ATTACHMENT NO. 4



9925 JEFFERSON

9925 JEFFERSON CULVER CITY, CA 90232

Shubin Donaldson

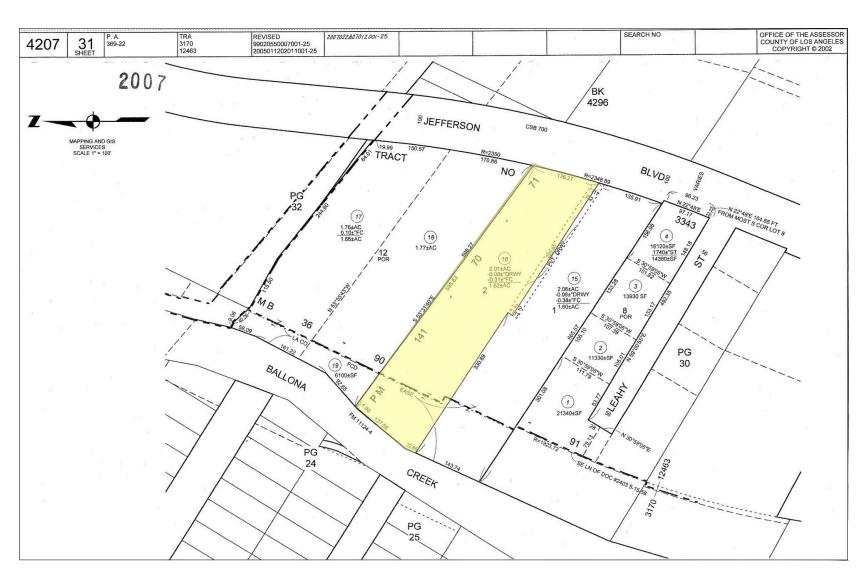
CULVER CITY OFFICE 3834 WILLAT AVE. CULVER CITY, CA 90232 310.204.0688

PROJECT PHASE: ENTITLMENT

1/14/2022 3:04:31 PM



SITE CONTEXT



ACCESSOR'S MAP

PARKING SUMMARY

PROPOSED

PROPOSED F OFFICE TOTAL NET

REQUIRED REQUIRED PARKING PRO PARKING ST

STANDAF COMPAC ADA SPAC **EV ADA *EV CHAF *EV CHAF
 *EV CHAF TOTAL ON-S

*EV PARKING COUNT BASED ON

LONG-TERM <u>SHORT-TERM</u> TOTAL REQU

<u>open spac</u> Level 1 LEVEL 2 NEW ROO

<u>PV PANELS PROVIDED:</u> (10W:SF) 5kW = 500 SF

1. THE FOLLO SUBMITTALS ENGINEEREI PREPARED ENGINEER. ARCHITECT, TO FABRICAT - FIRE SPR - FIRE ALAF - ELEVATORS -STEEL STAIRS

D PROJECT PARKING	<u>GROSS</u> OFFICE SF	<u>REQUIRED</u>	<u>SPACES</u>	<u>RATIO</u>
D REQUIRED PARKING (1 SPACE PER 350SF)	51,178	146	SPACES	3.5:1,000
T PARKING REQUIRED	51,178	146	SPACES	
PARKING ON-SITE Parking Provided		146 177	SPACES SPACES	
ARD SPACES ARD SPACES CT SPACES ACES A STALLS (60 EV STALLS PR ARGING STATION + CHARGE ARGING READY ARGING CAPABLE (FUTURE) •SITE PARKING SPACES	R (INSTÁLLED)	102 2 10 3 15 15 30 177		10% OF REQUIRED 10% OF REQUIRED

CULVER CITY MUNICIPAL CODE 17.320.035 SECTION 0.3 **EV ADA STALLS BASED ON CBC 2019 TABLE 11B-22.8.3.2.1

BICYCLE PARKING COUNT SUMMARY

BICYCLE PARKING REQUIRED: PER CC ZONING CODE, SECTION 17.320.045.3

Μ	= 10 SPACES
RM	= 5 SPACES
QUIRED	= 15 SPACES

BICYCLE PARKING PROVIDED: 16 LONG-TERM BIKE SPACES

6 SHORT-TERM BIKE SPACES

OPEN SPACE SUMMARY

OPEN SPACE PROVIDED					
LEVEL 1	= 10095 SF				
LEVEL 2	= 1330 SF				
NEW ROOF	= 4448 SF				
TOTAL OPEN SPACE AREA	= 15873 SF				

PV PANEL SUMMARY

PV KILOWATT REQUIRED: PER CC MUNICIPAL CODE, SECTION 117.1 51,178 GSF / 10,000 = 5 kW

APPLICABLE CODES

PROJECT SHALL COMPLY WITH: 2019 C.C. AMENDMENT BUILDING CODE 2019 C.C. AMENDMENT GREEN BUILDING CODE 2019 C.C. AMENDMENT ELECTRICAL CODE

2019 C.C. AMENDMENT MECHANICAL CODE 2019 C.C. AMENDMENT PLUMBING CODE

2019 C.C. AMENDMENT ELEVATOR CODE

DEFERRED SUBMITTALS

OWING ITEMS SHALL BE CONSIDERED AS DEFERRED
S. THE GC SHALL BE RESPONSIBLE FOR PROVIDING
D SHOP DRAWINGS FROM THE SPECIALTY SUBCONTRACTOR
UNDER THE DIRECT SUPERVISION OF A CALIFORNIA LICENSED
THESE SHOP DRAWINGS SHALL BE PROVIDED TO THE
, ENGINEER, AND LADBS FOR REVIEW AND APPROVAL PRIOR
ATION. THESE ITEMS INCLUDE:
PRINKLER
ARMS

- CURTAIN WALLS - GLAZING INCLUDING GLASS GUARDRAILS

-EXTERIOR BUILDING MAINTENANCE SYSTEMS -ROOF EQUIPMENT ANCHORAGE 2. MEP ON A SEPARATE PERMIT

PROJECT SUMMARY

JOB ADDRESS: 9925 JEFFERSON BLVD, CULVER CITY, CA 90232

PROJECT DESCRIPTION: PARTIAL DEMO OF EXISTING OFFICE STRUCTURE; NEW OFFICE BUILDING WITH DETACHED PARKING STRUCTURE. SCOPE TO INCLUDE ARCHITECTURAL, STRUCTURAL, AND MEP CORE & SHELL

LEGAL DESCRIPTION: SEE SURVEY SHEET EN0.02

ZONE: IG

LIQUEFICATION ZONE: YES

GENERAL PLAN LAND USE: LIGHT MANUFACTURER

LOT AREA PER SURVEY

NET AREA (EXCLUDING FLOOD CONTROL & SEWER EASEMENT)

= 73,854.58 SF

= 87,698.05 SF

	ALLOWANCE	PROVIDED
GROSS BUILDING AREA:	N/A	51,178 SF
BUILDING HEIGHT:	43'-0" TO T.O. ROOF	43'-0"
MAX. HEIGHT FOR NON- HABITABLE ELEMENTS:	13'-6" ABOVE HEIGHT OF BUILDING	10'-10"
MAX. ROOF DECK 'ELEMENT' AREA: 15% OF TOTAL ROOF AREA; PER CC ZONING 17.300.025.C.4	10,992 SF X 15% = 1,648 SF	1,648 SF
SETBACKS: FRONT YARD SIDE YARD REAR YARD	5'-0" 0'-0" 0'-0"	5'-0" 0'-0" 0'-0"

NEW & EXISTING AREA BREAKDOWN

EXISTING OFFICE GBA TO REMAIN LEVEL 1 = 15,520 SF _____ NEW OFFICE GBA = 12,850 SF LEVEL 1 LEVEL 2 = 11,404 SF LEVEL 3 = 11,404 SF TOTAL NEW = 35,658 SF TOTAL EXISTING NET NEW OFFICE GBA - 15,520 SF = 20,138 SF

GROSS BUILDING AREA SUMMARY

GROSS OFFICE AREA	
LEVEL 1	= 28371 SF
LEVEL 2	= 11404 SF
LEVEL 3	= 11404 SF
TOTAL OFFICE AREA	= 51178 SF
GROSS PARKING GARAGE LEVEL	
PARKING LEVEL P1	= 15611 SF
PARKING LEVEL P2	= 20613 SF
PARKING LEVEL P3	= 19849 SF
PARKING LEVEL P4	= 14666 SF
TOTAL PARKING AREA	= 70739 SF
TOTAL GROSS BUILDING AREA	
OFFICE	= 51,178 SF
OPEN SPACE	= 19,047 SF
PARKING	= 70,739 SF
TOTAL GBA	= 140,964 SF

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LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310 204 0688

		FIRST SHEE		ET	
#	SHEET NAME	PPR SUBMITTAL	PRC-SPR 07.30.21	PRC-SPR 10.26.21	SCHEMATIC DESIGN
GENER EN0.00	AL COVER SHEET				
	PROJECT INFO				
	SITE SURVEY				
	CONCEPT RENDERS CONCEPT RENDERS				
	CONCEPT RENDERS		-		
	CONCEPT RENDERS	-	-		
	CONCEPT RENDERS	-	-		
	CONCEPT RENDERS				
	CONCEPT DETAILS				
	CONCEPT DETAILS				
	EXISTING AREA DIAGRAMS				
	DEMO AREA DIAGRAMS				-
	PROPOSED GROSS AREA PROPOSED GROSS AREA CONT'D	-	•		-
	LIFE SAFETY AND ACCESSIBILITY		-		╟
	LIFE SAFETY AND ACCESSIBILITY		-		
	ALLOWABLE OPENINGS - PARKING STRUCTURE		-		
EN0.38	ALLOWABLE OPENINGS - PARKING STRUCTURE				
CIVIL C	FF-SITE				
C2	TYP. SECTIONS, AND CONSTRUCTION NOTES		-		
C3	STREET IMPROVEMENTS		-		
	N-SITE		_	_	
C100	EROSION CONTROL PLAN		-		
C210	PRECISE GRADING PLAN - PARKING		-		
C211	PRECISE GRADING PLAN - OFFICE		-		
C300	SUSUMP PLAN				
C400	UTILITY PLAN				
LANDS	CAPE				
L2.00	SITE PLAN				
L2.10					
L2.20					
L2.30 L2.40	SECOND LEVEL TERRACE ENLARGEMENT ROOFTOP ENLARGEMENT		•		
	SITE PLAN CURBSIDE / ROW UTILIZATION PLAN		•		
	EXISTING PLAN		-		
	DEMO PLAN		-		╟
	OVERALL FLOOR PLANS	-	-		
	OVERALL FLOOR PLANS	-			
	OFFICE LEVEL 1 PLAN				
	OFFICE LEVEL 2 PLAN				
		-			
	ROOF LEVEL PLAN PARKING LEVEL P1 PLAN	-	•		
	PARKING LEVEL PT PLAN PARKING LEVEL P2 PLAN	-	-		╟
	PARKING LEVEL P3 PLAN				
	PARKING LEVEL P4 PLAN		-		
EN3.01	ELEVATIONS - OFFICE BUILDING				
	ELEVATIONS - OFFICE BUILDING				
	ELEVATIONS - PARKING				
	ELEVATIONS - PARKING				-
	OVERALL SECTIONS OFFICE BUILDING SECTIONS	-	•		╟─
	OFFICE BUILDING SECTIONS		-		╟
	PARKING SECTIONS		-	-	1

9925 JEFFERSON 9925 JEFFERSON

CULVER CITY, CA 90232 ENTITLEMENT SCALE: As indicated

DATE: 01.14.2022

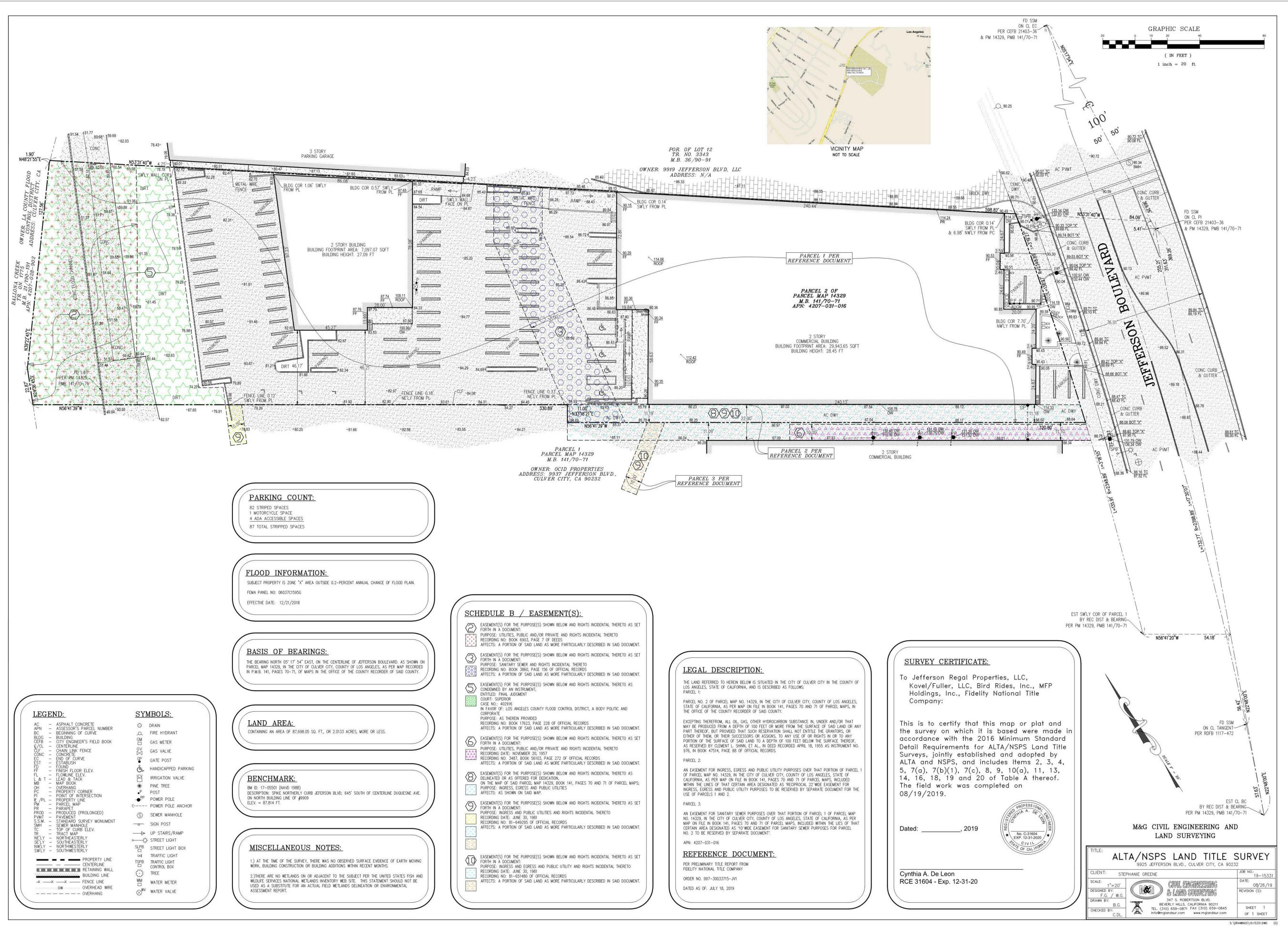
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PROJECT INFO

