

ATTACHMENT NO. 6

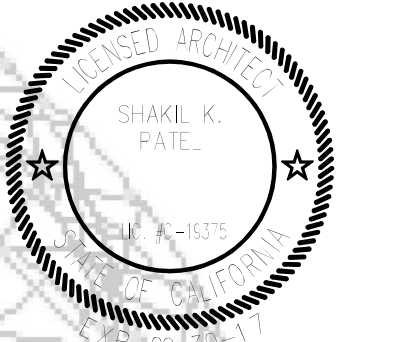
JACKSON VILLA CONDOS

4051/4055 JACKSON AVE. CULVER CITY CA

ADMINISTRATIVE SITE PLAN REVIEW APN 4209-001-010 AND 011

A01	EXPANDED VICINITY MAP
A02	SURVEY
A100	SITE PLAN
A200	BASEMENT FLOOR PLAN
A201	FIRST FLOOR PLAN
A202	SECOND FLOOR PLAN
A203	ROOF DECK FLOOR PLAN
A204	ROOF PLAN
A205	ENLARGED TRASH ENCLOSURE
A206	FUTURE SOLAR ARRAY
A207	FRONT YARD
A300a	RENDERED ELEVATIONS
A300b	RENDERED ELEVATIONS
A300	SITE ELEVATIONS
A301	SITE ELEVATIONS
A302	BUILDING ELEVATIONS
A303	NEIGHBORING ELEVATIONS
A400	BUILDING SECTION
A401	BUILDING SECTION
L1	LANDSCAPE SITE PLAN
PPG	PRELIMINARY GRADING PLAN
TTM	PRELIMINARY PARCEL MAP

SHAKIL PATEL & ASSOCIATES AIA, LEED-AP
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Architecture Interiors Construction Management

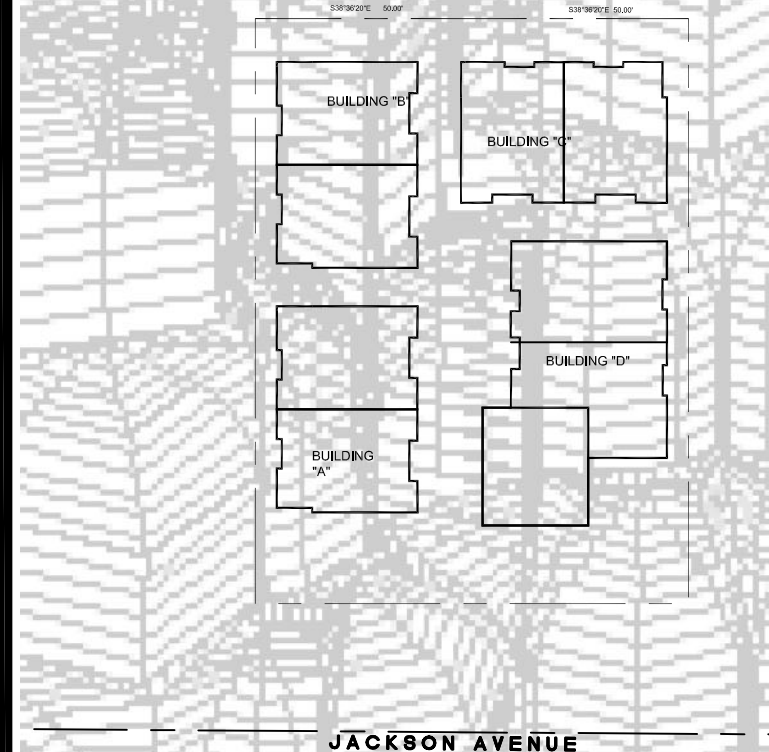


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APN 4209-001-011/012



ADMINISTRATIVE STAFF
PROJECT REVIEW
06292018

MARK	DATE	DESCRIPTION
PROJECT NO:	112016	
DRAWN BY:	SP	
CHK'D BY:	SP	
SHEET TITLE		

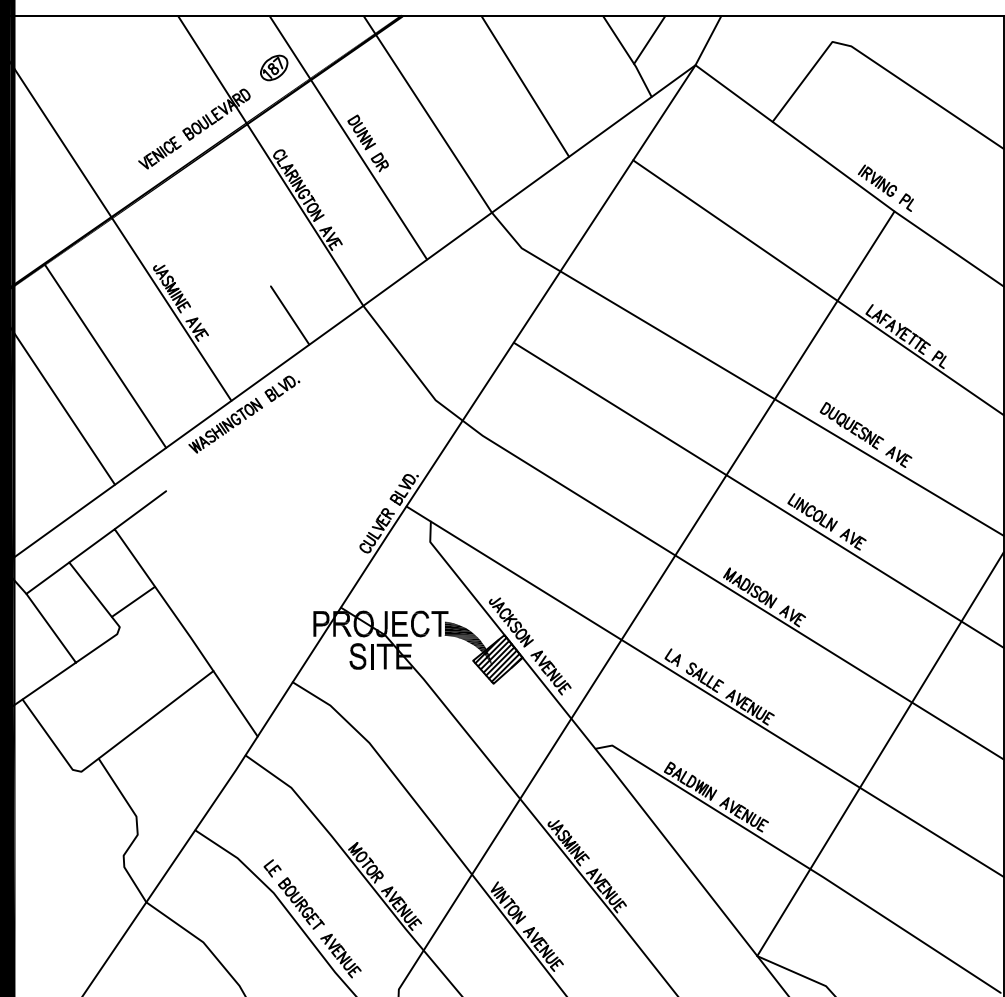
COVER SHEET

4 OF A00

PROJECT SIMULATION: VIEW NORTHWEST (STREET TREES HIDDEN FOR CLARITY)



PROJECT LOOKING NORTHEAST



PROJECT SUMMARY

OWNER	SALEM PROPERTY HOLDINGS, LLC RIFAAT D. SALEM 3720 LOMITA BLVD. SUITE 200 TORRANCE, CA 90505
APPLICANT	25902 HINCKLEY STREET, LOMA LINDA CA 92354 9099133175 patelshakil@gmail.com
PROJECT ADDRESS	4051/ 4055 JACKSON AVE CULVER CITY CA90232
LEGAL DESCRIPTION	LOT 10 AND 11 BLK 4 OF TRACT NO. 1775,
APN	4209-001-010 & 4209-001-011
LOT SIZE	13500 SF (100X 135)
EXISTING USE	SINGLE FAMILY DWELLING UNIT
DESCRIPTION	9 UNIT, TWO STORY CONDOS W/ SUBTERRANEAN GARAGE AND ROOF PAVILION
ZONE:CCR4 RMD	RMD - RESIDENTIAL MEDIUM DENSITY MULTIPLE CHARACTERISTIC BY MEDIUM DENSITY MULTIPLE - FAMILY DWELLING. INTENDED TO PROVIDE OPPORTUNITIES FOR THE CONSTRUCTION OF MEDIUM DENSITY HOUSING

PROJECT INFORMATION AND DATA			
	PROJECT	AVERAGE	PREVAILING
LOT COVERAGE	52%	44%	41-60%
UNIT PATTERN	9 UNITS/ 2 LOTS	2.7 UNITS/ LOT	1 UNIT/LOT
SETBACK	REQUIRED	PROVIDED	PREVAILING
FRONT	15 FEET	20 AND 17	22 AND 17
SIDES	5 FEET	5 FEET	5 FEET
REAR	10 FEET	10 FEET	10 FEET
HEIGHT	24 FEET	17 FEET	1 STORY
RESIDENTIAL UNIT SIZE	1,100 SF MIN (3 BED)	1275 MIN./ UNIT	
PARKING SPACES	18 COVERED GARAGES		
1 GUEST STALL	1 GUEST STALL		
1 ACCESSIBLE VAN STALL	1 ACCESSIBLE VAN STALL		
SITE COVERAGE	7750 SF = 57.50% (SEE TABLE BELOW)		
LANDSCAPE AREA	75% SUBJECT AREA 6732 SF (SEE SHEET L-1)		
COMMON OPEN SPACE	COURTYARD 1650 SF,		
PRIVATE OPEN SPACE	100 SF PER UNIT	UNIT SEE TABLE BELOW	
PRIVATE STORAGE SPACE	100 CFT PER UNIT		
DRIVEWAY STANDARD	18 FT MIN.	18 FT	
STREET TREE	STREET TREES 1 PER 25 FT LENGTH OF STREET FRONTAGE		
VERTICLE PROJECTION	SEE CCMC 17.300.025 TBL 3-2		

