

LINCOLN AVE CONDOS
4164-4170 LINCOLN AVE



PROPOSED BUILDING INFORMATION

YARDS	
FRONT YARD SETBACK	REQUIRED: 15'-0" PROVIDED: 24'-9 1/2" *
SIDE YARD SETBACK - NORTH	REQUIRED: 4'-0" PROVIDED: 5'-6"
SIDE YARD SETBACK - SOUTH	REQUIRED: 4'-0" PROVIDED: 4'-5"
REAR YARD SETBACK	REQUIRED: 10'-0" PROVIDED: 14'-8 1/2" *
LOT COVERAGE	
SITE COVERAGE - BUILDING	3,230 SQ.FT (49%)
SITE COVERAGE - PAVING	1,226 SQ.FT (18%)
SITE COVERAGE - LANDSCAPE	2,243 SQ.FT (33%)
PARKING	
REQUIRED	2 SPACES per DWELLING (1/2 COVERED)
PROVIDED	ENCLOSED 2 CAR GARAGE
REQUESTED (BICYCLE)	2 SHORT TERM & 2 LONG TERM
PROVIDED (BICYCLE)	2 SHORT TERM & 2 LONG TERM

2010 GATEWAY DESIGN GUIDELINES - BLOCK E

LOT COVERAGE	
LOT COVERAGE	PREVAILING: 41-60% PROVIDED: 49%
USE	PREVAILING: 2 UNITS PROVIDED: 2 UNITS
FRONT YARD SETBACK	PREVAILING: 25'-0" PROVIDED: 24'-9 1/2" *
HEIGHT	PREVAILING: 1 STORY, 18'-0" PROVIDED: 2 STORY, 30'-0" *

LEGAL DESCRIPTION

ADDRESS: 4164 LINCOLN AVE	
APN	4207-017-032
LOT	LOT 31
LOT SIZE *(PER LA CO. ASSESSOR'S REC.)	6,750 SQ.FT
TRACT	1775
BLOCK	18
ARB	NONE

ZONING INFORMATION § 17.210.020

ZONE	R2
USE	
EXISTING	SFR & DUPLEX
PROPOSED	DUPLEX - CONDO
MAX FLOOR AREA	
1,500 SQFT + 40% NET LOT AREA	1,500 + 4(6,750) = 4,200.0 SQFT
PROPOSED FLOOR AREA	
- INCLUDES AREA CONFINED FROM EXTERIOR WALL TO EXTERIOR WALL	
- DOES NOT INCLUDE UNUSABLE AREA UNDER STAIR	
FLOOR AREA - UNIT A - FIRST FLOOR	762.7 SQ.FT
FLOOR AREA - UNIT A - SECOND FLOOR	1,323.6 SQ.FT
UNIT A - TOTAL	2,086.3 SQ.FT
FLOOR AREA - UNIT B - FIRST FLOOR	796 SQ.FT
FLOOR AREA - UNIT B - SECOND FLOOR	1,314.6 SQ.FT
UNIT B - TOTAL	2,110.6 SQ.FT
TOTAL FLOOR AREA	4,196.9 SQ.FT
HEIGHT	
ALLOWABLE	2 STORIES / 30'-0"
OCCUPANCY	
RESIDENTIAL	R-3
GARAGE	U
CONSTRUCTION TYPE	
DWELLING CONSTRUCTION TYPE	TYPE V - B

SCOPE OF WORK

- Demolish (E) SFR & Garage
- (N) 4,196.9 SF Duplex
- (N) Shared Driveway with 4170 Lincoln
- (N) Landscaping

PROPOSED BUILDING INFORMATION

YARDS	
FRONT YARD SETBACK	REQUIRED: 15'-0" PROVIDED: 24'-9 1/2" *
SIDE YARD SETBACK - NORTH	REQUIRED: 4'-0" PROVIDED: 4'-5"
SIDE YARD SETBACK - SOUTH	REQUIRED: 4'-0" PROVIDED: 6'-6"
REAR YARD SETBACK	REQUIRED: 10'-0" PROVIDED: 10'-8"
LOT COVERAGE	
SITE COVERAGE - BUILDING	3,464 SQ.FT (51%)
SITE COVERAGE - PAVING	1,229 SQ.FT (18%)
SITE COVERAGE - LANDSCAPE	2,055 SQ.FT (31%)
PARKING	
REQUIRED (CAR)	2 SPACES per DWELLING (1/2 COVERED)
PROVIDED (CAR)	ENCLOSED 2 CAR GARAGE
REQUESTED (BICYCLE)	2 SHORT TERM & 2 LONG TERM
PROVIDED (BICYCLE)	2 SHORT TERM & 2 LONG TERM

2010 GATEWAY DESIGN GUIDELINES - BLOCK E

LOT COVERAGE	
LOT COVERAGE	PREVAILING: 41-60% PROVIDED: 49%
USE	PREVAILING: 2 UNITS PROVIDED: 3 UNITS
FRONT YARD SETBACK	PREVAILING: 25'-0" PROVIDED: 24'-9 1/2" *
HEIGHT	PREVAILING: 1 STORY, 18'-0" PROVIDED: 2 STORY, 30'-0" *

LEGAL DESCRIPTION

ADDRESS: 4170 LINCOLN AVE	
APN	4207-017-033
LOT	LOT 32
LOT SIZE *(PER LA CO. ASSESSOR'S REC.)	6,748 SQ.FT
TRACT	1775
BLOCK	18
ARB	NONE

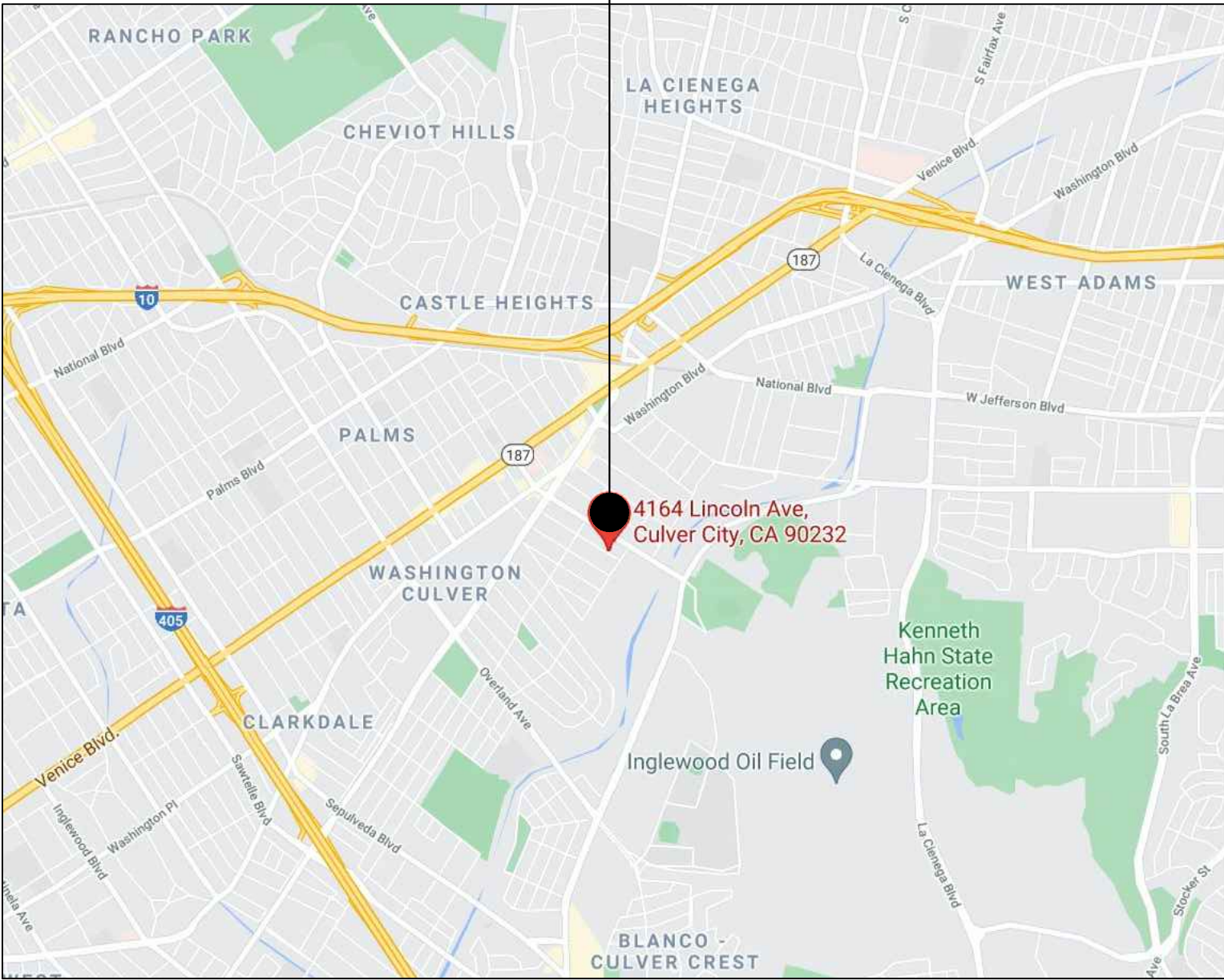
ZONING INFORMATION § 17.210.020

ZONE	R2
USE	
EXISTING	SFR & DUPLEX
PROPOSED	DUPLEX - CONDO & ADU
MAX FLOOR AREA	
1,500 SQFT + 40% NET LOT AREA	1,500 + 4(6,748) = 4,199.2 SQFT
PROPOSED FLOOR AREA	
- INCLUDES AREA CONFINED FROM EXTERIOR WALL TO EXTERIOR WALL	
- DOES NOT INCLUDE UNUSABLE AREA UNDER STAIR	
FLOOR AREA - UNIT C - FIRST FLOOR	762.7 SQ.FT
FLOOR AREA - UNIT C - SECOND FLOOR	1,323.6 SQ.FT
UNIT C - TOTAL	2,086.3 SQ.FT
FLOOR AREA - UNIT D - FIRST FLOOR	693.3 SQ.FT
FLOOR AREA - UNIT D - SECOND FLOOR	1,402.2 SQ.FT
UNIT D - TOTAL	2,095.5 SQ.FT
TOTAL FLOOR AREA	4,181.8 SQ.FT
PROPOSED ADU FLOOR AREA	
- DOES NOT COUNT TOWARDS MAX RFA	
465 SQ.FT	
HEIGHT	
ALLOWABLE	2 STORIES / 30'-0" MAX
OCCUPANCY	
RESIDENTIAL	R-3
GARAGE	U
CONSTRUCTION TYPE	
DWELLING CONSTRUCTION TYPE	TYPE V - B

SCOPE OF WORK

- Demolish (E) SFR & Garage
- (N) 4,181.8 SF Duplex and 460 SF ADU
- (N) Shared Driveway with 4164 Lincoln
- (N) Landscaping

PROJECT SITE



ARCHITECT
COLEGA Architects
4334 Sepulveda Blvd.
Culver City, CA 90230
T: 310.437.0396

OWNER
Caswell Homes, LLC
8913 Olympic Blvd. #102
Beverly Hills, CA 90211
T: 310.657.2771

SURVEY
M&G Civil Engineering & Land Surveying
347 S Robertson Blvd
Beverly Hills, CA 90211
T: 310.659.0871

CIVIL
Bolton Engineering Corp.
25834 Narbonne Avenue Suite 210
Lomita, California 90717
T: 310.325.5580

LANDSCAPE
Savage Land Design
680 Langsdorf Drive Suite 202B
Fullerton, CA 92831
T: 714.878.0335

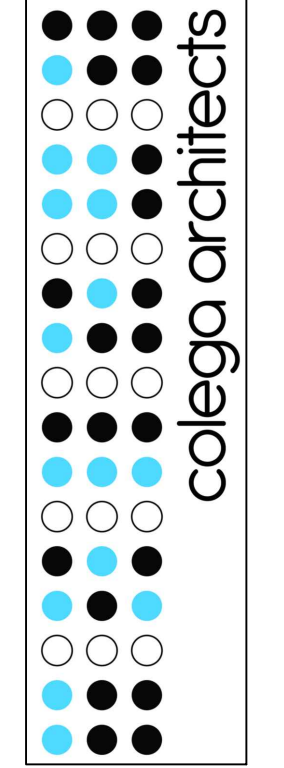
AS-BUILT
Base Built
2629 Manhattan Ave. PMB 219
Hermosa Beach, CA 90254
T: 424.212.9555

PROJECT INFORMATION - 4164
NO SCALE

PLANNING SET:

T - 1.10	TITLE SHEET
A - 0.01	SURVEY
A - 0.02	DEMOLITION SURVEY & PHOTO KEY PLAN
A - 0.03	EXISTING PHOTOS
C - 1	TENTATIVE MAP
C - 2	PRELIM SITE GRADING PLAN
LP - 1	PLANTING LAYOUT PLAN
LP - 2	COLORLED PLANTING LAYOUT PLAN
LP - 3	PLANTING PALETTE
LP - 4	PLANTING DETAILS
A - 0.10	PROPOSED SITE PLAN
A - 1.10	PROPOSED FIRST FLOOR PLAN - 4164
A - 1.20	PROPOSED SECOND FLOOR PLAN - 4164
A - 1.30	ROOF PLAN - 4164
A - 1.11	PROPOSED FIRST FLOOR PLAN - 4170
A - 1.21	PROPOSED SECOND FLOOR PLAN - 4170
A - 1.31	ROOF PLAN - 4170
A - 2.10	PROPOSED ELEVATIONS - 4164
A - 2.20	PROPOSED ELEVATIONS - 4170
A - 2.30	PROPOSED ELEVATIONS WITH NEIGHBORING BUILDINGS AND DOWNSPOUT RENDERINGS
A - 6.20	FINISH SCHEDULES, LIGHTING SPECIFICATIONS AND MATERIAL BOARD
R - 1.20	INTERIOR RENDERINGS
R - 1.30	SIDE YARD SETBACK DIAGRAMS
R - 1.40	CURRENT RENDERINGS

SHEET INDEX
N.T.S.



4334 SEPULVEDA BLVD.
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LINCOLN AVE CONDOS
4164 - 4170 LINCOLN AVE
CULVER CITY, CA 90232

TITLE: TITLE SHEET

- March 11, 2022
Planning Resubmittal
- February 22, 2022
Planning Response
- January 14, 2022
PRC Responses
- January 11, 2022
Planning Responses
- September 22, 2021
Planning Submittal



PROJECT - 21.06

T-1.10



LINCOLN AVE CONDOS
4164 - 4170 LINCOLN AVE
CULVER CITY, CA 90232

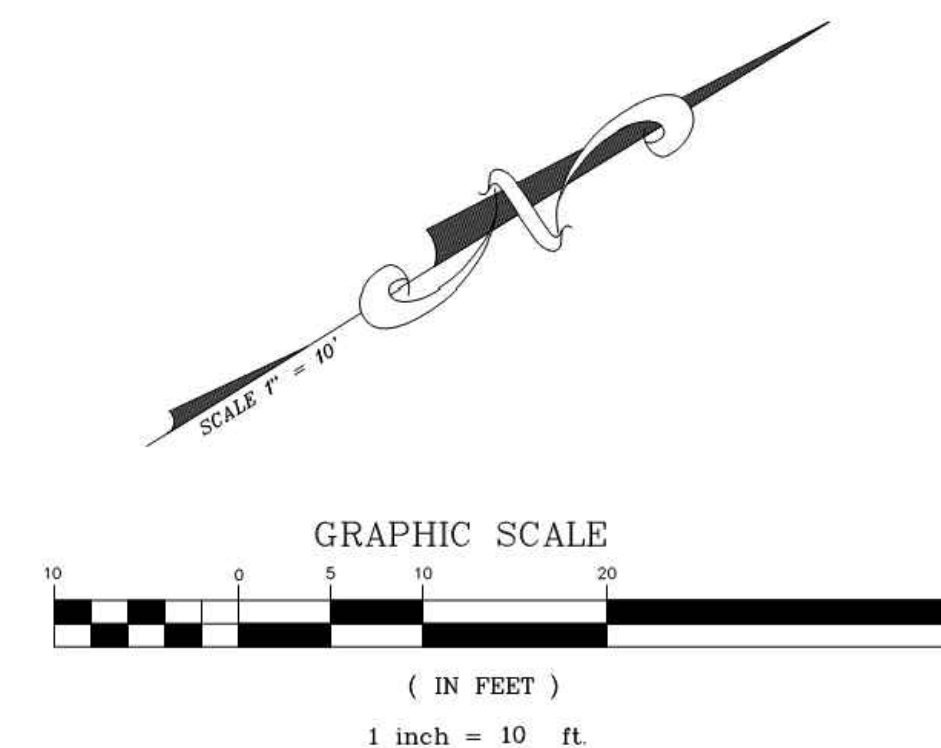
TITLE: SURVEY











4	March 11, 2022	Planning Resubmittal
3	February 22, 2022	Planning Response
2	January 14, 2022	PRC Responses
1	January 11, 2022	Planning Responses

