RISER | W | WIDTH |
| CMB | CRUSHED MISCELLANEOUS BASE | HSS | HOLLOW STRUCTURAL SECTION | R. RAD. | RADIUS | W/ | WITH |
| CMU | CONCRETE MASONRY UNIT | HP | HIGH POINT | R.C.B. | ROOT CONTROL BARRIER | WL | WATER LEVEL |
| CONC. | CONCRETE | L | LENGTH | REINF. | REINFORCED | W.W.M. | WELDED WIRE MESH |
| CONT. | CONTINUOUS | LB. | POUND | REP. | REPRESENTATIVE | | |
| CORP. | CORPORATION | LF/L.F. | LINEAR FEET | R.O.W. | RIGHT-OF-WAY | | |
| d | PENNY (NAIL SIZE) | L.O.W. | LIMIT OF WORK | | | | |
| D.G. | DECOMPOSED GRANITE | | | | | | |
- SYMBOLS
- | | |
|--|---|
| | PROPERTY LINE |
| | RIGHT-OF-WAY |
| | LIMIT OF WORK LINE |
| | MATCHLINE |
| | CENTER LINE |
| | SECTION |
| | ELEVATION |
| | DETAIL |
| | ALIGN |
| | POINT OF BEGINNING/
ORIGIN POINT OF LAYOUT |
| | DETAIL SECTION |
| | KEYNOTE |
| | CALLOUT |
- SHEET INDEX
- | | | | | | | | | | | | | |
|---|---------------------------------|-------------------------------------|---------------|--|--|--|--|--|--|--|--|--|
| LEGEND | | <input type="checkbox"/> | SPR SUBMITTAL | | | | | | | | | |
| SHEET NOT ISSUED | | <input checked="" type="checkbox"/> | | | | | | | | | | |
| ISSUED FOR INFORMATION AND COORDINATION | | <input type="checkbox"/> | | | | | | | | | | |
| SHEET DELETED FROM SET | | <input type="checkbox"/> | | | | | | | | | | |
| SHEET SCOPE COMPLETED PREVIOUSLY | | <input type="checkbox"/> | | | | | | | | | | |
| | | | | | | | | | | | | |
| L0.00 | GENERAL NOTES & SHEET INDEX | <input checked="" type="checkbox"/> | | | | | | | | | | |
| L2.00 | CONSTRUCTION NOTES AND SCHEDULE | <input checked="" type="checkbox"/> | | | | | | | | | | |
| L2.01 | CONSTRUCTION PLAN - LEVEL 01 | <input checked="" type="checkbox"/> | | | | | | | | | | |
| L2.04 | CONSTRUCTION PLAN - ROOF DECK | <input checked="" type="checkbox"/> | | | | | | | | | | |
| L8.00 | PLANTING NOTES AND SCHEDULE | <input checked="" type="checkbox"/> | | | | | | | | | | |
| L8.01 | PLANTING PLAN - LEVEL 01 | <input checked="" type="checkbox"/> | | | | | | | | | | |
| L8.04 | PLANTING PLAN - ROOF DECK | <input checked="" type="checkbox"/> | | | | | | | | | | |
-
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Seattle, Washington 98104 USA
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Olson Kundig

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- STUDIO-
MLA

751 South Mission Road
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T: 213 384 3844 studio-mla.com
- principal architect _____

project manager MB, JJ _____

drawn by JJ, KM _____

checked by _____

job no. 20010 _____

revisions:

no. date
- NOT FOR CONSTRUCTION
- 100% SD

03/30/2022
- GENERAL NOTES & SHEET INDEX
- L0.00
-

CONSTRUCTION NOTES

1. DRAWING IS DIAGRAMMATIC. VERIFY ALL CONDITIONS AND LOCATIONS ON SITE PRIOR TO THE START OF CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF ANY ERRORS OR DISCREPANCIES ARE FOUND, BEFORE PROCEEDING WITH ANY WORK.

2. DO NOT SCALE DRAWINGS. USE DIMENSIONS AS INDICATED ON PLAN.

3. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN APPARENT DURING DESIGN. OBTAIN DIRECTION BEFORE PROCEEDING WITH CONSTRUCTION IN SUCH CASES.

4. THE LOCATION OF ALL SERVICE RUNS, SUCH AS WATER SUPPLY, ELECTRICAL (OVERHEAD AND UNDERGROUND), TELEPHONE, SANITARY SEWER, ETC. SHOULD BE ASCERTAINED BEFORE WORK IS STARTED. WHERE THEY WILL BE AFFECTED BY EXCAVATION OR WHERE MACHINES MAY BE WORKING NEARBY, THEY SHOULD BE CAREFULLY SEALED, PROTECTED, OR DIVERTED. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

5. COORDINATE ALL UTILITY RUNS AND INSTALLATIONS (EXISTING AND NEW) PRIOR TO PAVING INSTALLATION. VERIFY ALL SLEEVES AND ELECTRIC SOURCES FOR IRRIGATION CLOCK AND LIGHTING WITH PROPER SUB-CONTRACTORS.

6. CLEAN OUT AND ADJUST EXISTING DRAINS TO ACCOMMODATE PROPOSED DRAINAGE. ADJUST LATERAL DRAIN LINES AS NECESSARY TO BEST LINK EXISTING MAIN LINES.

7. OBTAIN INSPECTION AND APPROVAL OF ALL FORMS PRIOR TO PLACING CONCRETE.

8. TRANSITIONS FROM EXISTING PAVING TO NEW PAVING SHALL BE FLUSH.

9. REFER TO PLANS AND GENERAL NOTES FOR ADDITIONAL NOTES AND INFORMATION REGARDING THE CONSTRUCTION OF THIS PROJECT.

10. CONSTRUCT ALL WALLS, PAVING, DRAIN LINES, SLEEVING, ETC. PER PLAN AND DETAILS.

11. CONCRETE TO SLOPE FROM FOUNDATION TOWARDS DRAIN INLETS AND DRAINAGE SWALES AT AS MINIMUM RATE OF 1/8" PER FOOT. INSTALL CONCRETE FORMS WITH LONG, SMOOTH GRADIENTS TO ELIMINATE DIPS, RIDGES, ABRUPT CHANGES OF GRADE, AND SHARP TRANSITIONS.

12. INSTALL EXPANSION JOINTS AT ALL VERTICAL ELEMENTS. INSTALL CRACK CONTROL JOINTS AT MAX. 12'-0". ZIP JOINTS WILL NOT BE ALLOWED. INSTALL EJ'S AND CCJ'S AT 90° TO THE EDGE OF CONCRETE PAVING, UNLESS OTHERWISE SPECIFIED. SEE PLAN FOR ADDITIONAL INFORMATION AND LOCATIONS.

13. PRIOR TO PLACING CONCRETE, SUFFICIENTLY MOISTEN THE SUBGRADE AND PROVIDE SUBGRADE PREPARATIONS PER THE SOILS ENGINEER.

14. INSTALL TYPE V CONCRETE THAT OBTAINS A MINIMUM COMPRESSIVE STRENGTH OF 2,500 P.S.I. AT 28 DAYS UNLESS OTHERWISE SPECIFIED ON THESE PLANS AND DETAILS. SUBMIT CONCRETE SAMPLE TO OWNER AND LANDSCAPE ARCHITECT PRIOR TO LAYING OUT FORMS. INSTALL CONCRETE FLATWORK PER RECOMMENDATIONS OF SOILS ENGINEER AND SOILS REPORT. IN CASE OF CONFLICT BETWEEN SOILS REPORT AND DETAILS, THE MOST STRINGENT REQUIREMENTS WILL APPLY.


15. BACKFILL AND COMPACT BEHIND ALL WALLS AND MASONRY STRUCTURES, AS REQUIRED ON DRAWINGS AND DETAILS. BACKFILL PLANTERS WITH TOP GRADE SANDY-LOAM TOPSOIL PER PLANTING NOTES.

16. CLEAN UP AND REMOVE ALL DEBRIS FROM SITE PRIOR TO REQUESTING FINAL APPROVAL. GRADE ALL AREAS WITHIN 5 INCH OF FINISH GRADES. NOTE AREAS OF ADDITIONAL GRADING SHOWN. COORDINATE WITH LANDSCAPE ARCHITECT THE FINAL FORM OF LANDSCAPE MOUNDS.

17. OPEN GRID OR PERMEABLE PAVEMENT SYSTEMS (P-201, P-301, P-302) (9,526 SF) IS AT LEAST 25% OF THE TOTAL SITE HARDSCAPE (25,416 SF).

REFERENCE NOTES SCHEDULE

	AMENITIES						
SYMBOL	DESCRIPTION	DETAIL	MANUFACTURER				
A-101	COUNTER AT ROOF DECK		CUSTOM				
	EDGING						
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFACTURER	
E-401	GRAVEL BANDING		GRAVEL	TBD	TBD	SOUTHWEST BOULDER & STONE OR EQUAL	
	FENCE						
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER		
F-101	PERIMETER FENCE		SS MESH AND WEATHERED STEEL POST	TBD	-		
	GATE						
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	COLOR	MANUFACTURER	REMARKS	
G-101	TRANSFORMER YARD GATE		STAINLESS STEEL MESH AND WEATHERED STEEL	TBD	TBD	8' TALL	
	PAVING						
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFACTURER	REMARKS
P-101	PEDESTRIAN CONCRETE PAVING		CIP CONCRETE	BROOM	NATURAL GRAY	TRADEMARK OR APPROVED EQUAL	MATCH CITY GUIDELINES
P-102	PLAZA PAVING		CIP CONCRETE	SEEDED AGGREGATE	TBD	TRADEMARK OR APPROVED EQUAL	ALT: 60% CIP CONCRETE; 40% PRECAST CONCRETE PAVERS
P-103	PERMEABLE PAVING AT PARKING		CASCADE CORTE		MANOR	ORCO BLOCK AND HARDSCAPE	
P-401	CONCRETE PAVERS AT ROOF DECK		PRECAST CONCRETE	TBD	TBD	TBD	ON PEDESTAL
P-402	WOOD DECKING AT ROOF DECK		THERMORY WOOD	TBD			
	RAILING						
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	REMARKS		
R-401	ROOF TERRACE GUARD RAIL		TUBULAR STEEL POSTS	STAINLESS STEEL	STAINLESS STEEL MESH INFILL PANELS		
	SITE FURNISHING						
SYMBOL	DESCRIPTION	DETAIL	MODEL/MATERIAL	REMARKS			
S-101	MULTI-SPACE PARKING METER			MATCH CITY GUIDELINES			
S-102	STREET TREE GRATE		WEATHERED STEEL				
S-103	BICYCLE RACK			MATCH CITY GUIDELINES			
	WALL						
SYMBOL	DESCRIPTION	DETAIL	MATERIAL	FINISH	COLOR	MANUFACTURER	REMARKS
W-102	STONE PLANTER WALLS		STONE	NATURAL	NATURAL	SOUTHWEST BOULDER & STONE OR EQUAL	STONE SLABS
W-401	METAL PLANTER WALL AT ROOF DECK		METAL	WEATHERED	TBD	CUSTOM	
W-402	SEAT WALL AT ROOF DECK		WOOD	TBD	TBD	TBD	