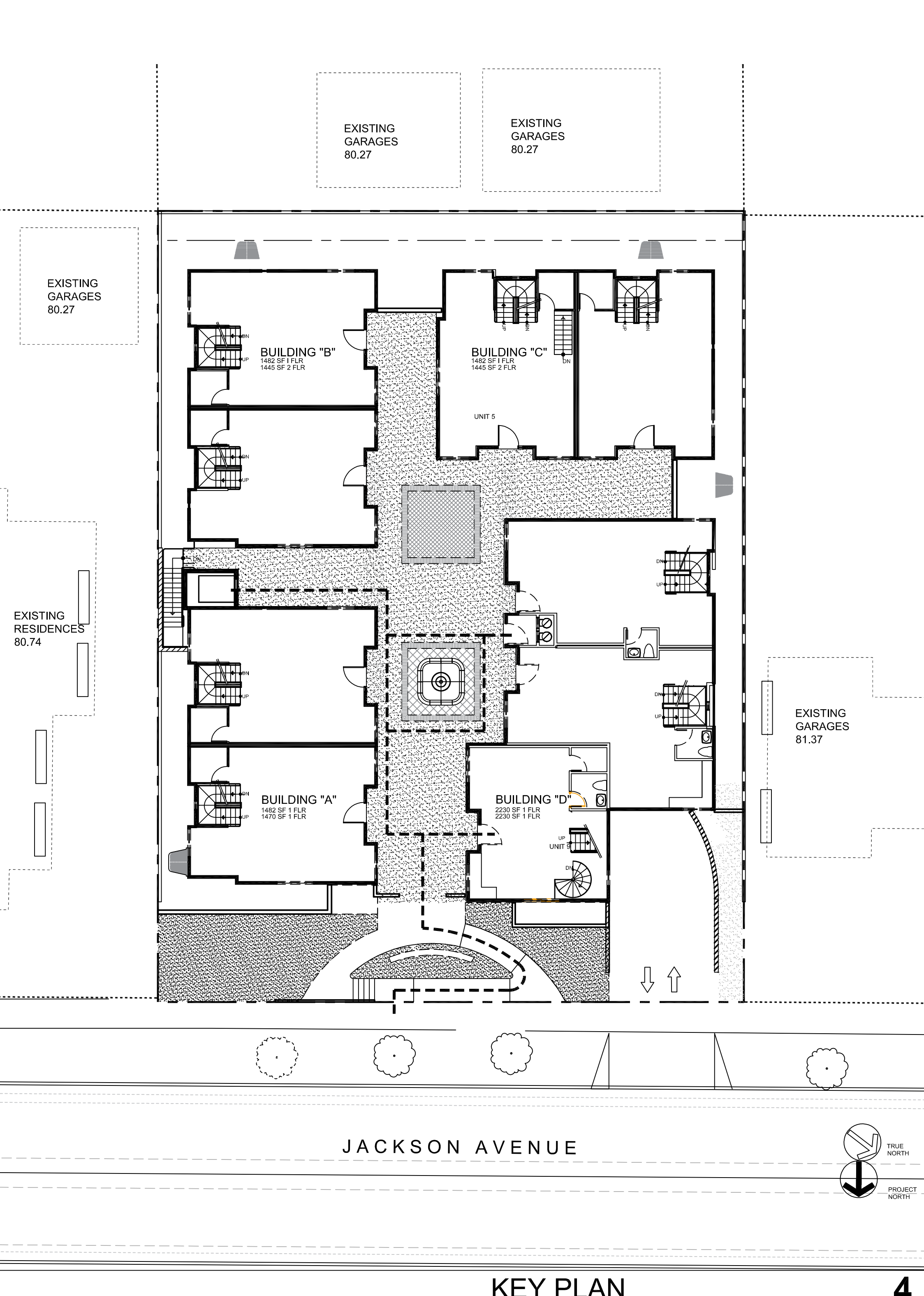
FLOOR AREA SCHEDULE

	BLDG-A	BLDG-B	BLDG-C	BLDG-D
BASEMENT=2505 SF	822	199	233	234
1ST FLOOR= 6938 SF	745	745	745	745
2 ND FLOOR = 6158	684	684	684	684
UNITSIZE = 15324	1951	1628	1663	1674
PRIVATE OPEN SPACE	235	235	235	235
GARAGES	410	410	410	410
PARKING STALL TYPE	STANDARD/2 CAR ENCLOSED GARAGES = 10,417 SF			

CCMC CODE REQUIREMENTS

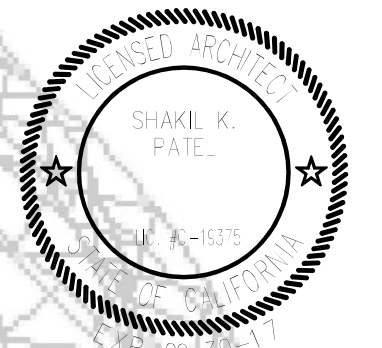
- THE PROJECT IS SUBJECT TO TITLE 15 AND TITLE 17 (ZONING CODE) OF THE CULVER CITY MUNICIPAL CODE (CCMC). SPECIFIC SECTIONS THAT APPLY INCLUDE (OTHER SECTIONS OF THE ZONING CODE MAY STILL APPLY):
 - TITLE 15:
 - CHAPTER 15.10 SUBDIVISIONS
 - TITLE 17 SECTIONS:
 - SECTION 17.210 - RESIDENTIAL ZONING DISTRICTS (SPECIFICALLY THE RMD ZONE)
 - SECTION 17.300 - GENERAL PROPERTY DEVELOPMENT STANDARDS
 - SECTION 17.320 - PARKING
 - SECTION 17.310 - LANDSCAPING
 - SECTION 17.400.105 - RESIDENTIAL USES - MULTIPLE FAMILY RESIDENTIAL STANDARDS
 - SECTION 17.540 - SITE PLAN REVIEW
- PRELIMINARY ANALYSIS INDICATES THAT THIS IS A CEQA CLASS 3 AND CLASS 32 CATEGORICAL EXEMPTION PROJECT.
- A. THE PROJECT SHALL COMPLY WILL ALL REQUIREMENTS SET FORTH IN CCMC SUBCHAPTER 9.11.200, ET SEQ., RELATING TO THE REGULATION OF SMOKING IN MULTI-UNIT HOUSING, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - G.THE RESIDENTIAL PARKING SHALL BE CONSTRUCTED WITH INFRASTRUCTURE NECESSARY TO ALLOW FOR FUTURE INSTALLATION OF ELECTRICAL VEHICLE (EV) CHARGING STATIONS SHOULD RESIDENTS IN THE FUTURE REQUEST OR NEED EV CHARGING STATIONS AT THEIR PARKING STALLS.
 - A MINIMUM OF 2 LONG TERM/RESIDENT BICYCLE PARKING SPACES PER UNIT SHALL BE REQUIRED.
- AN IN-LIEU PARKLAND FEE FOR 4 NET NEW RESIDENTIAL DWELLINGS WILL BE REQUIRED AFTER FINAL ENTITLEMENT APPROVALS AND PRIOR TO CERTIFICATE OF OCCUPANCY. THE FEE IS BASED ON A FORMULA AND IS USUALLY ABOUT \$6,000 TO \$12,000 PER UNIT. CALCULATION OF THIS FEE WILL BE DONE DURING THE BUILDING PERMIT PHASE OF THE PROJECT.

PLOT PLAN



KEY PLAN

4



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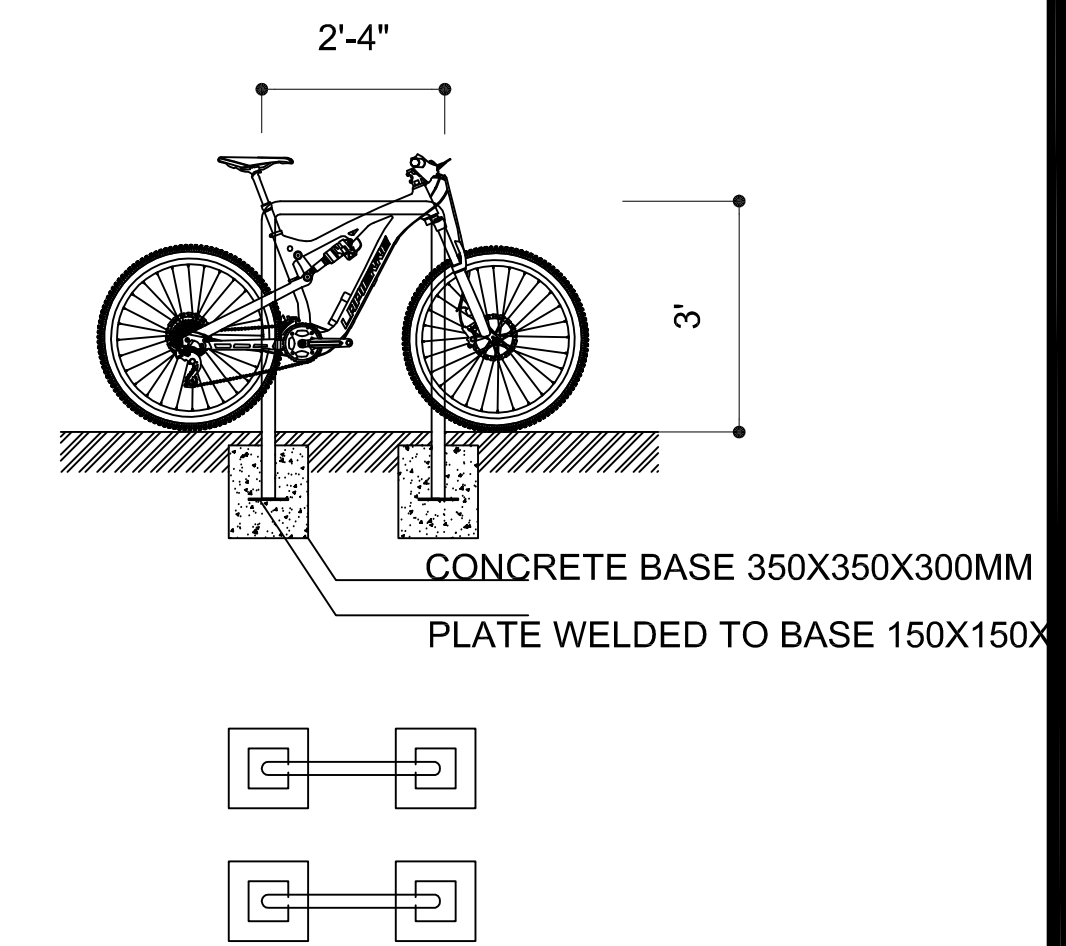
MARK	DATE	DESCRIPTION
PROJECT NO:	112016	
DRAWN BY:	SP	
CHK'D BY:	SP	
SHEET TITLE		

SITE PLAN

1. BYCYCLE PARKING
2. 8" THK CONCRETE MASONARY UNIT RETAINING WALLS. SEE A200
3. ACCESSIBLE PATH OF TRAVEL
4. ACCESSIBLE ELEVATOR
5. CONCRETE STAIRS.
6. CONCRETE DECK SLAB .
7. 5,-0" DRAINAGE SEE GRADING PLAN.
8. PRIVATE OPEN SPACE
9. NOT USED.
10. 6 FT HIGH PROPERTY WALL ABOVE HIGHER FIN. GRADE. TYP
11. COURTYARD FOUNTAIN WITH ACCENT PAVERS AROUND.
12. LANDSCAPE AREA SEE LANDSCAPE PLAN
13. 6 FT HIGH WROUGHT IRON GATES AND FENCE.
14. GRILLED ROLL UP DOOR WITH CARD KEY @ GARAGE LEVEL.
15. TRASH CHUTE AREA.
16. ACCENT PAVERS.
17. 30" HIGH CMU RETAINING WALL
18. PROVIDE GRATES OVER BASEMENT EGRESS WELL. TYP OF 4.

KEYNOTES

NTS 1



BIKE RACK

NTS 2

GENERAL COMMENTS

1. CONNECT NEW SEWER LATERAL INTO EXISTING LATERAL ONSITE. IF NOT POSSIBLE, CONNECT NEW LATERAL DIRECTLY TO THE SEWER PIPE, NOT THE MANHOLE.
2. NO CONSTRUCTION IS PERMITTED WITHIN 5 FOOT SEWER EASEMENT. PLEASE ADJUST A200 SHOWING NO NEW STRUCTURE IN THIS EASEMENT.
3. CONNECT NEW SEWER LATERAL INTO EXISTING LATERAL ONSITE. IF NOT POSSIBLE, CONNECT NEW LATERAL DIRECTLY TO THE SEWER PIPE, NOT THE MANHOLE.
4. NO CONSTRUCTION IS PERMITTED WITHIN 5 FOOT SEWER EASEMENT. PLEASE ADJUST A200 SHOWING NO NEW STRUCTURE IN THIS EASEMENT.