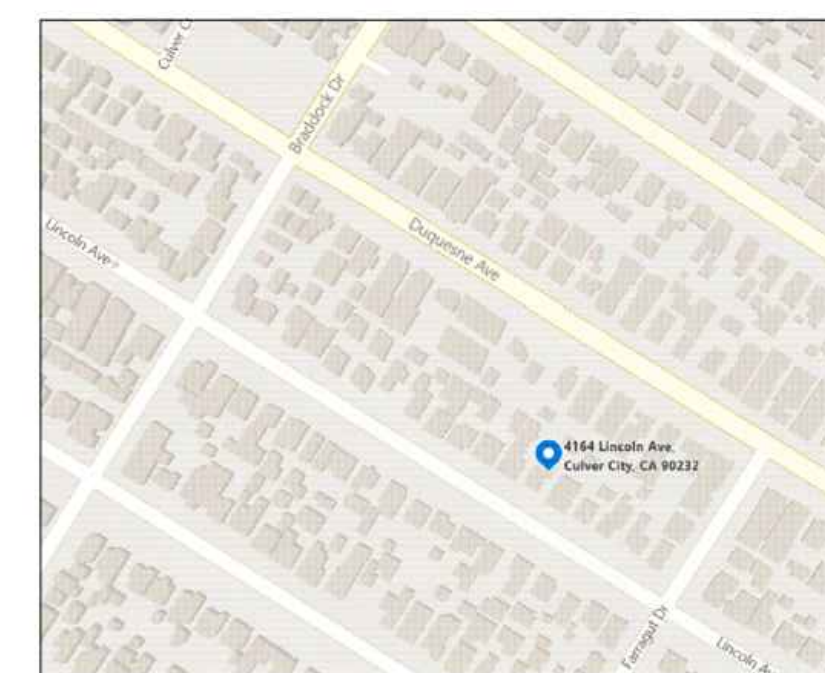


PROJECT - 21.06

A 0.01



	GAS METER		STREET LIGHT
	GAS VALVE		STREET LIGHT
	POWER POLE		TREE
	SEWER CL OUT		WATER HEATER
	SEWER MANHOLE		WATER METER



VICINITY MAP
NOT TO SCALE

TITLE:		TOPOGRAPHIC SURVEY 4164 & 4170 LINCOLN AVE., CULVER, CA 90232	
CLIENT:		MR DAN HIZON	JOB NO.: 21-1772
SCALE:	1" = 10'		DATE: 05/06/21
DESIGNED BY:	F.G. / A.A.		REVISION (S):
DRAWN BY:	A.A.		

SURVEY N.T.S.	1
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9



6



3



8



5



2



10



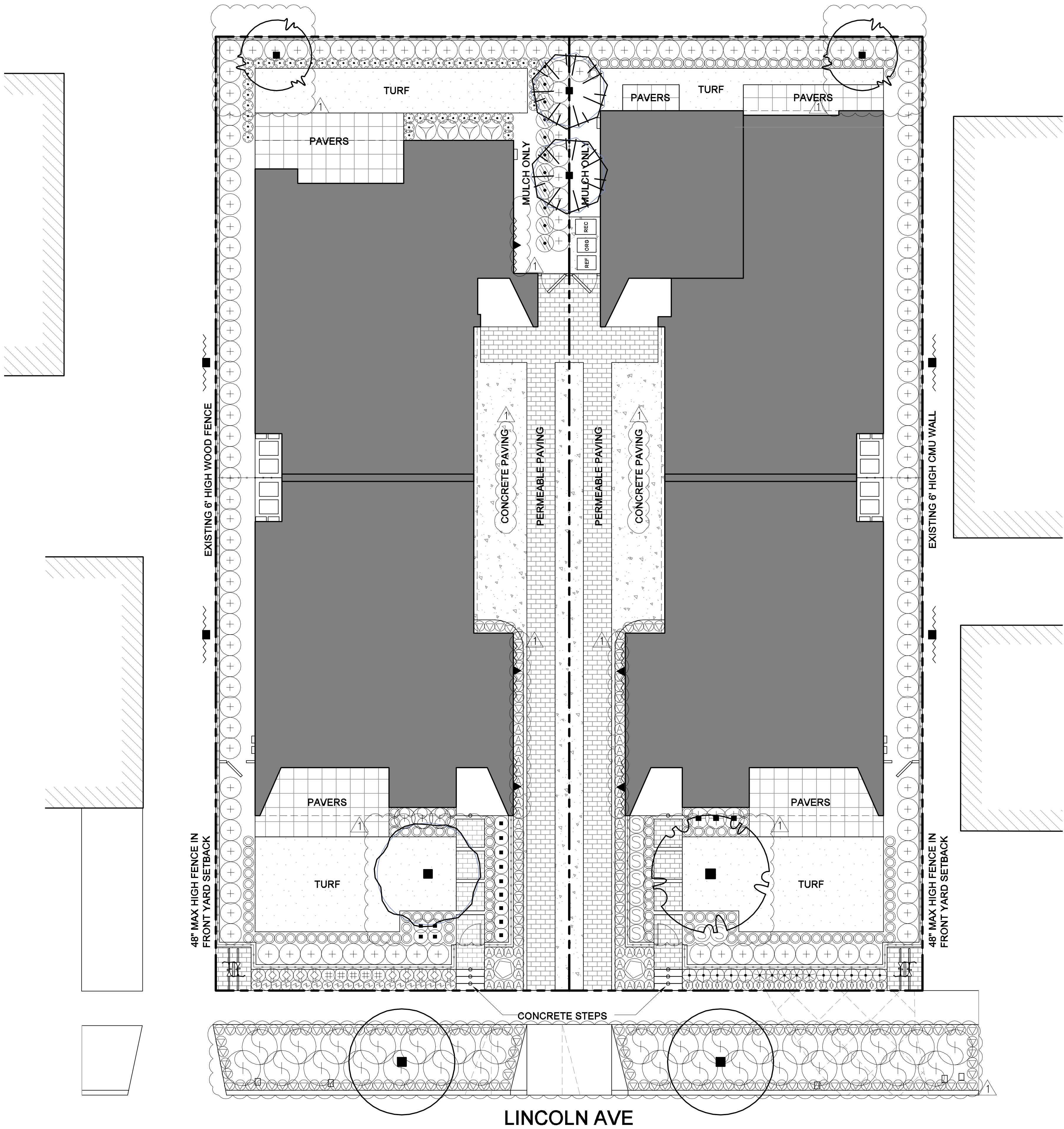
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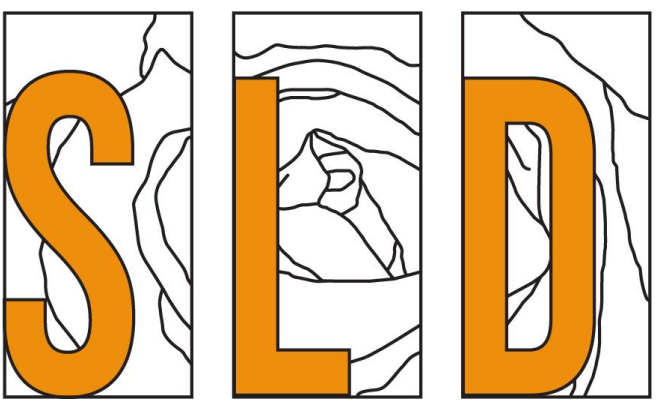
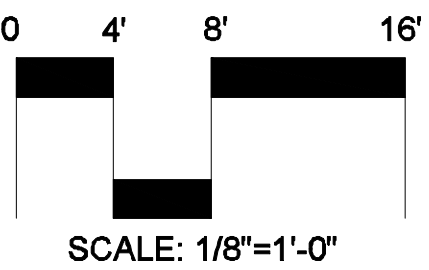
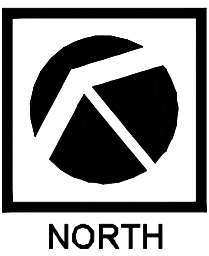


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GROUND LEVEL PLANTING LEGEND								
SYMBOL	DESCRIPTION		SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (HxW)	TIME TO MATURITY	HYDROZON
SHRUBS								
	LAURUS NOBILIS (COLUMN)	SWEET BAY	5 GAL @ 3' O.C.	142	L	12-15' X 12-15'	2-3 YRS	A
	DIANELLA CAERULEA 'CASSA BLUE'	CASSA BLUE DIANELLA	1 GAL. AT 18" O.C.	141	L	18-24" X 18-24"	1-3 YRS	A
	SALVIA GREGGII	AUTUMN SAGE	1 GAL. AT 30" O.C.	9	L	1-2' X 2-3'	1-3 YRS	A
	CISTUS 'LIL MISS SUNSHINE'	LITTLE MISS SUNSHINE CISTUS	5 GAL @ 24" O.C.	13	L	18-24" X 12-18"	2-3 YRS	A
	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GAL AT 18" O.C.	44	L	1-2' X 1-2'	1-3 YRS	A
	PHORMIUM 'YELLOW WAVE'	YELLOW WAVE NEW ZEALAND FLAX	5 GAL @ 3' O.C.	2	L	3-4' X 3-4'	2-3 YRS	A
	DIANELLA 'LIL REV'	LIL REV FLAX LILY	5 GAL @ 18" O.C.	187	L	18-24" X 18-24"	2-3 YRS	A
	RHAMPHOLEPIS UMBELLATA	YEDDO HAWTHORN	5 GAL @ 3' O.C.	34	L	4-6' X 4-5'	3-5 YRS	A
	WESTRINGIA FRUTICOSA 'SMOKEY'	COAST ROSEMARY	5 GAL @ 3' O.C.	8	L	4-6' X 4-5'	2-4 YRS	A
	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	1 GAL @ 30" O.C.	11	L	2-3' X 2-3'	2-4 YRS	A
	ANIGOZANTHOS 'KANGA YELLOW'	DWARF YELLOW KANGAROO PAW	1 GAL @ 18" O.C.	53	L	1-2' X 1-2'	1-3 YRS	A
	RHAMPHOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL @ 3' O.C.	4	L	4-6' X 2-4'	2-4 YRS	A
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL @ 2' O.C.	10	L	1-2' X 2-3'	2-4 YRS	A
	ALOE STRIATA	CORAL ALOE	5 GAL @ 2' O.C.	5	L	18" X 1-2'	1-3 YRS	A
	GRAPTOPETALUM PARAGUAYENSE	GHOST PLANT	4" POTS @ 18" O.C.	20	L	1-2' X 2-3'	1-3 YRS	A
	AGAVE DESMETTIANA VARIEGATA	VARIEGATED SMOOTH AGAVE	5 GAL @ 2' O.C.	10	L	2-3' X 3-4'	1-3 YRS	A
	AGAVE GEMINIFLORA	TWIN-FLOWERED AGAVE	5 GAL @ 2' O.C.	5	L	2-3' X 3-4'	1-3 YRS	A
	CRASSULA CAPITELLA 'CAMPFIRE'	CAMPFIRE CRASSULA	5 GAL @ 18" O.C.	20	L	6-12" X 2-3'	1-3 YRS	A
	BACCHARIS PILULARIS 'TWIN PEAKS #2'	COYOTE BUSH	5 GAL. AT 5' O.C.	34	L	1-2' x 6-10'	1-3 YRS	A
TREES								
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	2	M	30' X 10'	10-15 YRS	C
	MELALEUCA QUINQUENERVIA	PAPAER BARK TREE	36" BOX	1	L	20-40' X 15-25'	10-15 YRS	B
	X CHITALPA TASHKENTENSIS	CHITALPA	24" BOX	1	L	20-25' X 20-25'	10-15 YRS	B
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	2	L	10-15' X 10-15'	5-10 YRS	B
	EXISTING TREES TO REMAIN			2				
VINES								
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL @ 8' O.C.	4	M	2' x 10'	2-4 YRS	D
	FICUS REPENS (TRAIN TO BUILDING)	CREEPING FIG	15 GAL @ 8' O.C.	5	M	1-7' X 2-3'	2-4 YRS	D

ALL EXISTING DRIVEWAY APPROACHES WHICH WILL NO LONGER BE NECESSARY DUE TO THIS PROJECT SHALL BE REMOVED AND REPLACED WITH FULL HEIGHT SIDEWALK, PARKWAY, AND CURB AND GUTTER.



SAVAGE LAND DESIGN
Landscape Architecture • Land Planning • Design

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EMAIL: savagelanddesign@att.net

LINCOLN AVE CONDOS
4164 - 4170 LINCOLN AVE
CULVER CITY, CA 90232

	Revision 1	01/04/22
No.	Revision / Issue	Date



PLANTING
LAYOUT PLAN

Date	03-09-22	LP-1
Scale	1/8"=1'-0"	
Sheet	1 of 4	



SWEET BAY



CASSA BLUE DIANELLA



AUTUMN SAGE



LIL MISS SUNSHINE CISTUS



BLUE ELF ALOE



YELLOW WAVE FLAX



LIL REV FLAX LILY



YEDDO HAWTHORN



COAST ROSEMARY



FIREPOWER HEAVENLY BAMBOO



DWARF YELLOW KANGAROO PAW



DWARF YEDDO HAWTHORN



AGAVE 'BLUE GLOW'



CORAL ALOE



GHOST PLANT



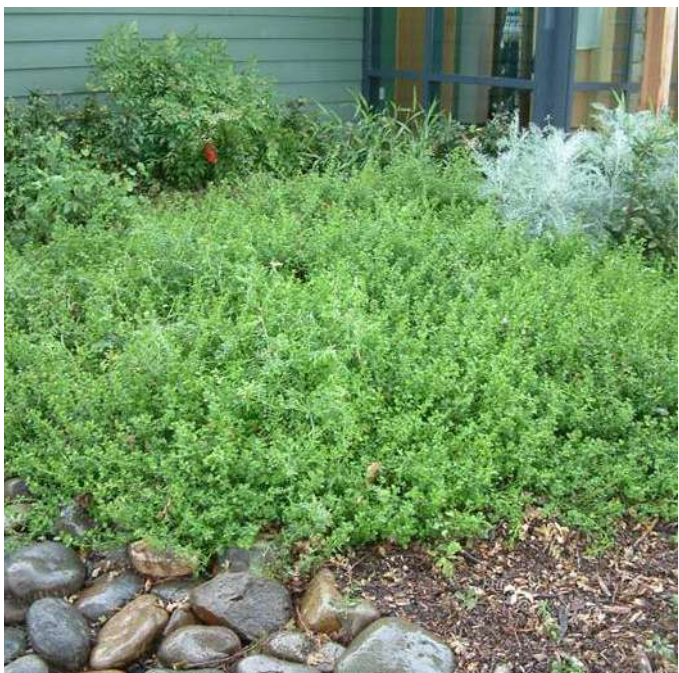
VARIEGATED SMOOTH AGAVE



TWIN-FLOWERED AGAVE



CAMPFIRE CRASSULA



COYOTE BUSH



STAR JASMINE



BRISBANE BOX



PAPER BARK TREE



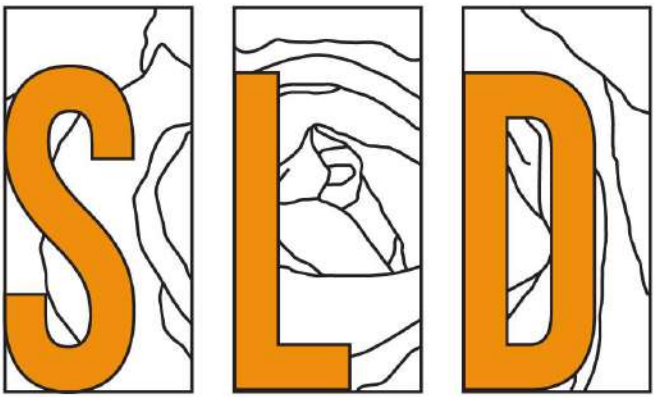
CHITALPA



WESTERN REDBUD



CREEPING FIG



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	Revision 1	01/04/22
No.	Revision / Issue	Date