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principal architect _____
project manager MB, JJ
drawn by JJ, KM

checked by _____
job no. 20010

revisions:

no. date

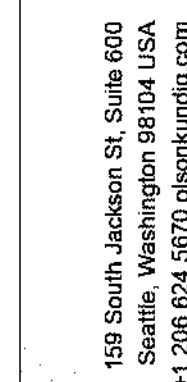
NOT FOR CONSTRUCTION

100% SD

03/30/2022

CONSTRUCTION
NOTES & SCHEDULE

L2.00



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principal architect _____
project manager MB, JJ
drawn by JJ, KM

checked by _____
job no. 20010

revisions:

no.	date
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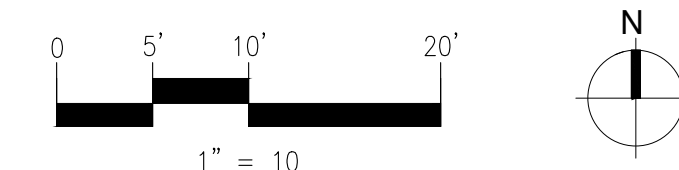
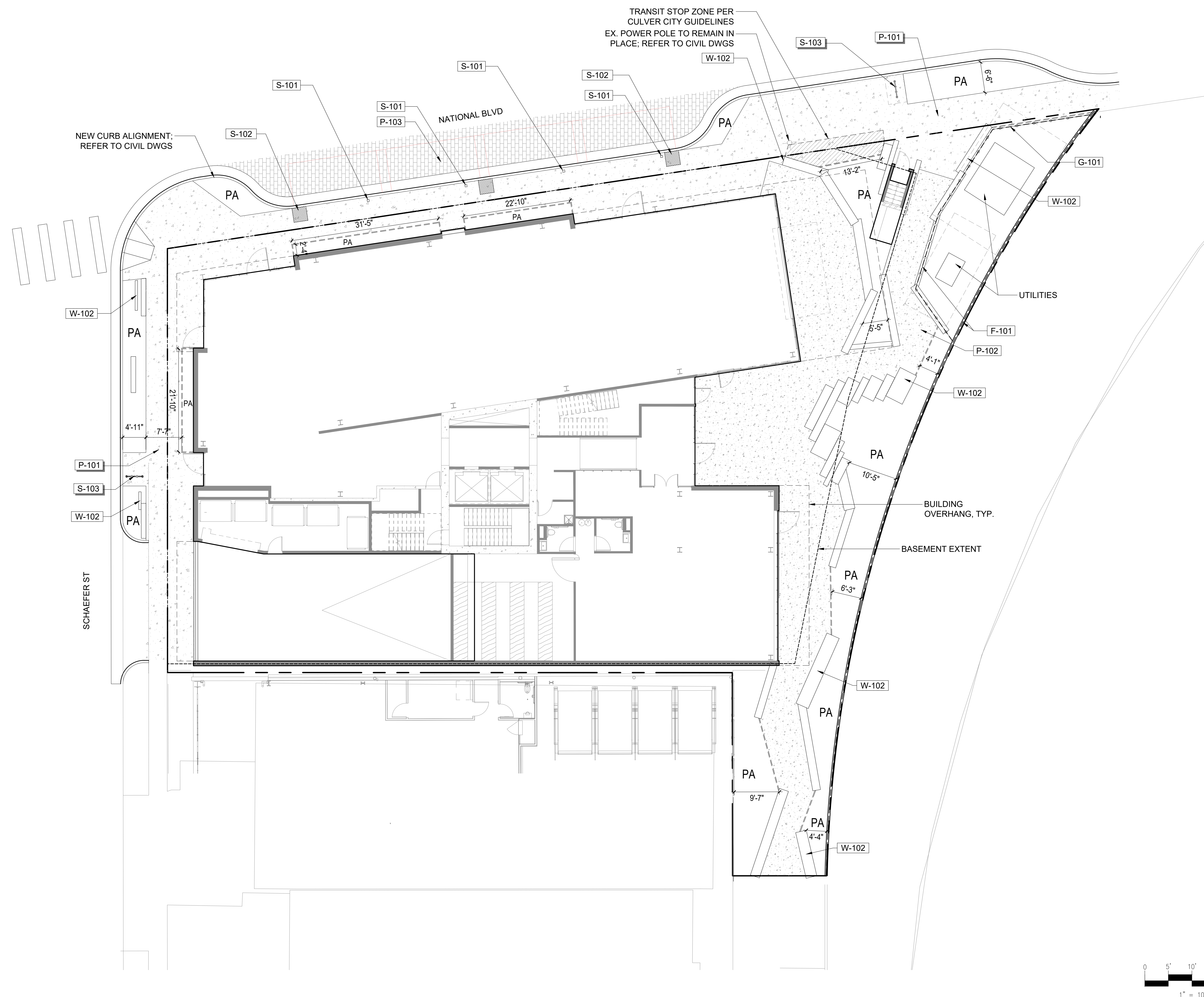
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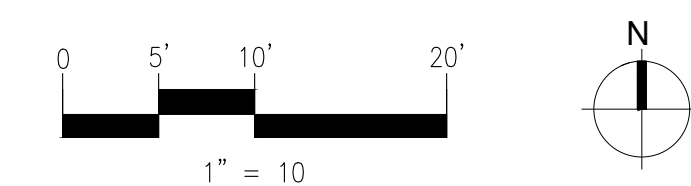
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03/30/2022

CONSTRUCTION PLAN
- LEVEL 01

L2.01





PLANTING NOTES

1. DRAWING IS DIAGRAMMATIC. VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
2. INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. ALL TREE STAKING LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY DIGGING.
3. CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
4. NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
5. ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
6. ALL PLANT MATERIAL TO BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL STORE PLANT MATERIAL IN SHADE AND PROTECT FROM SUN. ENSURE ON SITE WATERING PRIOR TO PLANTING.
7. FINISH GRADE TO BE 1" BELOW ALL WALKS, CURBS, AND PAVING.
8. ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - *150 LBS. GRO-POWER
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
9. PLANT HOLE TO BE TWICE AS WIDE AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% WITH 60% SOIL OF SITE AND 40% FIR BARK, UNLESS OTHERWISE NOTED. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

1 GAL	2
5 GAL	5
15 GAL	10
24" BOX AND UP	14

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS.
10. "DEEP ROOT" BARRIERS ARE TO BE USED AROUND ALL TREES LOCATED WITHIN 5 FT. OF PAVING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES AFTER PLANTING.
11. ALL PROPOSED SHRUB AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS:
 - A) IMMEDIATELY AFTER PLANTING,
 - B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND
 - C) AT THE END OF THE MAINTENANCE PERIOD.
12. ALL PLANTING AREAS TO BE TOP DRESSED WITH MULCH PER SPECIFICATIONS.
13. INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
14. NO CASTING AND SPRAYING OF SEED FOR SOD INSTALLATION IS INTENDED FOR THIS PROJECT. LANDSCAPE DWGS WILL ADD A GENERAL NOTE STATING THAT THIS APPLICATION SHALL NOT BE IMPLEMENTED, REFERENCE MMRP-LAXN-PDF-111.

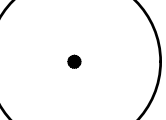

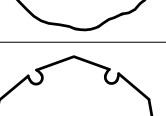
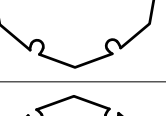
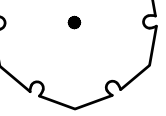
PLANTER SOIL MIX	
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1. TOP 12" OF PLANTING SOIL TO BE PROVIDED AS IMPORT SOIL, EQUAL TO EARTHWORKS- 80/20 CUSTOM TOPSOIL/WCP MIX OR AGROMIN- UNIVERSAL BLEND.
2. ALL OTHER PLANTING SOIL TO BE PROVIDED AS AMENDED SITE SOIL OR AS DIRECTED PER THE AGRONOMIC SOILS REPORT.
3. ALL SOILS TO COMPLY WITH SOIL REQUIREMENTS AS NOTED IN THE SOIL PREPARATION SPECIFICATIONS.

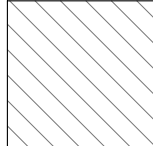
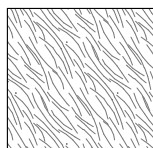
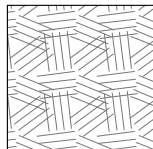
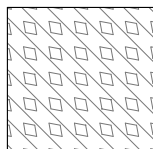
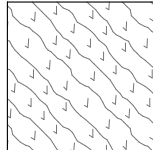
FINAL TREE LOCATIONS

THE FINAL LOCATIONS FOR ALL TREES SHALL BE AT THE DIRECTION OF THE CAMPUS ARBORIST. CONFIRM PLACEMENT BEFORE PLANTING

PLANT SCHEDULE									
----------------	--	--	--	--	--	--	--	--	--

TREES	CODE	BOTANICAL / COMMON NAME	CONT	WATER USE	QTY
	PLA COL	PLATANUS X ACERIFOLIA 'COLUMBIA' / COLUMBIA LONDON PLANE TREE	48" BOX	LOW	5
	QUE AGR	QUERCUS AGRIFOLIA / COAST LIVE OAK	60" BOX	LOW	1
	RHU MU2	RHUS LANCEA / AFRICAN SUMAC MULTI-TRUNK	24" BOX	LOW	3
	RHU MUL	RHUS LANCEA / AFRICAN SUMAC MULTI-TRUNK	48" BOX	LOW	6
	TIP TIP	TIPUANA TIPU / TIPU TREE	48" BOX	LOW	3

CONCEPT PLANT SCHEDULE

	<p>ZONE A - STREETSCAPE 20% LOW GROUNDCOVER; 80% MEDIUM SHRUB; LOW WATER USE</p> <p>-</p>	706 SF
	<p>ZONE B - POCKET PARK 40% LOW GROUND COVER; 40% MEDIUM SHRUB; 20% TALL SHRUB; LOW-MEDIUM WATER USE</p> <p>-</p>	770 SF
	<p>ZONE C - RAIL SPUR 60% LOW GROUND COVER; 20% MEDIUM SHRUB; 20% TALL SHRUB; LOW WATER USE</p> <p>-</p>	629 SF
	<p>ZONE D - ROOF DECK EDGE 100% LOW GROUNDCOVER; LOW-MEDIUM WATER USE</p> <p>-</p>	2,787 SF
	<p>ZONE E - ROOF DECK INTERIOR 40% LOW GROUND COVER; 60% MEDIUM SHRUB; LOW-MEDIUM WATER USE</p> <p>-</p>	562 SF