EN0.01

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JOB NO. 1934



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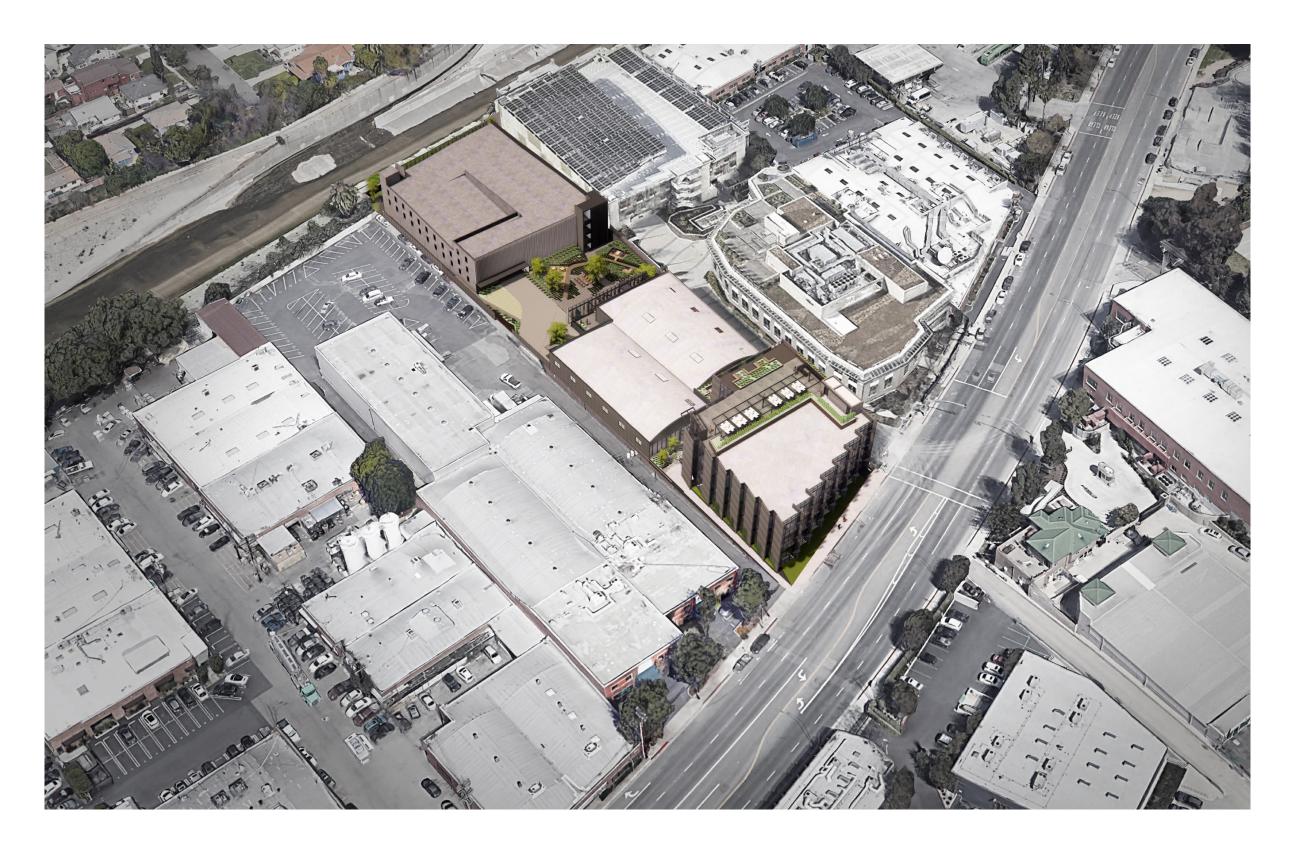
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SITE SURVEY EN0.02





 $\frac{\mathsf{RE}\mathsf{NDER} - \mathsf{AERIAL} \mathsf{VIEW} 1}{3}$



LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310 204 0688

RENDER - SITE VIEW

RENDER - AERIAL VIEW 2 **7**

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

ENTITLEMENT SCALE: 1/8" = 1'-0" DATE: 01.14.2022

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CONCEPT RENDERS **EN0.03**

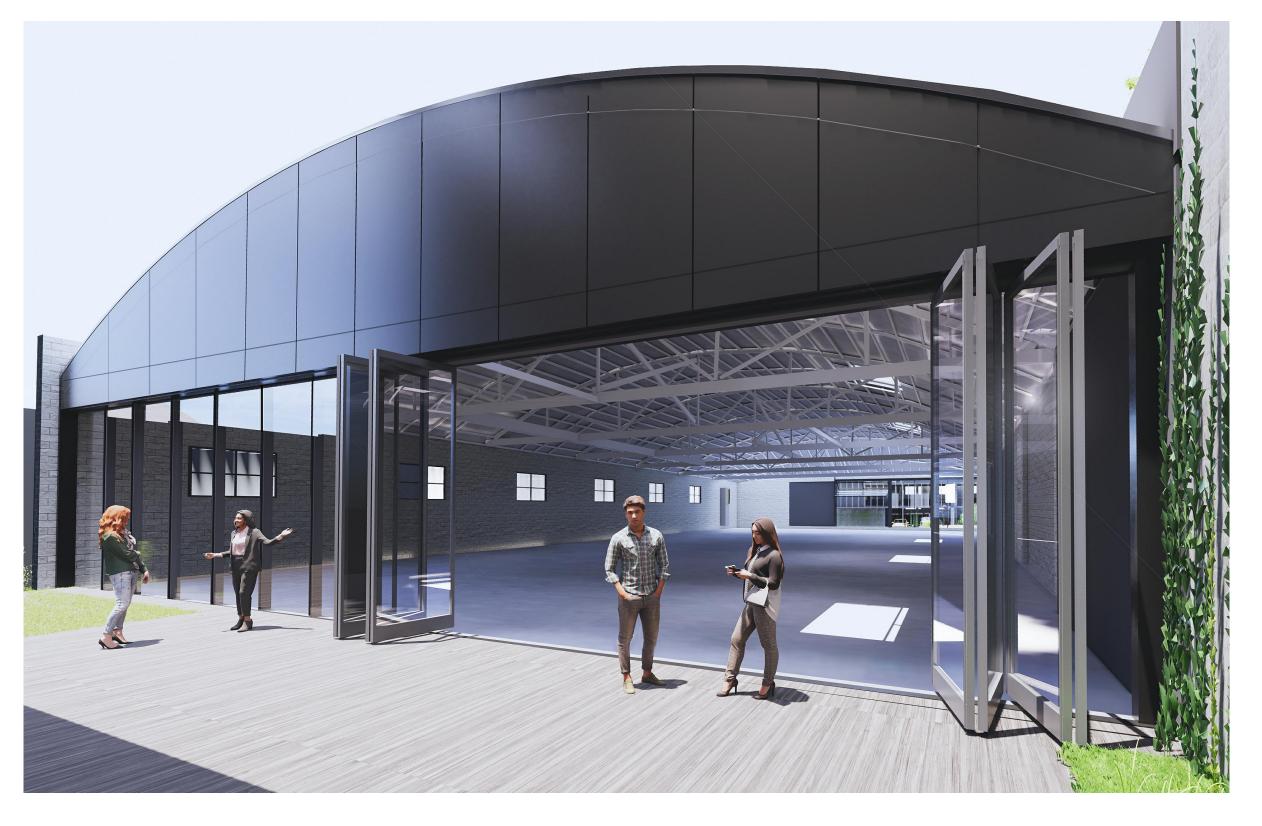




OFFICE COURTYARD - ZEN GARDEN AREA 3

OFFICE BUILDING - JEFFERSON BLVD. 1







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OFFICE BUILDING - JEFFERSON BLVD. **7**

OFFICE COURTYARD 4



KEY PLAN

_____ ENTITLEMENT SCALE: As indicated DATE: 01.14.2022

9925 JEFFERSON

9925 JEFFERSON CULVER CITY, CA 90232

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CONCEPT RENDERS EN0.04







ROOF DECK 3





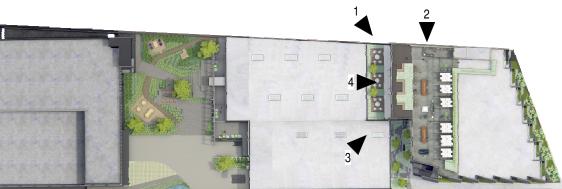


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LEVEL 2 - TERRACE 2

ROOF DECK 4

KEY PLAN



CONCEPT RENDERS

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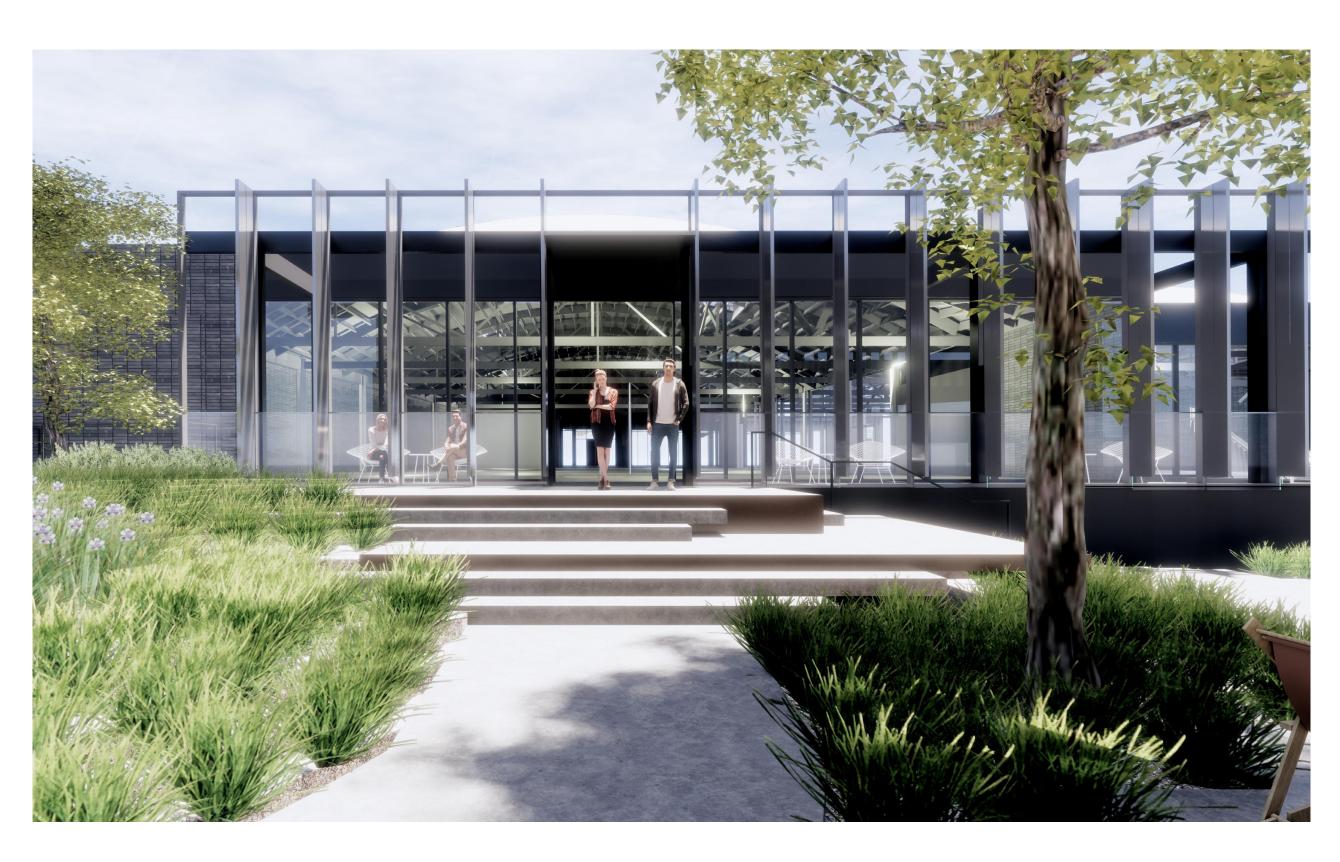
SCALE: As indicated DATE: 01.14.2022

EN0.05

____ ENTITLEMENT

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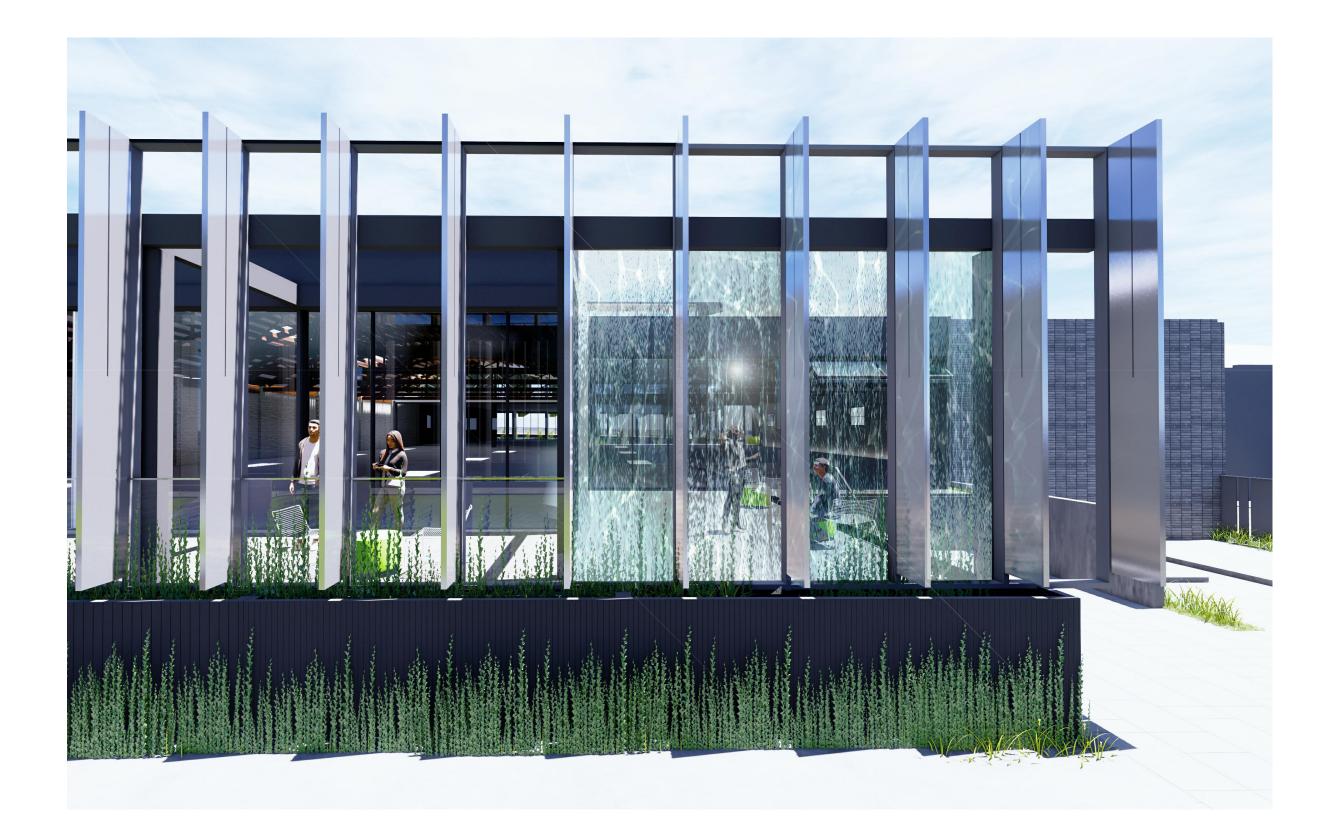


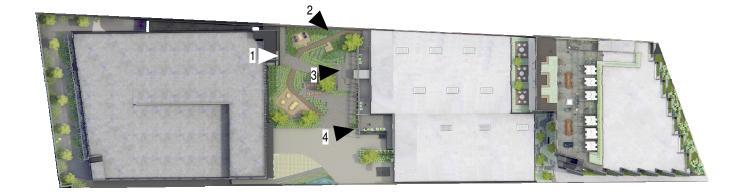


OFFICE ENTRY 1

OFFICE ENTRY 3







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OFFICE ENTRY 2

WATER FEATURE AT OFFICE ENTRY 4

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ENTITLEMENT SCALE: As indicated DATE: 01.14.2022