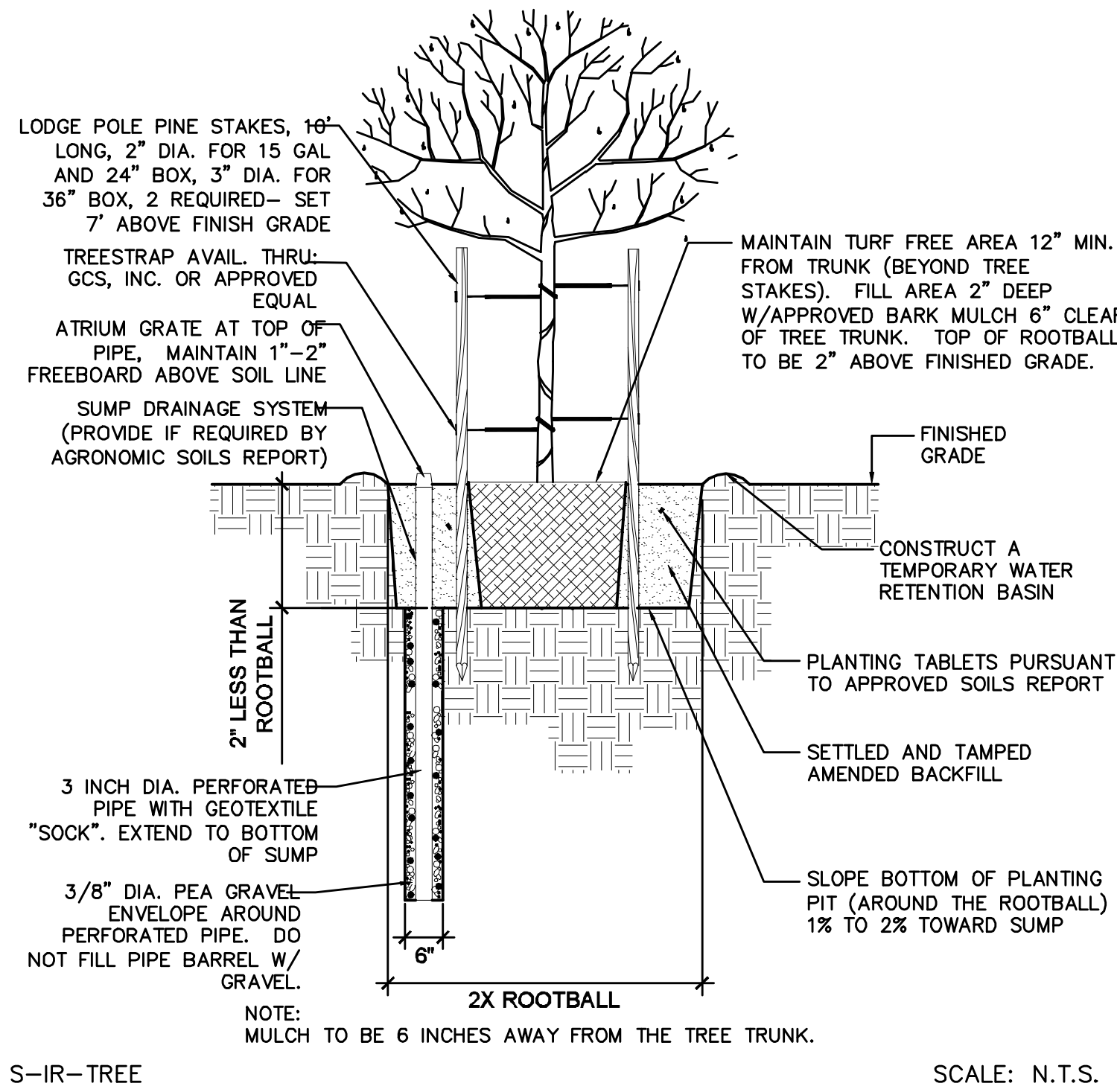


PLANTING
PALETTE

Date	03-09-22	Sheet
Scale	----	LP-3
Sheet	3 of 4	

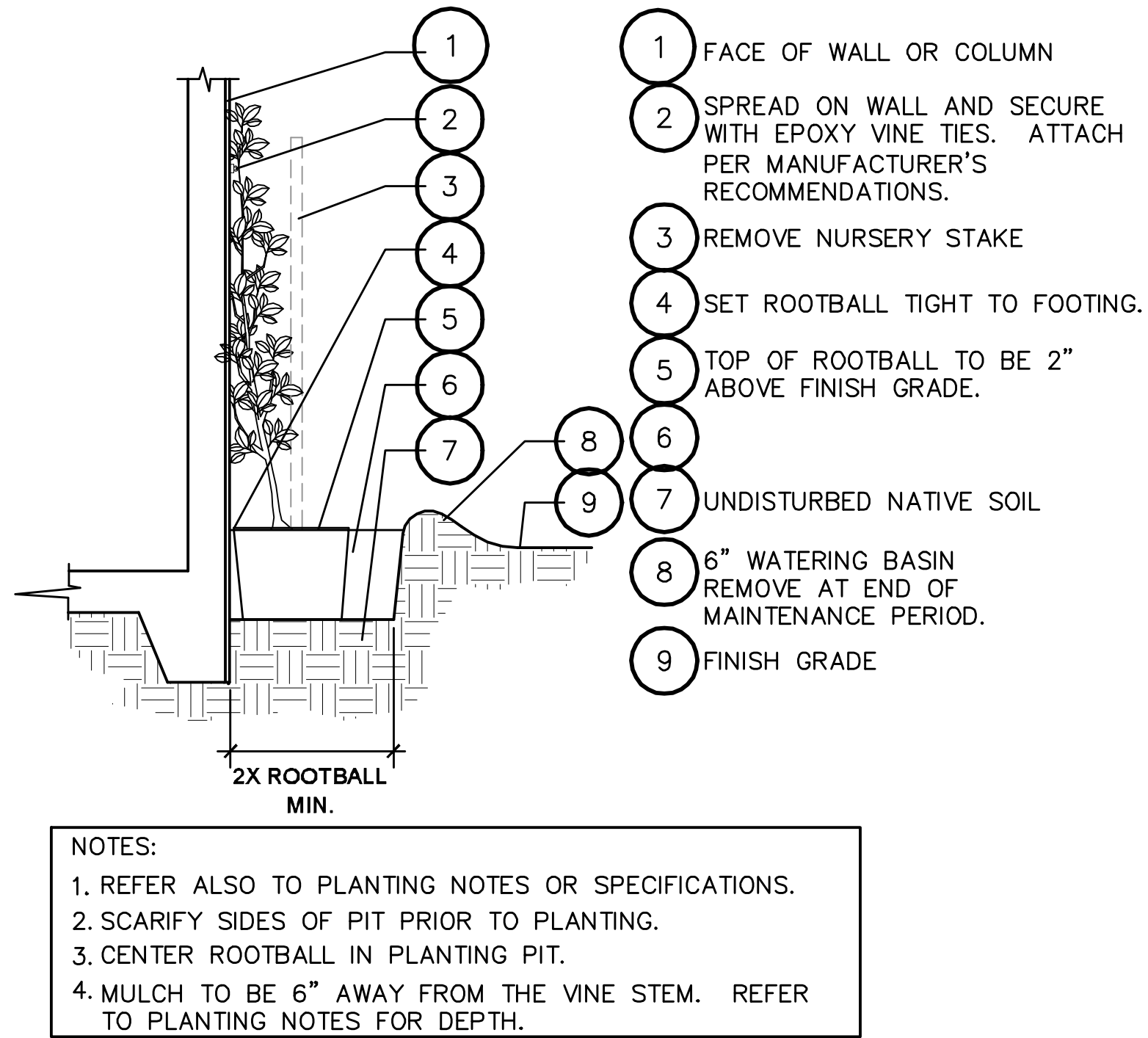
1. THE CONTRACTOR SHALL PROVIDE A WEED ABATEMENT PROGRAM TO ALL LANDSCAPE PLANTING AREAS PRIOR TO PLANTING, PER THE LANDSCAPE SPECIFICATIONS.
2. THE CONTRACTOR SHALL PROVIDE THE OWNER'S AUTHORIZED REPRESENTATIVE WITH PHOTOGRAPHS OF ALL PLANT MATERIALS NOT PROVIDED BY THE OWNER FOR APPROVAL PRIOR TO PURCHASE AND DELIVERY.
3. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
4. EXACT LOCATIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN THE FIELD.
5. ALL PLANT MATERIAL, UPON INSPECTION BY THE OWNER'S AUTHORIZED REPRESENTATIVE, SHALL BEAR LABELS VERIFYING SPECIES AND VARIETY TO MATCH THOSE ON THE PLANT LIST. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY MATERIAL DEEMED TO BE UNACCEPTABLE BOTH AT THE TIME OF DELIVERY OR AFTER DELIVERY IF THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE IS NOT ON SITE AT THE TIME OF DELIVERY.
6. ALL SHRUB AREAS SHALL BE COVERED EVENLY WITH A THREE INCH (3") MIN. LAYER OF "0-2 FOREST FLOOR" AVAILABLE THRU: AGUINAGA FERTILIZER INC. OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
7. NO SHRUB PLANTING SHALL TAKE PLACE UNTIL INSTALLATION OF THE IRRIGATION SYSTEM IS COMPLETE. FINAL GRADES HAVE BEEN ESTABLISHED, PLANTING AREAS PROPERLY GRADED/PREPARED AND THE WORK APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. TREES SHALL BE SET PRIOR TO IRRIGATION SYSTEM INSTALLATION. CONTRACTOR IS RESPONSIBLE TO VERIFY APPROPRIATE FINAL GRADES PRIOR TO SETTING TREES.
8. TOP OF ROOTBALL FOR TREES AND SHRUBS SHALL BE A MIN. 2" ABOVE THE FINISH GRADE AT THE ORIGINAL PLACE OF GROWTH. REFER TO PLANTING SPECIFICATIONS.
9. THE CONTRACTOR SHALL PROVIDE MATCHING FORMS AND SIZES FOR ALL PLANT MATERIALS WITHIN EACH TYPE AND SIZE DESIGNATED ON THE DRAWINGS.
10. THE CONTRACTOR SHALL PROVIDE A 90 DAY MAINTENANCE PERIOD AFTER COMPLETION AND OWNER ACCEPTANCE OF PLANTING AND IRRIGATION WORK.
11. THE CONTRACTOR SHALL NOT BEGIN SAID MAINTENANCE PERIOD WITHOUT RECEIVING WRITTEN CONSENT FROM THE OWNER AND/OR HIS AUTHORIZED REPRESENTATIVE.
12. ALL WATERING BASINS SHALL BE REMOVED AT THE END OF THE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
13. QUANTITIES LISTED ON THE CONSTRUCTION DRAWINGS OR THE PLANTING LEGEND ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE QUANTITIES LISTED ON THE PLANS.
14. WHERE POSSIBLE TREES SHALL BE KEPT A MINIMUM OF 5'-0" FROM WALLS, FENCES, SIDEWALKS, CONCRETE CURBS AND ANY HARDSCAPE IN GENERAL. IF NOT POSSIBLE CONTACT THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE FOR EXACT PLACEMENT.
15. FINISH GRADE IN SHRUB AREAS SHALL BE 2" BELOW PAVED SURFACES, 3" WHERE BARK MULCH IS TO BE USED, AND LAWN AREAS SHALL BE 1" BELOW PAVED SURFACES. ALL PLANTING AREAS SHALL DRAIN AT 2% MINIMUM UNLESS OTHERWISE NOTED ON THE GRADING PLANS.
16. INSTALL LINEAR ROOT BARRIERS FOR ALL TREES WITHIN 5' OF ANY CONCRETE FLAT WORK, CURB, GUTTER, UTILITY, STRUCTURES, ETC. ROOT BARRIER SHALL BE AS SPECIFIED WITHIN THE PROJECT SPECIFICATIONS AND INSTALLED PER DETAIL THIS SHEET.
17. CONTRACTOR SHALL ADHERE TO ANY SPECIAL WORKING CONDITIONS, IE. NOISE, TIME OF WORK, LIMIT OF WORK, ETC. SET FORTH BY THE COUNTY OF ORANGE, AND/OR OTHER GOVERNING AGENCIES, AND TO COORDINATE WITH THE GENERAL CONTRACTOR FOR ADDITIONAL INFORMATION/REQUIREMENTS.
18. AGRONOMIC SOIL ANALYSIS WILL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. SOIL TEST SHALL INCLUDE A PERCOLATION TEST AND DRAINAGE RECOMMENDATIONS.
19. SOIL PREPARATION AND BACKFILL FOR PLANTING PITS SHALL BE AS RECOMMENDED BY THE AGRONOMIC SOILS REPORT. CONTRACTOR SHALL INCLUDE COST FOR BACKFILL AND SOIL PREPARATION IN HIS BID.
20. SOIL AMENDMENTS SHALL BE APPLIED PER AGRONOMIC SOIL REPORT SPECIFICATIONS.
21. ON-GRADE TREES 24" BOX SIZE OR LARGER SHALL RECEIVE AN AUGURED SUMP AS DESCRIBED IN THE TREE PLANTING DETAILS, OR OTHER DRAINAGE METHOD AS RECOMMENDED BY THE AGRONOMIC SOILS REPORT.
22. APPLY PRE-EMERGENT HERBICIDE ("EPTAM" OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS TO SHRUB AREAS ONLY. APPLY 1"-2" WATER FOLLOWING APPLICATION. CONTACT HERBICIDE ("RAD-E-CATE 35" OR EQUAL) SHALL BE APPLIED TO LAWN AREAS ONLY FOLLOWING A 14 DAY MOISTENING PERIOD TO ENCOURAGE WEED GERMINATION. REMOVE ALL WEEDS AND RESIDUE FROM SITE.
23. ALL ROOTBALLS SHALL BE THOROUGHLY WATERED PRIOR TO INSTALLATION.
24. ALL PLANTING SHALL CONFORM WITH ALL LOCAL CODES AND REGULATIONS.
25. FINAL LOCATION OF ALL TREES SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION/ PIT EXCAVATION.
26. CONTRACTOR SHALL LIST ANY DOLLAR AMOUNT FOR ADDITIONAL PLANT MATERIALS THAT ARE TO BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
27. THE CONTRACTOR SHALL INCLUDE IN HIS BID COSTS AS NECESSARY FOR PENETRATING THROUGH HARD PAN LAYER WHEN IT IS ENCOUNTERED UNDER TREE AND PALM PLANTING PITS. THE PENETRATION THROUGH THE CALICHE OR HARD PAN LAYER SHALL ALLOW WATER TO DRAIN OUT OF THE PLANTING PIT. SHOULD THE HARD PAN LAYER BE TOO DEEP FOR AUGERING, THE LANDSCAPE CONTRACTOR SHALL DEVISE A DRAINAGE SYSTEM APPROVED BY THE LANDSCAPE ARCHITECT THAT WILL ENSURE PROPER DRAINAGE FROM PLANTING PITS. THE LANDSCAPE CONTRACTOR WILL SUBMIT A UNIT COST FOR ANY SPECIAL DRAINAGE SYSTEM.
28. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
29. PLANT MATERIAL SIZES SPECIFIED IN THE PLANTING LEGEND SHALL MEET THE GENERAL SIZE STANDARDS OF HEIGHT, SPREAD, AND OTHER RELEVANT DATA FOR THE ACCORDING CONTAINER SIZES AS SPECIFIED BY THE PLANT SIZE SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).