PLANTING CALCULATIONS

PUBLIC RIGHT-OF-WAY PLANTING: 706 SF
PUBLIC RIGHT-OF-WAY TREE COUNT: 8

GROUND LEVEL PLANTING: 1399 SF
GROUND LEVEL TREE COUNT: 4

ROOFTOP PLANTING 3,349 SF
ROOFTOP TREE COUNT: 6



Olson Kundig

Project: 8570 NATIONAL BLVD
8570 NATIONAL BLVD, CULVER CITY, CA 90232

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T. 213 384 3844 studio-mla.com

[illegible]

principal architect _____
project manager MB, JJ
drawn by JJ, KM

checked by _____
job no. 20010

revisions:

no. date

[illegible][illegible]

principal architect _____
project manager MB, JJ
drawn by JJ, KM

checked by _____
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revisions:

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100% SD

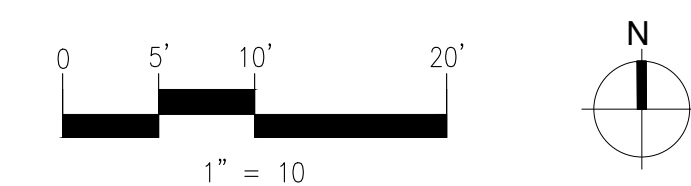
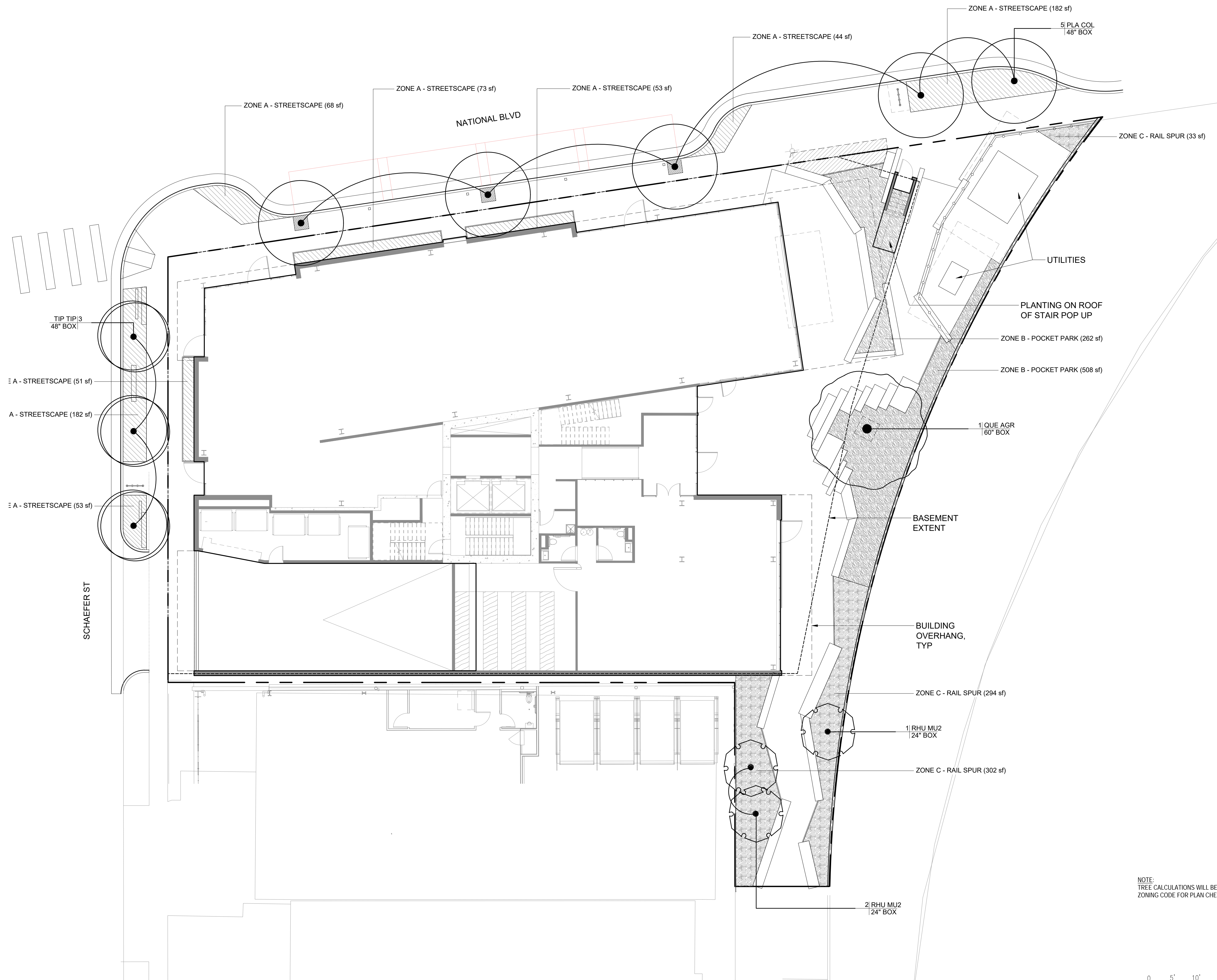
03/30/2022

PLANTING NOTES &
SCHEDULE

L8.00

PLANTING NOTES &
SCHEDULE

L8.00



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Olson Kundig

project: **8570 NATIONAL BLVD**
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principal architect _____
project manager MB, JJ
drawn by JJ, KM

checked by _____
job no. 20010

revisions:

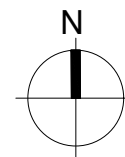
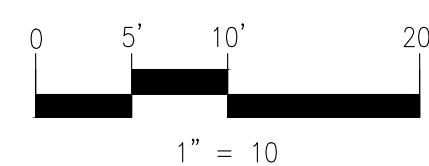
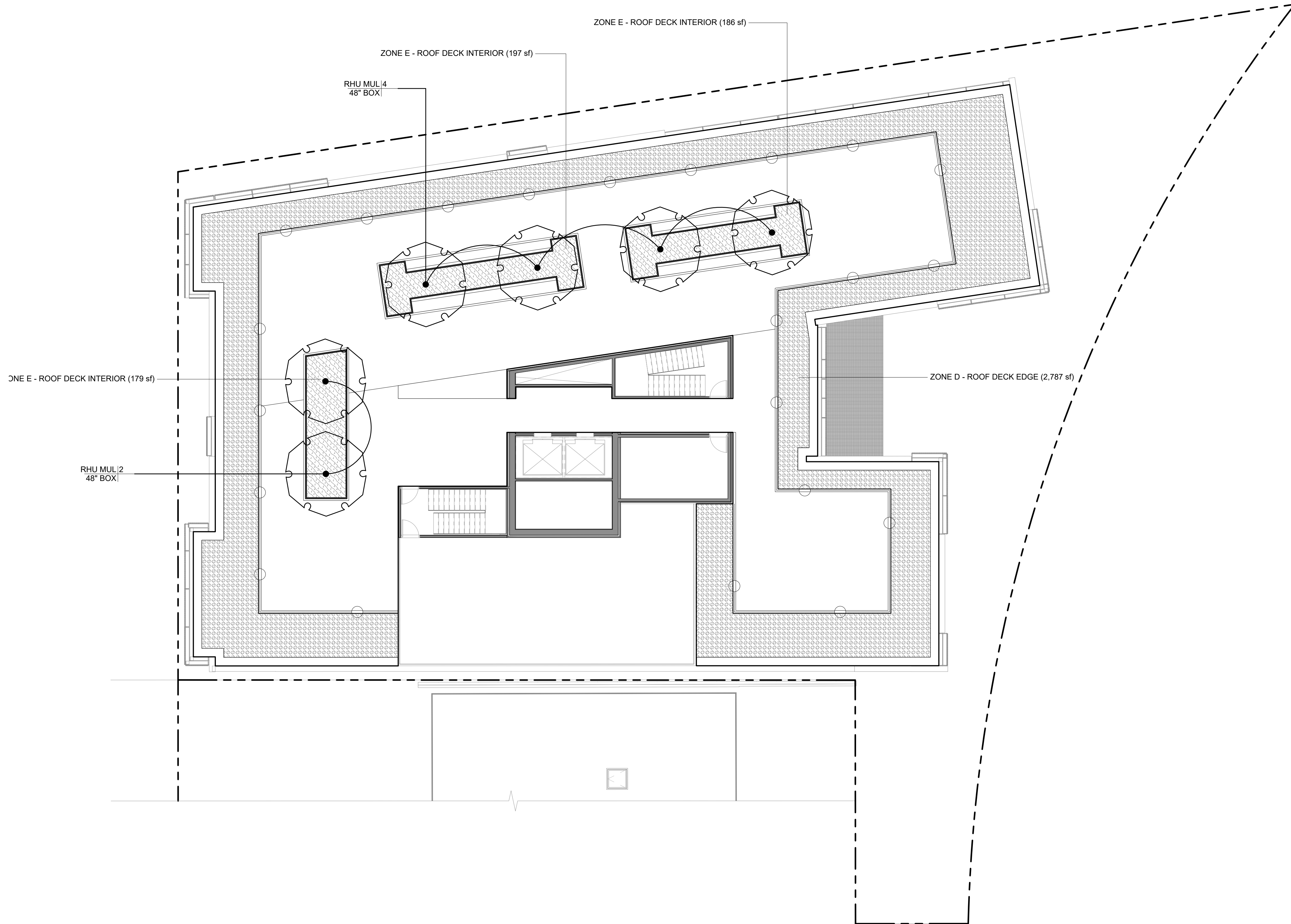
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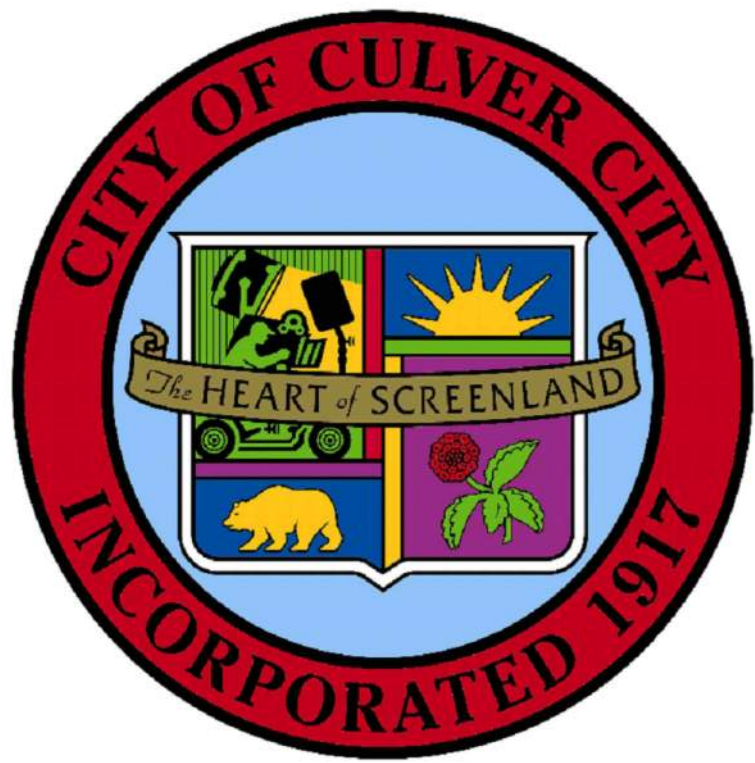
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03/30/2022