PUBLIC WORKS - CHRIS EVANS (310) 253-5621

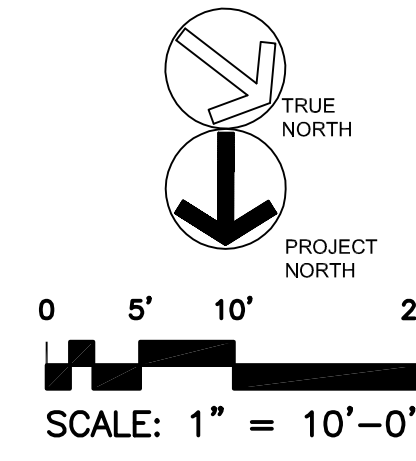
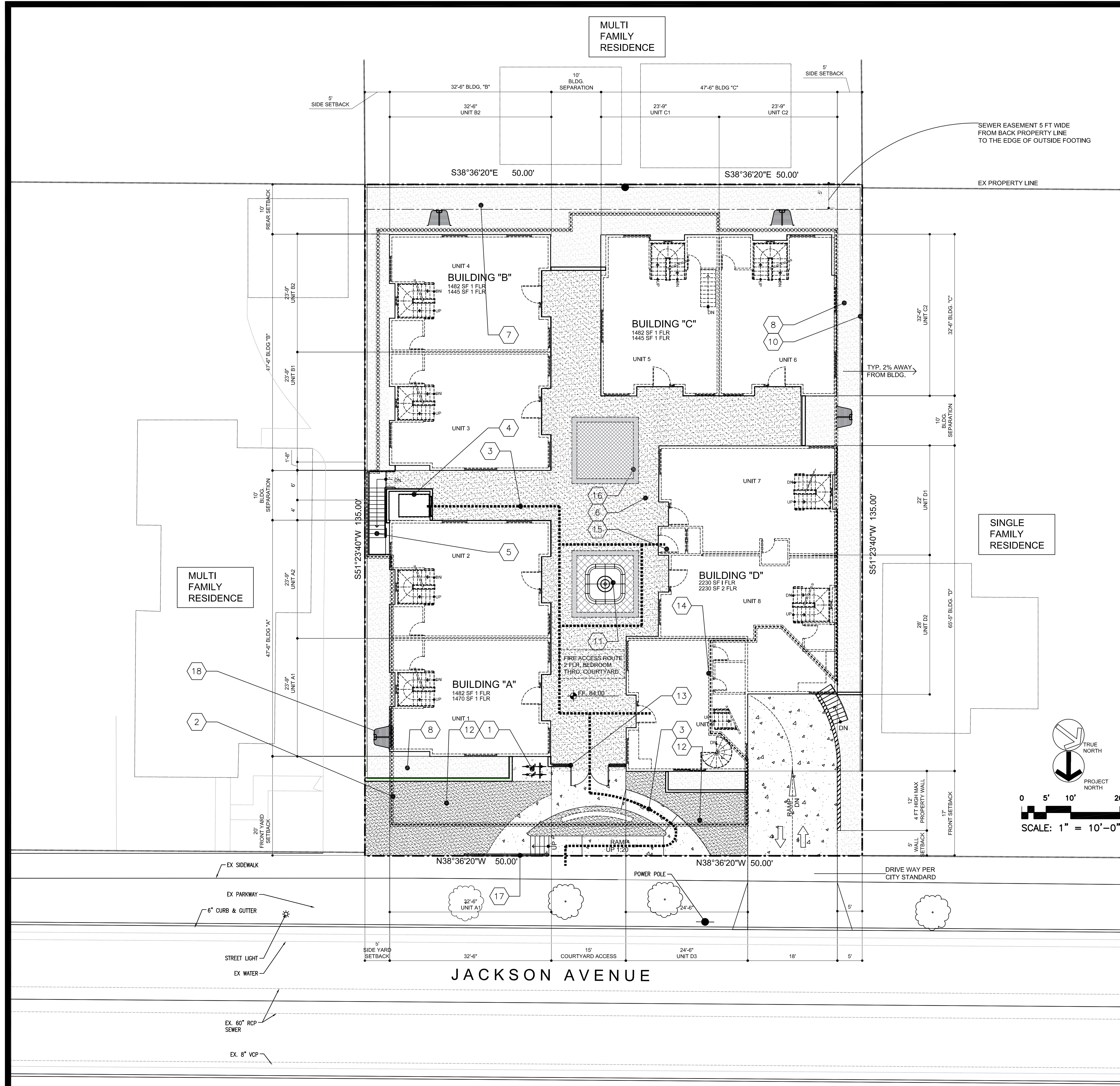
1. SECURE BICYCLE PARKING SHALL BE PROVIDED TO ACCOMMODATE A MINIMUM OF TWENTY (20) BICYCLES. TO MEET THE BICYCLE PARKING REQUIREMENTS FOR THE PROJECT. THE BICYCLE PARKING SHALL BE PROVIDED AS FOLLOWS:
 - TWO (2) SHORT-TERM PARKING SPACES, AND
 - EIGHTEEN (18) LONG-TERM PARKING SPACES (2 SPACES PER UNIT)
2. ALL BICYCLE PARKING REQUIRED ABOVE, SHALL BE INSTALLED, MAINTAINED AND MANAGED BY THE DEVELOPER OR THEIR SUCCESSORS, AND APPROVED BY THE PUBLIC WORKS DIRECTOR OR THEIR DESIGNEE, PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

SITE PLAN

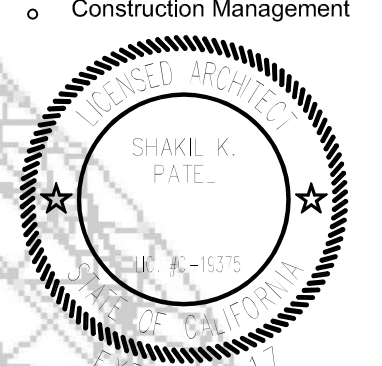
NTS 8

SITE NOTES

NTS 4



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KEY PLAN

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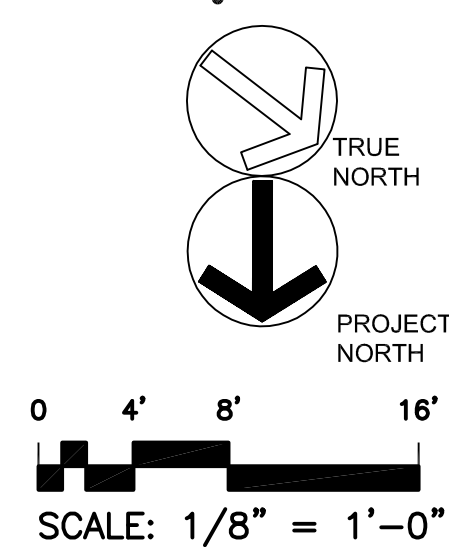
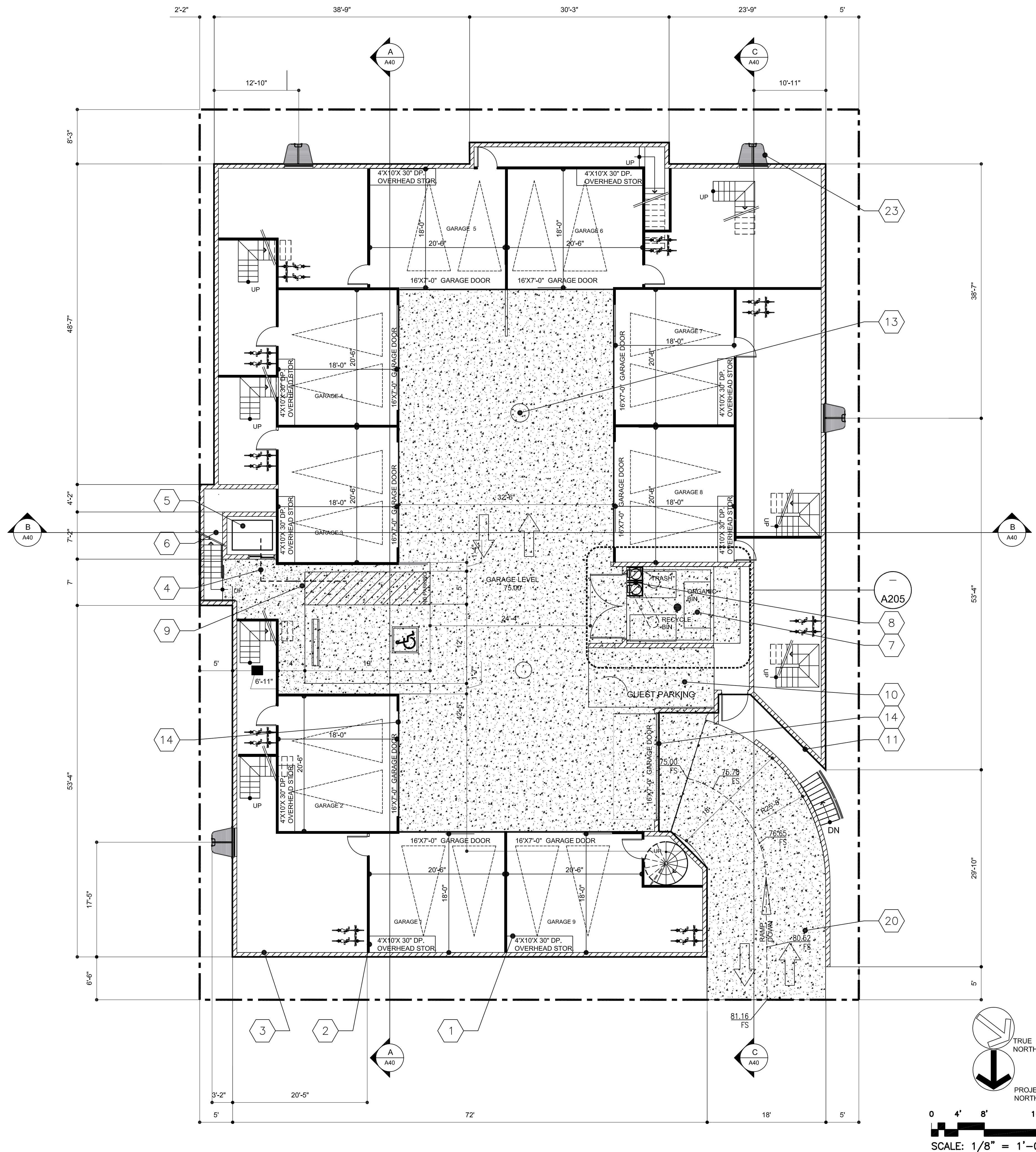
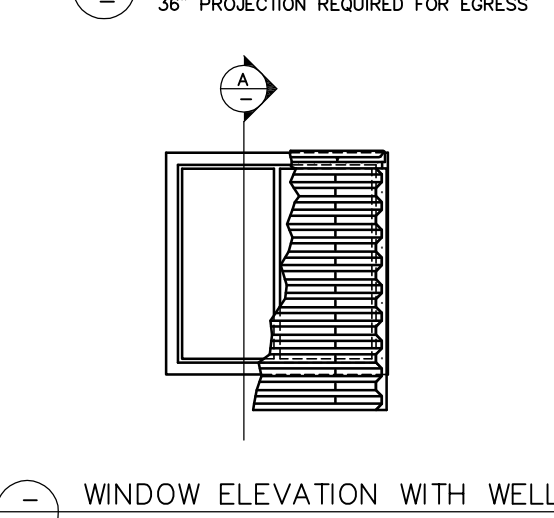
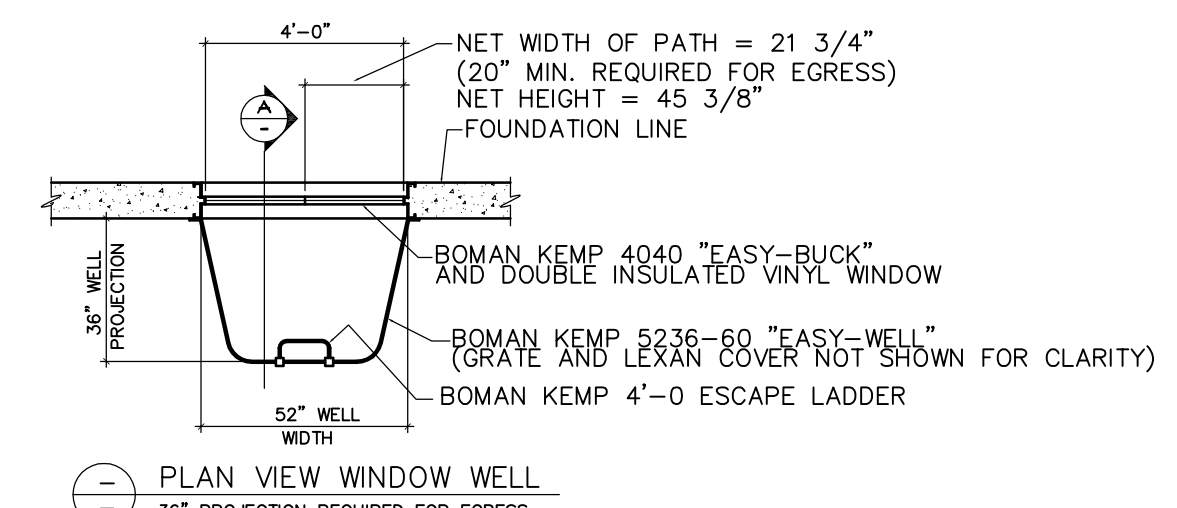
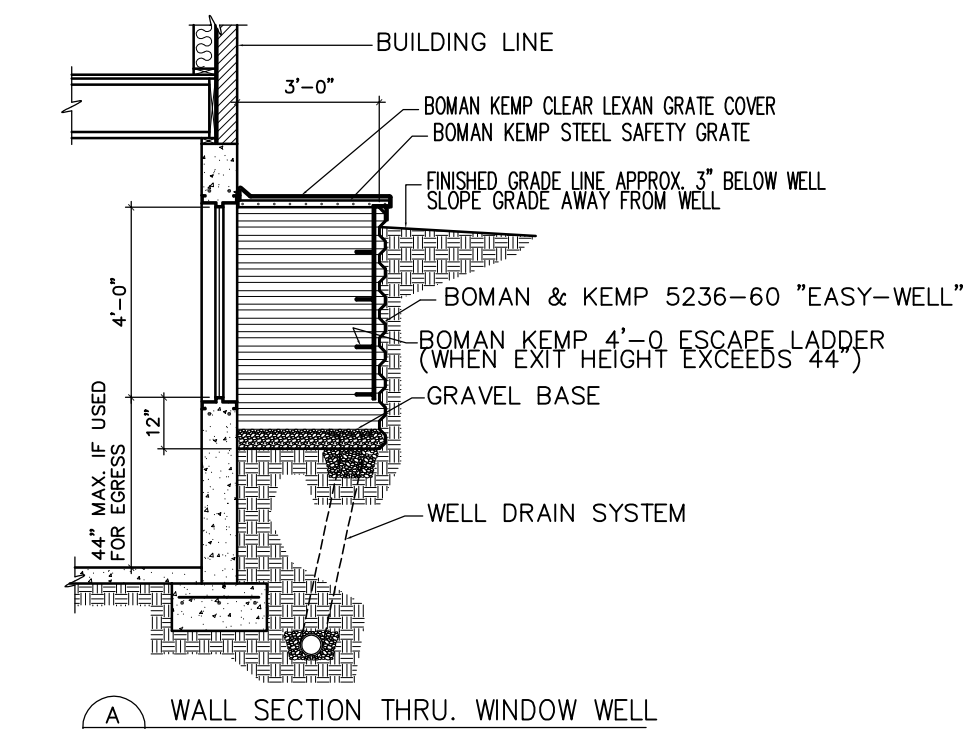
BASEMENT FLOOR PLAN