GENERAL PLANTING NOTES



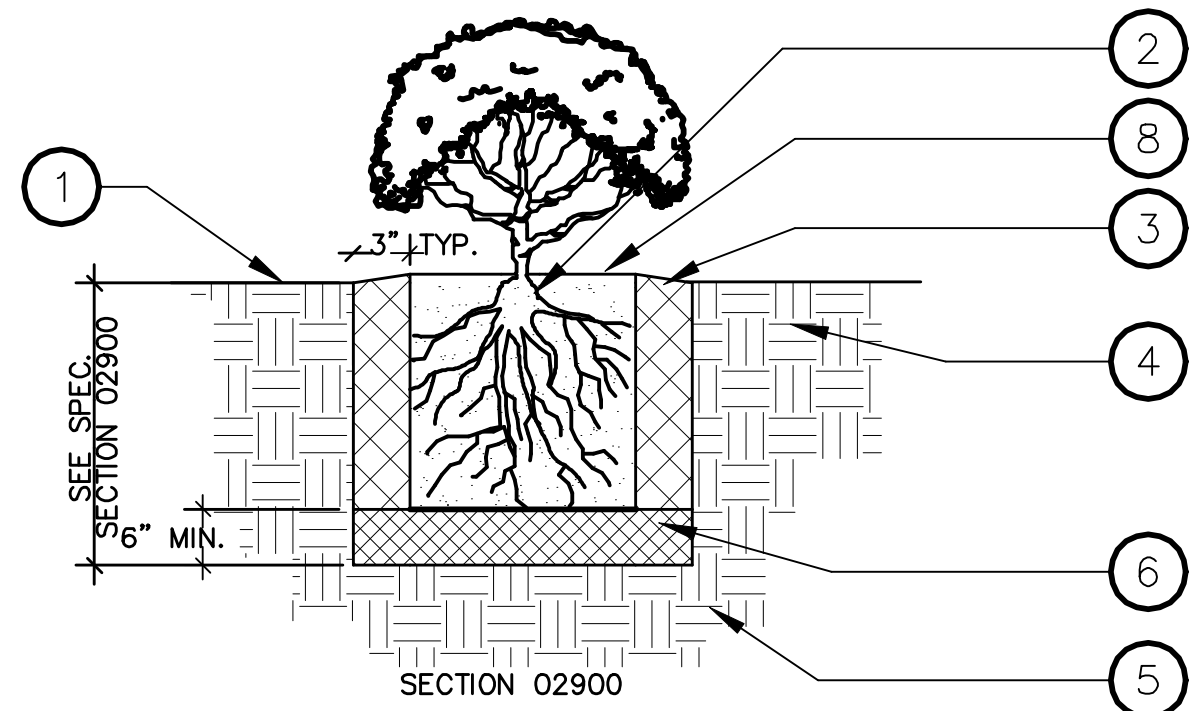
TREE STAKING

C



VINE PLANTING

A



- FINISH GRADE.
- CONTAINER PLANT ROOT BALL- CROWN SHALL BE SE 2" ABOVE FINISH GRADE.
- BACKFILL MIX PER PLANTING SPECIFICATIONS.
- COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT.
- NATIVE SOIL.
- COMPACTED BACKFILL MIX PER PLANTING SPECIFICATIONS.

ALTERNATE SOLUTION:

ONLY EXCAVATE TO NATIVE SOIL TO MINIMIZE COMPACTION AND HELP PREVENT THE ROOTBALL FROM SINKING, IT IS RECOMMENDED THAT THE ROOTBALL EITHER BE PLACED ON GRADE WITHIN THE PLANTING PIT OR THAT THE PLANTING PIT BE DUG 2" SHALLOWER THAN THE ROOTBALL. FINISH GRADE TO BE MOUNDED/CROWNED UP OVER ROOTBALL.

SHRUB PLANTING

B



LINCOLN AVE CONDOS

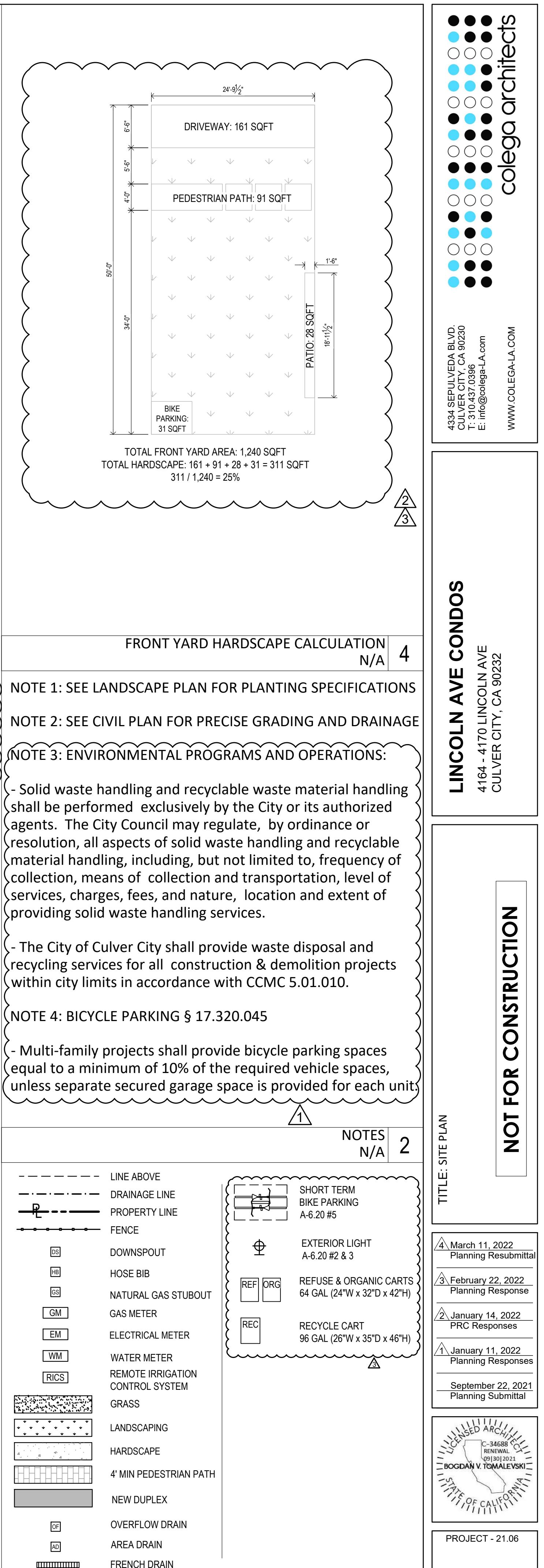
4164 - 4170 LINCOLN AVE
CULVER CITY, CA 90232

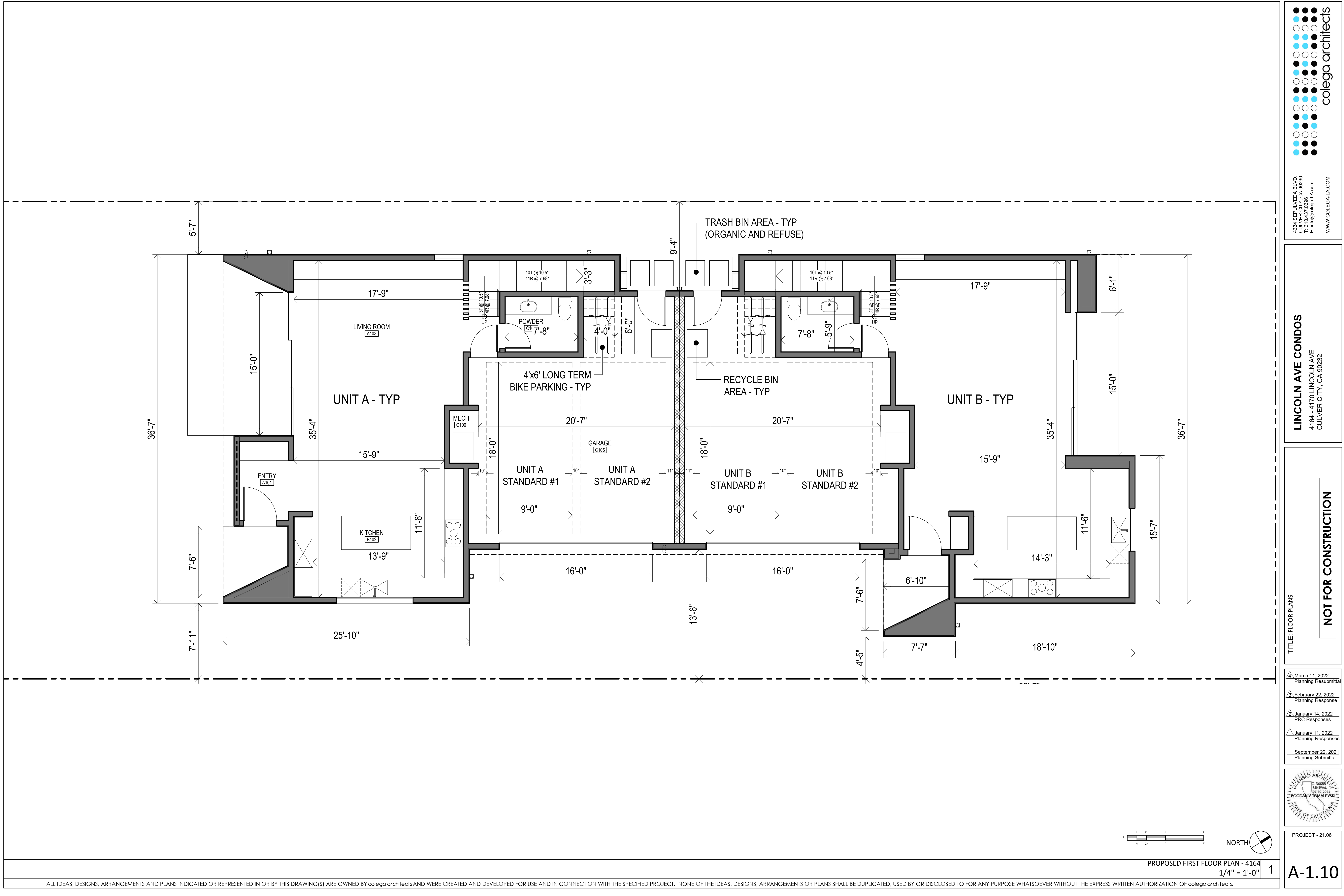
	Revision 1	01/04/22
No.	Revision / Issue	Date



PLANTING DETAILS

Date	03-09-22	Sheet	LP-4
Scale	----		
Sheet	4 of 4		





calego architects

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CULVER CITY, CA 90232

TITLE: FLOOR PLANS

NOT FOR CONSTRUCTION

4 March 11, 2022
Planning Resubmittal

3 February 22, 2022
Planning Response

2 January 14, 2022
PRC Responses

1 January 11, 2022
Planning Responses

September 22, 2021
Planning Submittal

BOGDAN V. TOMALEVSKI
C-34568
RENEWAL 09/03/2021
STATE OF CALIFORNIA

PROJECT - 21.06

PROPOSED FIRST FLOOR PLAN - 4164
1/4" = 1'-0"

1

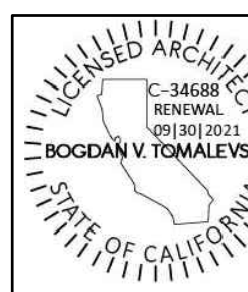
A-1.10



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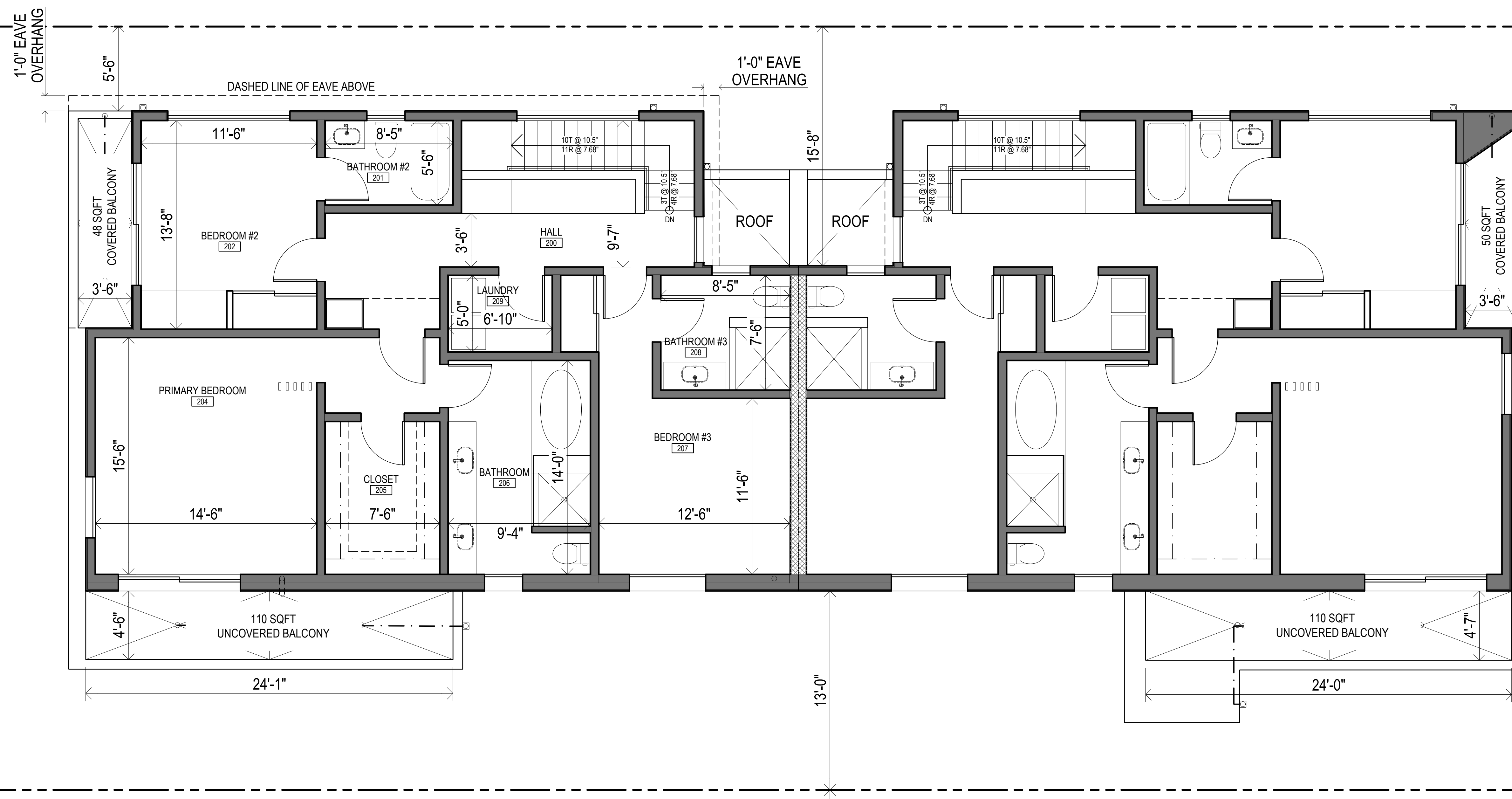
TITLE: FLOOR PLANS

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	September 22, 2021	Planning Submittal



PROJECT - 21.06

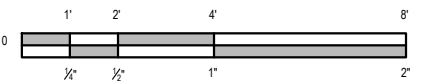
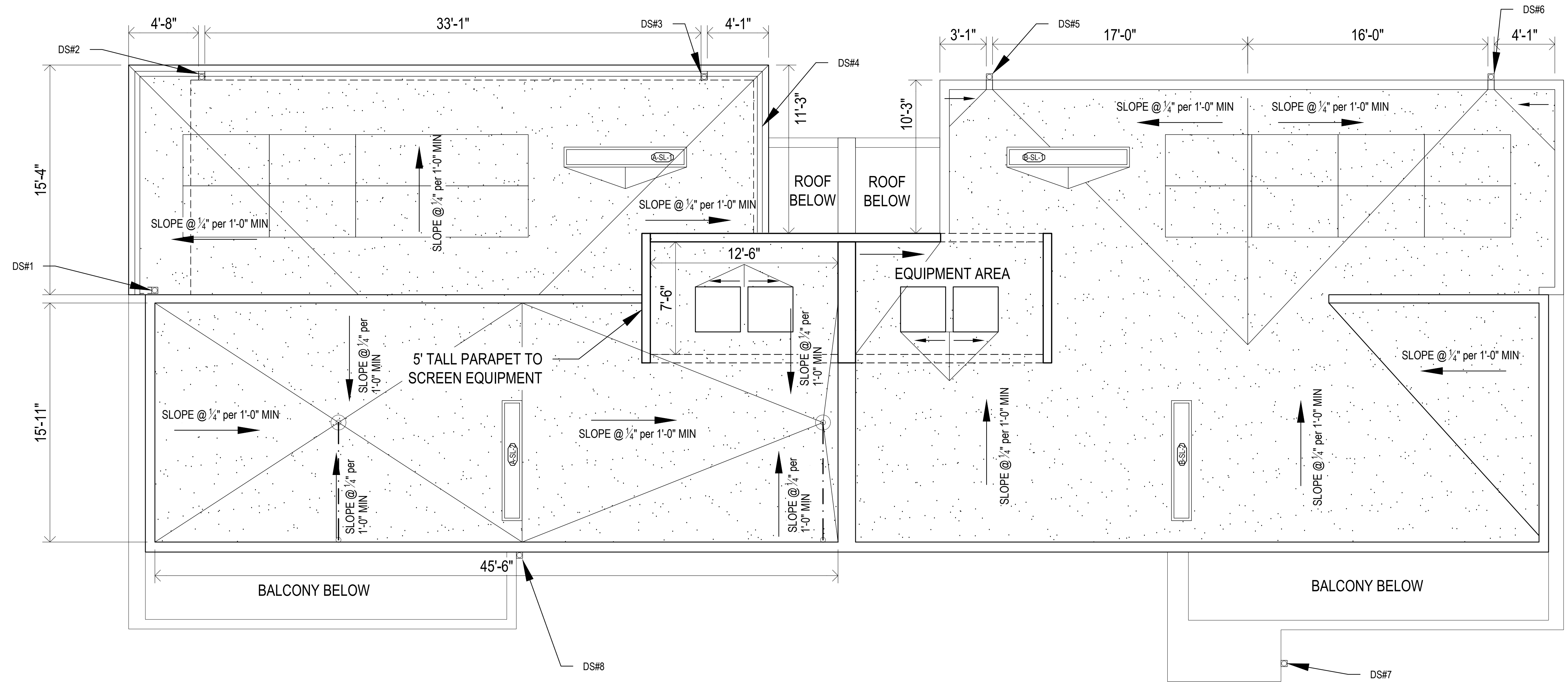
A-1.20