PLANTING PLAN -
LEVEL 01

L8.01





ABBREVIATIONS

BW	BACK OF WALK	INV	INVERT OF PIPE
CB	CATCH BASIN	MAX	MAXIMUM
CF	CUBIC FEET	MIN	MINIMUM
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	(P)	PROPOSED
ELEV	ELEVATION	PL	PROPERTY LINE
FC	FACE OF CURB	RIM	TOP OF STRUCTURE COVER
FG	FINISH GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FL	FLOWLINE	STD	STANDARD
FS	FINISH SURFACE	TC	TOP OF CURB
FW	FIRE WATER	TEMP	TEMPORARY
GB	GRADE BREAK	TYP	TYPICAL
HP	HIGH POINT	VIF	VERIFY IN FIELD

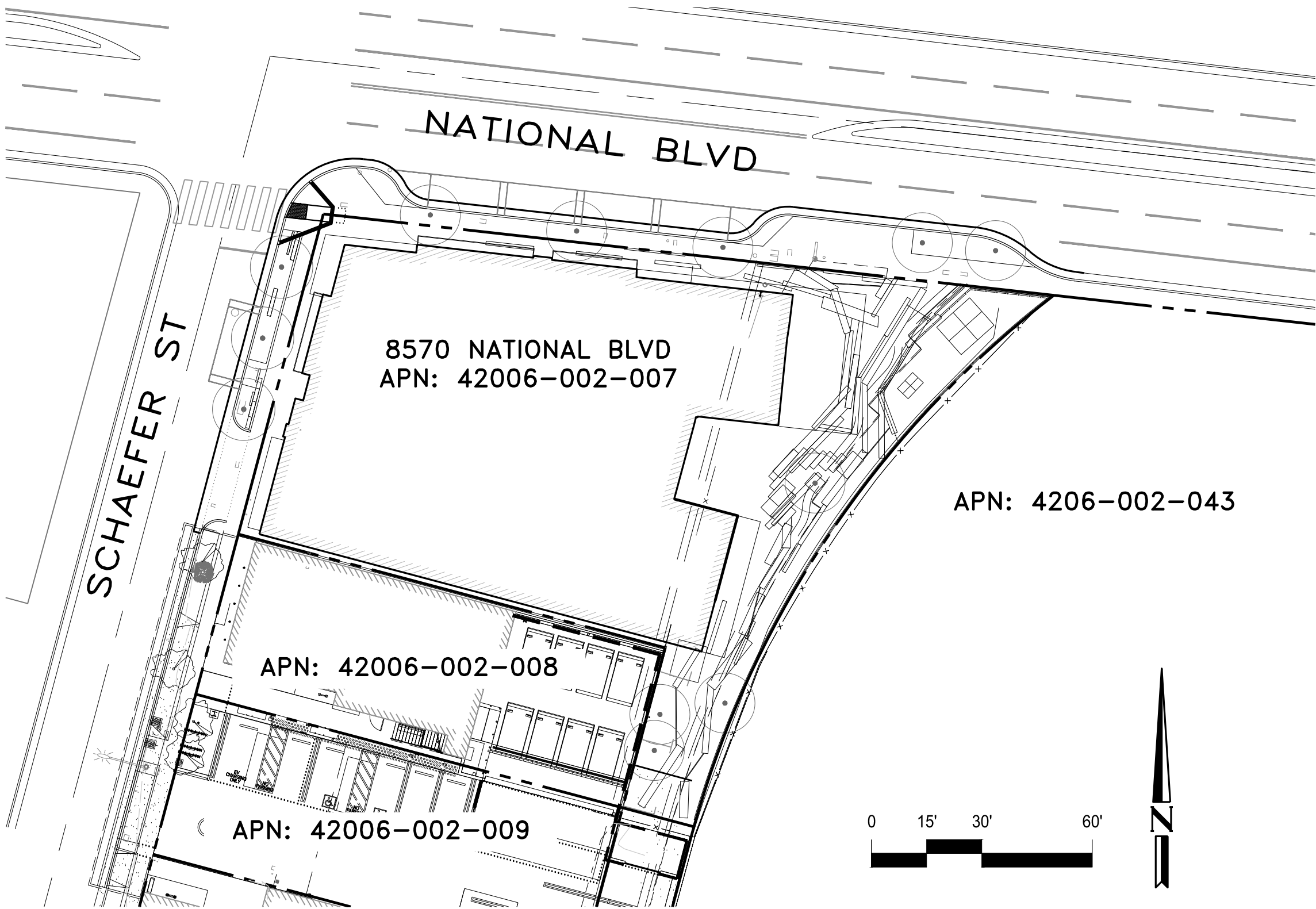
UTILITY COMPANY CONTACTS

COMPANY	CONTACT	PHONE NO.
Underground Utility	Aaron Bell	(800) 227-2600
Southern California Gas Company-Distribution	Bob Nila	(310) 605-7918
Golden State Water Company	Paula lee	(310) 838-1324
Southern California Edison	Barry Velves	(310) 315-3220
Verizon	Dean Boyers	(310) 264-5118
MCI Worldcom	Rick Rodriguez	(972) 729-6016
AT&T	Micheal Dans	(626) 308-4042
LA DWP (Water)	Rachel Boss	(213) 367-1218
LA (Sewer)	Benita Hall	(310) 575-8612
Time Warner Cable	Kevin Sullivan	(310) 216-3679
Abovenet, INC.	Ruth Croanin-Fruit	(714) 236-8502
Exxon-Mobile Oil Corporation	Mike Roberts	(310) 212-1761
Chevron Pipeline Company	Jack Stanish	(323) 276-7623
MWD-Pipeline Maintenance Group		(323) 276-7634

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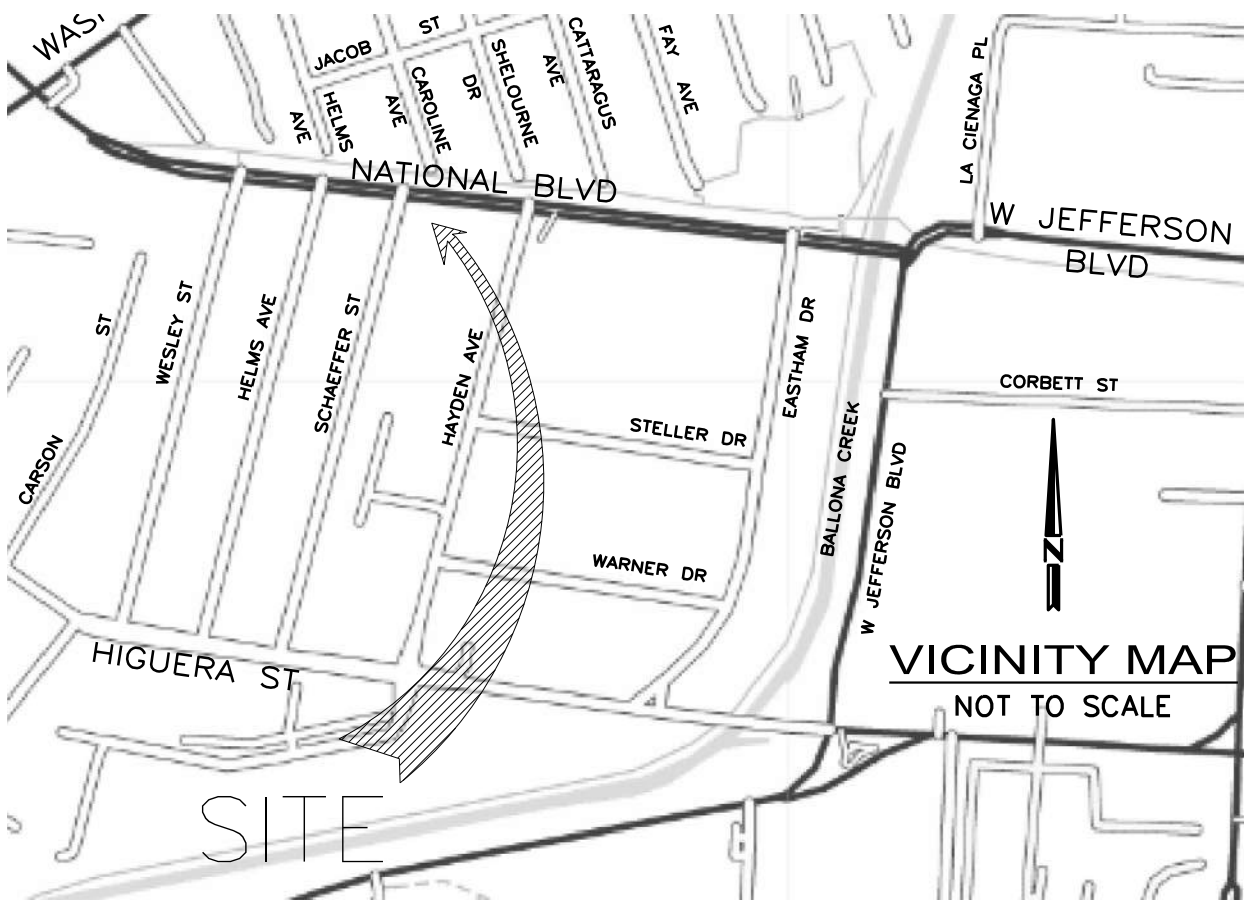
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8570 NATIONAL BLVD
OFF-SITE STREET IMPROVEMENT



INDEX MAP

SCALE=1"=30'



SHEET INDEX

- SHEET 1: TITLE SHEET
SHEET 2: GENERAL NOTES
SHEET 3: DETAILS
SHEET 4: DETAILS
SHEET 5: EXISTING CONDITIONS PLAN
SHEET 6: SCHAEFFER ST AND NATIONAL BLVD STREET IMPROVEMENTS PLAN
SHEET 7: SCHAEFFER ST AND NATIONAL BLVD GRADING AND DRAINAGE PLAN
SHEET 8: SCHAEFFER ST AND NATIONAL BLVD STRIPING PLAN

EXISTING CONDITIONS

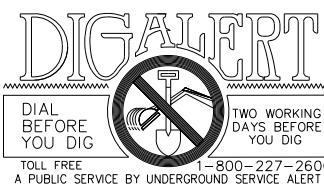
- EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON ALTA/NSPS LAND TITLE SURVEY OF 8570 & 8573 NATIONAL BOULEVARD (APN 4206-002-006 AND 35) PROVIDED BY JRN CIVIL ENGINEERS, WITH THE RECORDED DATE OF JULY 12, 2019. THE BEARING OF N 14°52'32" E ALONG THE CENTERLINE OF SCHAEFFER STREET PER RSB 146/83 IN THE CITY OF CUVLER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY. GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT FIELD INVESTIGATIONS TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- THIS TOPOGRAPHIC SURVEY IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. INFORMATION REGARDING EXISTING SURFACE OR SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS REFLECTS INCOMPLETE AVAILABLE INFORMATION AS OF THE DATE OF DESIGN. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES (WHETHER SHOWN ON THESE PLANS OR NOT) PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
- FEMA FLOOD INSURANCE RATE MAP NUMBER 06037C1585F, EFFECTIVE DATE 09/26/2008, WAS USED TO REVIEW THE SITE'S LOCATION RELATIVE TO FLOODPLAINS, SPECIAL HAZARD AREAS, AND RISK PREMIUM ZONES. THE PROJECT SITE IS LOCATED IN "ZONE X" - AN AREA OF MINIMAL FLOOD HAZARD.