SHEET OF A200

1. 100 CFT OF OVERHEAD STORAGE IN EACH GARAGES.
2. ONE HOUR FIRE PARTITION DEMISING WALLS.
3. 8" THK CONCRETE MASONRY UNIT RETAINING WALLS.
4. ACCESSIBLE PATH OF TRAVEL
5. ACCESSIBLE ELEVATOR
6. CONCRETE STAIRS TO 1ST FLR/SEMI SUBTERRANEAN LVL.
7. TRASH ENCLOSURE SEE SHEET A205.
8. REFUGE CHUTE I IN 1 HR FIRE RATED SHAFT STAINLESS STEEL SEE SHEET 6/ A205.
9. ACCESSIBLE VAN PARKING STALLS 17'X19'
10. GUEST PARKING STALL 9'X19'
11. ELECTRICAL, GAS AND WATER METERS
12. NOT USED.
13. CONCRETE SLAB ON GRADE LAID TO SLOPE • EACH FLOOR DRAINS.
14. 16'X7" H. SECTIONAL GARAGE DOOR W/1 FT GLASS PANEL TYP OF 9.
15. NOT USED.
16. NOT USED.
17. NOT USED.
18. NOT USED.
19. NOT USED.
20. CONCRETE VEHICULAR RAMP TO BASEMENT 7' CLEAR HEIGHT.
21. NOT USED.
22. NOT USED.
23. BASEMENT EGRESS WINDOW WELL SEE 4/A200.

KEY NOTES

NTS 2

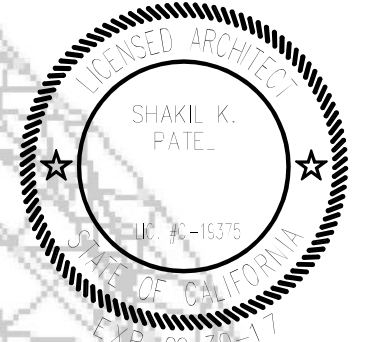


BASEMENT FLOOR PLAN

1/8 8

COA NOTES

NTS 4

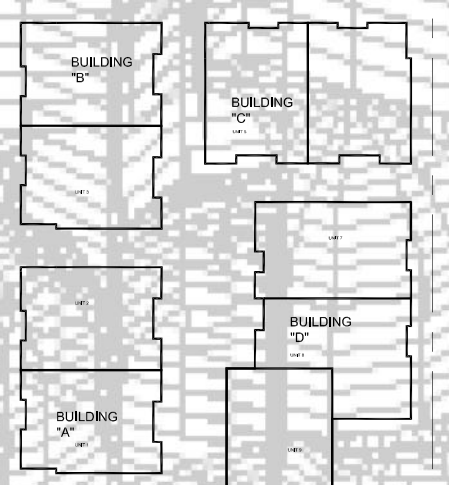


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KEY PLAN

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MARK	DATE	DESCRIPTION
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SHEET TITLE		

FIRST FLOOR PLAN

SHEET OF A201

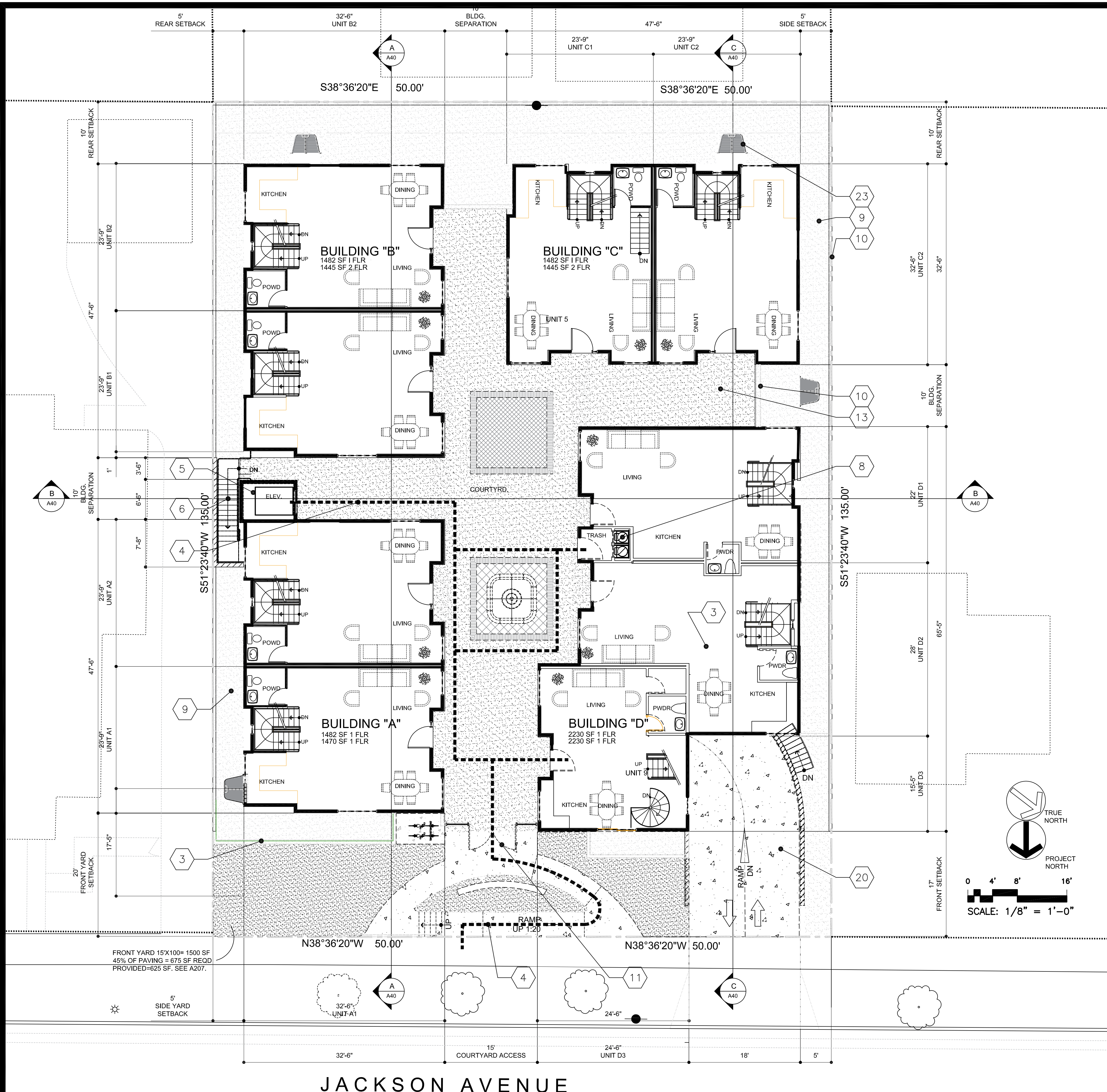
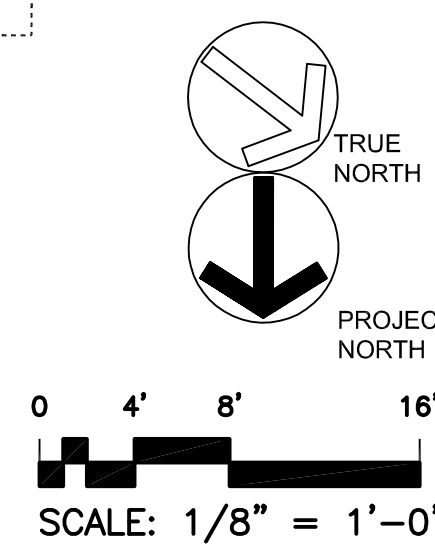
1. PUBLIC BICYCLE RACK
3. 8" THK CONCRETE MASONRY UNIT RETAINING WALLS.
4. ACCESSIBLE PATH OF TRAVEL
5. ACCESSIBLE ELEVATOR
6. CONCRETE STAIRS TO 1ST FLR/SEMI SUBTERRANEAN LVL.
8. REFUGE CHUTE IN 1 HR FIRE RATED SHAFT STAINLESS STEEL SEE SHEET 6/ A205.
9. PRIVATE OPEN SPACE
10. 6 FT HIGH DECORATIVE CMU PROPERTY WALL.
11. 6 FT HIGH W/ ENTRANCE AND GATES PAINTED.
13. 12" THK CONCRETE DECK SLAB LAID TO SLOPE • EACH FLOOR DRAINS.
20. CONCRETE VEHICULAR RAMP TO BASEMENT 7' CLEAR.
21. LANDSCAPE AREA
23. BASEMENT EGRESS WINDOW WELL W/ TRAFFIC GRADE GRILL SEE 4/A200.

KEY NOTES

NTS 2

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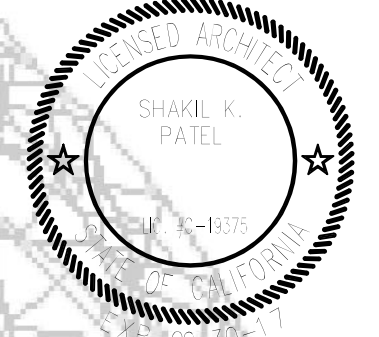