PROPOSED SECOND FLOOR PLAN - 4164
1/4" = 1'-0"

1

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PROPOSED ROOF PLAN
1/4" = 1'-0"

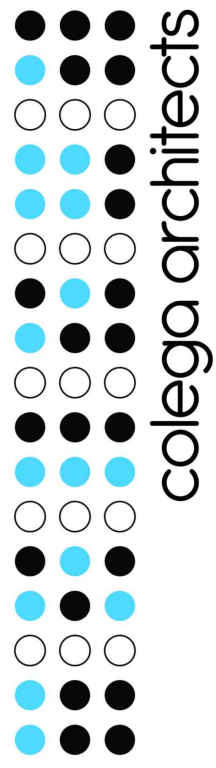
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TITLE: ROOF PLANS

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CULVER CITY, CA 90232

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PROJECT - 21.06

A-1.30



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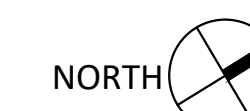
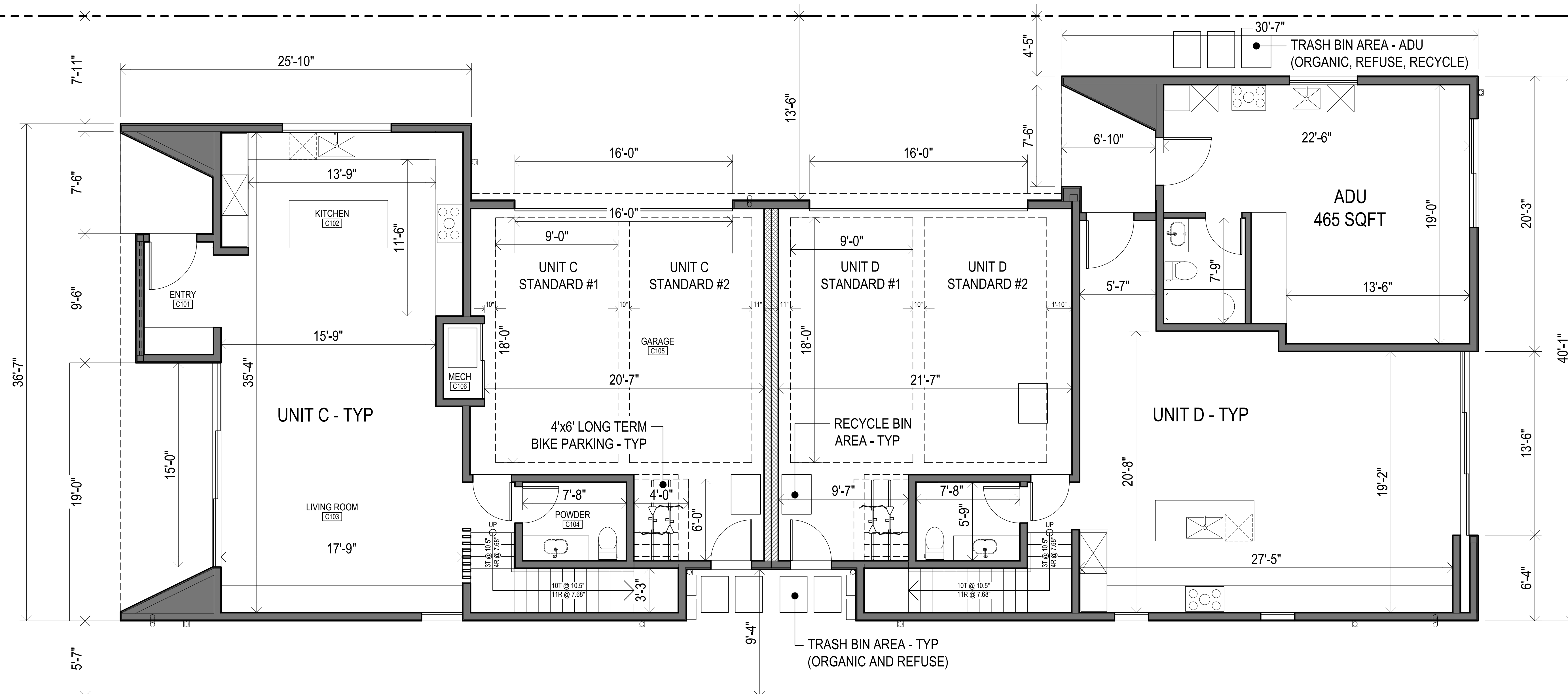
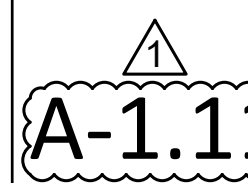
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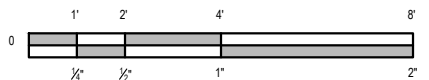
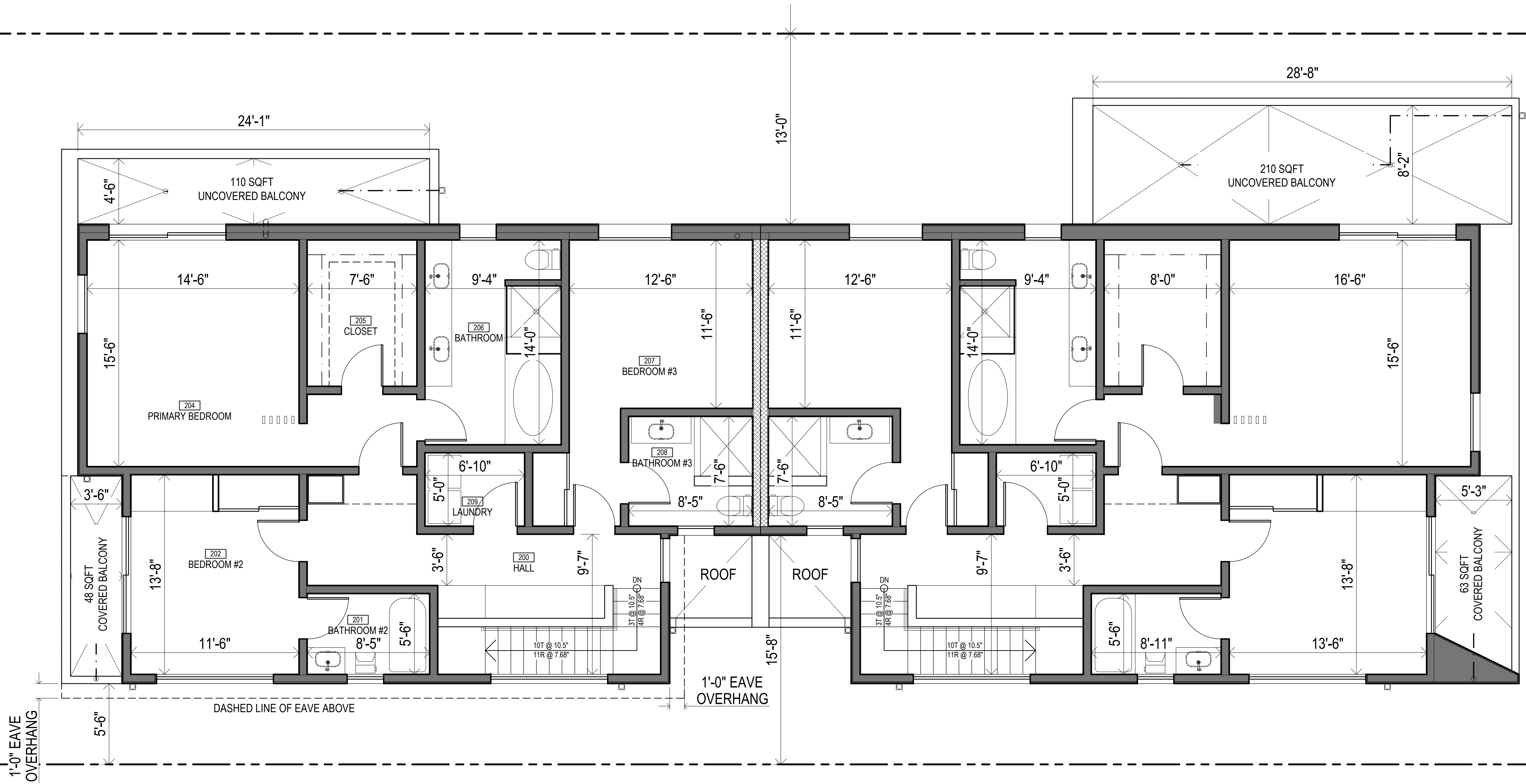
PROJECT - 21.06



PROPOSED FIRST FLOOR PLAN - 4170
1/4" = 1'-0"

1001

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PROPOSED SECOND FLOOR PLAN - 4170
1/4" = 1'-0"

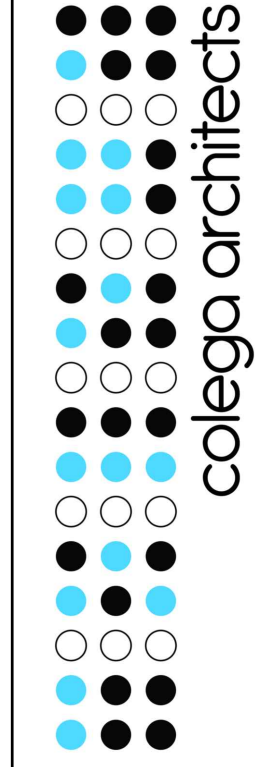
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TITLE: FLOOR PLANS

NOT FOR CONSTRUCTION

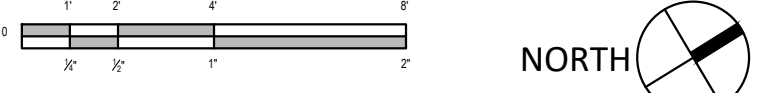
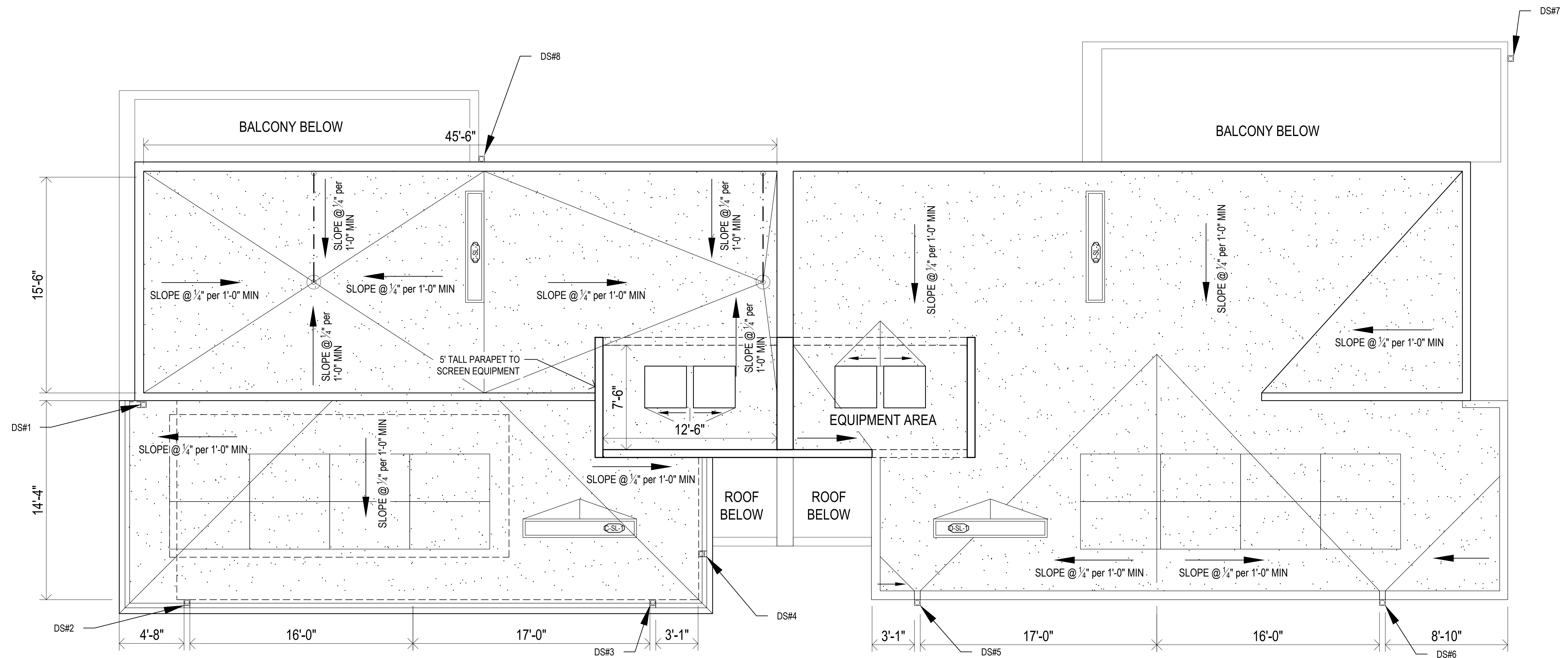
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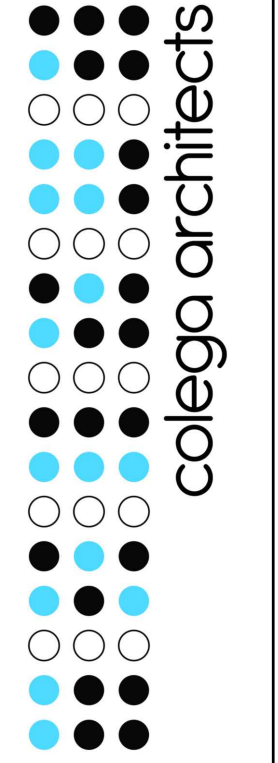
PROJECT - 21.06

A-1.21



PROPOSED ROOF PLAN
1/4" = 1'-0"