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CONCEPT RENDERS **EN0.06**

KEY PLAN



PARKING STRUCTURE AT COURTYARD - DRIVE ENTRY LANDSCAPE DESIGN NOT SHOWN IN ABOVE RENDER



PARKING STRUCTURE AT COURTYARD - STAIR & ELEV TOWER LANDSCAPE DESIGN NOT SHOWN IN ABOVE RENDER 2







KEY PLAN

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

ENTITLEMENT SCALE: As indicated DATE: 01.14.2022

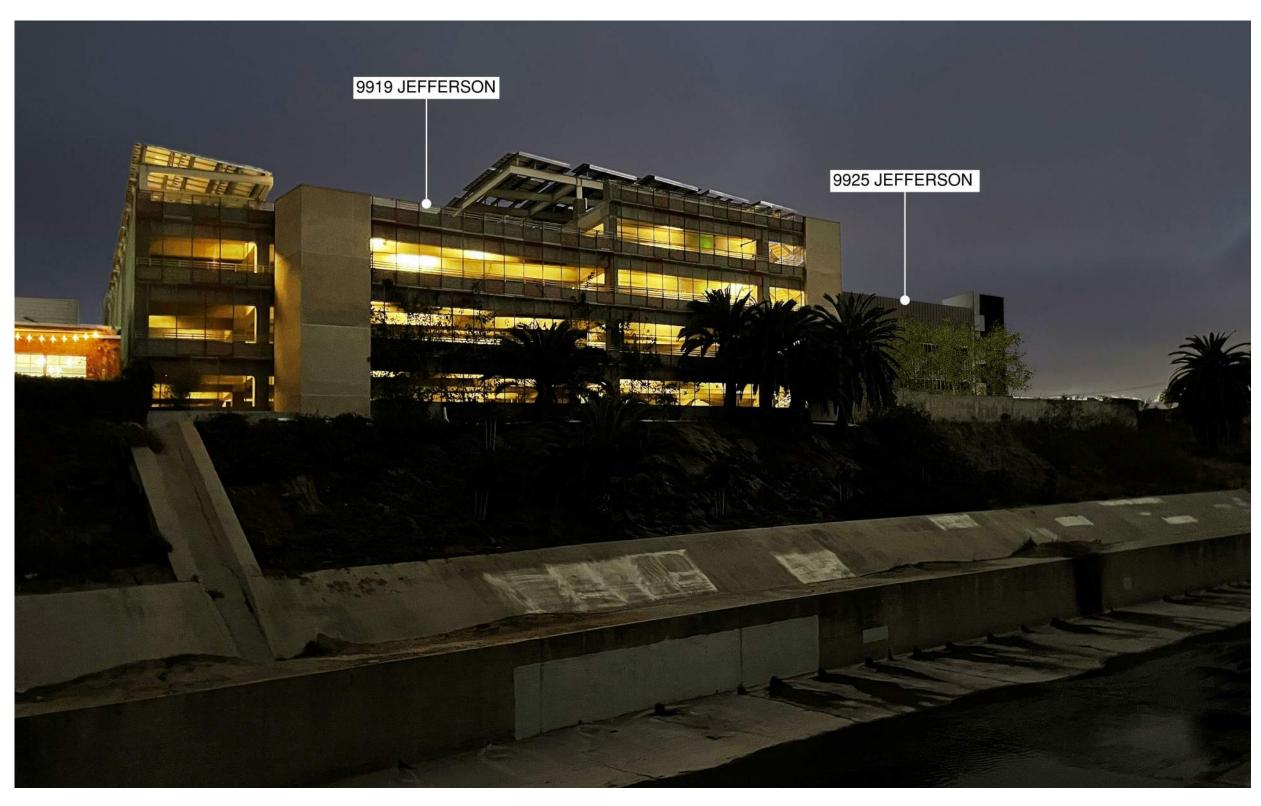
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1/14/2022 3:04:37 PM

CONCEPT RENDERS **EN0.07**





PARKING STRUCTURE WITH LANDSCAPE BUFFER ${f 3}$

OBLIQUE VIEW AT NIGHT SCALE: 1/8" = 1'-0"







KEY PLAN

PARKING STRUCTURE WITH LANDSCAPE BUFFER **2**

PARKING STRUCTURE WITH LANDSCAPE BUFFER

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

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LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232

9

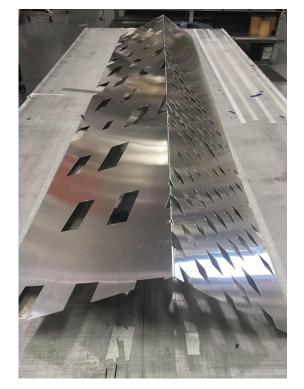
ENTITLMENT SCALE: As indicated DATE: 11.29.2021

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CONCEPT RENDERS EN0.08



(1) CUSTOM FABRICATED ALUM FIN I (BY SAFEWAY SIGNS OR SIM.)



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(2) SANDBLASTED CMU BLOCKS
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(3) CURTAIN WALL



OFFICE BUILDING - JEFFERSON BLVD. 1

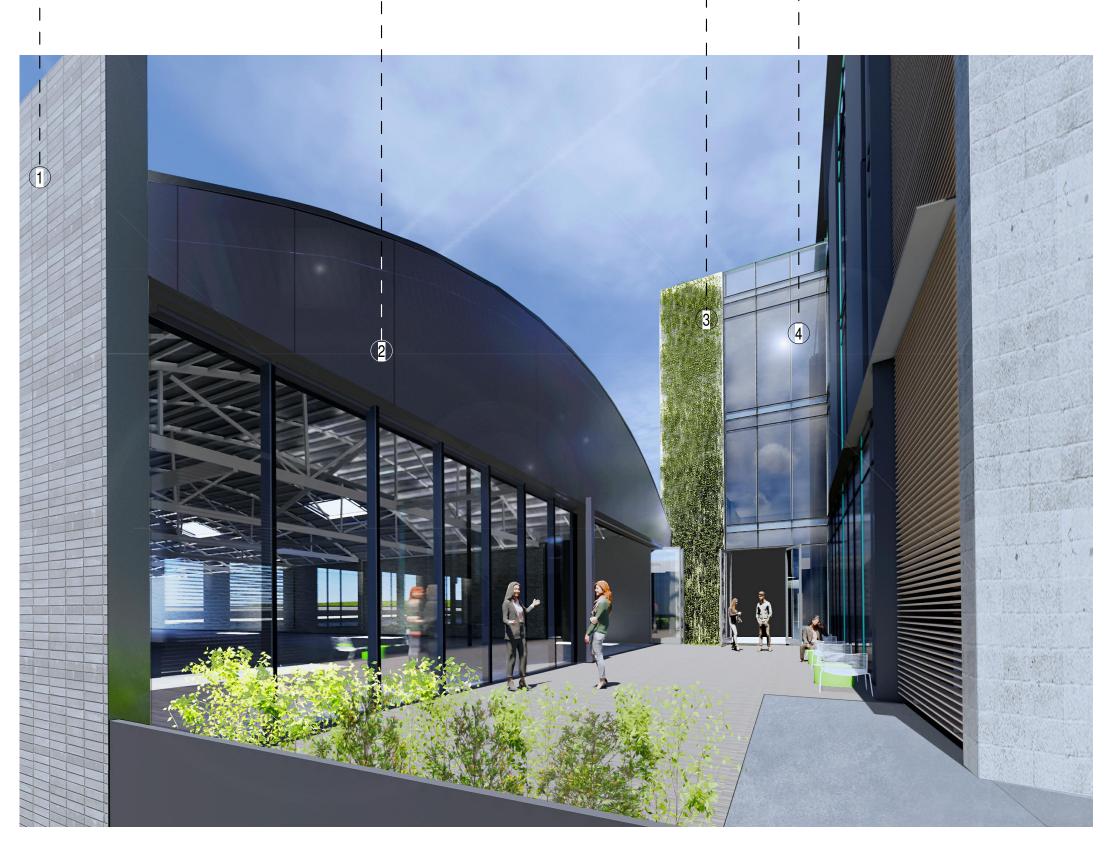




EXISTING BRICK, CLEANED AND STAINED



(2) METAL PANELS (ALUCABOND OR SIM.)



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3 SANDBLASTED CMU BLOCK WITH VERTICAL PLANTING (REFERENCE LANDSCAPE SHEET L0.00)



(4) CURTAIN WALL

OFFICE COURTYARD SCALE: 1/8" = 1'-0"

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

_____ ENTITLEMENT SCALE: As indicated DATE: 01.14.2022

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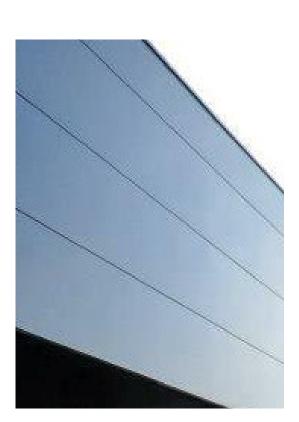
CONCEPT DETAILS EN0.09



EXISTING BRICK, CLEANED AND STAINED



(2) ACM VERTICAL METAL FINS



(3) METAL PANELS





4 WATER FEATURE WALL





5 SANDBLASTED CMU BRICK WITH VERTICAL PLANTING (REFERENCE LANDSCAPE SHEET L0.00)



6 ACM METAL FINS



OFFICE AT COURTYARD SCALE: 1/8" = 1'-0"



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(7) SANDBLASTED CMU BLOCKS



8 GLASS RAILING



9 SANDBLASTED CMU BLOCK WITH VERTICAL PLANTING (REFERENCE TO LANDSCAPE SHEET L0.00)

PARKING STRUCTURE AT COURTYARD SCALE: 1/8" = 1'-0"

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

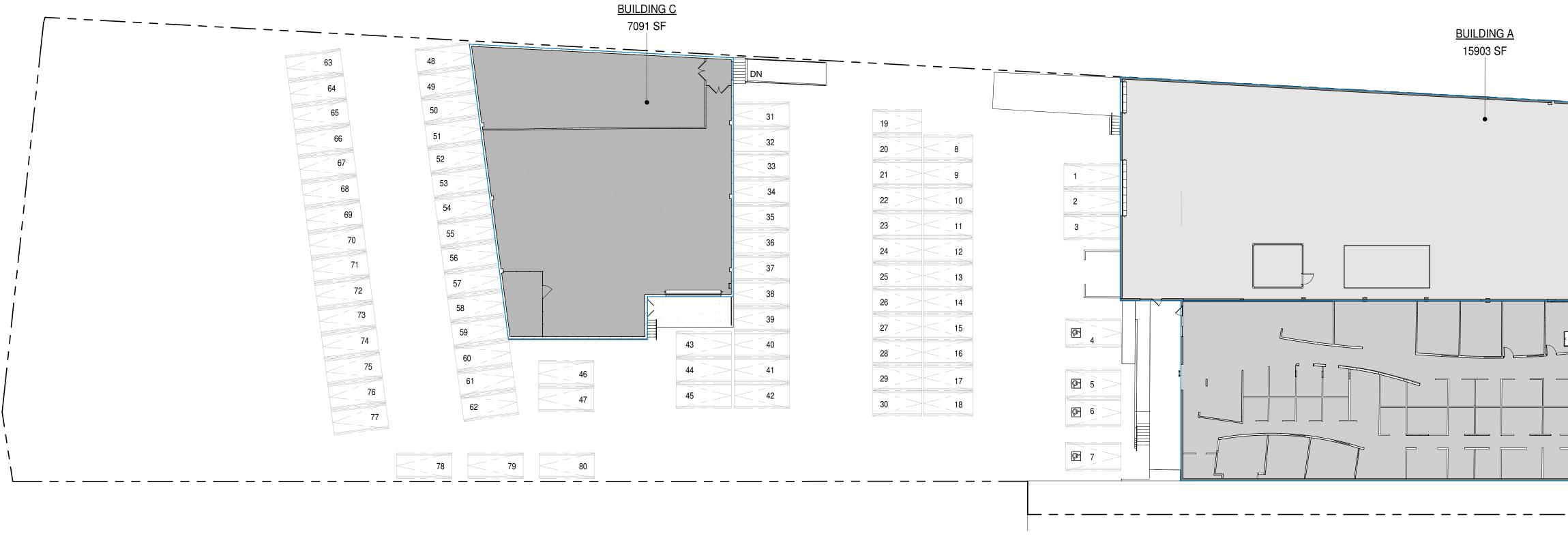
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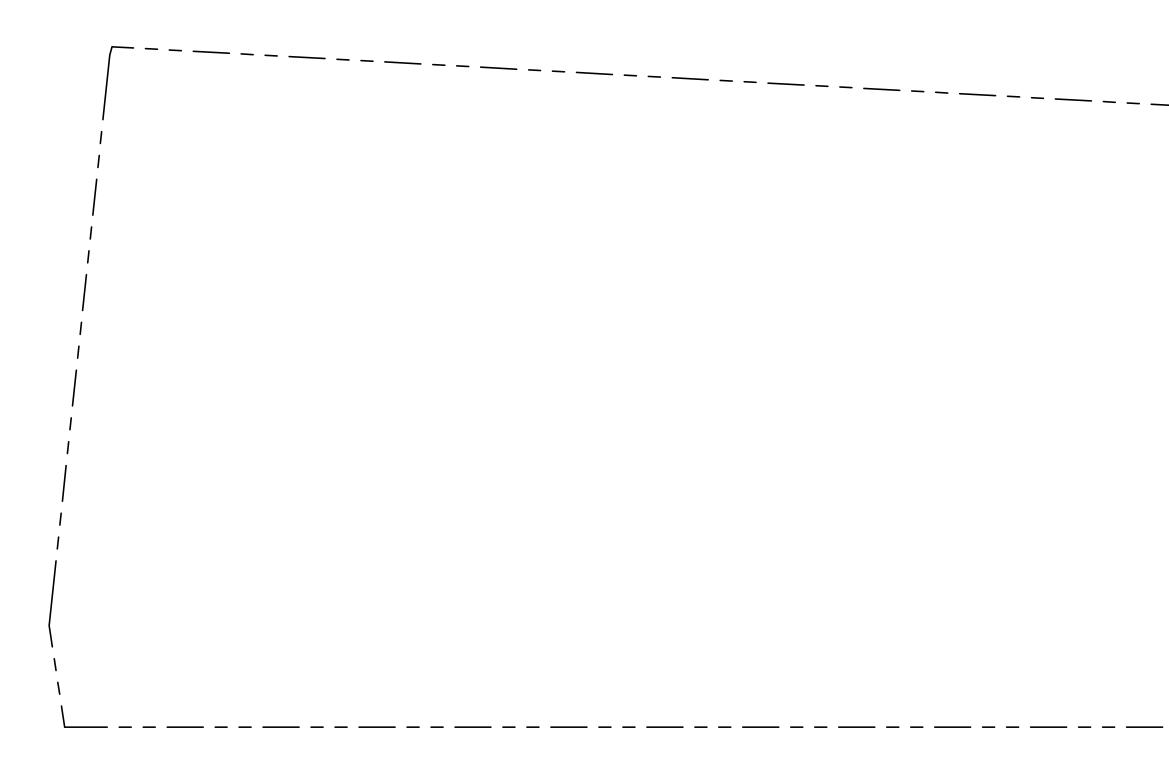
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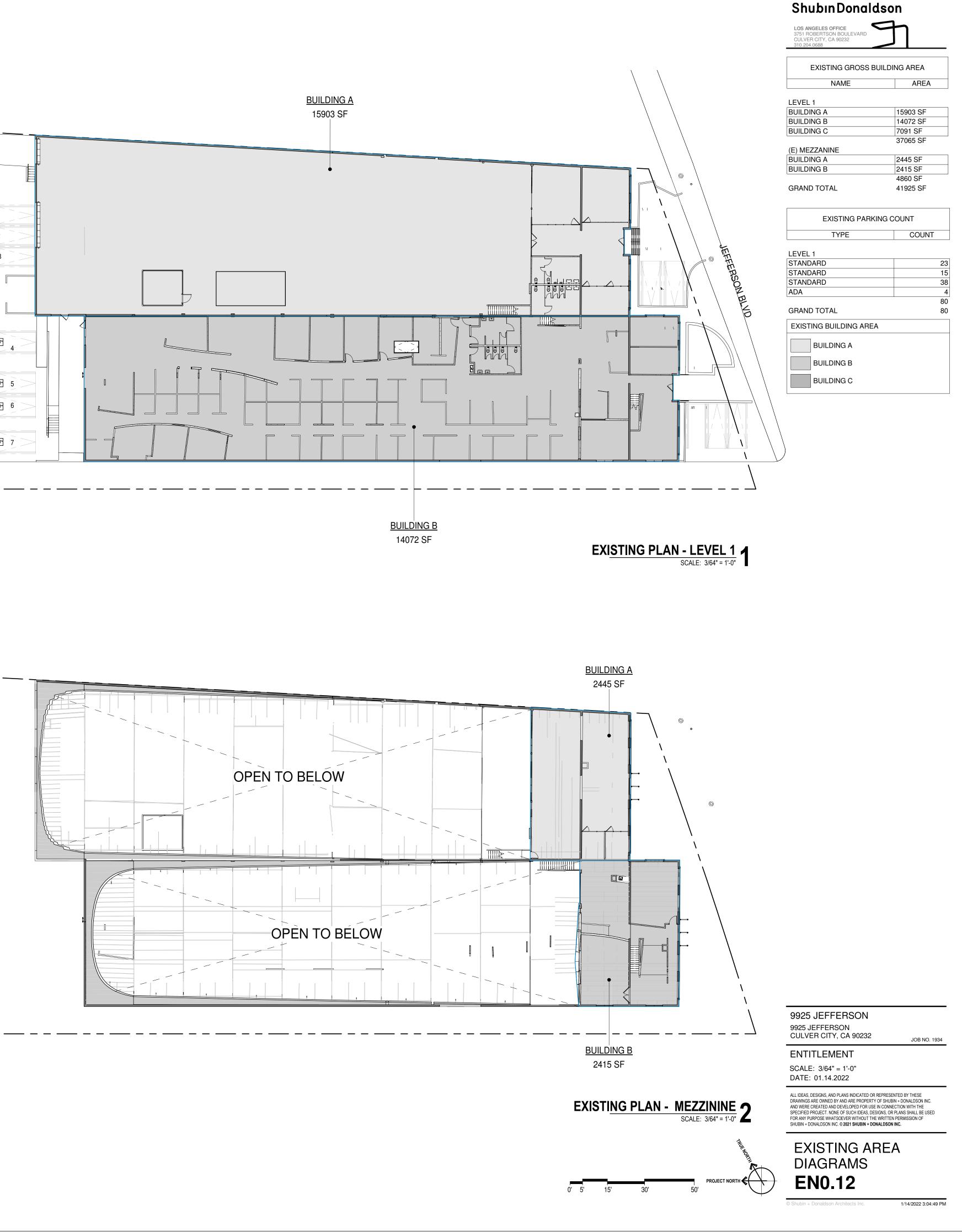
JOB NO. 1934