CITY OF CULVER CITY
PUBLIC WORKS DEPARTMENT

8570 NATIONAL BLVD

TITLE SHEET

APPROVED BY	SHEET
SENIOR ENGINEER	C0.0
DATE	Sheet 1 Of 8 Sheets



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NATIONAL BLVD

LEGEND

- PROPERTY LINE
TOPOGRAPHIC CONTOUR, MAJOR
TOPOGRAPHIC CONTOUR, MINOR
FENCE LINE
BUILDING OVERHANG
(E) BUILDING HATCH
ROW, EASEMENT

SCHAEFER ST

APN: 42006-002-008

APN: 4206-002-043

8570 NATIONAL BLVD
APN: 42006-002-007

CITY OF CULVER CITY
PUBLIC WORKS DEPARTMENT

8570 NATIONAL BLVD

EXISTING CONDITIONS PLAN

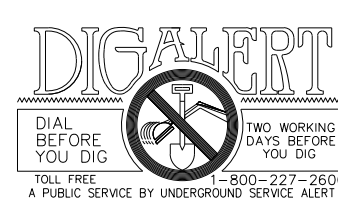
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5 Of 8 Sh

Sheet 5 Of 8 Sheets



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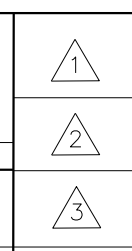


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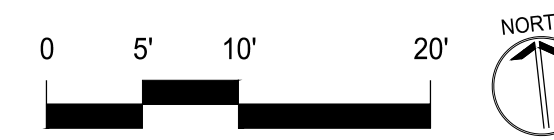
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	BY
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DATE _____



GRIND/OVERLAY 2" ASPHALT
CONCRETE PAVEMENT SURFACE TO
THE EXTENTS SHOWN

TRANSIT STOP DESIGNATED AREA AS
PART OF FUTURE CITY'S
MICROTRANSIT PROJECT

3-SEAT BENCH

MICROTRANSIT SIGN

MICRO-MOBILITY ZONE

LEGEND

- PROPERTY LINE
- TOPOGRAPHIC CONTOUR, MAJOR
- TOPOGRAPHIC CONTOUR, MINOR
- FENCE LINE
- BUILDING OVERHANG
- (E) BUILDING HATCH
- ROW, EASEMENT
- SAWCUT
- FIRE HYDRANT

PARKING METER

RELOCATED STREET
LIGHT (TO BE
COORDINATED WITH
PUBLIC WORKS)

PARKING METERS

CURVE TABLE

CURVE NO.	Δ	RADIUS	L	DESCRIPTION
C1	81d28'46"	20.00'	28.44'	CURB RAMP
C2	56d37'59"	10.00'	9.88'	PARKING BAY
C3	56d37'59"	10.00'	9.88'	PARKING BAY
C4	56d37'59"	10.00'	9.88'	PARKING BAY
C5	56d37'59"	10.00'	9.88'	PARKING BAY
C6	34d56'0"	25.00'	15.24'	CURB RETURN
C7	34d56'0"	25.00'	15.24'	CURB RETURN

"RIGHT TURN ONLY"
TRAFFIC SIGN

CITY OF CULVER CITY
PUBLIC WORKS DEPARTMENT

8570 NATIONAL BLVD

SCHAEFER ST AND NATIONAL BLVD
STREET IMPROVEMENTS PLAN

APPROVED BY

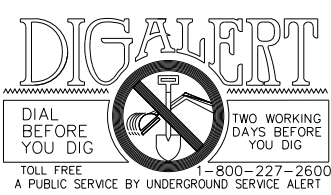
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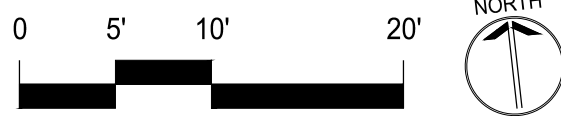
BY

APPR. DATE

NATIONAL BLVD

LEGEND

	PROPERTY LINE
	TOPOGRAPHIC CONTOUR, MAJOR
	TOPOGRAPHIC CONTOUR, MINOR
	FENCE LINE
	BUILDING OVERHANG
	(E) BUILDING HATCH
	ROW, EASEMENT
	SAWCUT
	FIRE HYDRANT
	(E) SPOT GRADE
	(E) SLOPE
	(P) SPOT GRADE
	(P) SLOPE



CITY OF CULVER CITY
PUBLIC WORKS DEPARTMENT

8570 NATIONAL BLVD

SCHAEFER ST AND NATIONAL BLVD
GRADING AND DRAINAGE PLAN

APPROVED BY	SHEET
SENIOR ENGINEER	C3.1
DATE	Sheet 7 Of 8 Sheets

DIAL BEFORE YOU DIG
CALL FREE
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

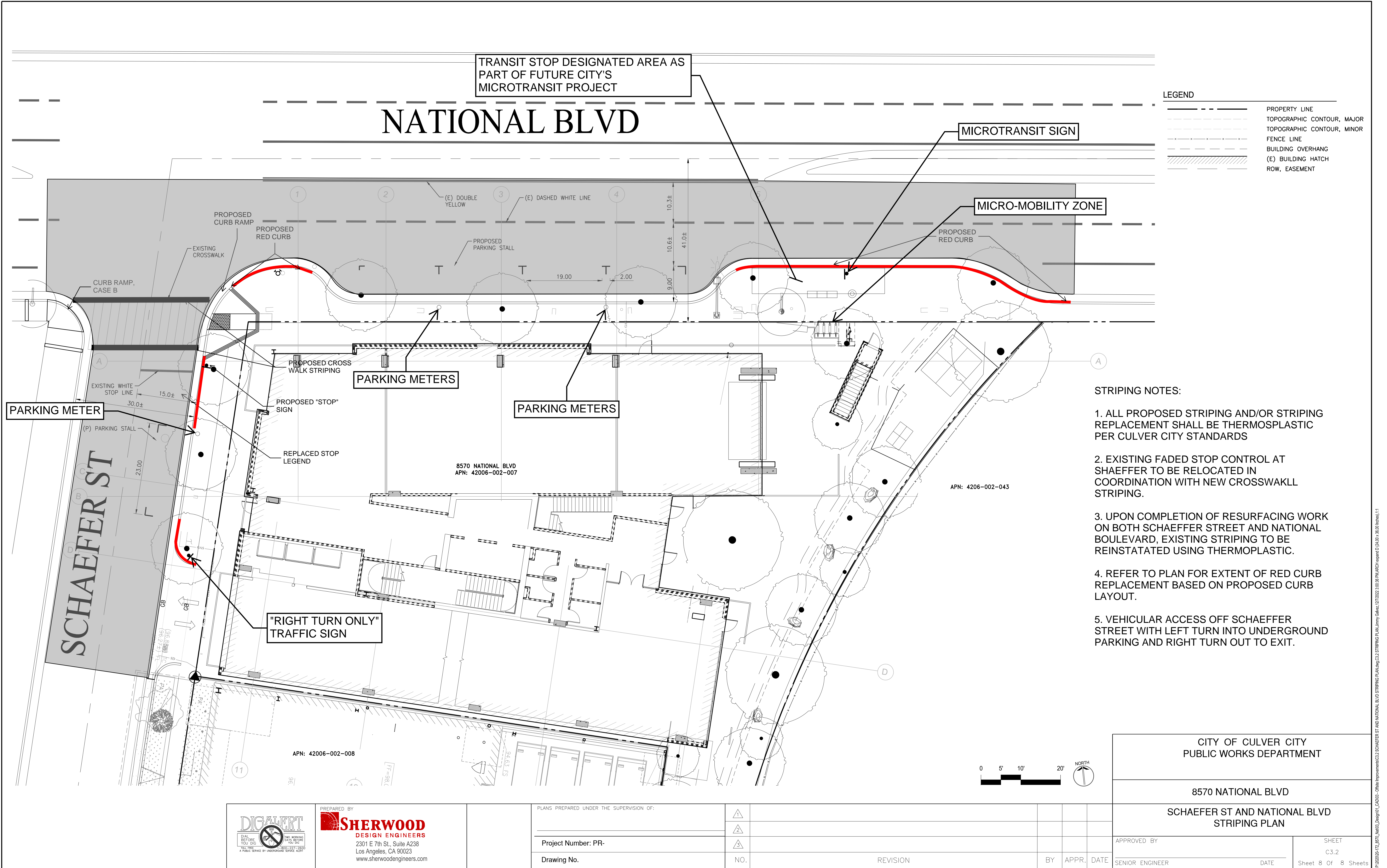
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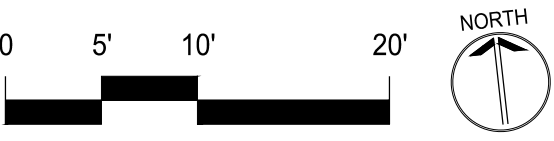
Drawing No.

NO.	REVISION	BY	APPR.	DATE
1				
2				
3				



LEGEND	
	PROPERTY LINE
	TOPOGRAPHIC CONTOUR, MAJOR
	TOPOGRAPHIC CONTOUR, MINOR
	FENCE LINE
	BUILDING OVERHANG
	(E) BUILDING HATCH
	ROW, EASEMENT

- STRIPING NOTES:
1. ALL PROPOSED STRIPING AND/OR STRIPING REPLACEMENT SHALL BE THERMOSPLASTIC PER CULVER CITY STANDARDS
 2. EXISTING FADED STOP CONTROL AT SCHAEFFER TO BE RELOCATED IN COORDINATION WITH NEW CROSSWAKLL STRIPING.
 3. UPON COMPLETION OF RESURFACING WORK ON BOTH SCHAEFFER STREET AND NATIONAL BOULEVARD, EXISTING STRIPING TO BE REINSTATATED USING THERMOPLASTIC.
 4. REFER TO PLAN FOR EXTENT OF RED CURB REPLACEMENT BASED ON PROPOSED CURB LAYOUT.
 5. VEHICULAR ACCESS OFF SCHAEFFER STREET WITH LEFT TURN INTO UNDERGROUND PARKING AND RIGHT TURN OUT TO EXIT.