1



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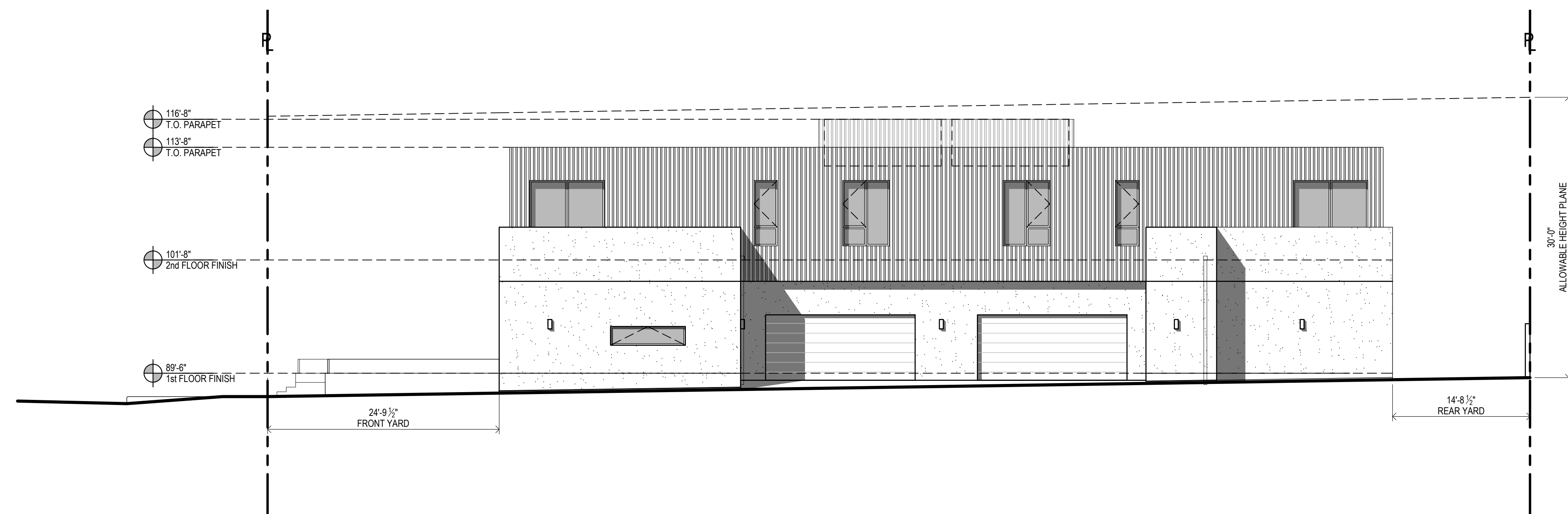
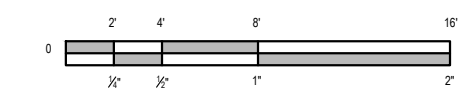
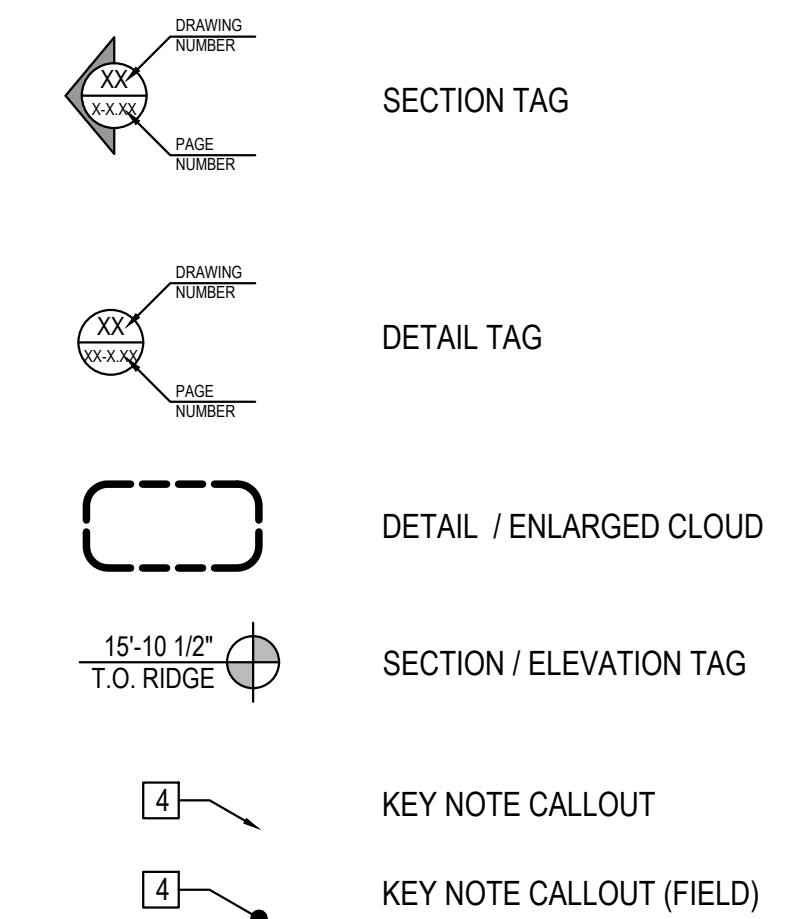
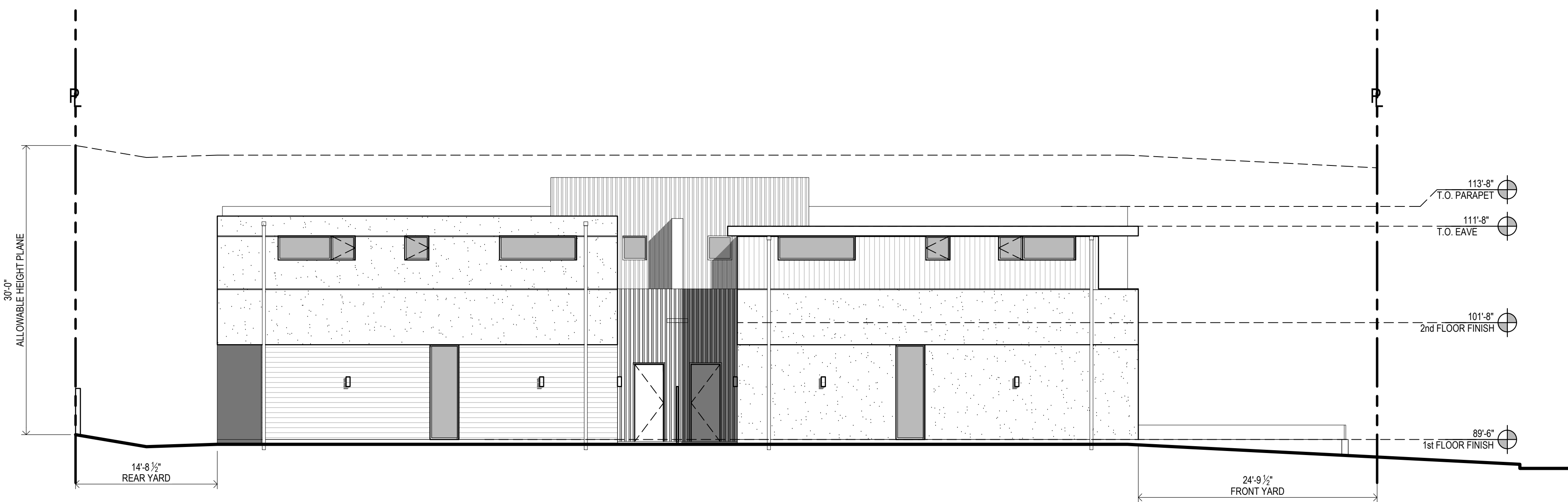
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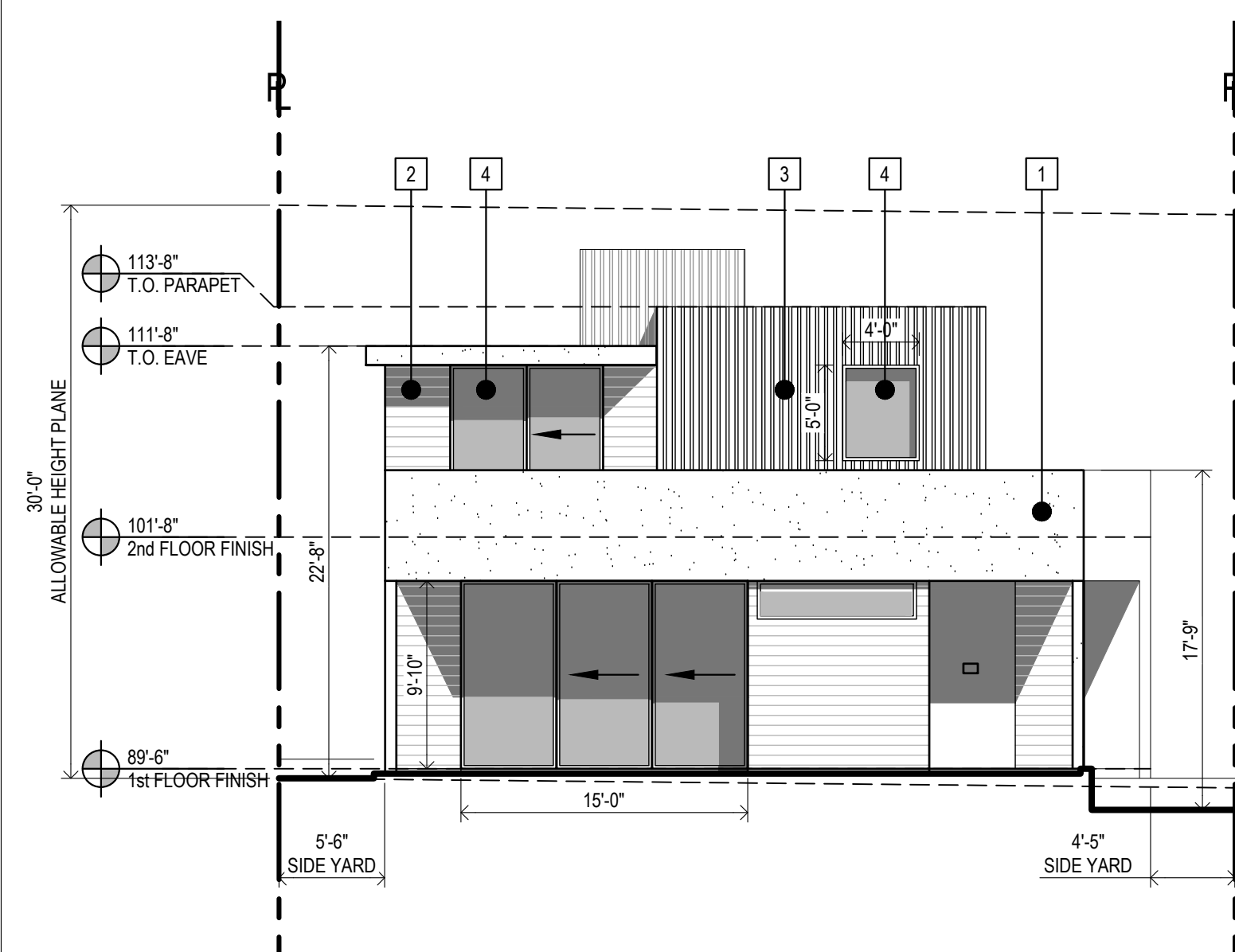
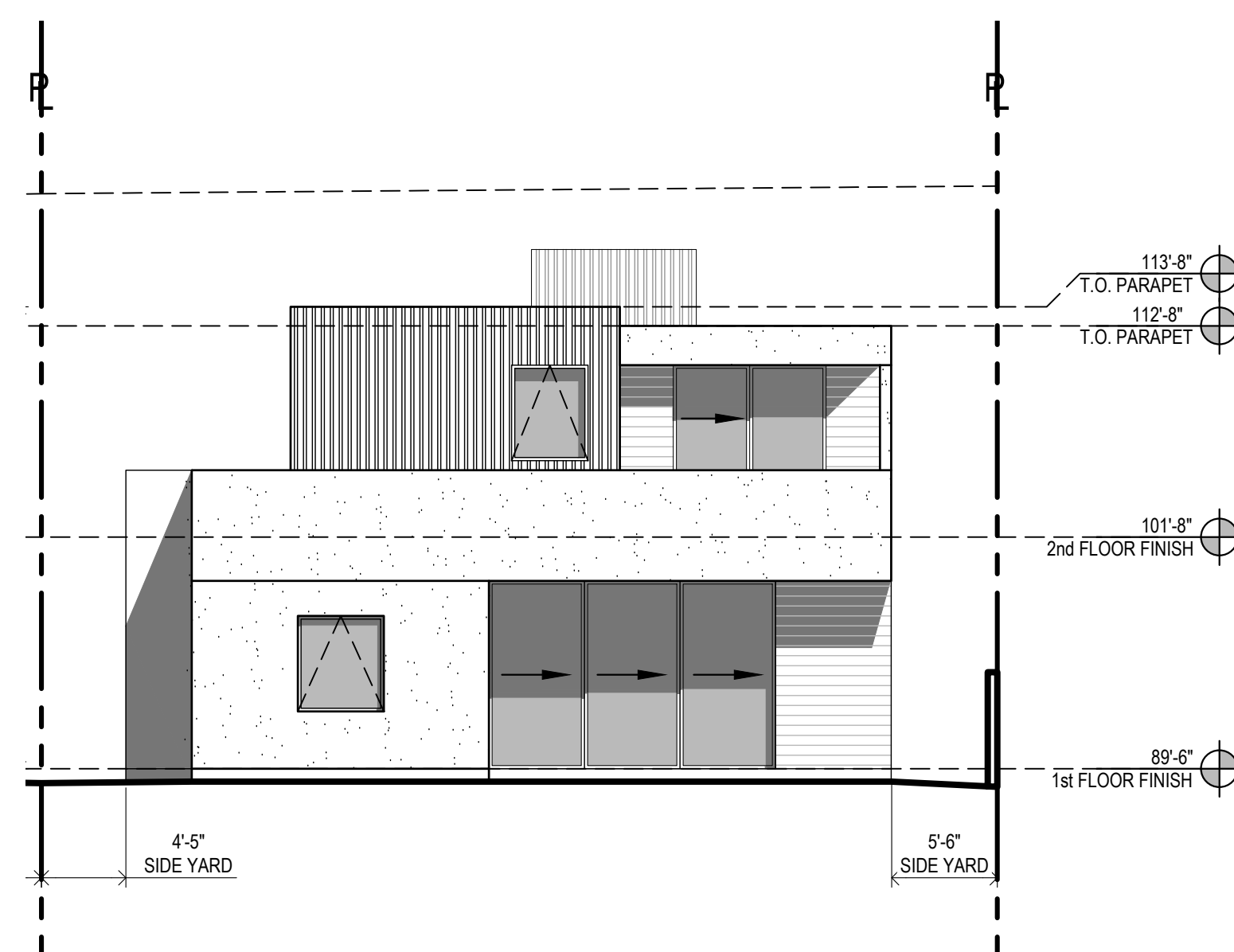
PROJECT - 21.06

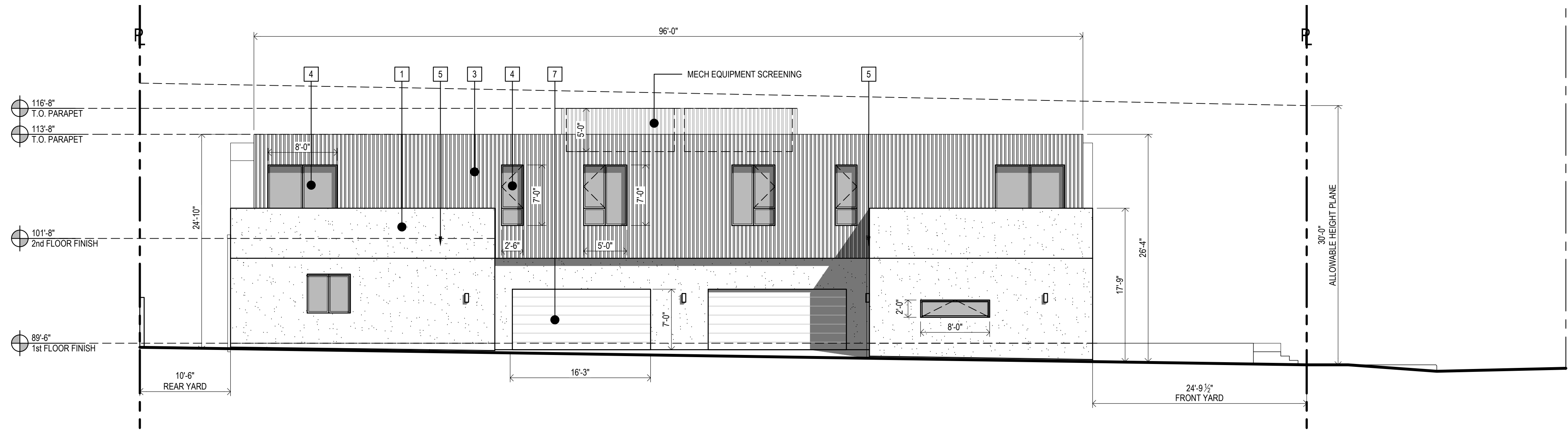
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KEY NOTE	INFORMATION	REFERENCE
1	EXTERIOR PLASTER - COLOR COAT	EF-1
2	HORIZONTAL WOOD SIDING	EF-2
3	VERTICAL CORRUGATED METAL CLADDING	EF-3
4	ALUMINUM DOOR/WINDOW PER SCHEDULE	
5	EXPOSED DOWNSPOUT	EF-4
6	EXTERIOR SCONCE LIGHT	
7	GARAGE DOOR	EF-5
8		
9		
10		

NOTE: REFER TO 1 / A-6.20 FOR FINISH SPECS AND MANUFACTURER INFORMATION

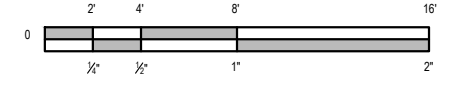




NORTH SIDE YARD/DRIVEWAY ELEVATION (4170)
1/8" = 1'-0"