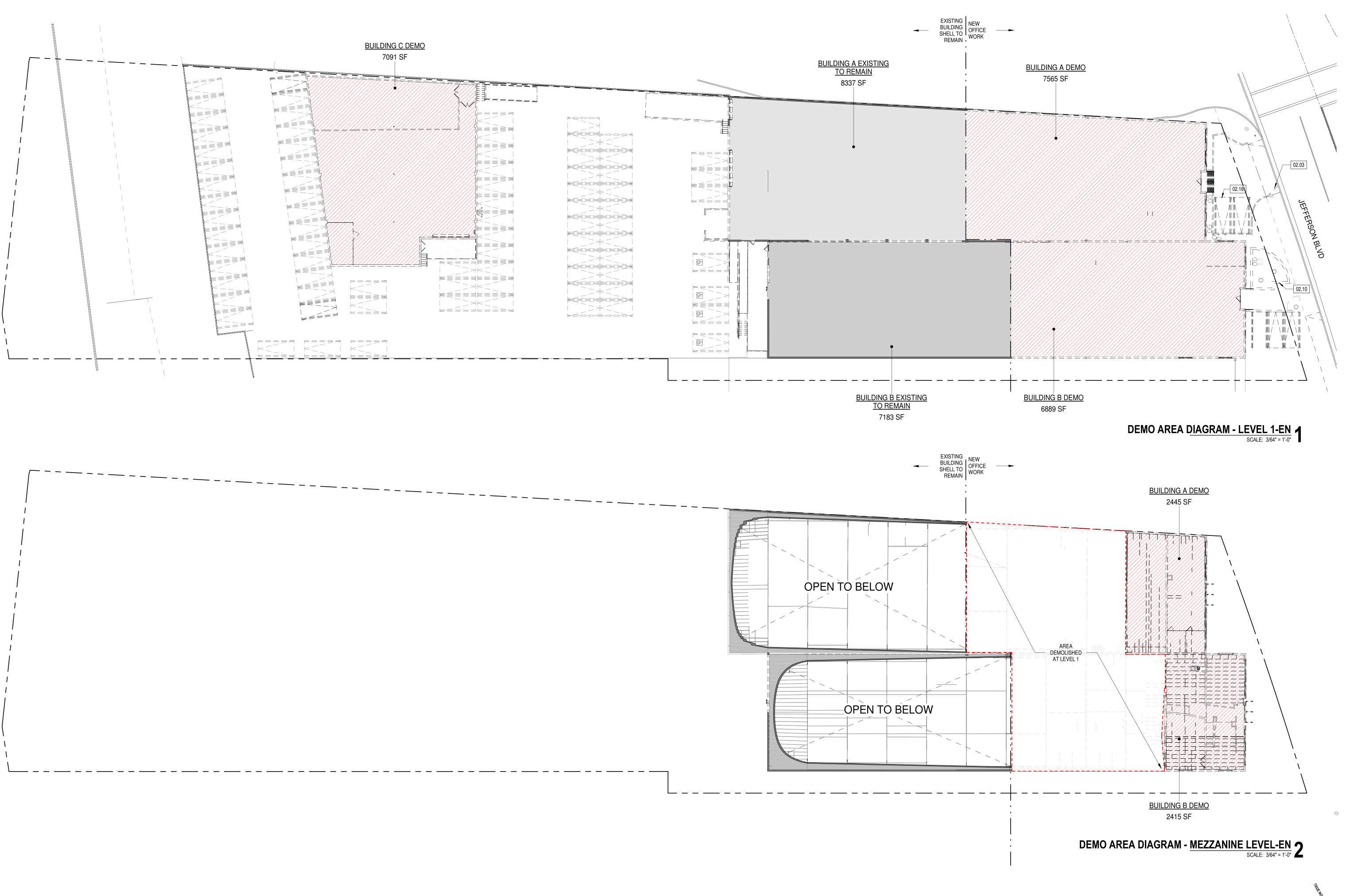
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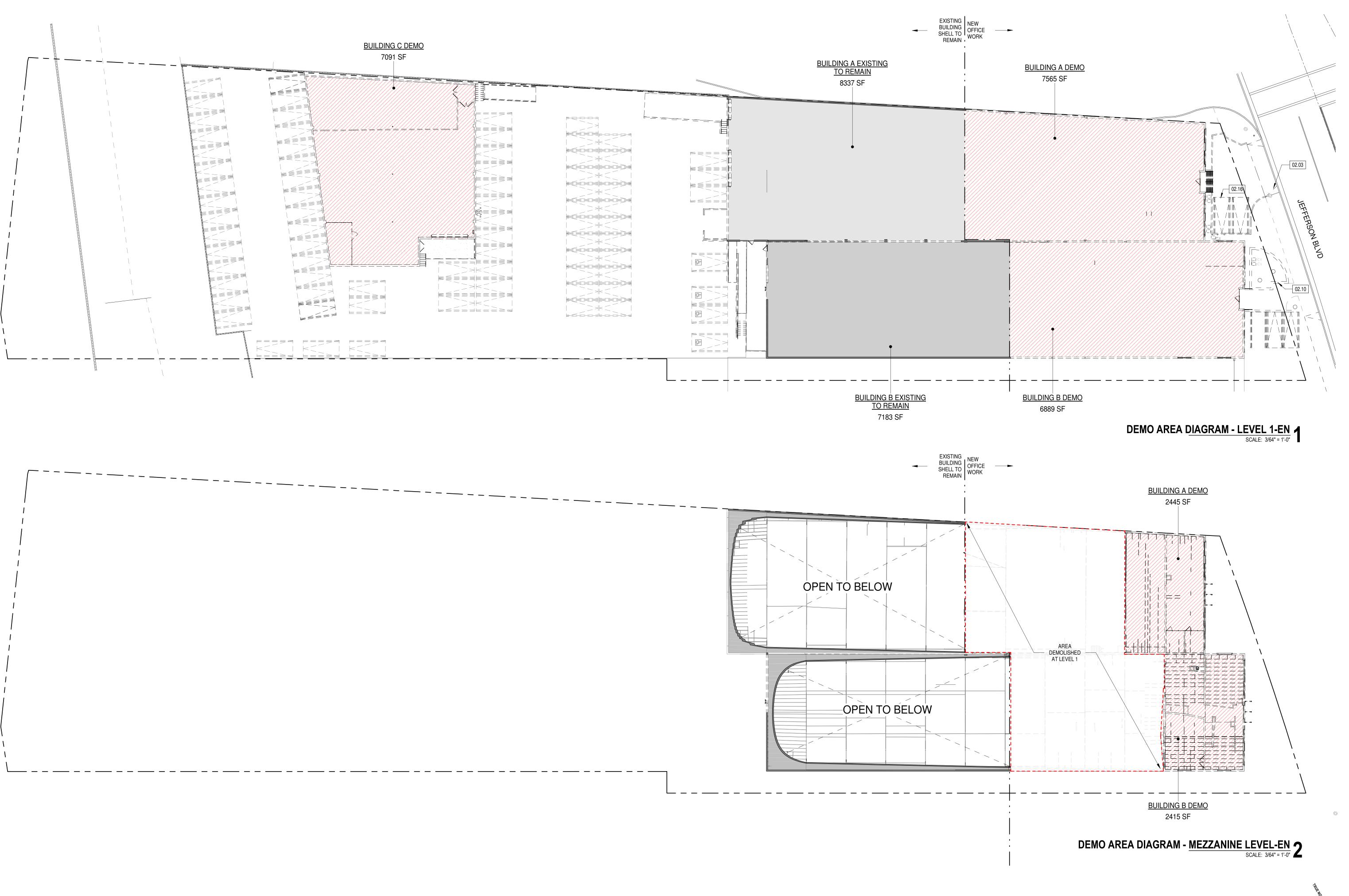
CONCEPT DETAILS EN0.10











0' 5' 15'

30'

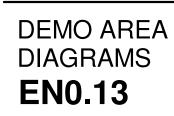
LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688	5
EXISTING GROSS BUIL	DING AREA*
NAME	AREA
LEVEL 1	
BUILDING A	15903 SF
BUILDING B	14072 SF
BUILDING C	7091 SF
	37065 SF
(E) MEZZANINE	
BUILDING A	2445 SF
BUILDING B	2415 SF
L	4860 SF
GRAND TOTAL	41925 SF
*REFERENCE A0.12 EXISTING ARE	A DIAGRAMS
DEMO AREA	A
NAME	AREA
LEVEL 1	
BUILDING A DEMO	7565 SF
BUILDING B DEMO	6889 SF
BUILDING C DEMO	7091 SF
	21545 SF
(E) MEZZANINE	
BUILDING A DEMO	2445 SF
BUILDING B DEMO	2415 SF
	4860 SF
GRAND TOTAL	26405 SF
EXISTING AREA TO	REMAIN
NAME	AREA
LEVEL 1	
BUILDING A EXISTING TO REA	
BUILDING B EXISTING TO REA	/IAIN 7183 SF
	15520 SF
GRAND TOTAL	15520 SF

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EXISTING AND DEMO LEGEND
BUILDING A DEMO
BUILDING A EXISTING TO REMAIN
BUILDING B DEMO
BUILDING B EXISTING TO REMAIN
BUILDING C DEMO

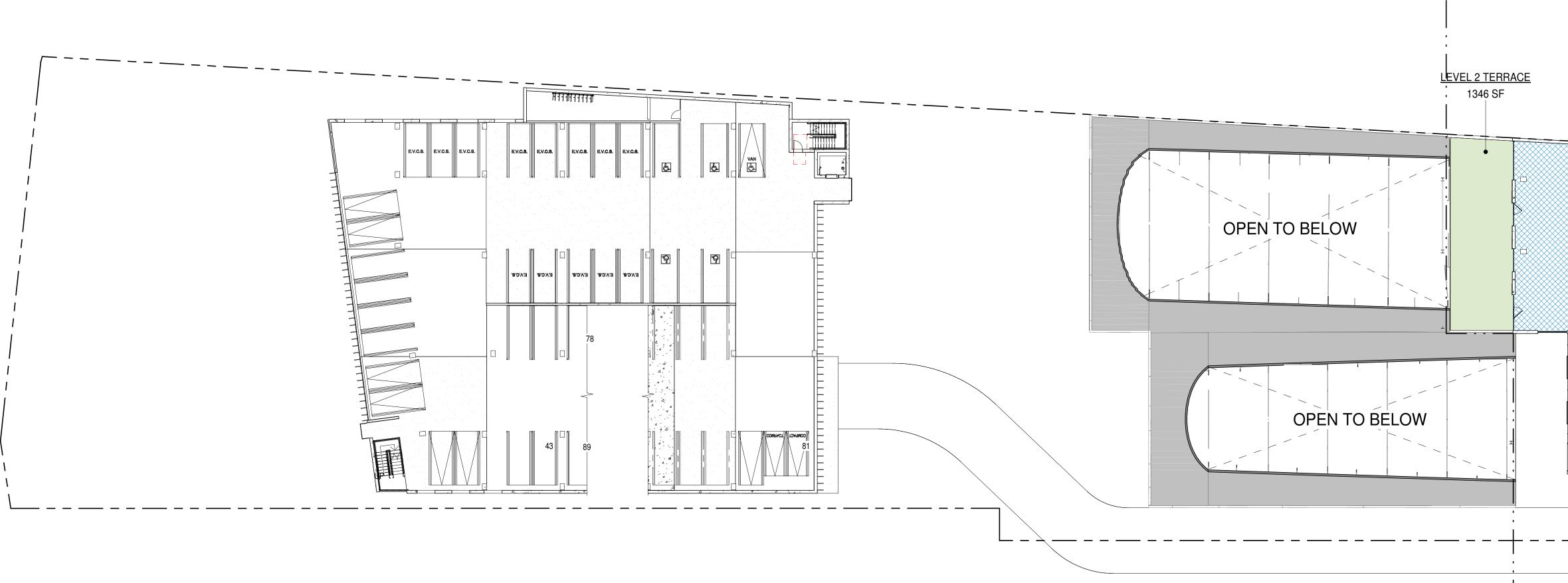
DEMOLITION LEGEND

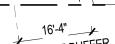
DEMOLI	ION LEGEND
_	(E) WALL / COLUMN TO REMAIN
	WALL TO BE REMOVED
	- ITEM TO BE REMOVED
	WINDOW TO BE REMOVED
	(E) DOOR AND FRAME TO BE REMOVED
	(E) DOOR AND FRAME TO REMAIN
	E LEGEND DESCRIPTION
	T TO BE FILLED IN; REF. NGS, SHEET C3 FOR
02.10 REMOVE (E) F	
02.16 (E) PARKING REMOVED	STRIPING TO BE
9925 JEFFERS 9925 JEFFERSON CULVER CITY, CA 9	-
ENTITLEMENT	
SCALE: As indicated DATE: 01.14.2022	
DRAWINGS ARE OWNED BY AND ARE AND WERE CREATED AND DEVELOPI SPECIFIED PROJECT. NONE OF SUCI	DICATED OR REPRESENTED BY THESE PROPERTY OF SHUBIN + DONALDSON INC. ED FOR USE IN CONNECTION WITH THE HIDEAS, DESIGNS, OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF

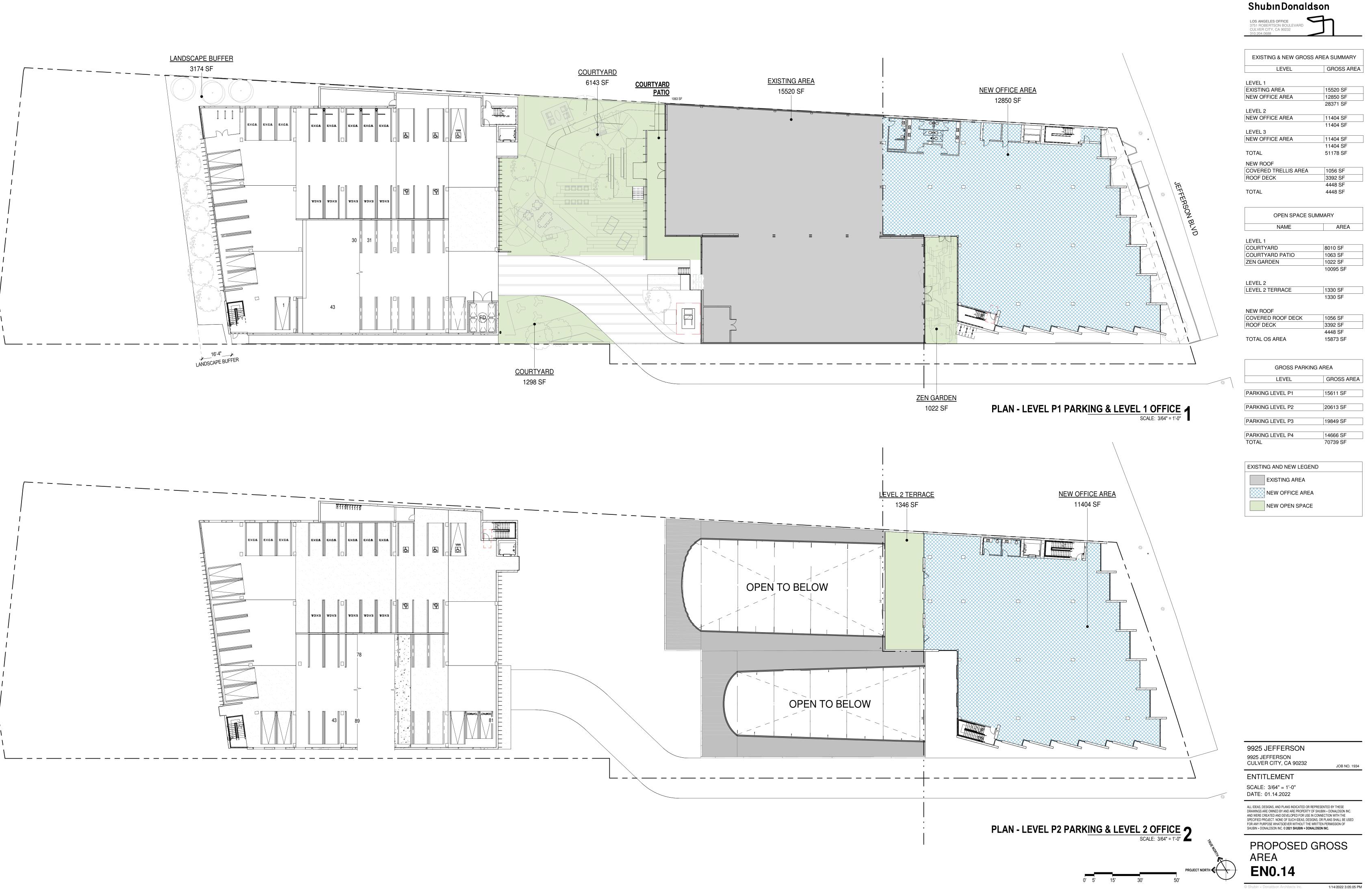


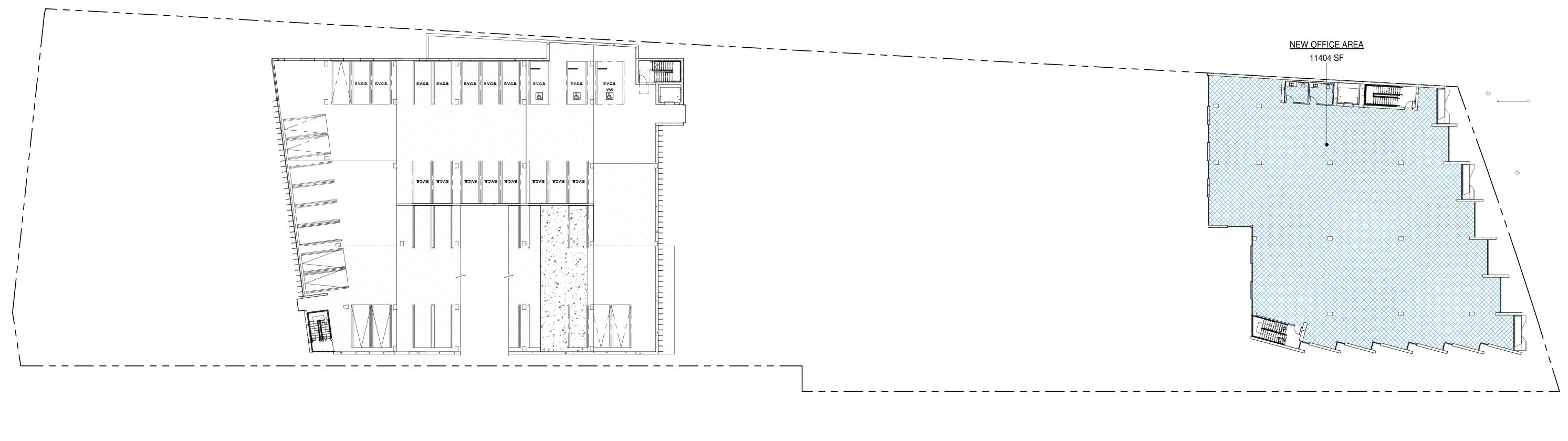
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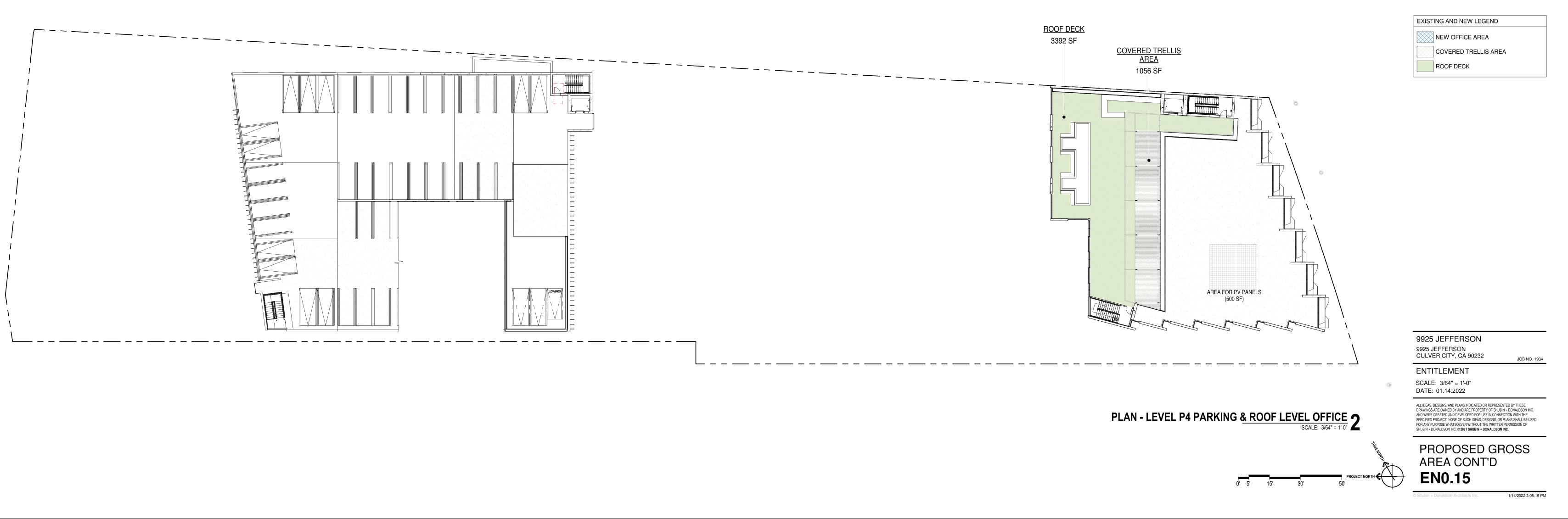
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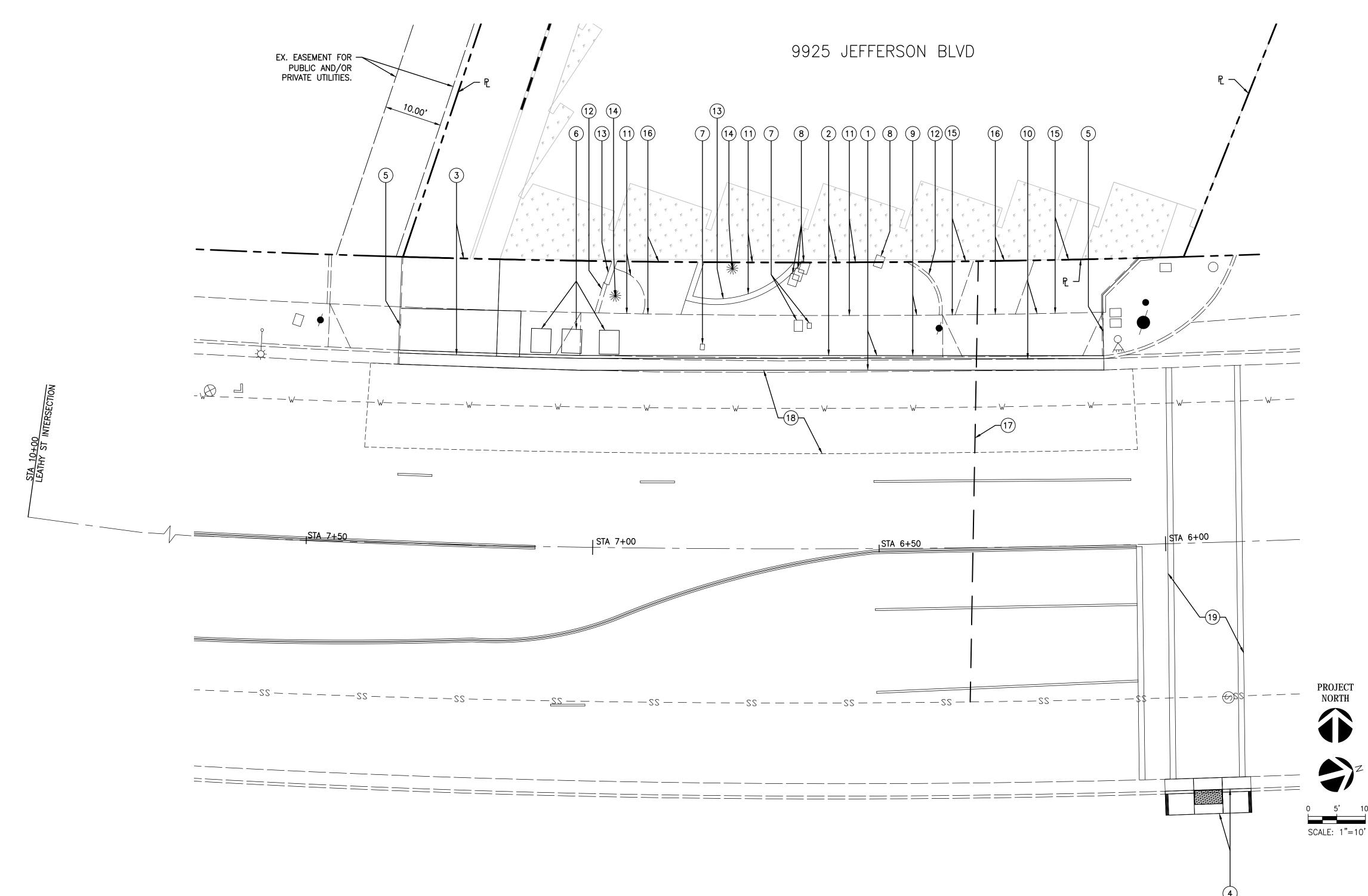
PLAN - LEVEL P3 PARKING & LEVEL 3 OFFICE SCALE: 3/64" = 1'-0"

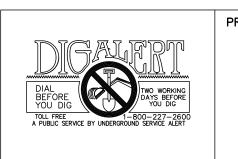
ShubinDonaldson				
LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688	5			
EXISTING & NEW GROSS A	AREA SUMMARY			
LEVEL	GROSS AREA			
LEVEL 1				
EXISTING AREA	15520 SF			
NEW OFFICE AREA	12850 SF			
LEVEL 2	28371 SF			
NEW OFFICE AREA	11404 SF			
	11404 SF			
LEVEL 3				
NEW OFFICE AREA	11404 SF			
	11404 SF			
TOTAL	51178 SF			
10 me	01170 01			
NEW ROOF				
COVERED TRELLIS AREA	1056 SF			
ROOF DECK	3392 SF			
	4448 SF			
TOTAL	4448 SF			
OPEN SPACE SUM	MARY			
NAME	AREA			
LEVEL 1				
COURTYARD	8010 SF			
COURTYARD PATIO	1063 SF			
ZEN GARDEN	1000 SF			
	10095 SF			
LEVEL 2				
LEVEL 2 TERRACE	1330 SF			
	1330 SF			
NEW ROOF				
COVERED ROOF DECK	1056 SF			
ROOF DECK	3392 SF			

TOTAL OS AREA

4448 SF 15873 SF

GROSS PARKING AREA				
LEVEL	GROSS AREA			
PARKING LEVEL P1	15611 SF			
PARKING LEVEL P2	20613 SF			
PARKING LEVEL P3	19849 SF			
PARKING LEVEL P4	14666 SF			
TOTAL	70739 SF			

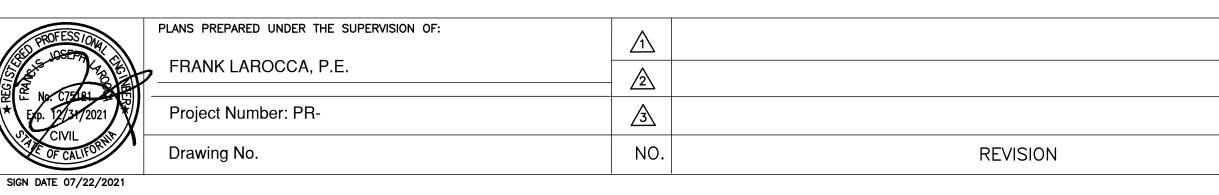






319 Main Street El Segundo, CA 90245 t: 213/ 239 9700





LEGEND

_	-	_

- - PROPERTY LINE

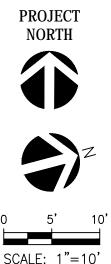
APPROXIMATE LIMIT OF SAWCUT

CONSTRUCTION NOTES

- 1 CONSTRUCT 7" CURB & GUTTER TYPE A2 OVER 12" TREATED SUBGRADE PER APWA STD. 120-3.
- 2 CONSTRUCT 4" PCC SIDEWALK OVER 12" TREATED SUBGRADE PER APWA STD. 113–2.
- (3) CONSTRUCT 6" PCC TYPE A DRIVEWAY OVER 12" TREATED SUBGRADE PER APWA STD. 110-2, 7" CURB FACE, X=4', Y=8', W=17'. JOIN TO MATCH NEIGHBOR'S EXISTING GRADES.
- (4) CONSTRUCT TYPE 1 CURB RAMP PER APWA STD. 111-5, X=5'.
- 5 SAWCUT
- 6 INSTALL WATER METER
- (7) REMOVE EX. WATER METER
- (8) REMOVE EX. IRRIGATION CONTROL VALVE
- (9) REMOVE EX. SIDEWALK
- (10) REMOVE EX. DRIVEWAY APRON
- (11) REMOVE EX. PARKWAY LANDSCAPE
- (12) REMOVE EX. PARKWAY CURB
- (13) REMOVE EX. PARKWAY WALL
- (14) REMOVE EX. TREE
- (15) REMOVE EX. AC PAVEMENT
- (16) REMOVE EX. CONCRETE PAVEMENT
- (17) CONSTRUCT SEWER HOUSE CONNECTION
- (18) 2" MIN. GRIND AND OVERLAY.
- (19) REPLACE/REFRESH EXISTING CROSSWALK STRIPING.