FIRST FLOOR PLAN

1/8 8

COA NOTES

NTS 4

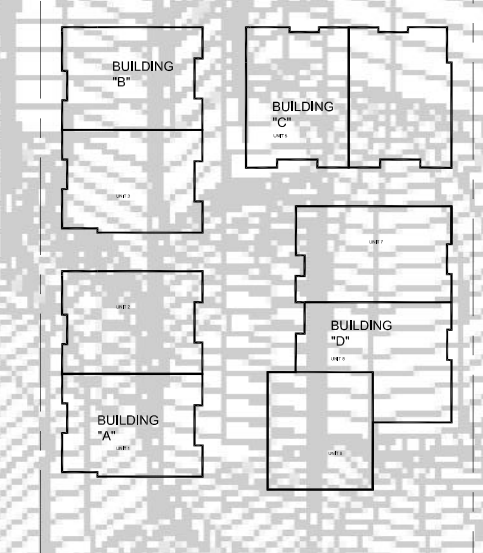


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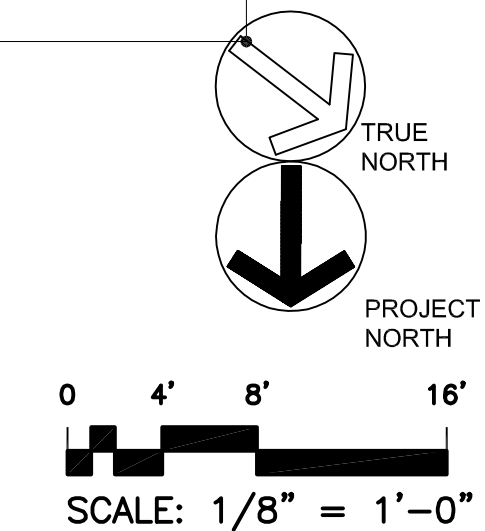
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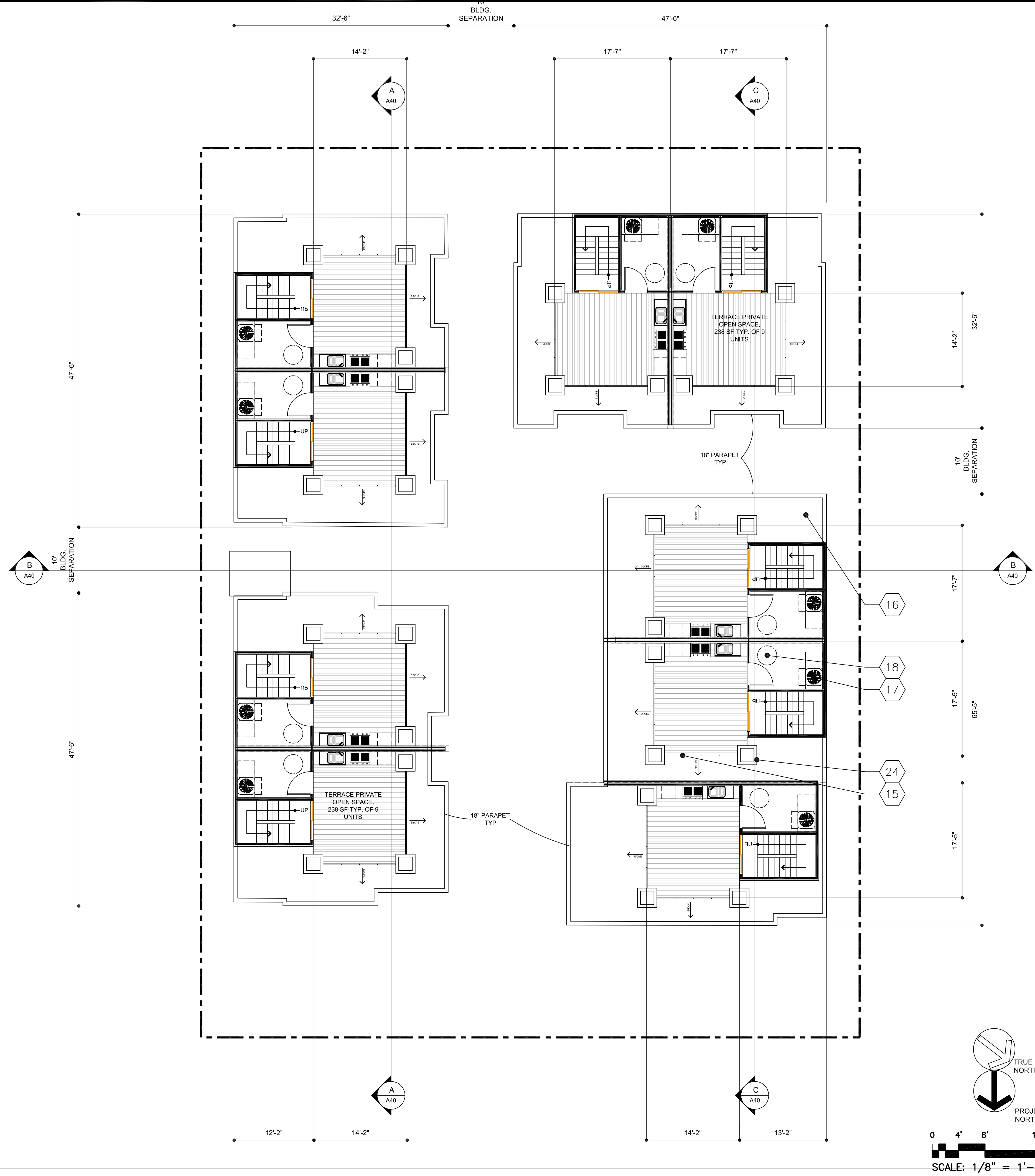
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SECOND FLOOR PLAN

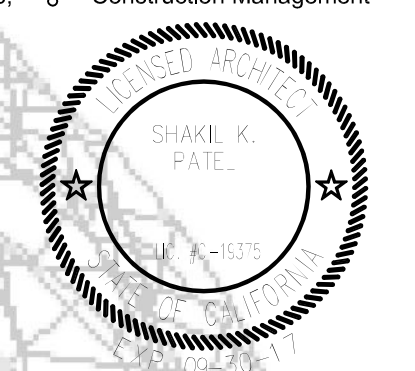
SHEET OF **A202**





- 15. 42 HIGH TEMPERED SMOKE GRAY GLASS GUARD RAILS
- 16. 4 PLY BUILT UP ROOF WITH COOL ROOF CAP SHEET
- 17. HVAC CONDENSER UNIT OPEN TO SKY
- 18. EXTERIOR WATER HEATER OPEN TO SKY
- 24. 4 FT HIGH PLANTER WITH STUCCO FINISH

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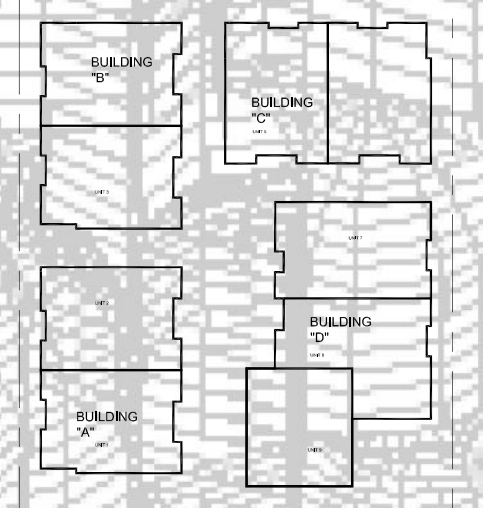


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JACKSON AVENUE
KEY PLAN

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TERRACE FLOOR PLAN

SHEET OF **A203**

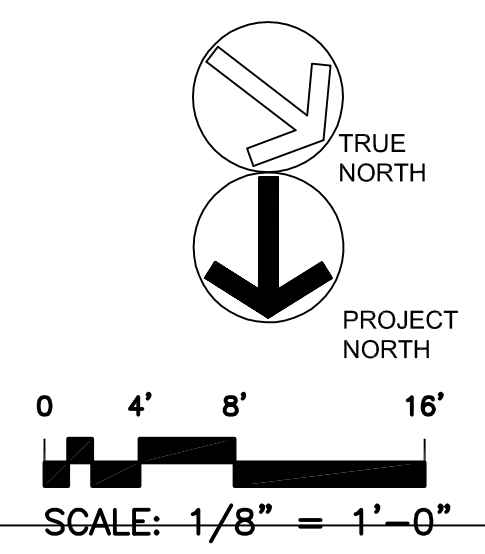
KEY NOTES

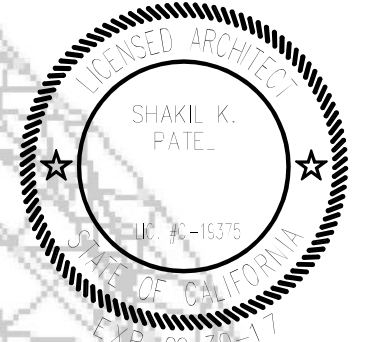
NTS **2**

TERRACE FLOOR PLAN

1/8 **8** -

NTS **4**



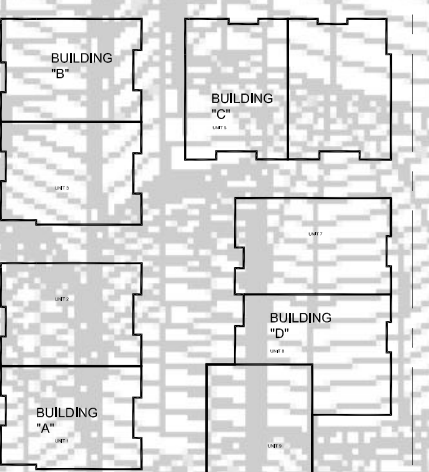


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KEY PLAN

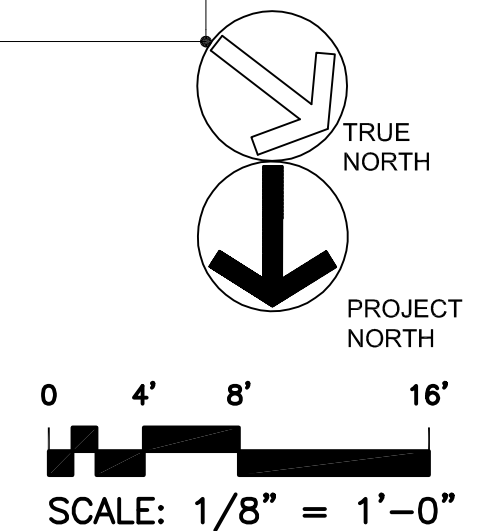
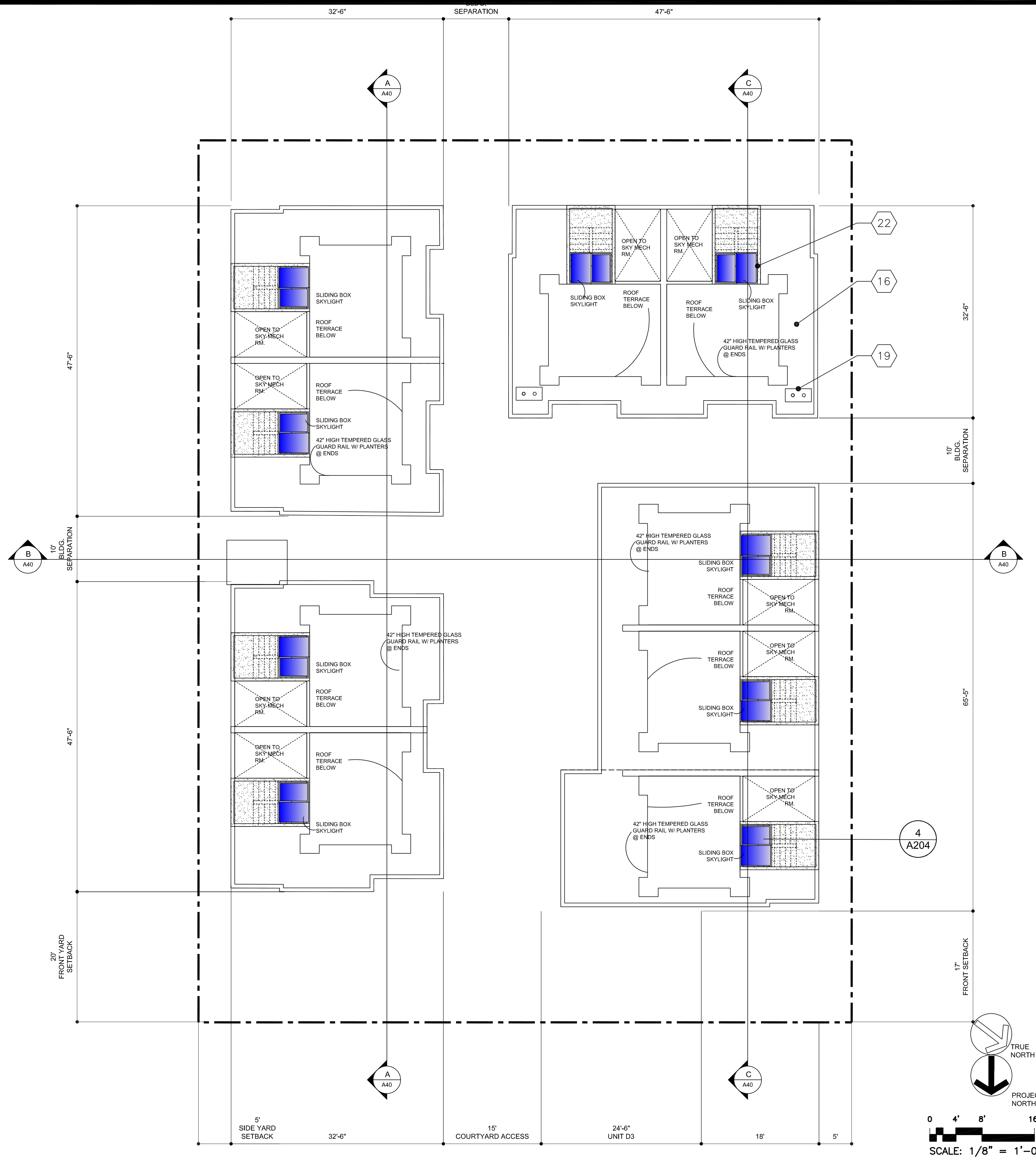
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ROOF FLOOR PLAN

SHEET OF A204

- 16. 4 PLY BUILT UP ROOF WITH COOL ROOF CAP SHEET
- 19. ROOF DRAIN
- 22. BOX SKYLIGHT WITH SLIDING DOOR ROOF ACCESS.