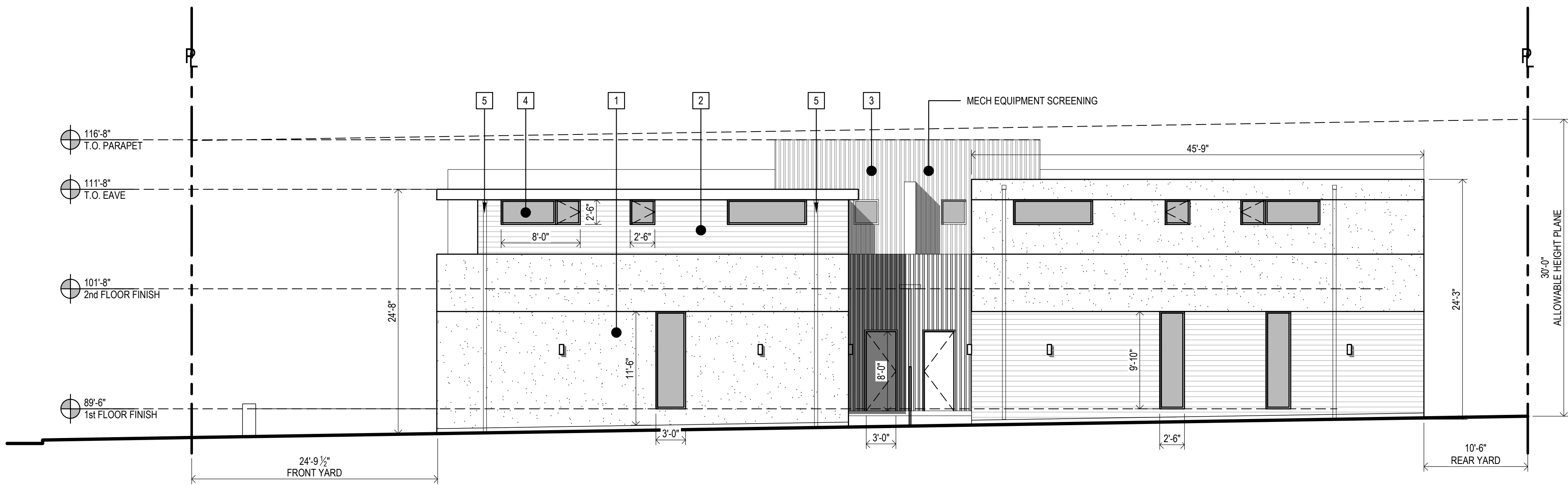
5

- SECTION TAG
- DETAIL TAG
- DETAIL / ENLARGED CLOUD
- SECTION / ELEVATION TAG
- KEY NOTE CALLOUT
- KEY NOTE CALLOUT (FIELD)



LEGEND
N/A

3



SOUTH SIDE YARD ELEVATION (4170)
1/8" = 1'-0"

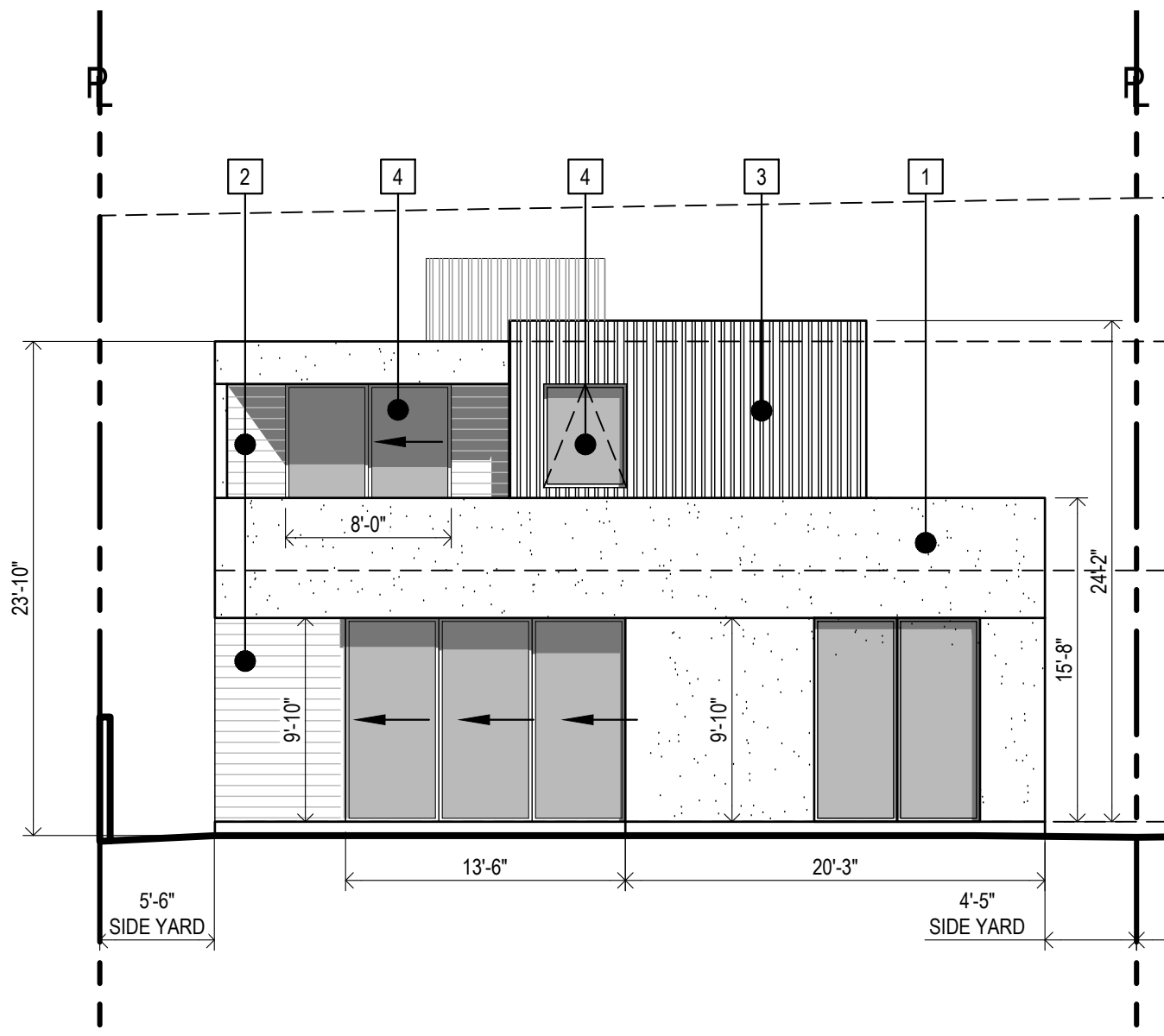
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KEY NOTE	INFORMATION	REFERENCE
1	EXTERIOR PLASTER - COLOR COAT	EF-1
2	HORIZONTAL WOOD SIDING	EF-2
3	VERTICAL CORRUGATED METAL CLADDING	EF-3
4	ALUMINUM DOOR/WINDOW PER SCHEDULE	
5	EXPOSED DOWNSPOUT	EF-4
6	EXTERIOR SCENCE LIGHT	
7	GARAGE DOOR	EF-5
8		
9		
10		

NOTE: REFER TO 1 / A-6.20 FOR FINISH SPECS AND MANUFACTURER INFORMATION

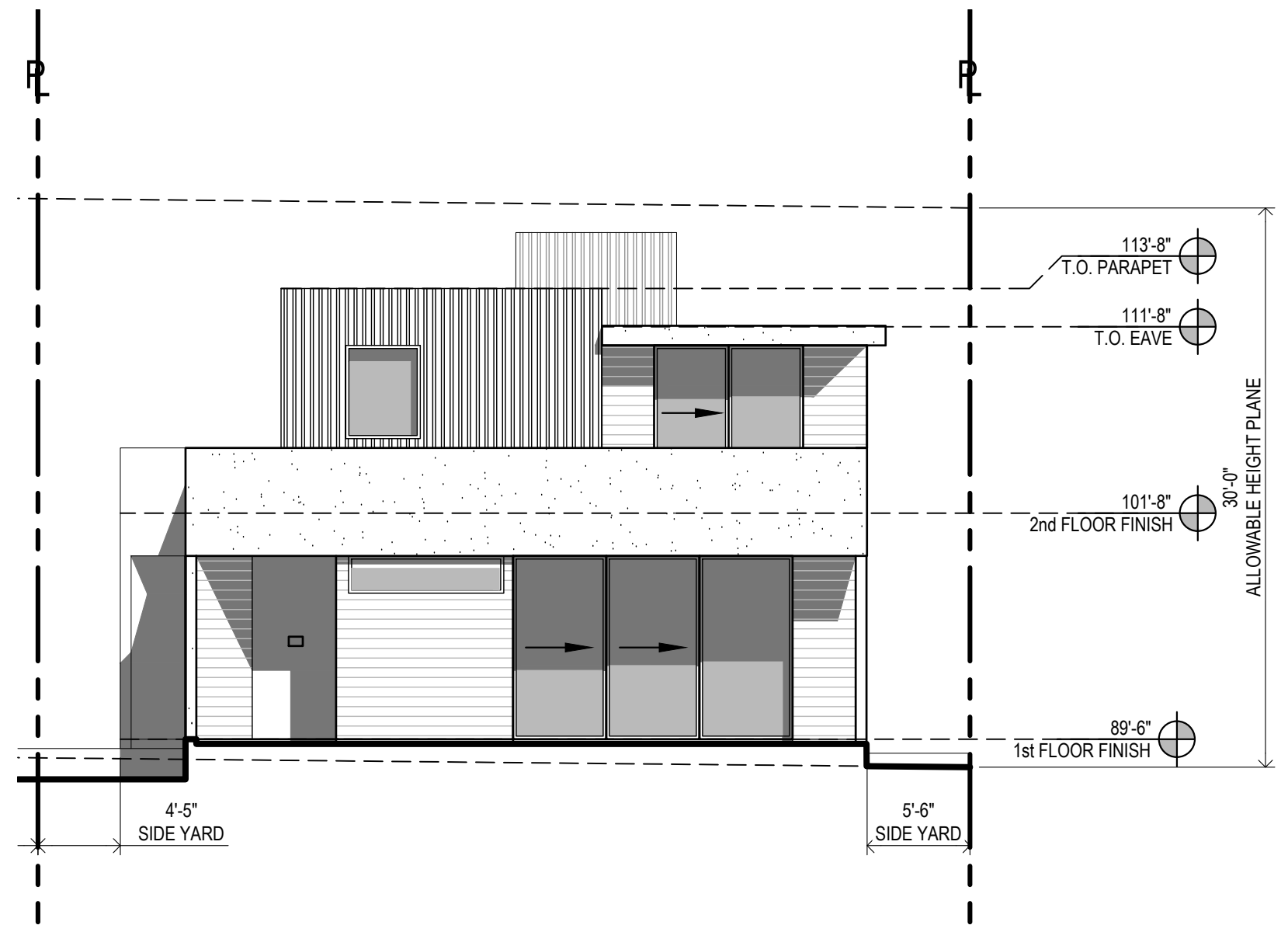
KEY NOTES
N/A

2



EAST REAR YARD ELEVATION (4170)
1/8" = 1'-0"

6



WEST STREET ELEVATION (4170)
1/8" = 1'-0"

1



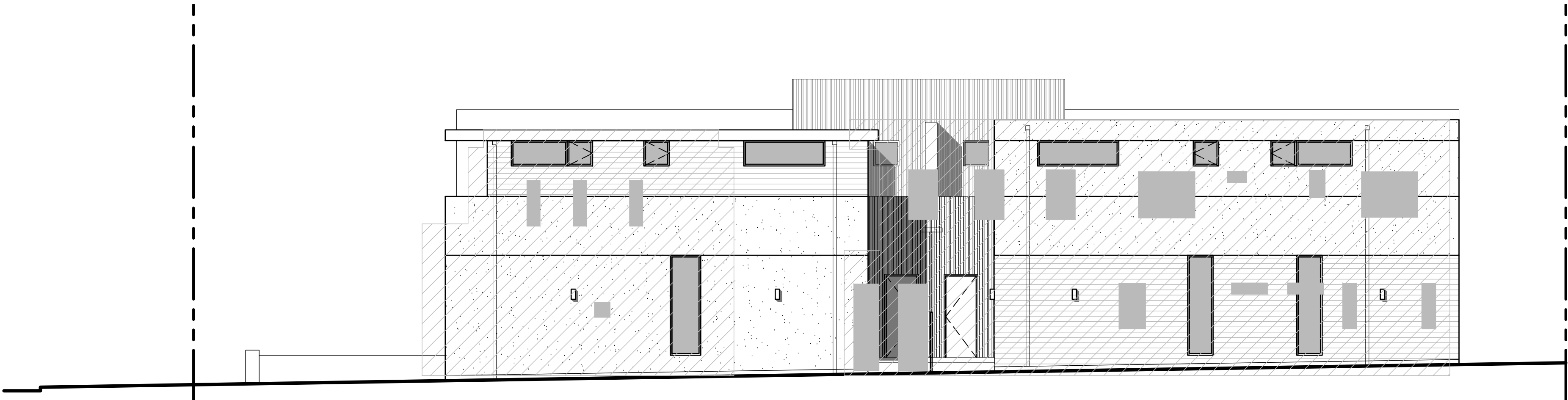
VIEW LOOKING DOWN DRIVEWAY FROM REAR YARD - AERIAL



VIEW LOOKING DOWN 4170 SIDE YARD FROM SIDEWALK

DOWNSPOUT RENDERINGS
N.T.S.

3

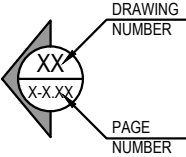


10' BETWEEN BUILDINGS

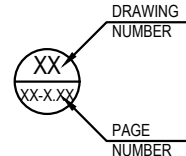
9.5' BETWEEN BUILDINGS

4170 ELEVATION w NEIGHBOR OVERLAYED
1/8" = 1'-0"

2



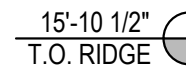
SECTION TAG



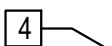
DETAIL TAG



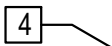
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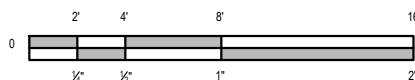
SECTION / ELEVATION TAG



KEY NOTE CALLOUT

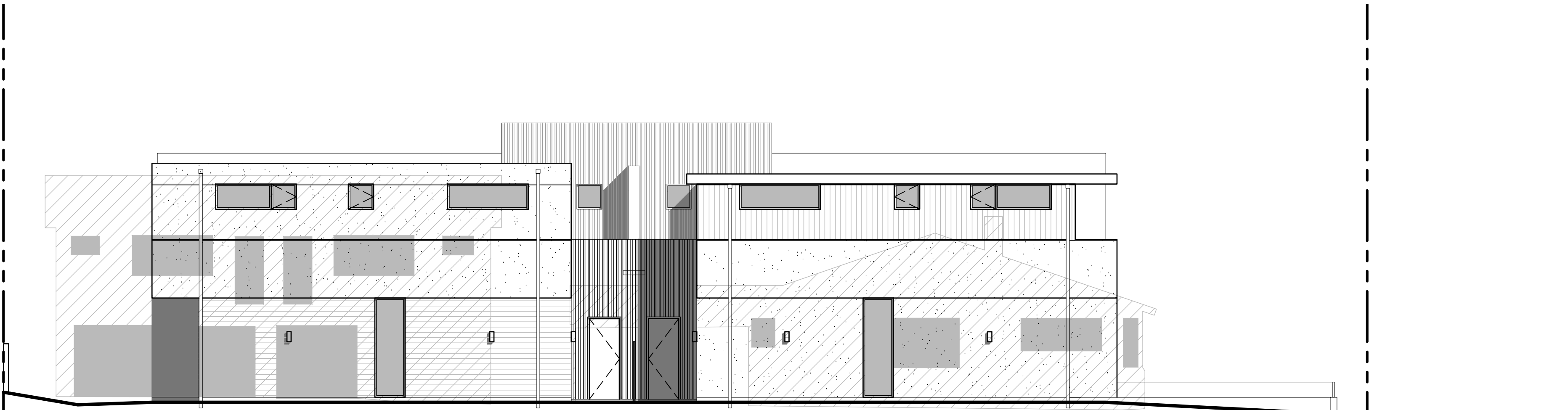


KEY NOTE CALLOUT (FIELD)