CITY OF CULVER CITY PUBLIC WORKS DEPARTMENT	
8570 NATIONAL BLVD	
SCHAEFFER ST AND NATIONAL BLVD STRIPING PLAN	
APPROVED BY	SHEET
SENIOR ENGINEER	C3.2
DATE	Sheet 8 Of 8 Sheets

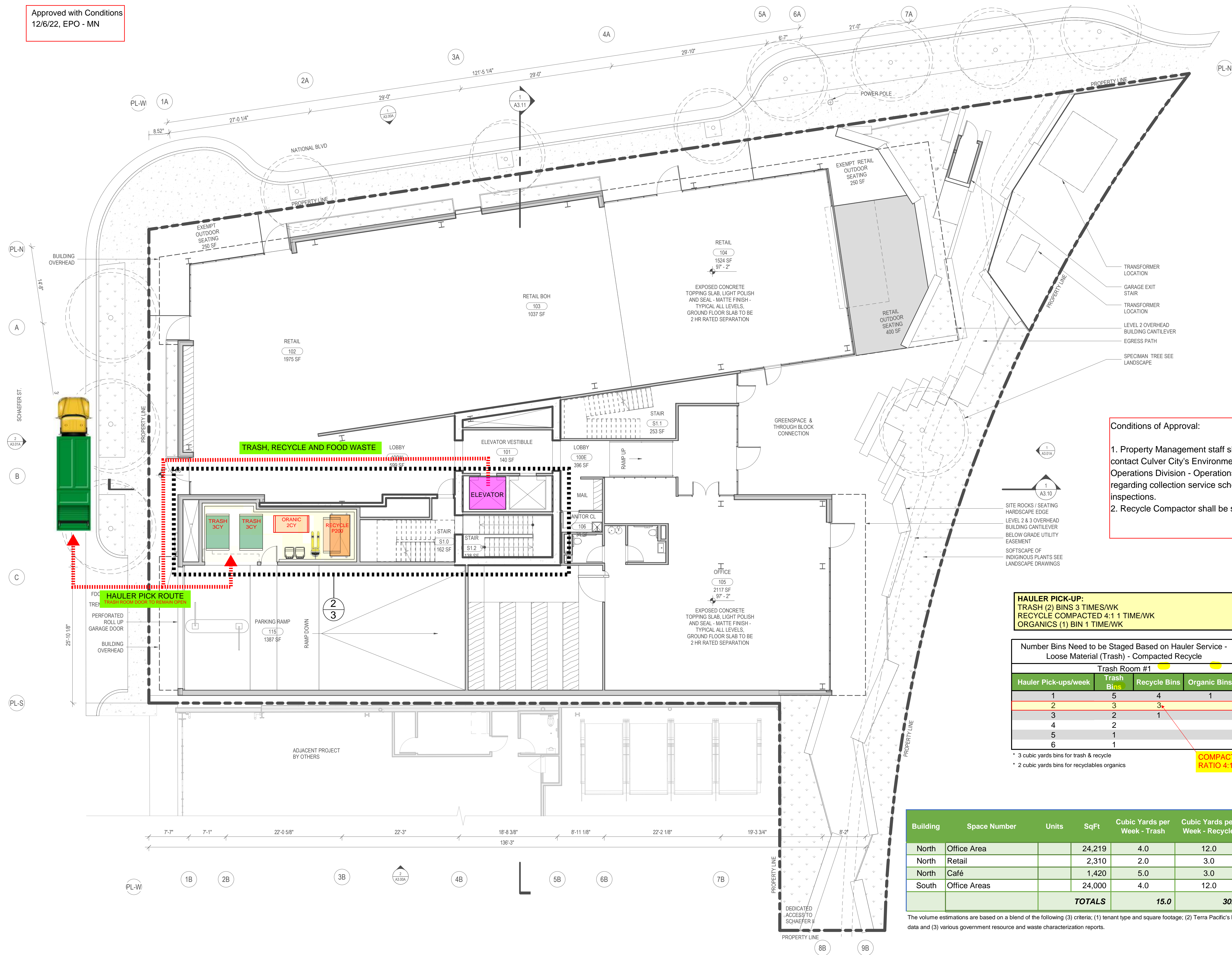
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Approved with Conditions
12/6/22, EPO - MN



Conditions of Approval:

1. Property Management staff shall be responsible to contact Culver City's Environmental Programs and Operations Division - Operations Staff, (310) 253-6406, regarding collection service schedule prior to final inspections.

2. Recycle Compactor shall be serviced 4 times/wk.

HAULER PICK-UP:
TRASH (2) BINS 3 TIMES/WK
RECYCLE COMPACTED 4:1 1 TIME/WK
ORGANICS (1) BIN 1 TIME/WK

Number Bins Need to be Staged Based on Hauler Service - Loose Material (Trash) - Compacted Recycle			
Trash Room #1			
Hauler Pick-ups/week	Trash Bins	Recycle Bins	Organic Bins
1	5	4	1
2	3	3	
3	2	1	
4	2		
5	1		
6	1		

* 3 cubic yards bins for trash & recycle
* 2 cubic yards bins for recyclables organics

COMPACTED
RATIO 4:1

Building	Space Number	Units	SqFt	Cubic Yards per Week - Trash	Cubic Yards per Week - Recycle	Cubic Yards per Week - Organics	Diversion Rate
North	Office Area		24,219	4.0	12.0		
North	Retail		2,310	2.0	3.0		
North	Café		1,420	5.0	3.0	1.3	
South	Office Areas		24,000	4.0	12.0		
TOTALS				15.0	30.0	1.3	67.6%

The volume estimations are based on a blend of the following (3) criteria: (1) tenant type and square footage; (2) Terra Pacific's historical data and (3) various government resource and waste characterization reports.

At full occupancy, we are estimating the waste volumes shown below. All transporting of waste and recyclable material to the staging areas will be handled by the on site maintenance staff.

FOOD - Food waste from the restaurants will be transported to the staging areas in 64 gallon carts or tilt carts (gray whales) and then put into 2 cubic yard bin provided by The City of Culver City.

RESTAURANTS/RETAIL - Restaurant/Retail staff will be responsible to have their trash and recyclables taken to the proposed trash room and put onto their respective bins. Food waste only, will be put into 2 cubic yard bins. The bins will be serviced by Culver City on a regular basis.

The recommended pick up schedule and bin counts for this service are shown below.

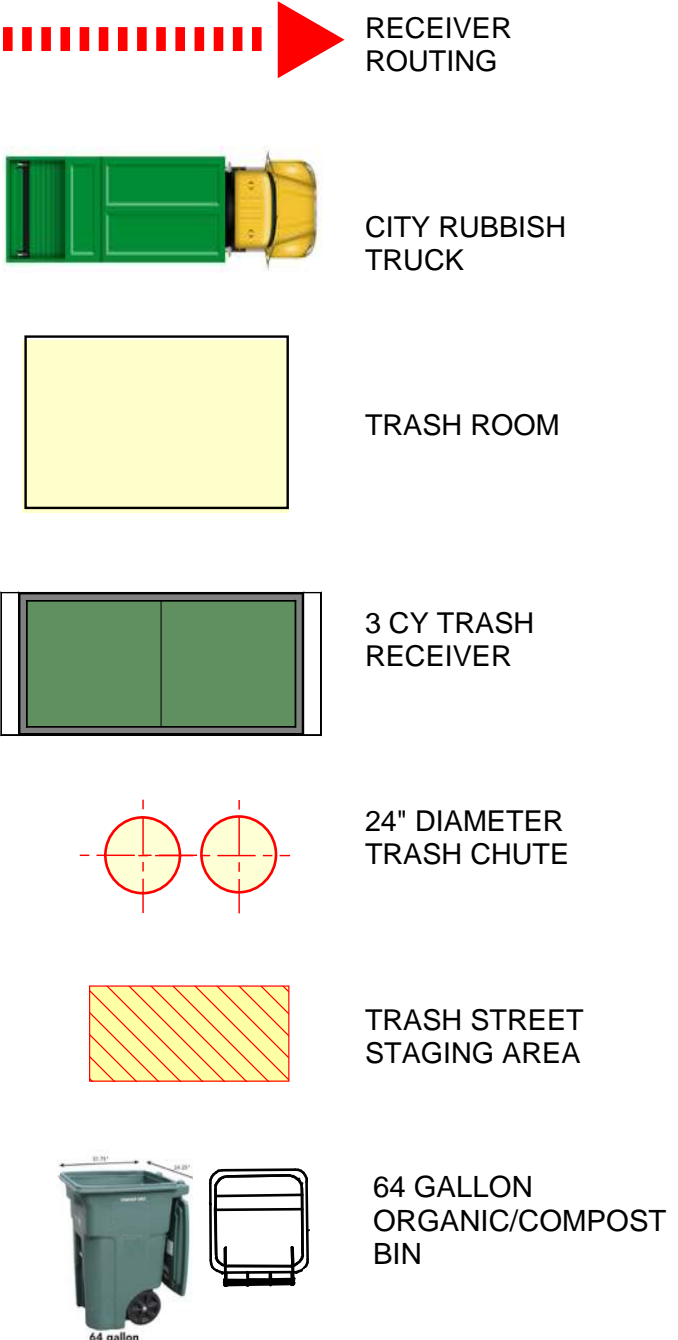
STAGING ROOM CAPACITIES - The amount of materials removed from the property on a 6 day/week pick up schedule (worst case scenario).

Trash Staging Room - Can hold (2) 3 cubic yard bins for Trash, and (1) 2 cubic yard organics bin. A (6) days/week pick up schedule would service (156) cubic yards of trash, recycle and organics.

Environmental Programs and Operations Notes
1.Solid waste, recyclable waste material, and organic waste handling shall be performed exclusively by the City or its authorized agents. The City Council may regulate, by ordinance or resolution, all aspects of solid waste, recyclable waste material, and organic waste handling, including, but not limited to, frequency of collection, means of collection and transportation, level of services, charges, fees, and nature, location and extent of providing solid waste handling services.

2.The City of Culver City shall provide waste disposal and recycling services for all construction & demolition projects within city limits in accordance with CCMC 5.01.010.