KEY NOTES

NTS 2



Technical Data Sheet
GLAZING VISION
 Free Standing Box Rooftop
 15th Nov 2017 10:29:20

Name: OV Standard Free Standing Box (FSB)
Code: 607
Type: Sliding access rooftop
Description: Single sliding door retracting over fixed glazing
Features:
 No visible kerb fixings through the use of extruded external clip-on cover.
 Excellent overall thermal performance from polyester powder-coated aluminium extrusions integrated with 38mm polyamide thermal breaks, concealed closed-cell PIR insulation and options for double or triple glazing as standard.
 Structural integrity assured through the use of finite element analysis (FEA) and testing.
 Advanced electronics control system installed, offering low opening currents and a dedicated building management system (BMS) input.
 Reliable operation via a concealed twin drive mechanism with one-way clutch and solenoid security feature as standard. Drive mechanism powered by an external 24V power supply. A battery-backed supply option is available as an external optional extra.
 Catalogue of product support data including sales drawings, schedule and manufacturing information.
Testing: Weather performance testing: CWCT Hose test/Spray Bar test to BS EN 13051

Kerb Dimensions:	Min Kerb Thickness:	see 607-ASS-002	Min Kerb Height:	see 607-ASS-002
	Min Product Height:	400mm	Max Product Height:	1500mm
	Min Span:	1100mm	Max Span:	2400mm
	Min Width:	1500mm	Max Width:	4200mm

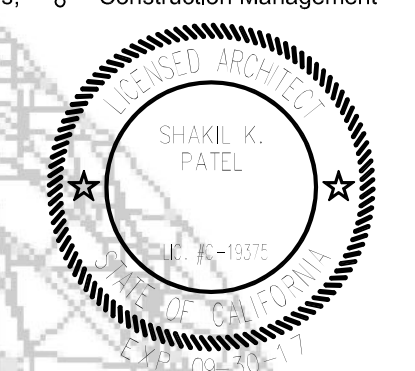
Maximum Span and Width is determined by the opposing dimension - check with manufacturer prior to specification that your dimensions are acceptable.
 Further information on critical kerb dimensions is available on drawing reference 607-ASS-002.

ROOF FLOOR PLAN

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NTS 4

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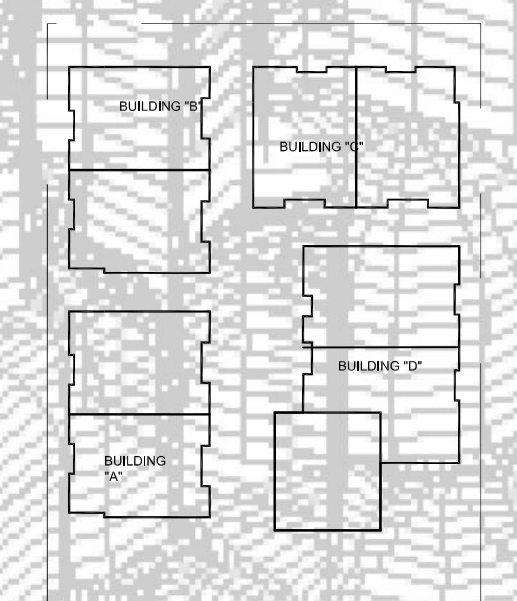


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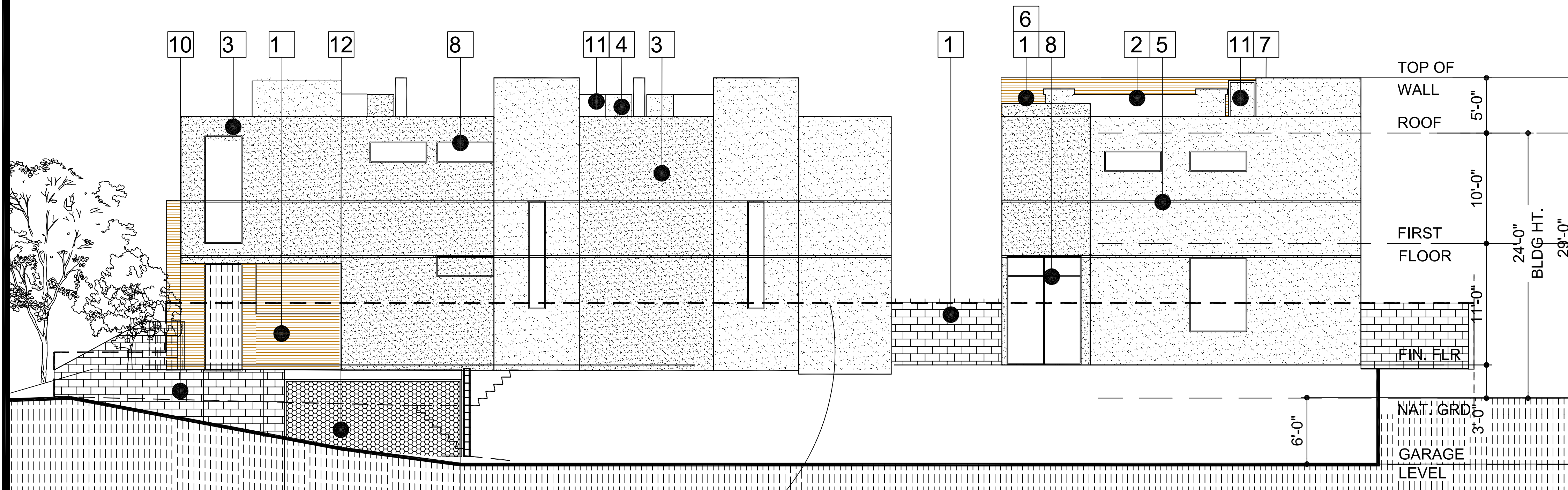


KEY PLAN

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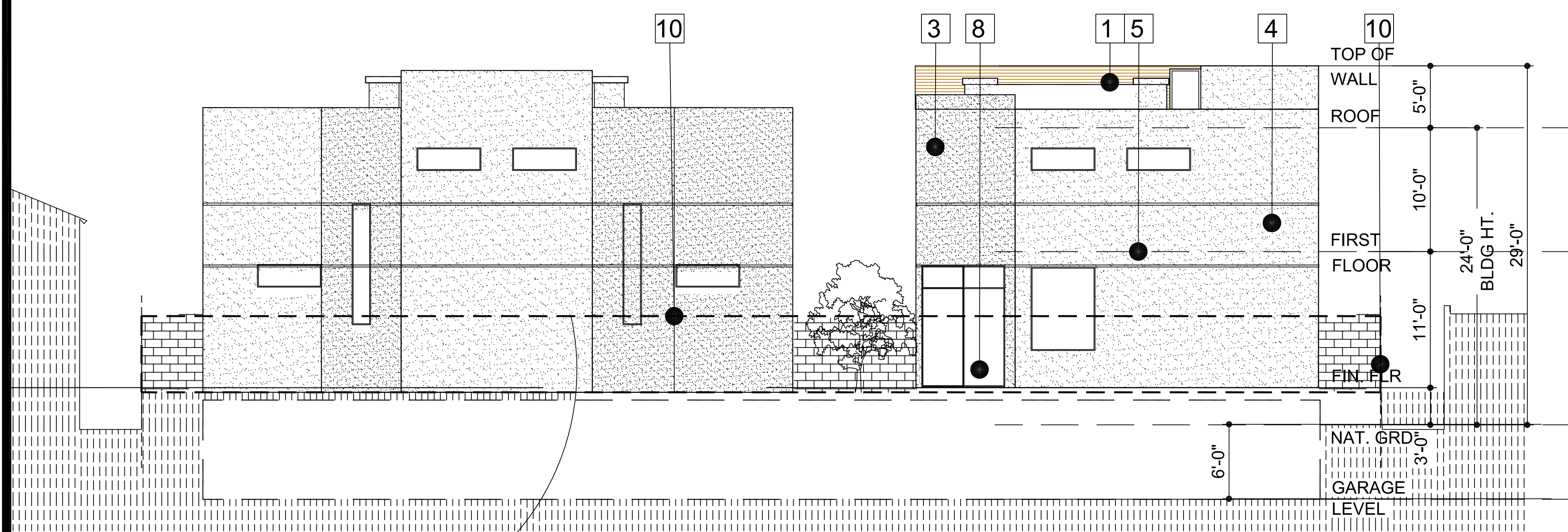
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PROJECT NO:	112016	
DRAWN BY:	SP	
CHK'D BY:	SP	
SHEET TITLE		

ELEVATIONS



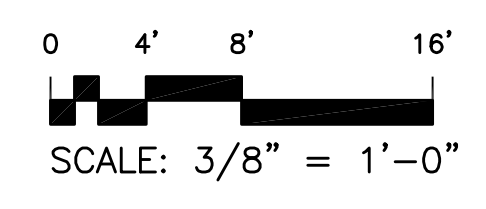
SIDE RIGHT

DOTTED LINE INDICATES
 6 FT HIGH PROPERTY
 WALL TYP.

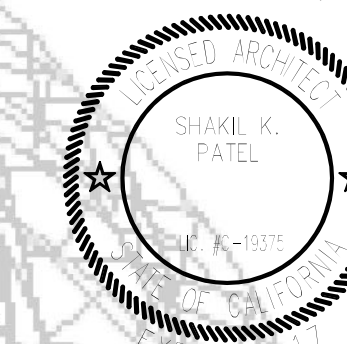


REAR

DOTTED LINE INDICATES
 6 FT HIGH PROPERTY
 WALL TYP.



- 1. 1X6 NATURAL WOOD SIDING OVER BUILDING PAPER
- 2. 42" HIGH 1/2 THICK TEMPERED SMOKE GRAY GLASS GUARD RAIL
- 3. EXTERIOR FINISH CEMENT PLASTER 3/8" THICK "LA HABRA" "20 IVORY BASE 10" FIELD STUCCO 20/30 FINISH STUCCO COLOR .
- 4. EXTERIOR FINISH CEMENT PLASTER 3/8" THICK "LA HABRA" "63249 HATTERAS 24 LAHABRA BASE 100. ACCENT STUCCO COLOR 20/30 FINISH.
- 5. 1" WIDE ALUM. STUCCO REVEAL COLOR TO MATCH W/ WOOD SIDING
- 6. TYPICAL UNIT DIVIDING WALL W/ WD SIDING
- 7. 22 GA G.I METAL METAL COPPING COLOR TO MATCH ADJOINING MATERIALS.
- 8. SLIM ALUM FRAME WITH SMOKE GRAY DOUBLE GLAZED DOORS AND WINDOWS
- 9. NOT USED
- 10. CONCRETE MASONRY UNIT "E 70%, AND G 30%" BASEMENT, PROPERTY WALLS & TRASH ENCLOSURE
- 11. BOXX SKYLIGHT DOUBLE GLAZED FLUSH GLAZE CURB MOUNTED. MODEL 402-ASS-001 BY GLAZING VISION SEE 4/A204.
- 12. GI MOTORIZED GARAGE DOOR.
- 13. GI 8X6 FENCE AND GATE 6FT HIGH.
- 14. PRECAST CONCRETE FOUNTAIN

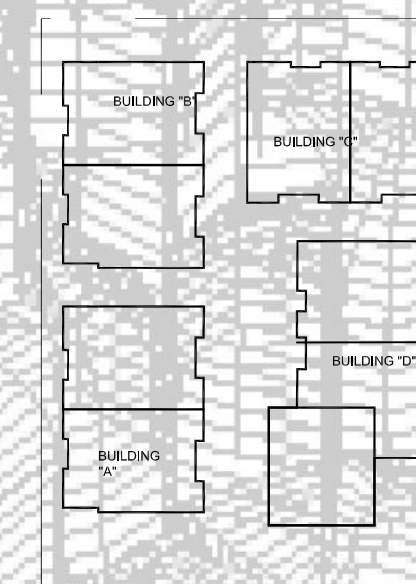


CONSULTANTS

OWNER

JACKSON VILLAS

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APN 4209-001-011/012



JACKSON AVENUE

KEY PLAN

**ADMINISTRATIVE STAFF
PROJECT REVIEW
06292018**

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RENDERED ELEVATIONS

SHEET OF **A300a**



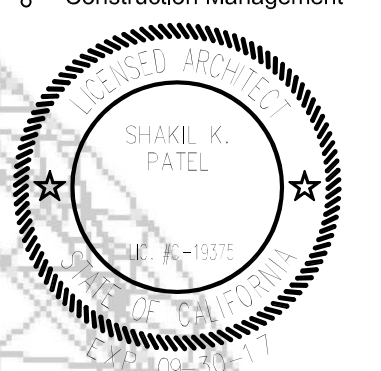
FRONT



REAR

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SHAKIL PATEL & ASSOCIATES AIA, LEED-AP
25982 HINCKLEY STREET, LOMA LINDA CA 92354
Telephone: 909.796.0300 Cell: 909.913.3175
Architecture Interiors Construction Management