<u>NOTES</u>

1. ALL IMPROVEMENTS SHOWN WITHIN THE PROPERTY LINE BOUNDARY IS SHOWN FOR REFERENCE ONLY. IMPROVEMENTS TO BE CONSTRUCTED UNDER SEPARATE PERMIT.



				CITY OF CULVER CITY					
				PUBLIC WORKS DEPARTMENT					
					9925 JEFFERSON BL	_VD			
				S		ITS			
				_					
				APPROVED BY			EET		
						C	:3		
E	BY	APPR.	DATE	SENIOR ENGINEER	DATE	Sheet 3 Of	3	Sheets	



9925 Jefferson Landscape Package

TABLE OF CONTENTS

- L2.00 SITE PLAN
- L2.10 ENTRY COURT ENLARGEMENT
- L2.20 ZEN GARDEN ENLARGEMENT
- L2.30 SECOND LEVEL TERRACE ENLARGEMENT
- L2.40 ROOFTOP ENLARGEMENT

GENERAL NOTES

than 20% of new parking, walking or patio surfaces shall be permeable. Exceptions: а. included when calculating the area required to be a permeable surface. b. Regulations, Title 24, Part 2, Chapter 11A and/or Chapter 11 B as applicable.

Code: 5.304.2 Landscape irrigation controls for other than low-rise residential building. All new landscape irrigation shall utilize automatic irrigation controllers utilizing either evapotranspiration or soil moisture sensor data for irrigation scheduling.

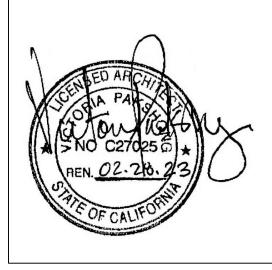
[place]

[pakshong landscape and architectural collaborative] 3617 exposition boulevard los angeles ca 90016 310 450 8100 fax 323 737 3290

CONSULTANTS

ARCHITECT Shubin Donaldson 3751 S. Robertson Blvd. Culver City, CA 90232 P: 310.204.0688 Mark Hershman

NAME OF ISSUE



KEY PLAN

9925 Jefferson

9925 Jefferson Blvd. Culver City, CA 90232

Drawn by : LS Scale : As Noted Description: PPR ENTITLEMENT

Project # : 2014

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Ref. North

PROJECT NORT

Date:

03/26/21

07/06/21

SHEET TITLE: TITLE SHEET

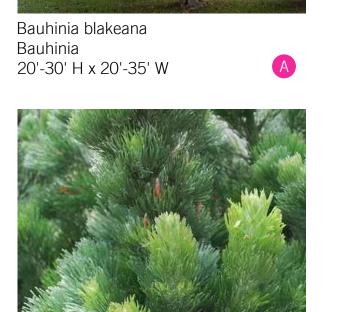
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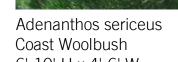
- Code: 5.106.3 Water permeable surfaces for other than low-rise residential building. Not less The Primary driveway, primary entry walkway and entry porch or landing shall not be

 - Required accessible routes for persons with disabilities as required by California Code of



Bauhinia blakeana Bauhinia





COURTYARD PALETTE

6'-10' H x 4'-6' W



Lophostemon confertus Brisbane Box 30'-50' H x 10'-30' W



Dietes grandiflora Fortnight Lily 3'-4' H x 4'-6' W

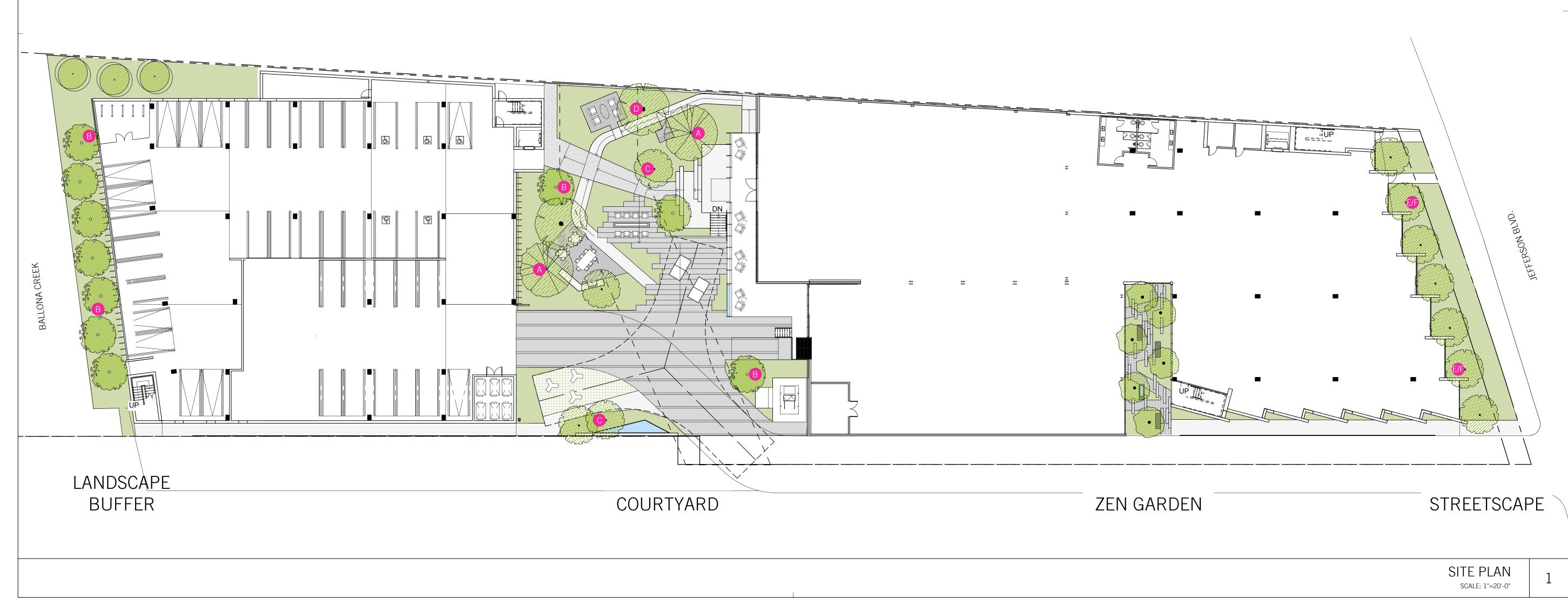


Olea europaea 'Fruitless' Fruitless Olive 15'-25' H x 15'-20' W

В



Lomandra longifolia Mat Rush 4'-5' H x 4'-6' W





Ulmus parvifolia Standard Chinese Evergreen Elm 40'-50' H x 25'-40' W

D



Olea europaea 'Montra' Little Ollie 6'-8' H x 4'-5' W



AERIAL OF COURTYARD

Lomandra longifolia Mat Rush 4'-5' H x 4'-6' W

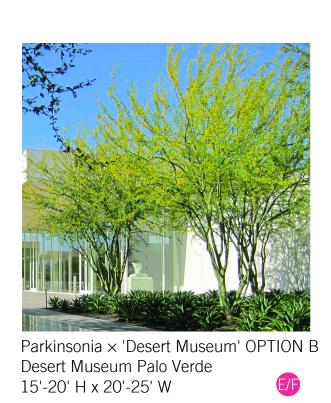
[place]



Olea europaea 'Fruitless', OPTION A Fruitless Olive 15'-25' H x 15'-20' W E/F



STREETSCAPE PALETTE





Muhlenbergia 'Pink Flamingo' Pink Flamingo Muhly 3'-4' H x 2'-3' W

CONSULTAN	NTS	
ARCHITECT		
Shubin Donaldson 3751 S. Robertson Blvd. Culver City, CA 90232		
P: 310.204.0688 Mark Hershman		
NAME OF IS	SUE	
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PIE OF CALIFOR		
]
KEY PLAN		
9925 Jeff	erson	
9925 Jefferson Blv	vd.	
Culver City, CA 902	232	
Project # : 2014 Drawn by : LS	Ref. North	
Scale : As Noted	PROJECT NORTH	
Description:	Date: No. 03/26/21	
PPR	07/06/21 10.26.21	
PPR PPR - Revsions PPR - Revsions		
PPR - Revsions		
PPR - Revsions		
PPR - Revsions PPR - Revsions	2014	
PPR - Revsions PPR - Revsions PR - Revsions PR OJECT NO: These drawings, specifications, idea are and shall remain the property of to others or used in connection with	2014 as, designs, and arrangements presented thereby, f [place]. No part thereof shall be copied, disclosed any work or project other than the specific project	
PPR - Revsions PPR - Revsions PR - Revsions PR OJECT NO: These drawings, specifications, idea are and shall remain the property of to others or used in connection with for which they have been prepared	as, designs, and arrangements presented thereby, f [place]. No part thereof shall be copied, disclosed any work or project other than the specific project and developed without the written consent of rawings or specifications shall constitute conclusive	
PPR - Revsions PPR - Revsions PR - Revsions PR OJECT NO: These drawings, specifications, idea are and shall remain the property of to others or used in connection with for which they have been prepared. [place]. Visual contact with these dr evidence of acceptance of these res S H E E T	as, designs, and arrangements presented thereby, f [place]. No part thereof shall be copied, disclosed any work or project other than the specific project and developed without the written consent of rawings or specifications shall constitute conclusive	









NOT FOR CONSTRUCTION



CONCEPT IMAGE















Monstera deliciosa Split-Leaf Philodendron 6'-10' H x 4'-6' W



Nephrolepis cordifolia Sword Fern 2'-3' H x 2'-3' W



Pittosporum crassifolium 'Compactum' Dwarf Caro 3'-4' H x 3'-4' W



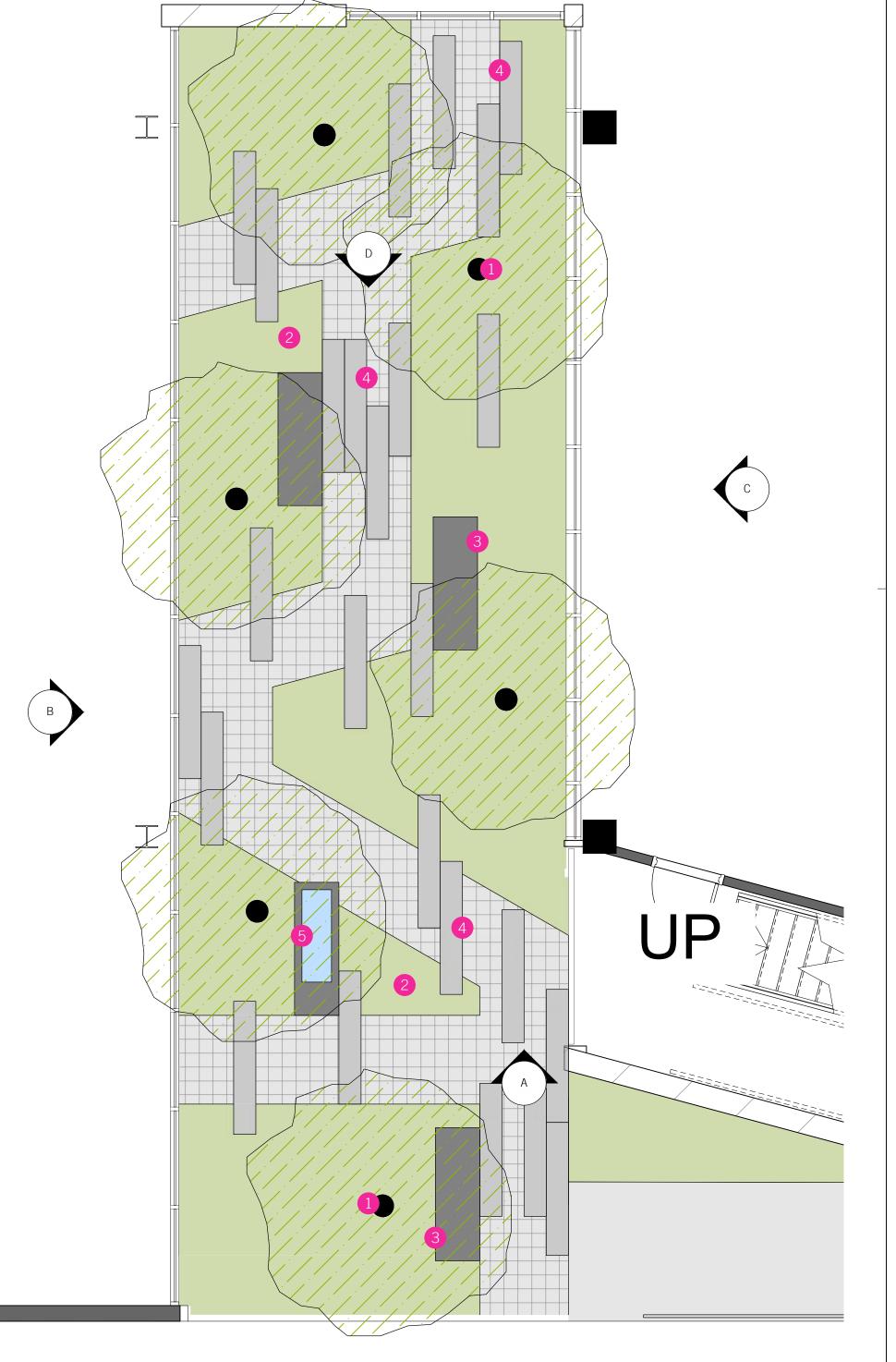
Zamia furfuracea Cardboard Palm 4'-5' H x 4'-6' W



VIEW B



VIEW D



SHADE TOLERANT TREE
 SHADE TOLERANT PLANTING
 BENCH
 STONE PAVER
 WATER FEATURE



[pakshong landscape and architectural collaborative] 3617 exposition boulevard los angeles ca 90016 310 450 8100 fax 323 737 3290

CONSULTANTS

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NAME OF ISSUE



KEY PLAN

9925 Jefferson

9925 Jefferson Blvd. Culver City, CA 90232

Project # : 2014 Drawn by : LS Scale : As Noted Description: PPR

PPR ENTITLEMENT

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Ref. North

No.