LEGEND



8570 National Blvd.
8570 National Blvd
Culver City, CA 90232

Floor Plans Sections Details

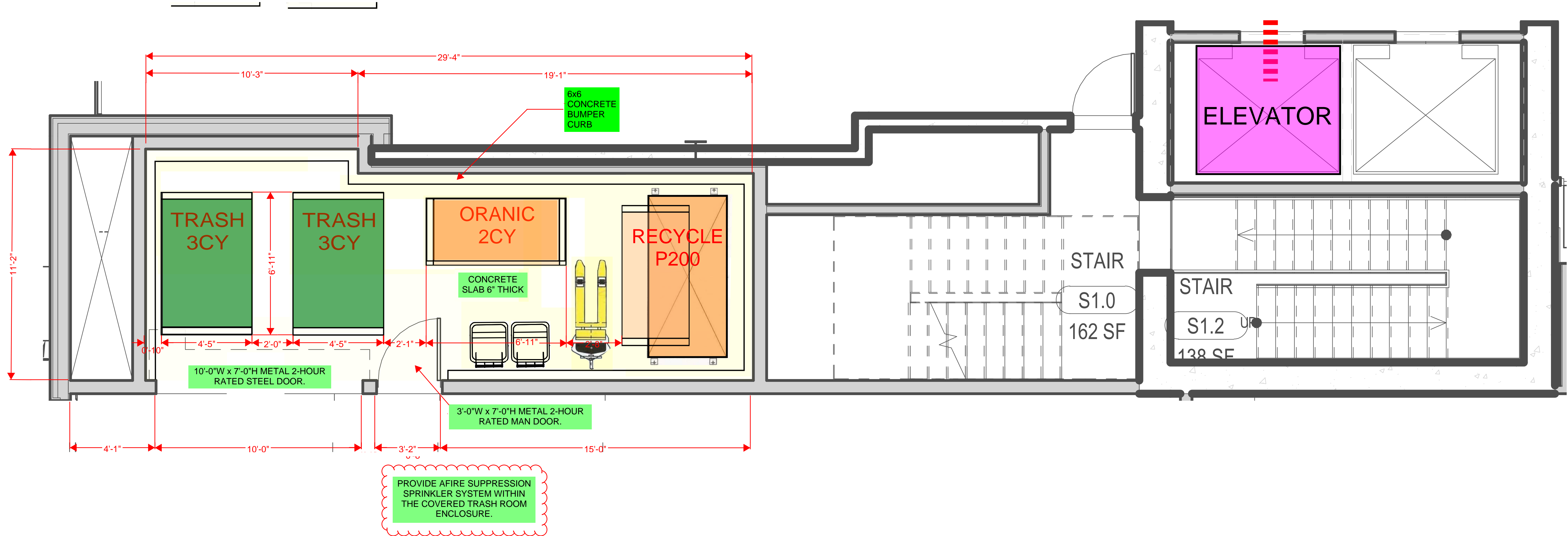
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Revision		
Revision 1	x	4.22.2022
Revision 4	x	11.29.2022
P.O. No:		Job No:
Item: Plans & Calculations		

SHEET: **1 of 3** DB: RW
Date: 7.29.2022

STREET LEVEL TRASH ROUTING PLAN

Approved with Conditions
12/6/22, EPO - MN



Conditions of Approval:

- Property Management staff shall be responsible to contact Culver City's Environmental Programs and Operations Division - Operations Staff, (310) 253-6406, regarding collection service schedule prior to final inspections.
- Recycle Compactor shall be serviced 4 times/wk.

KEY NOTES

- 24" diameter chute fabricated from 16 Gauge aluminized steel.
- Intake door 15" Wide x 18" High bottom hinged, noiseless, self closing, self latching, stainless steel front, back and skirt, bearing UL label 1-1/2 hour, maximum temperature rise 250 degrees Fahrenheit, 30 minute. Embossed "RECYCLE" or "RUBBISH" stainless steel trim. ADA lever handle with lock and 2 keys. Rubber Baffle @ each intake
- UL label 1-1/2 hour rated Rolling Incline Discharge. Interlocking spring loaded blades held open by fusible link for automatic closing when heat rises above 165 degrees Fahrenheit.
- 3/4" Flushing spray head ready for connection. Plumbing connection BY OTHERS.
- Chute support, by means of clips welded at quarters, to sit on angle iron and bar grid type floor frame. Steel to be 3/16" thick minimum. (Structural support of chute floor frame to be provided BY OTHERS).
- 165° F sprinklers to be furnished only; installation, hook-up BY OTHERS. (Sprinklers are located inside the intake and placed at L2, L4, L6 etc.
- Heavy gauge aluminum vent extending full diameter above roof (per NFPA-82-2009). Aluminum hinged rain cap top with 1" air space and holdown clips. Heavy gauge aluminum w/flat, pitched or curved
- 1 floor Retainer Flange provided above discharge.
- Manual disinfecting unit w/proportioning valve at flushing spray head above top intake. 15" x 15" right side hinged access door bearing UL label. ADA locking lever handle with 2 keys. Installation BY OTHERS. (Vacuum breaker, control valve and backflow preventer BY OTHERS).
- Electrical Interlock System (EIS) with push button to unlock door and trigger lights indicating CHUTE-IN-USE. Manual control box at discharge level to lock out intake doors and activate IN-USE light for service. Flexible conduit & wiring included. (Note Shown)
- Mason Type ND (Per floor) Isolating Pads on all floor frames support legs. (Not shown)
- Factory applied sound dampening from discharge level to top of last intake.
- One heat device with connection will be provided. Smoke device and connection to be provided BY OTHERS. (Not shown)

NOTES

- A WALL BUMPERS - 4x12 P.T. 36" ABOVE FLOOR
- B 2 CUBIC YARD TRASH/RECYCLE CONTAINERS
- C FLOOR DRAIN
- D COMPACTOR POWER UNIT
- E HOSE BIB WITH SECURITY KEY
- F NC50 COMPACTOR
- G CHUTE OFFSET. (MAXIMUM 15 DEGREE PER NFPA-82)
- H SHIFT OPENING TO PROVIDE ACCESS/REMOVAL OF THE TRASH COMPACTED CONTAINER.
- I STEEL CORNER GUARDS.
- J TRASH/RECYCLE CONTROL PANEL
- K "PILAN" ODOR UNIT. MOUNTED 48" ABOVE GROUND.
- L 2 CY ORGANIC BIN
- M 2 CY COMPACTOR BIN

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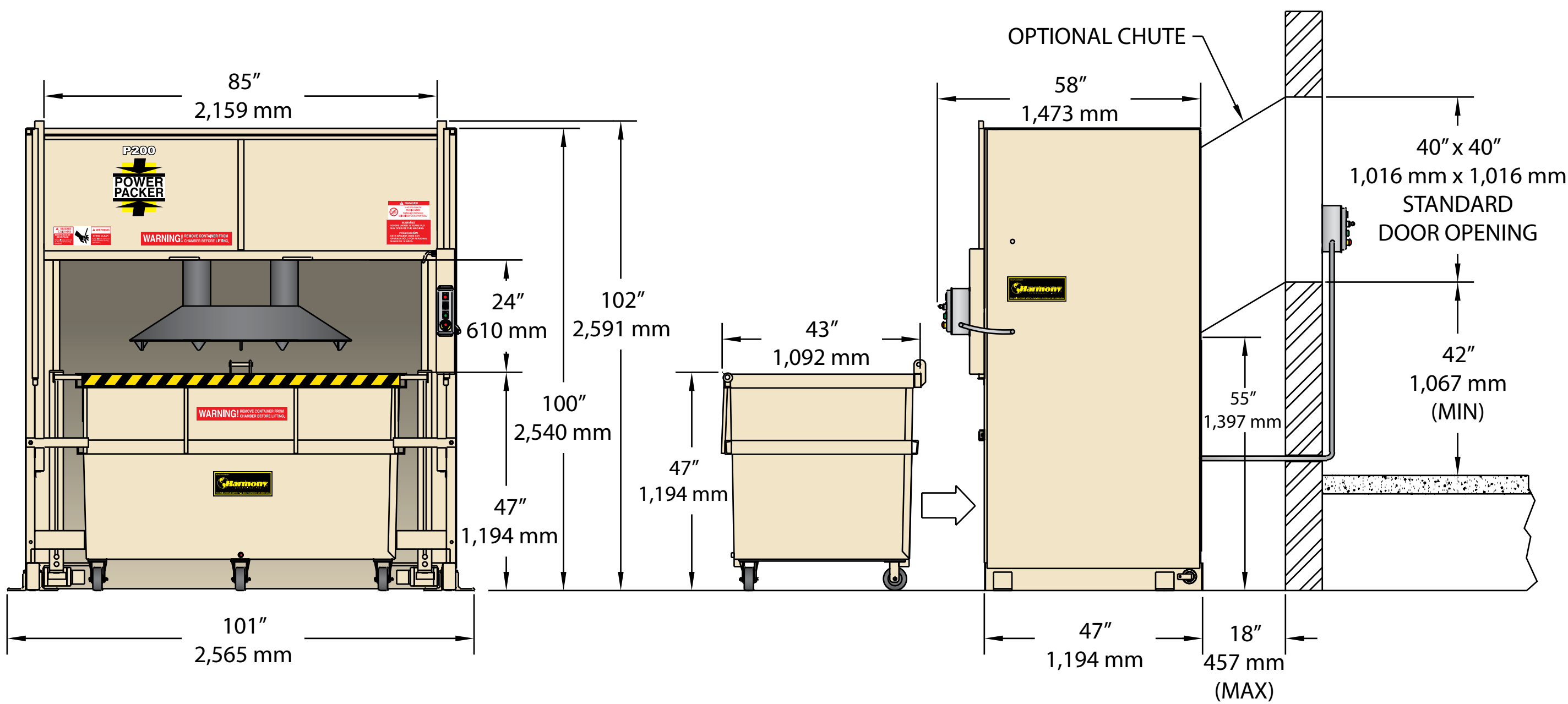
ENLARGED
TRASH ROOM
AREA

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Revision		
Revision 1	x	4.22.2022
Revision 4	x	11.29.2022
O. No:		Job No:
Item: Chute Sections/Equipment		