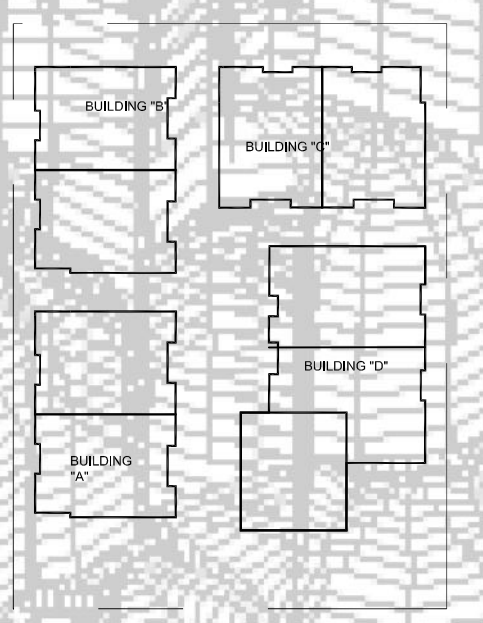


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APN 4209-001-011/012



JACKSON AVENUE
KEY PLAN

ADMINISTRATIVE STAFF
PROJECT REVIEW
06292018

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CHK'D BY:	SP	
SHEET TITLE		

RENDERED ELEVATIONS

SHEET OF A300b

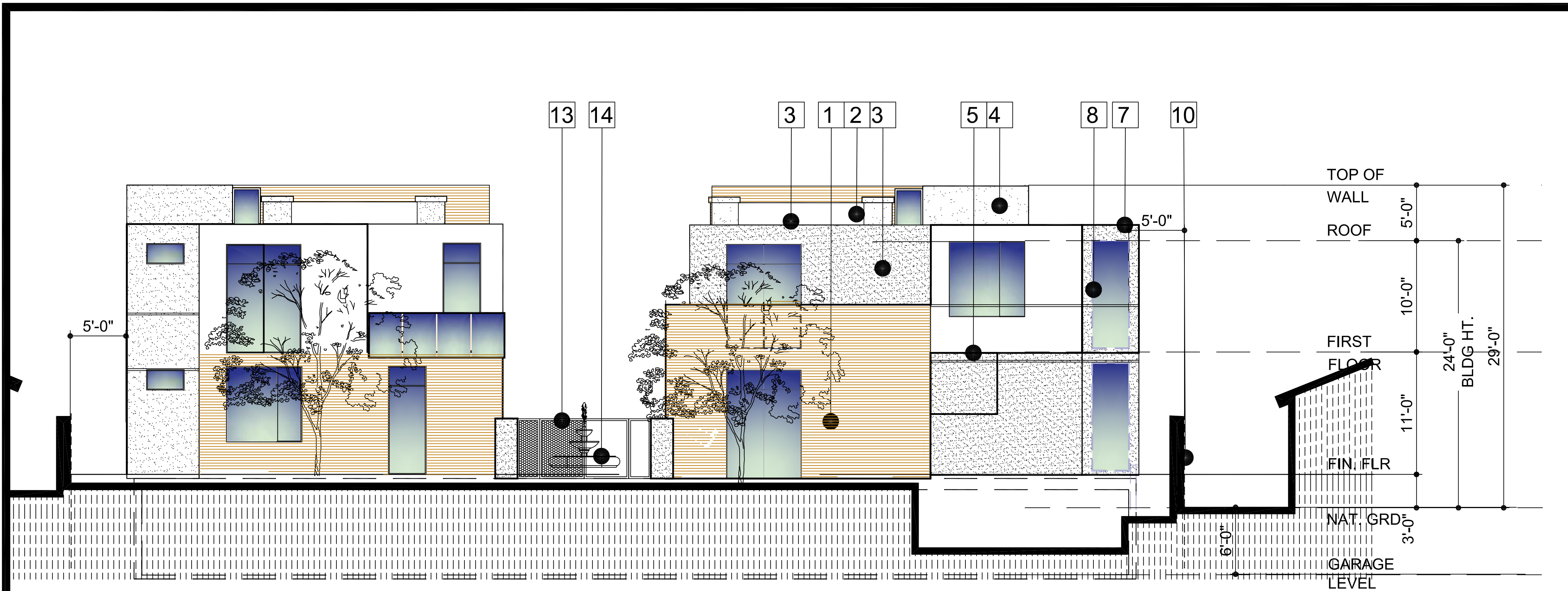
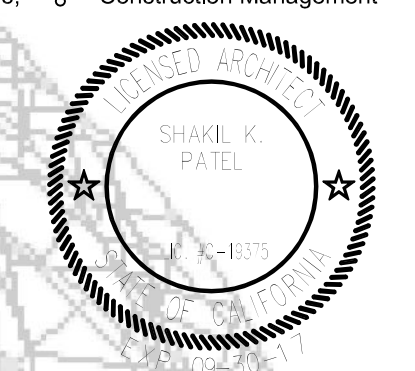


SIDE RIGHT



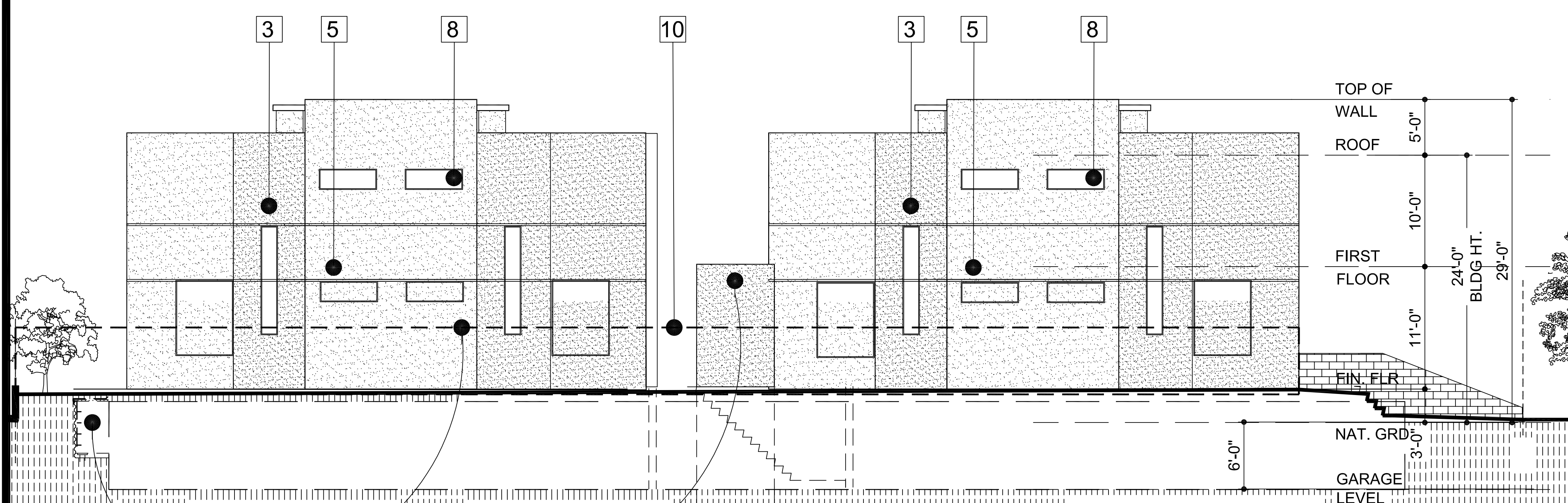
SIDE LEFT

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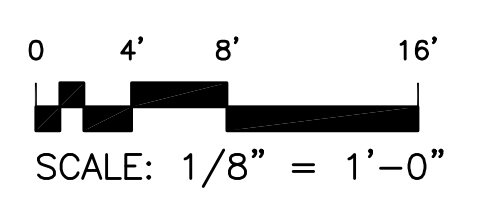
FRONT

- 1. 1X6 NATURAL WOOD SIDING OVER BUILDING PAPER
- 2. 42" HIGH 1/2" THICK TEMPERED SMOKE GRAY GLASS GUARD RAIL
- 3. EXTERIOR FINISH CEMENT PLASTER 5/8" THICK "LA HABRA" "20 IVORY BASE 10" FIELD STUCCO 20/30 FINISH STUCCO COLOR .
- 4. EXTERIOR FINISH CEMENT PLASTER 5/8" THICK "LA HABRA" "63249 HATTERAS 24 LAHABRA BASE 100. ACCENT STUCCO COLOR 20/30 FINISH.
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- 9. NOT USED
- 10. CONCRETE MASONRY UNIT "E 70%, AND G 30%" BASEMENT, PROPERTY WALLS & TRASH ENCLOSURE
- 11. BOX SKYLIGHT DOUBLE GLAZED FLUSH GLAZE CURB MOUNTED. MODEL 402-ASS-001 BY GLAZING VISION SEE 4/A204.
- 12. GI MOTORIZED GARAGE DOOR.
- 13. GI 8X6 FENCE AND GATE 6FT HIGH.
- 14. PRECAST CONCRETE FOUNTAIN



SIDE LEFT

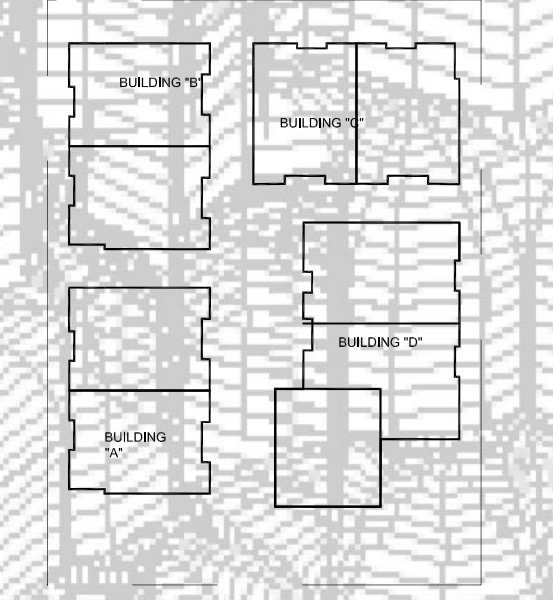
DOTTED LINE INDICATES 6 FT HIGH PROPERTY WALL TYP.
 TYP. BASEMENT FIRE EGRESS OPENING.