2014

TRUE NORTH

PROJECT NORTH

Date:

03/26/21

07/06/21



SCALE: 1/4"=1'-0"

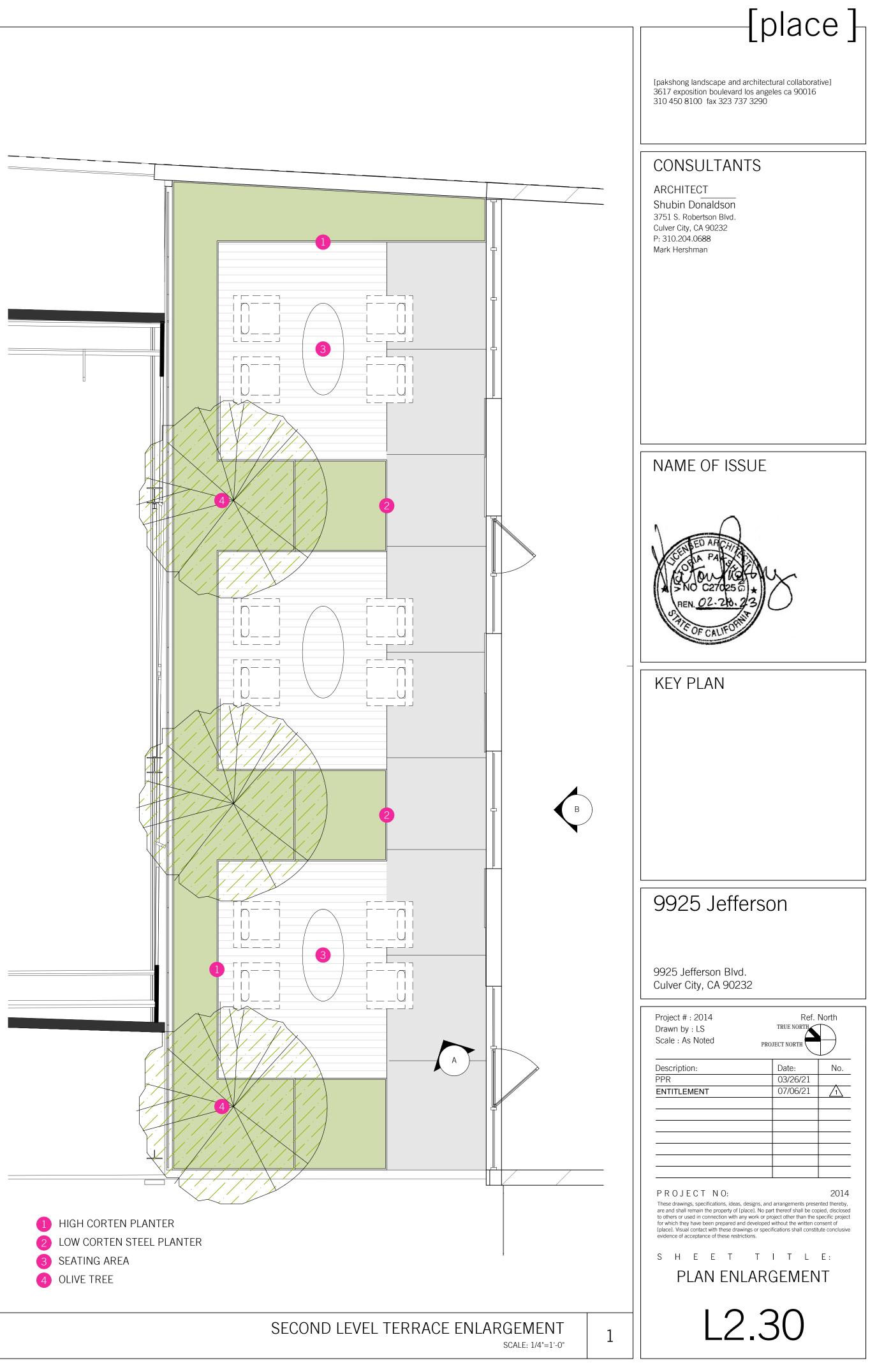












NOT FOR CONSTRUCTION







Lomandra longifolia Mat Rush 4'-5' H x 4'-6' W



Trachelospermum jasminoides Star Jasmine 2'-6' H x Spreading



Westringia fruticosa 'Grey Box' Dwarf Coast Rosemary 2'-3' H x 2'-3' W

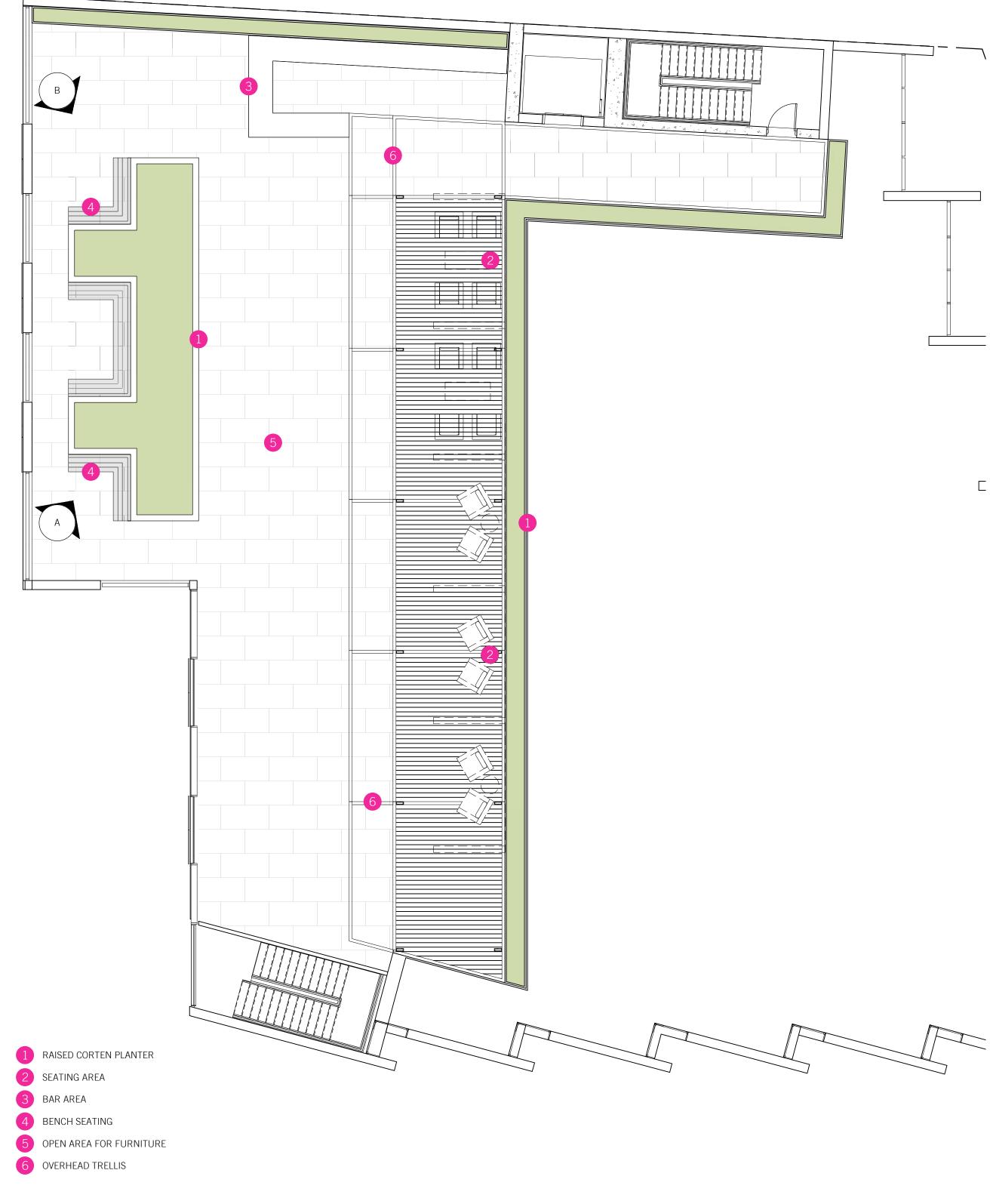






VIEW A

VIEW B



[place]-

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CONSULTANTS

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9925 Jefferson Blvd. Culver City, CA 90232

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Ref. North

No.

TRUE NORTH

PROJECT NORTH

Date:

03/26/21

07/06/21

SHEET TITLE: PLAN ENLARGEMENT

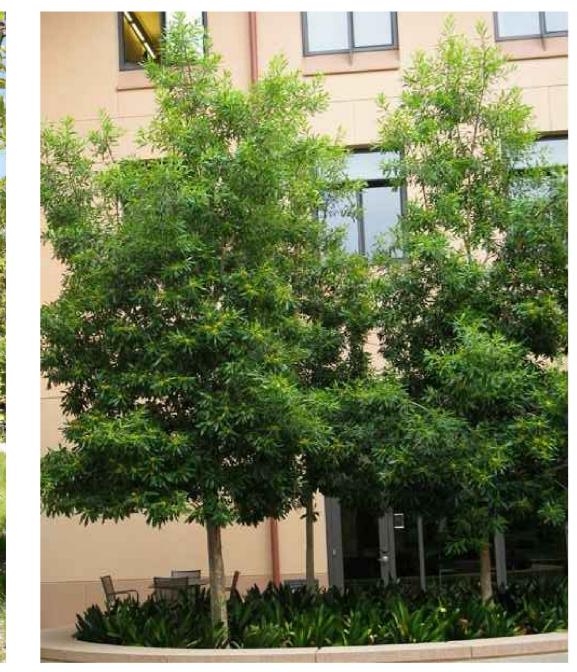
L2.40

ROOFTOP ENLARGEMENT SCALE: 1/8"=1'-0"	1

NOT FOR CONSTRUCTION



Ballona Creek Buffer Planting



Lophostemon confertus BRISBANE BOX

- PROPOSED TREE PLANTING ALONG BALLONA CREEK -TRISTANIA CONFERTA (BRISBANE BOX) - PLANTED AT 15 FEET ON CENTER TO SCREEN BUILDING. 7 TREES TOTAL.
- B SIZE OF TREES AT PLANTING APPROXIMATELY 18 FEET TO 22 FEET IN HEIGHT. TREE SIZE AT MATURITY APPROXIMATELY 30 FEET TO 35 FEET IN HEIGHT WITH 15 FEET TO 30 FEET WIDE CANOPY.
- C ALL TRISTANIA TREES TO BE LOW-BRANCHING AND WILL BE SELECTED AND TAGGED BY PROJECT LANDSCAPE ARCHITECT FOR DELIVERY TO SITE. TAGGING WILL BE DONE FOR 18 FEET TO 22 FEET HIGH TREES PENDING AVAILABILITY. LANDSCAPE ARCHITECT TO PROVIDE PHOTO EVIDENCE OF TAGGED TREES TO CURRENT PLANNING DIVISION PRIOR TO SITE DELIVERY.
- D UNDERSTORY PLANTING BELOW TREES TO BE A VARIETY OF TALL SHRUBS - 6 FEET TO 10 FEET AT MATURITY - INCLUDING HETEROMELES ARBUTIFOLIA (TOYON).
- E. NO TREE OR SHRUB PLANTING WILL BE DECIDUOUS.
- F VINE PLANTING WILL BE FICUS PUMILIA (CREEPING FIG) AND USED TO COVER STAIR AND ELEVATOR TOWER WALLS AT REAR OF GARAGE.
- G SMALL EVERGREEN TREE ARBUTUS MARINA (MARINA STRAWBERRY TREE) TO BE PROVIDED ALONG EASTERLY PARKING STRUCTURE PROPERTY LINE AND NORTH TOWARD THE BALLONA CREEK.

Jefferson 9925 Jefferson Blvd. Culver City, CA 90232 04





Encelia californica **BUSH SUNFLOWER**



Muhlenbergia rigens DEER GRASS

		r				· · · ·		
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	PLANT SIZE	SPACING	NOTES	WUCOLS
TREES								
\bigcirc	Arbutus 'Marina'	Marina Strawberry Tree Multi-Branch	36" Box	3	20'-40'H x 20'-30'W	Per Plan		LOW
\mathbf{O}	Lophostemon confertus	Brisbane Box	36" Box	7	30'-50' H x 10'-30' W	Per Plan		MOD
SHRUBS								
\bigcirc	Ceanothus 'Victoria'	Wild Lilac	5 gal.	_	6'-8'H x 6'-8'W	Per Plan		LOW
\diamond	Encelia californica	Bush Sunflower	5 gal.	_	3'-4'H x 4'-5'W	Per Plan		V LOW
••	Heteromeles arbutifolia 'Davis Gold'	Davis Gold Toyon	15 gal.	-	6'-10'H x 6'-8'W	Per Plan		V LOW
*	Salvia 'Allen Chickering'	Sage	5 gal.	_	4'-5'H x 4'-5'W	Per Plan		V LOW
GRASSES, BAMBOO & PHORMIUMS								
*	Muhlengergia rigens	Deer Grass	5 gal.	_	4'-5'H x 4'-6'W	Per Plan		LOW
GROUNDC	OVER & VINES							
\bigtriangleup	Ficus pumila	Creeping Fig	5 gal.	_	Climbing x Spreading	Per Plan		MOD

Ballona Creek Buffer Planting



Heteromeles arbutifolia 'Davis Gold' DAVIS GOLD TOYON

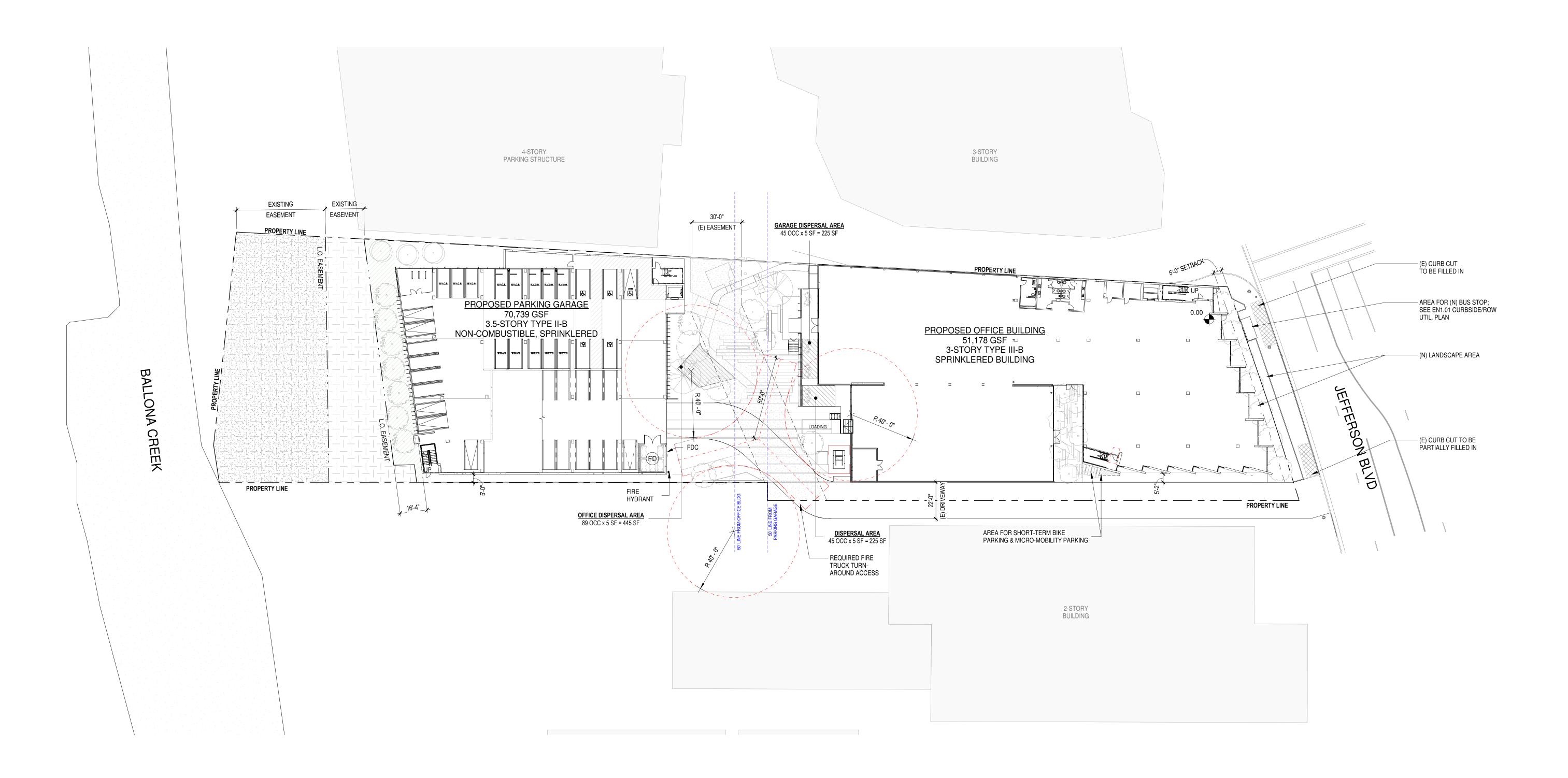


Ficus pumila CREEPING FIG

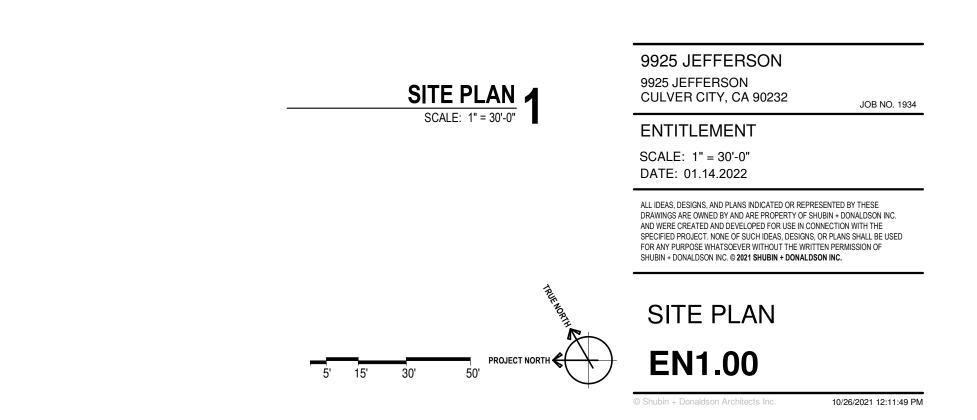
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- G SMALL EVERGREEN TREE ARBUTUS MARINA (MARINA) STRAWBERRY TREE) TO BE PROVIDED ALONG EASTERLY PARKING STRUCTURE PROPERTY LINE AND NORTH TOWARD THE BALLONA CREEK.