LEGEND
N/A

4



26' BETWEEN BUILDINGS

15' BETWEEN BUILDINGS

4164 ELEVATION w NEIGHBOR OVERLAYED
1/8" = 1'-0"

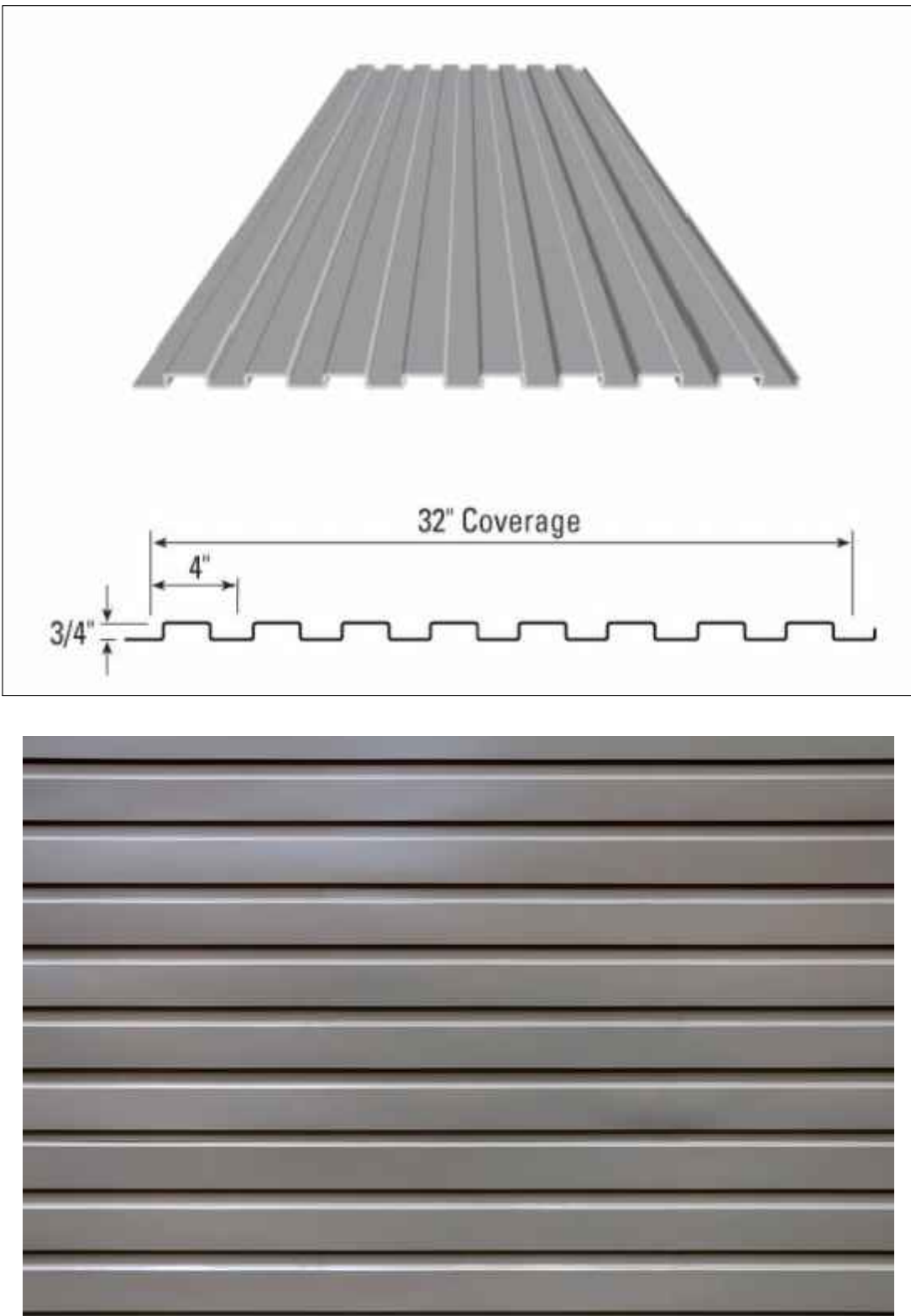
1



STUCCO - EF 1



CEDAR WOOD SIDING - EF 2



METAL SIDING - EF 3

1-Loop Wave Style Bike Rack - 3 Bike Capacity, Black



Upscale stylish look for downtown shopping and business districts.

- For stadiums, parks and athletic fields.
- 10-gauge steel with attractive powder coating.
- 2 3/8" diameter bar.
- Bike rack mounting hardware included.

More Images

SPECIFY COLOR: ☒ Black ☐

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAP.	WT. (LBS.)	PRICE EACH		COLOR	IN STOCK SHIPS TODAY
					1	3+		
H-2892BL	1-Loop	22 x 2 1/2 x 34"	3	27	\$190	\$180	<input checked="" type="checkbox"/> Black <input type="checkbox"/>	<input type="text" value="1"/> <input type="button" value="ADD"/>

REJUVENATION



Bradford Wall Wash Sconce
Oil-Rubbed Bronze
Item #A4167

<http://www.rejuvenation.com/s/1bka9>

Specification	Detail
Item #	A4167
Width	8 3/4"
Height	6"
Depth	4"
Maximum Wattage per Socket	8W
Lifespan	30,000 Hours

Price as shown*: \$449.00

*Shipping and handling fees apply

Cylinder 3000K LED 12" Wall Light Textured Black

11251BKT30

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SPECIFICATIONS

Certifications/Qualifications	
Class 2	Yes
Title 24 Compliant	Yes
	www.kichler.com/warranty

Dimensions	
Base Backplate	5.00 X 5.00
Extension	6.50"
Weight	3.08 LBS
Height from center of Wall opening (Spec Sheet)	6.25"
Height	12.00"
Width	5.00"

Electrical	
Input Voltage	Dual (120/140)V

Light Source	
Delivered Lumens	550
Expected Life Span (Hours)	40000
Lamp Included	Integrated LED
Light Source	15W
Max or Nominal Watt	
# of Bulbs/LED Modules	1

Mounting/Installation	
Interior/Exterior	Exterior
Location Rating	Wet
Mounting Style	Wall Mount

Photometrics	
Color Rendering Index	90
Color Temperature Range	3000
Kelvin Temperature	3000K

FIXTURE ATTRIBUTES

Housing	
Primary Material	ALUMINUM

Product/Ordering Information	
SKU	11251BKT30
Finish	Textured Black
Style	Contemporary
UPC	783927453103

Finish Options

- ☒ Textured Architectural Bronze
- ☒ Textured Black

PROJECT SPECIFICATIONS

EXTERIOR FINISHES

EF-1 Plaster (Smooth Trowel Finish)

- Manufacturer - Merlex
Type - Polymer-modified base coat and anti-fracture membrane for smooth- troweled finishes
Application - Hand Applied with embedded mesh (BaseX system)
Finish - Santa Barbara (Smooth Troweled)
Color - TBD | Titanium P-1661 (Base B) / Agate P-505 (Base B)
Note - Color coat to be approved by Architect prior to installation. Contractor (/ Sub-Contractor) to provide 3'x3' sample for approval.
Note - See manufacturer's technical sheet for full specifications and application procedures
Note - Provide expansion joints per plan. Use Brand X NARROW 'V' CHANNEL PCV-25
Underlayment - One layer 60 min grade "D" building paper under one layer Dupont Tyvek Home Wrap
Website - <http://www.merlex.com/index.htm>

EF-2 Wood Siding

- Manufacturer - Cedar
Type - WRC Grade C and better
Size - 1x6 Tongue and Groove
Application - RainScreen installation
DuPont RainVent Batten
Mitered corners or "X" mold joint corners
Stain - TBD
Finish - Fill finish nails with putty | Sand smooth | Stain and Seal
Sealer - Sansin Classic 1-2-3 Penetrating Sealer - Clear (For Softwoods) |
Note - See manufacturer's technical sheet for full specifications and installation procedures
Underlayment - Reveal Shield or Reveal Shield SA by Vapro Shield
Website - <http://www.vaproshield.com>

EF-3 Corrugated Metal Siding

- Manufacturer - Metal Sales
Type - T-16E Wall Panel | Extruded rib | 24 ga.
Application - Vertical | Exposed Fasteners
Color - TBD - Kynar 500 | Medium Bronze (H4) |
Note - See manufacturer's technical sheet for full specifications and installation procedures
Underlayment - High temp peel and stick
Website - <http://www.metalsales.com>

EF-4 Aluminum Downspout

- Manufacturer - Custom
Type - Aluminum - 0.032" (min.)
Application - Concealed fasteners
Color - TBD | Kynar 500 |

EF-5 Garage Door for Paint

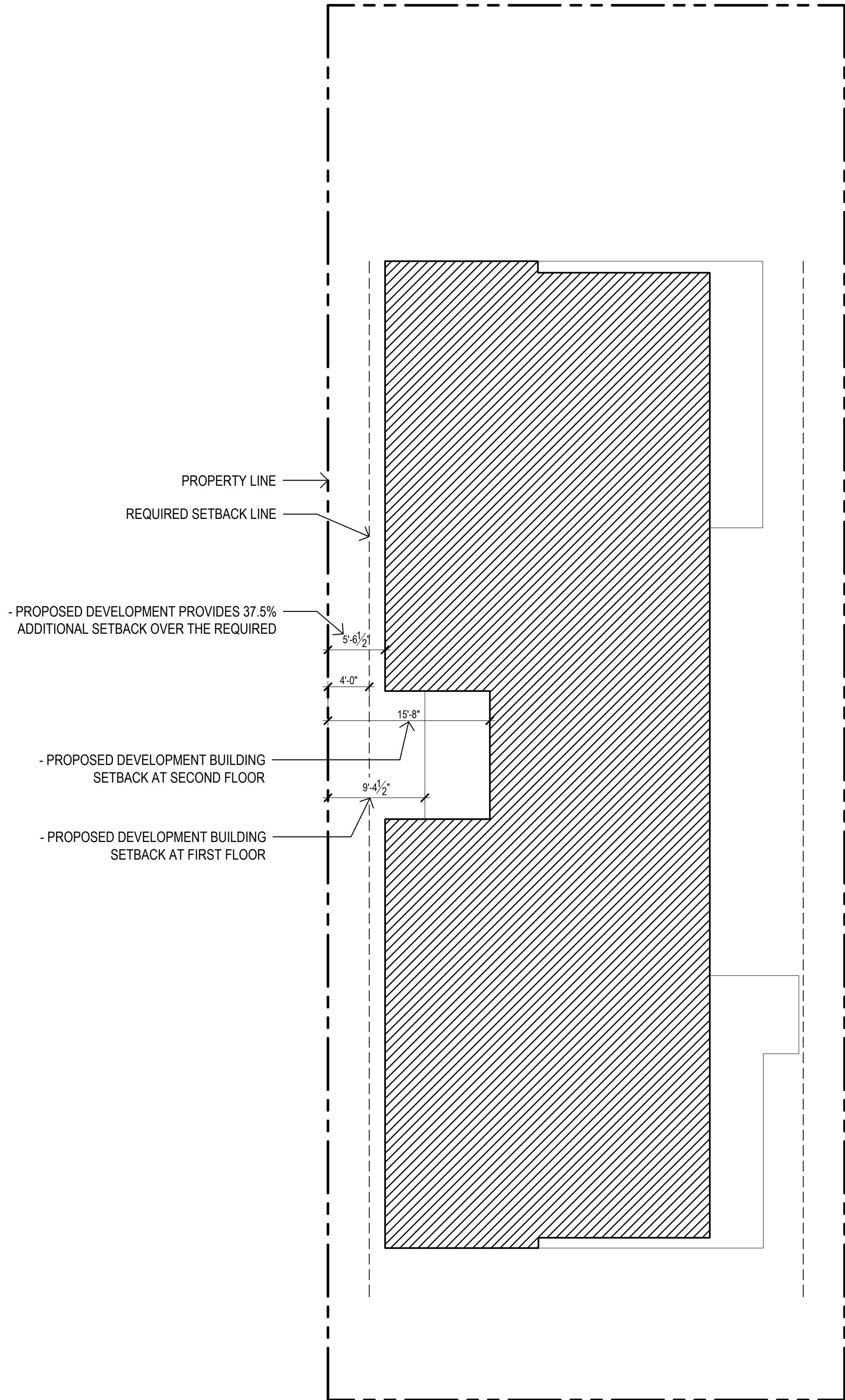
- Manufacturer - Mesa
Type - Modern Aluminum
Motor - Side Wall Mounted
Color - Dark Bronze Anodized to match windows
Glass - Translucent



INTERIOR



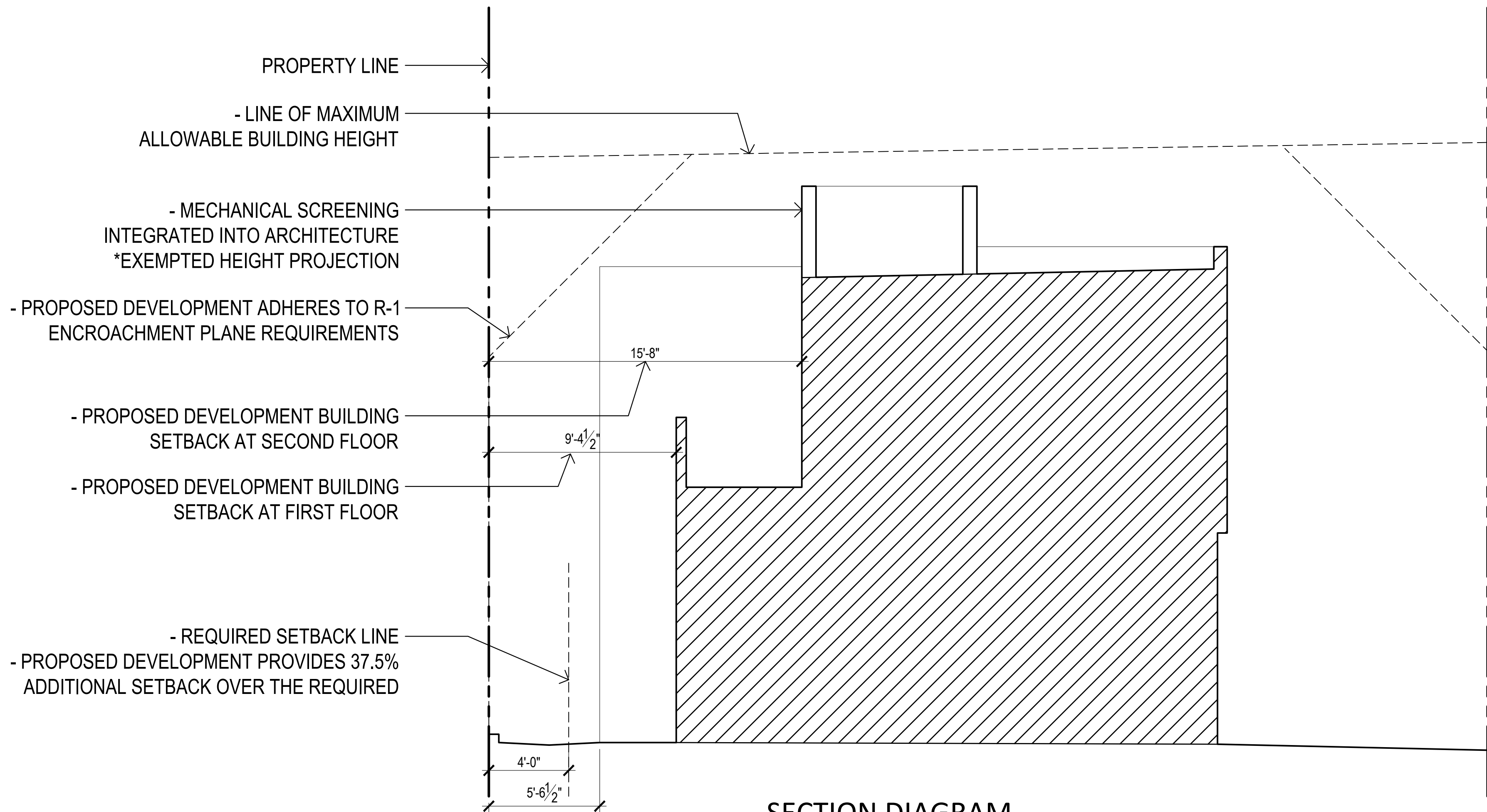
INTERIOR



SITE PLAN DIAGRAM



△



SECTION DIAGRAM



4164 ALONG DRIVEWAY



4170 FRONT ELEVATION

4