CONSULTANTS
 OWNER

JACKSON VILLAS

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KEY PLAN

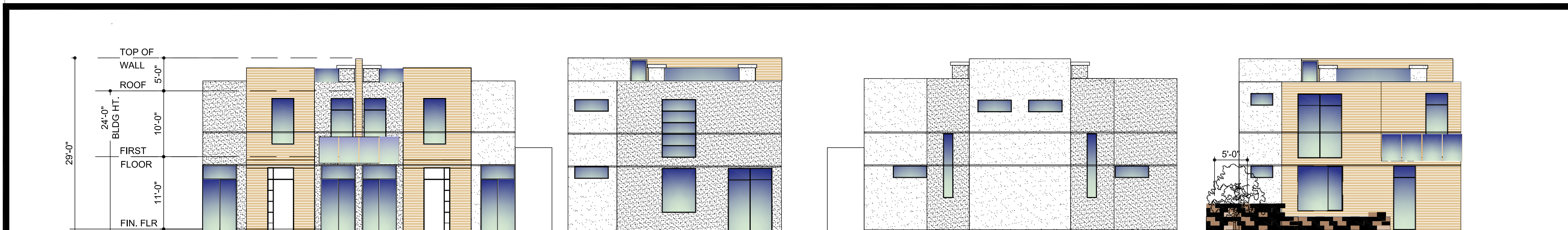
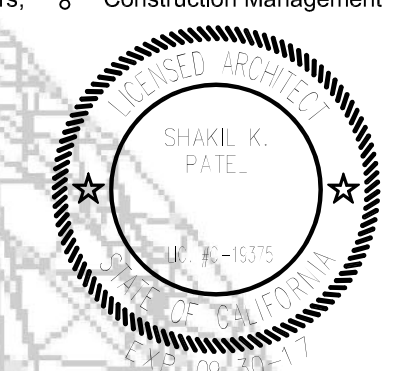
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 PROJECT REVIEW
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PROJECT NO:	112016	
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SHEET TITLE		

ELEVATIONS

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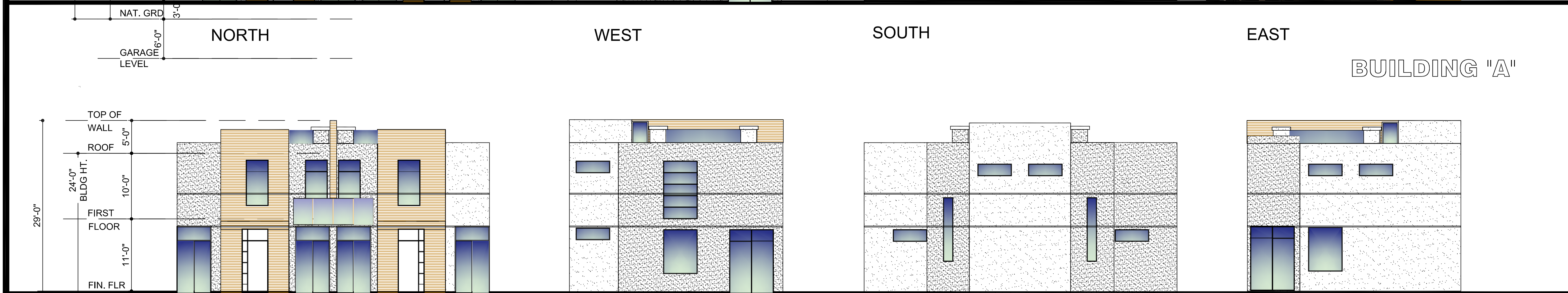
NORTH

WEST

SOUTH

EAST

BUILDING "A"



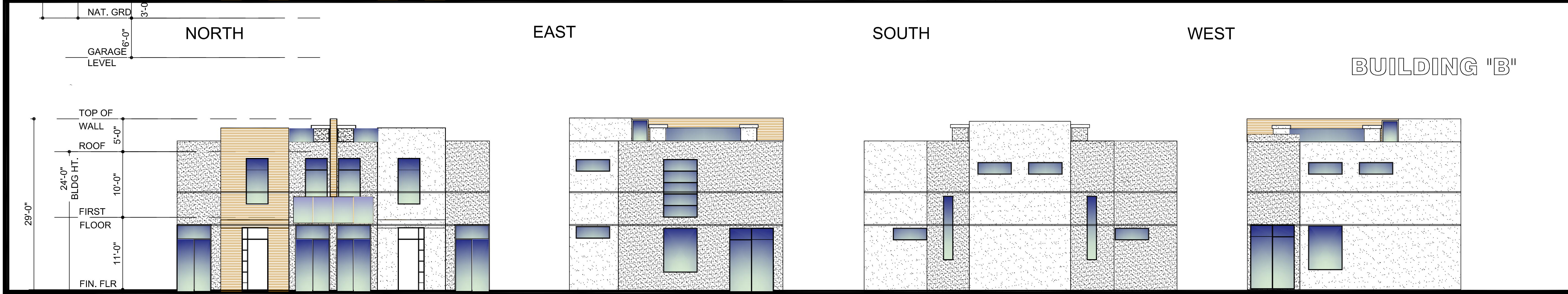
NORTH

EAST

SOUTH

WEST

BUILDING "B"



EAST

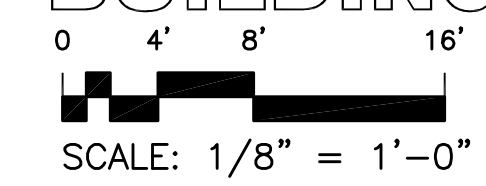
SOUTH

WEST

NORTH

BUILDING "C"

SEE SHEET A300 AND 301 MATERIAL AND FINISHES



SOUTH

WEST

NORTH

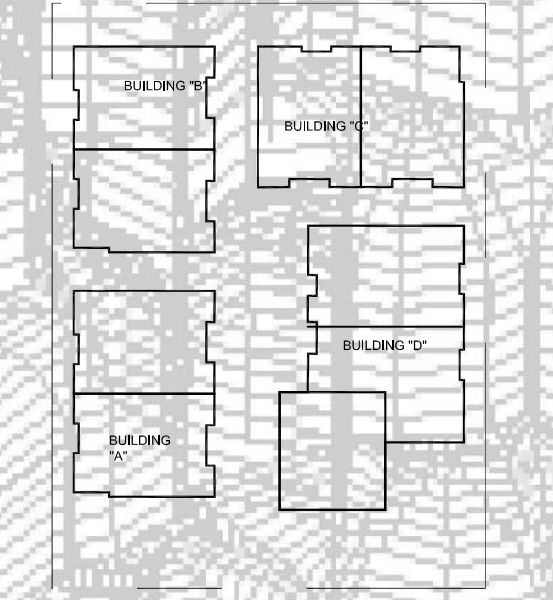
EAST
BUILDING "D"

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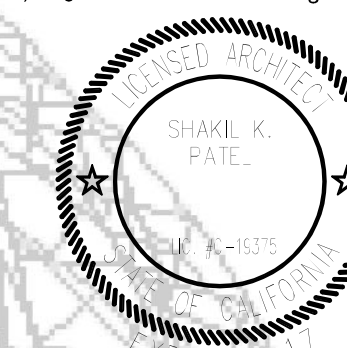


JACKSON AVENUE
KEY PLAN

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BUILDING ELEVATIONS

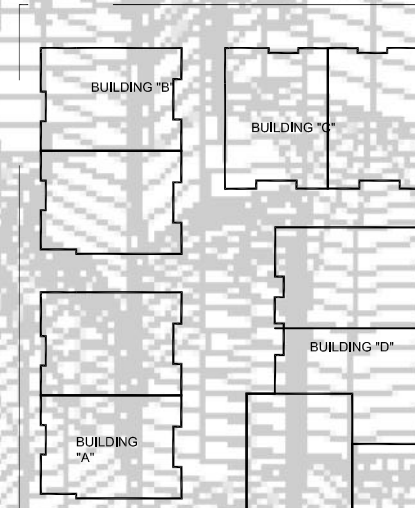


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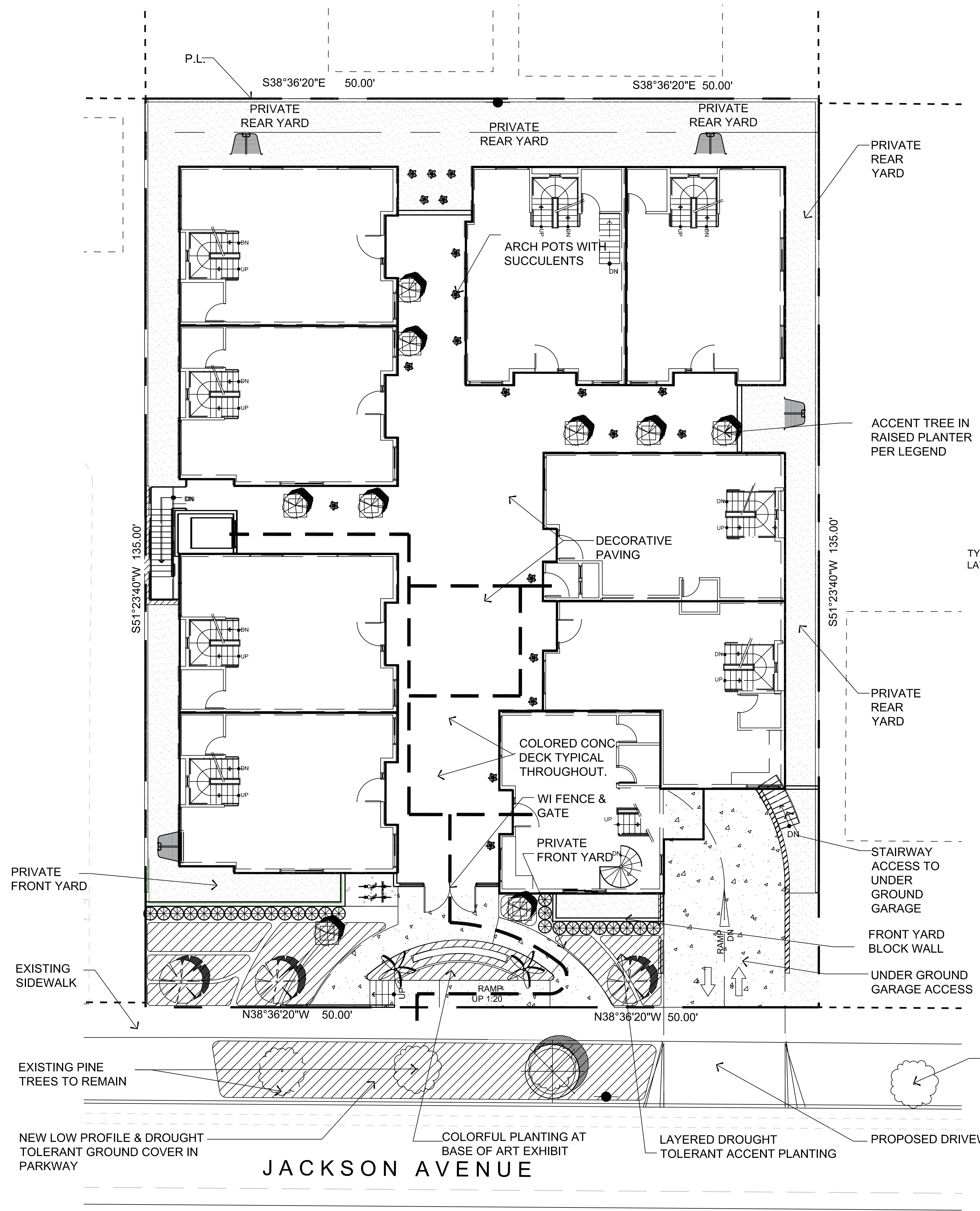


JACKSON AVENUE

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CONCEPTUAL LANDSCAPE PLAN



TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	SMALL MULTI TRUNK PHOENIX DACTYLIFERA, PYGMY DATE PALM 24" BOX SIZE	2	L
	ACCENT TREE IN RAISED PLANTERS ARBUTUS X 'MARINA', MARINA STRAWBERRY TREE 24" BOX SIZE. DOUBLE STAKE. MULTI-TRUNK. LOCATED WITHIN DESIGNATED AREAS WITHIN COURTYARD.	13	L
	STREET TREE PINUS CANARIENSIS, CANARY ISLAND PINE 24" BOX SIZE. DOUBLE STAKE. STANDARD TRUNK. PLANT WITHIN EXISTING PARKWAY.	1	L
	SMALL FLOWERING ACCENT TREE LAGERSTROEMIA MUSKOGEE, CRAPE MYRTLE 15 GAL. SIZE	5	L

SHRUBS		
SYMBOL	SHRUB NAME	WUCOLS
	COTONEASTER LACTEUS, RED CLUSTER BERRY COTONEASTER 5 GAL. SIZE.	L

GROUND COVER AND SHRUB MASSES		
SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
PLANTS SHALL CONSIST FROM THE FOLLOWING:		
	ROSMARINUS O. 'PROSTRATUS', PROSTRATE ROSEMARY 1 GAL. SIZE @ 24" O.C.	L
	LANTANA X 'NEW GOLD', NEW GOLD LANTANA (DWARF) 1 GAL. SIZE @ 36" O.C.	L
	SENECIO MANDRALISCAE, BLUE CHALK STICKS 1 GAL. SIZE @ 24" O.C.	L
	DIANELLA REVOLUTA 'VARIEGATED', VARIEGATED FLAX LILY 1 GAL. SIZE @ 24" O.C.	L
	SALVIA GREGGII, AUTUMN SAGE 1 GAL. SIZE @ 24" O.C.	L
	HESPERALOE PARVIFLORA, RED YUCCA 1 GAL. SIZE @ 24" O.C.	L