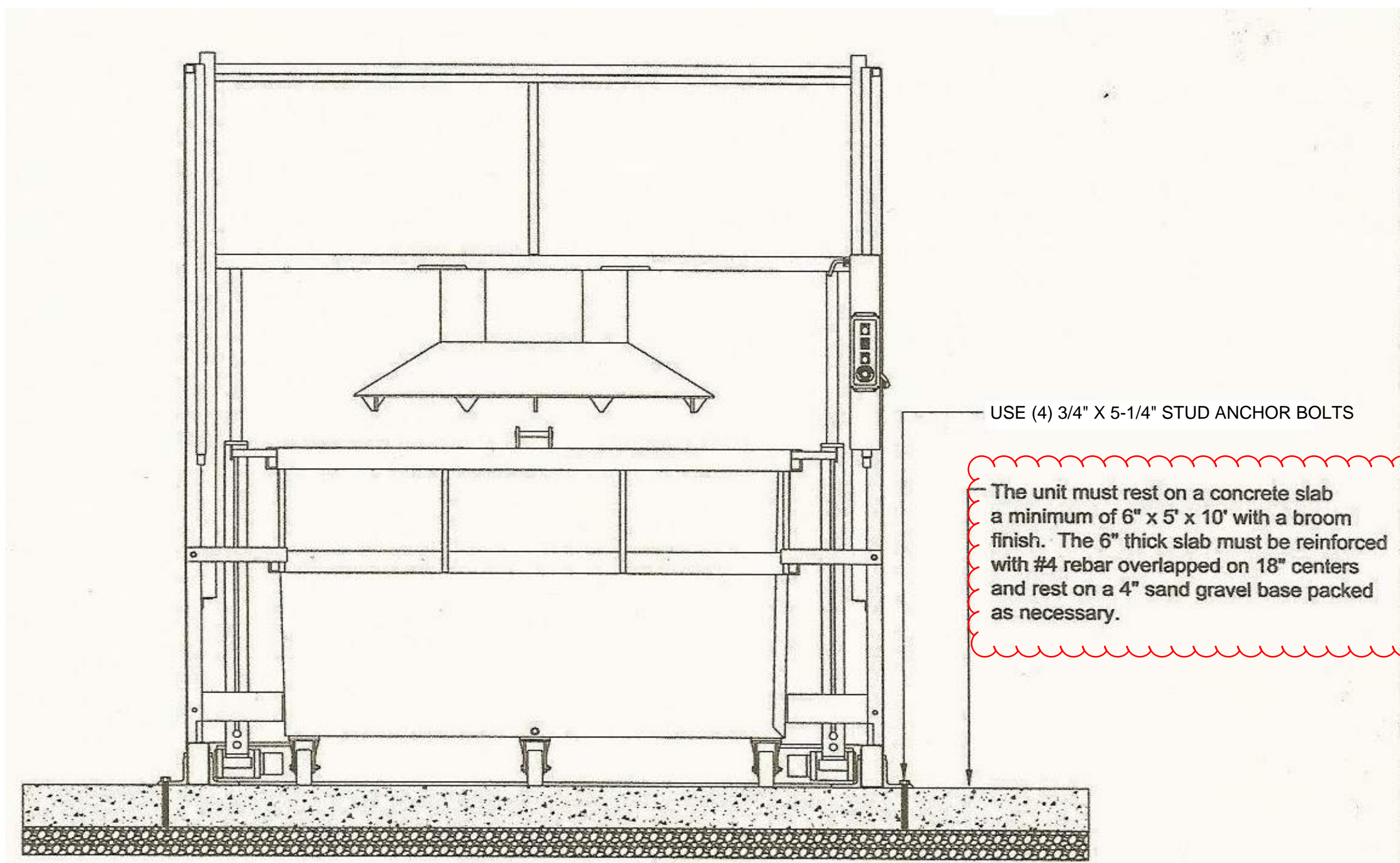
SHEET: **2 of 3** DB: RW
Date: 7.29.2022

ENLARGED TRASH AREA PLAN



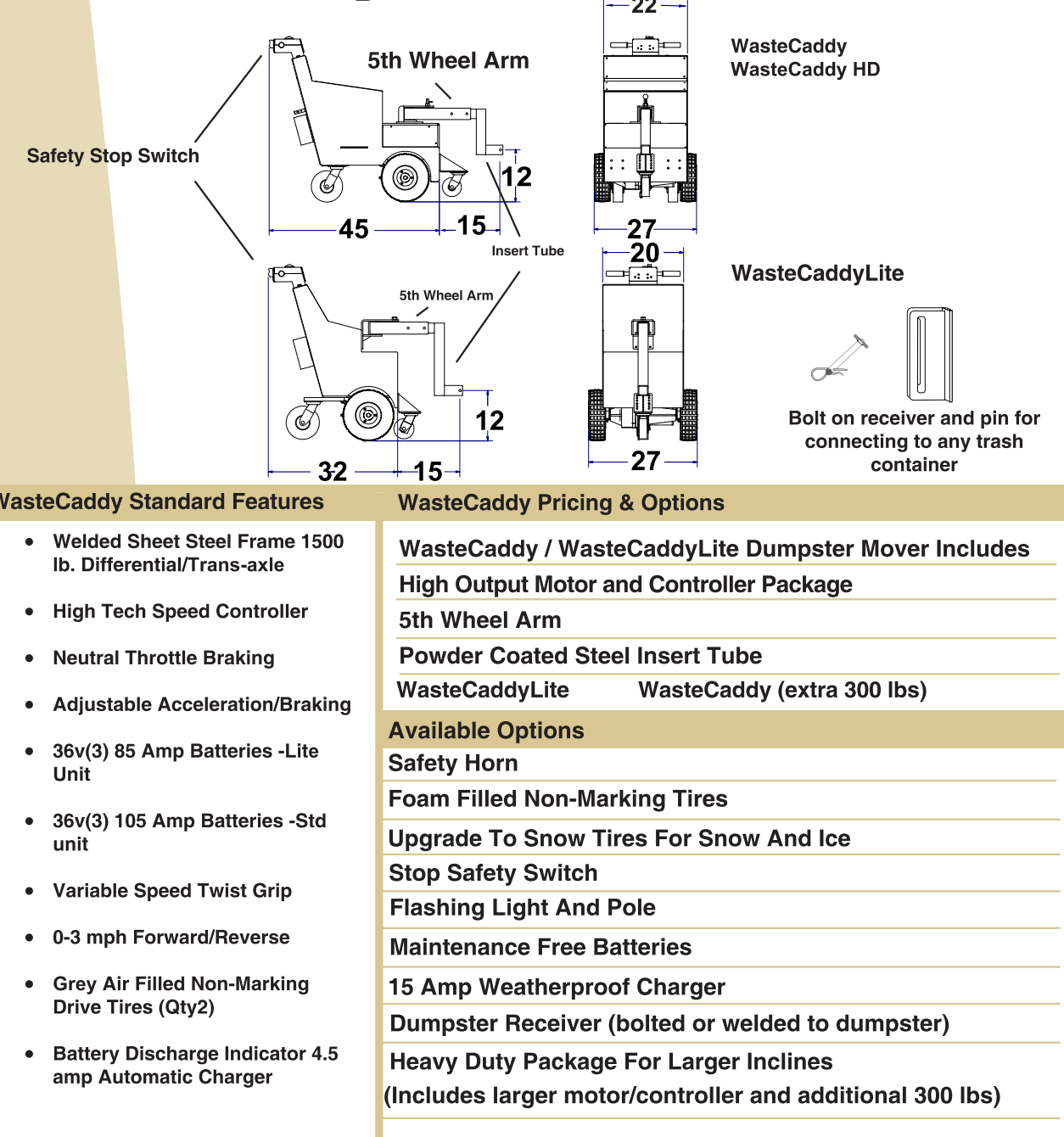
SPECIFICATIONS	
Container Capacity	2 cubic yards
Ram Pressure	34,000 lbs. maximum (15,422 kg)
Cycle Time	28 seconds
Twin Cylinders	3" bore (76 mm) 1.5" rod (38 mm) 37.5" stroke (953 mm)
Motor	2 horsepower, TEFC
Pump	Two-stage
Electrical Power	115/230 volt, 1 phase, 60 hz

DIMENSIONS	
Loading Door Opening	85" x 24" (2,159 mm x 610 mm)
Container Height	47" (1,194 mm)
Overall Height	102" (2,591 mm)
Overall Width	101" (2,565 mm)
Overall Depth	58" (1,473 mm)
Load Opening	85" x 24" (2,159 mm x 610 mm)
Ram Face	48" x 27" (1,219 mm x 686 mm)
Oil Reservoir	6 gallons
Shipping Weight	- Compactor 3,250 lbs. (1,474 kg) - Container 734 lbs. (333 kg)



CHUTE SECTIONS

WasteCaddy Dumpster Movers



WasteCaddy Standard Features	WasteCaddy Pricing & Options
<ul style="list-style-type: none">Welded Sheet Steel Frame 1500 lb. Differential/Trans-axleHigh Tech Speed ControllerNeutral Throttle BrakingAdjustable Acceleration/Braking36v(3) 85 Amp Batteries - Lite Unit36v(3) 105 Amp Batteries - Std unitVariable Speed Twist Grip0-3 mph Forward/ReverseGrey Air Filled Non-Marking Drive Tires (Qty2)Battery Discharge Indicator 4.5 amp Automatic Charger	<p>WasteCaddy / WasteCaddyLite Dumpster Mover Includes</p> <ul style="list-style-type: none">High Output Motor and Controller Package5th Wheel ArmPowder Coated Steel Insert TubeWasteCaddyLite WasteCaddy (extra 300 lbs) <p>Available Options</p> <ul style="list-style-type: none">Safety HornFoam Filled Non-Marking TiresUpgrade To Snow Tires For Snow And IceStop Safety SwitchFlashing Light And PoleMaintenance Free Batteries15 Amp Weatherproof ChargerDumpster Receiver (bolted or welded to dumpster)Heavy Duty Package For Larger Inclines (Includes larger motor/controller and additional 300 lbs)

These options are only recommendations. Please consult a Sales Engineer at DJ Products, Inc. for your specific application. Other options are available.

DJ PRODUCTS INC.
1009 4th St. NW, Little Falls, MN 56345 • PH: 800-686-2651 • FAX: 320-632-3553 • www.djproducts.com 7/2017

WasteCaddy Dumpster Movers

Prevents the physical strain and pain associated with pushing or pulling heavy dumpsters and trash containers to curb side for pickup by waste haulers.

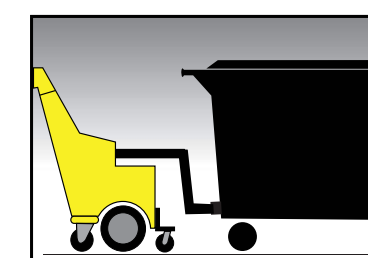


Reduce Risk



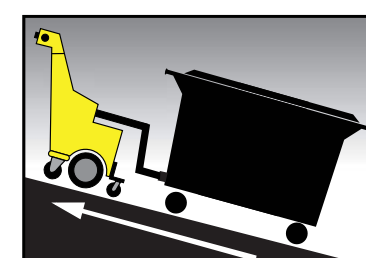
Insert tube on the front of the WasteCaddy attaches to the bottom of the dumpster.

Increase Productivity



Custom receivers provided for quick and easy connection to containers.

8-to-1 ROI



WasteCaddy Dumpster Mover can easily pull heavy trash containers up inclines through snow and ice.

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WASTE CADDY



TRASH/RECYCLE RECEIVERS

KEY NOTES

1	24" diameter chute fabricated from 16 Gauge aluminized steel.
2	Intake door 15" Wide x 18" High bottom hinged, noiseless, self closing, self latching, stainless steel front, back and skirt, bearing UL label 1-1/2 hour, maximum temperature rise 250 degrees Fahrenheit, 30 minute. Embossed "RECYCLE" or "RUBBISH" stainless steel trim. ADA lever handle with lock and 2 keys. Rubber Baffle @ each intake
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I	STEEL CORNER GUARDS.
J	TRASH/RECYCLE CONTROL PANEL
K	*"PILAN" ODOR UNIT. MOUNTED 48" ABOVE GROUND.
L	2 CY ORGANIC BIN
K	2 CY COMPACTOR BIN

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Floor Plans Sections Details

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