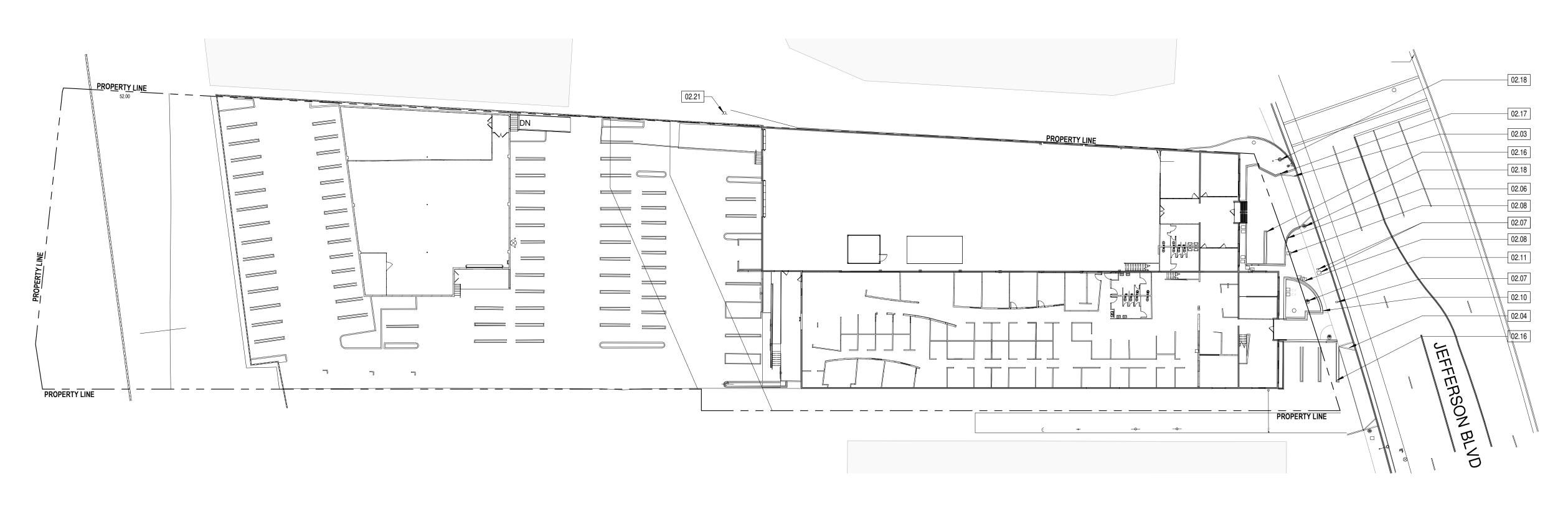
Jefferson 81vd. Culver City, CA 90232 05

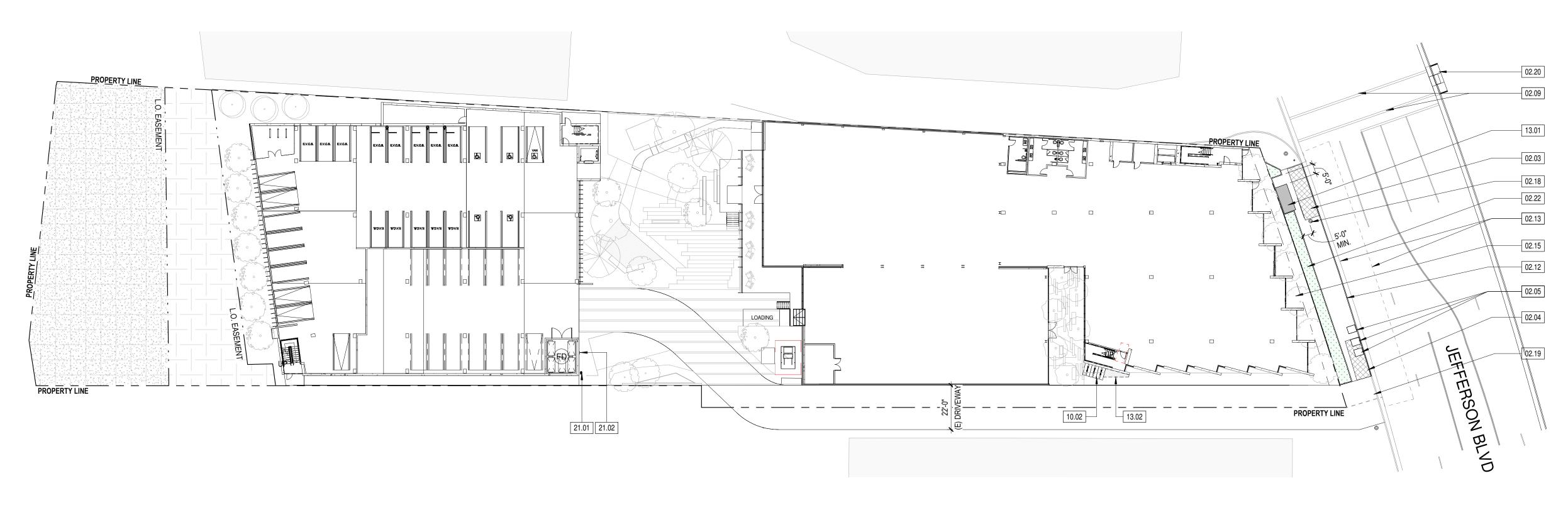
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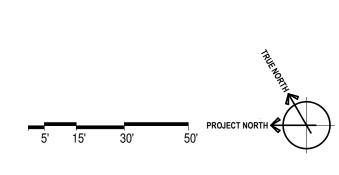






EXISTING SITE PLAN - R.O.W. SCALE: 1" = 30'-0"

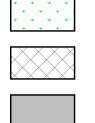
PROPOSED SITE PLAN - R.O.W. SCALE: 1" = 30'-0"



Sh	ubinDonaldson
3751 F CULVI	ANGELES OFFICE ROBERTSON BOULEVARD ER CITY, CA 90232 14.0688
KEY	YNOTE LEGEND DESCRIPTION
02.03	(E) CURB CUT TO BE FILLED IN; REF. CIVIL DRAWINGS, SHEET C3 FOR ADDT'L INFO
02.04	(E) CURB CUT TO BE PARTIALLY FILLED IN AND (N) DRIVEWAY TO BE CONSTRUCTED; REF. CIVIL DRAWINGS, SHEET C3 FOR ADDT'L INFO
02.05	(N) WATER METER
02.06	REMOVE (E) PARKWAY WALLS
02.07	REMOVE (E) WATER METER
02.08	REMOVE (E) IRRIGATION CONTROL VALVE
02.09	REPLACE/REFRESH EXISTING CROSSWALK STRIPING; REF CIVIL SHEET C3
02.10	REMOVE (E) PLANTER WALLS
02.11	REMOVE (E) LANDSCAPING, TYP.
02.12	(N) CURB AND GUTTER; REF. CIVIL DRAWINGS, SHEET C3 FOR ADDT'L INFO
02.13	2" MIN, GRIND AND OVERLAY; REF. CIVIL SHEET C3
02.15	(N) LANDSCAPED AREA
02.16	(E) PARKING STRIPING TO BE REMOVED
02.17	(E) CONC. CURB TO BE REMOVED
02.18	(E) UTILITY POLE
02.19	(N) DRIVEWAY; REF. CIVIL C3 FOR ADDT'L INFO
02.20	(N) CURB RAMP; REF. SHEET C3
02.21	(E) HYDRANT
02.22	(N) PLANTING / LANDSCAPE AREA WITH CURB
10.02	(6) SHORT-TERM BIKE PARKING, PER CULVER CITY STANDARDS. THREE (3) INVERTED U-BIKE RACKS PROVIDED
13.01	AREA FOR (N) BUS STOP PER CULVER CITY STANDARDS
13.02	ON-SITE MICRO-MOBILITY PARKING ZONE THAT IS ACCESSIBLE TO THE PUBLIC FOR THE PARKING OF E-SCOOTERS, SHARED BIKES, AND/OR OTHER MICRO-MOBILITY DEVICES
21.01	(N) HYDRANT
21.02	(N) FDC
L	· ·

SEE CIVIL SHEET C3.0 FOR OFF-SITE IMPROVEMENTS

CURBSIDE / ROW LEGEND



PLANTER / LANDSCAPE AREA

INFILL (E) CURB CUT

AREA FOR BUS STOP PER CULVER CITY STANDARDS

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

ENTITLEMENT

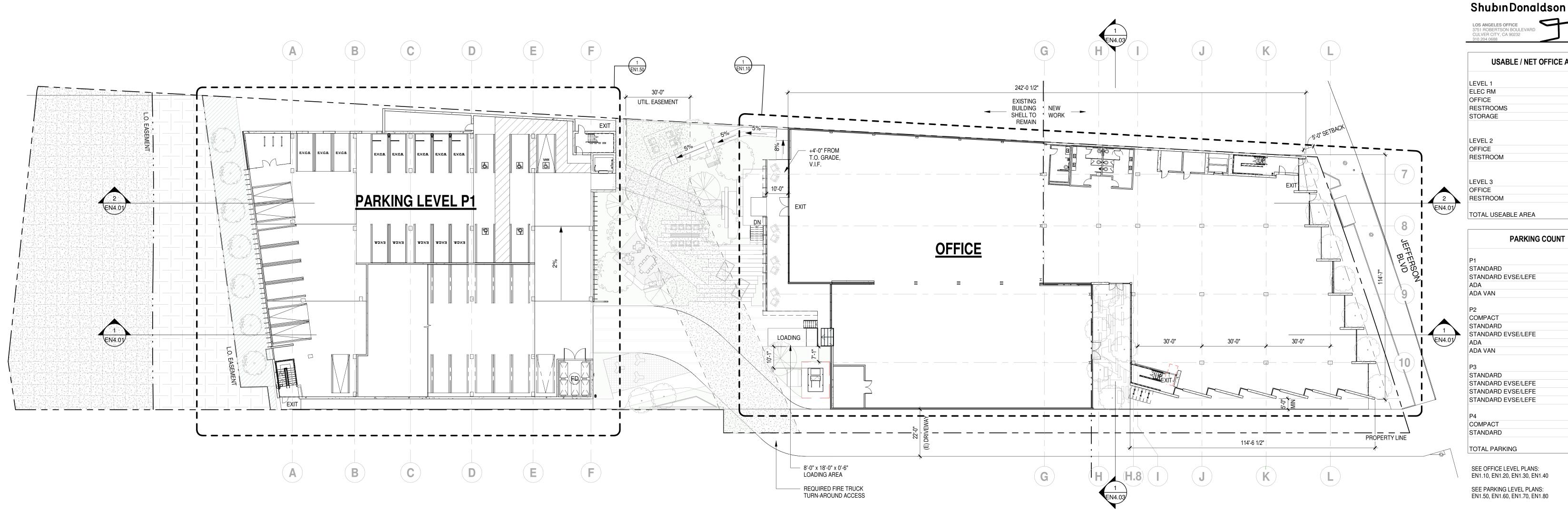
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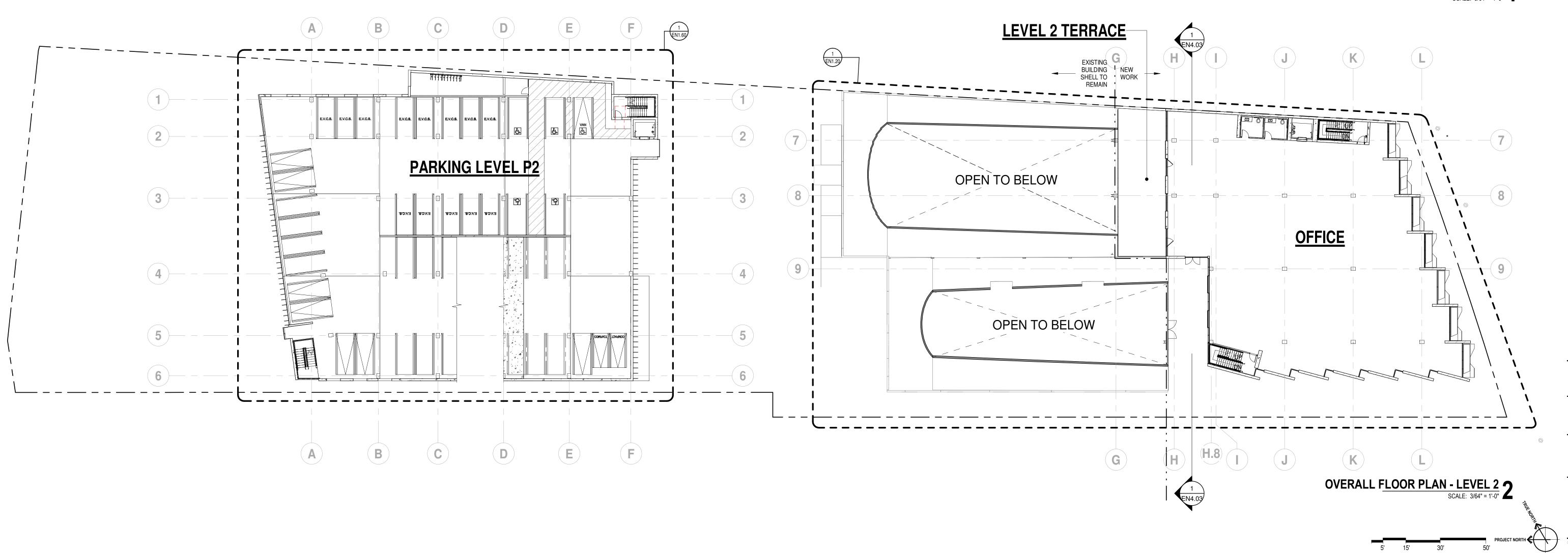
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JOB NO. 1934

11/24/2021 6:23:39 PM

CURBSIDE / ROW UTILIZATION PLAN **EN1.01**





OVERALL FLOOR PLAN - LEVEL 1 SCALE: 3/64" = 1'-0"

5' 15' 30'

50'

LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688	1
USABLE / NET OFFICI	E AREA
LEVEL 1	
ELEC RM	301 SF
OFFICE	26556 SF
RESTROOMS	460 SF
STORAGE	92 SF
	27409 SF
LEVEL 2	
OFFICE	10711 SF
RESTROOM	174 SF
	10885 SF
LEVEL 3	
OFFICE	10711 SF
RESTROOM	174 SF
	10885 SF
TOTAL USEABLE AREA	49179 SF

PARKING COUNT	
P1	
STANDARD	34
STANDARD EVSE/LEFE	12
ADA	4
ADA VAN	1
20	51
P2 COMPACT	2
STANDARD	
STANDARD STANDARD EVSE/LEFE	27
ADA	4
ADA ADA VAN	4
	48
P3	40
STANDARD	42
STANDARD EVSE/LEFE	15
STANDARD EVSE/LEFE	2
STANDARD EVSE/LEFE	1
D4	60
P4	4
COMPACT STANDARD	1
STANDARD	17
TOTAL PARKING	18 177

SEE OFFICE LEVEL PLANS: EN1.10, EN1.20, EN1.30, EN1.40

SEE PARKING LEVEL PLANS: EN1.50, EN1.60, EN1.70, EN1.80

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

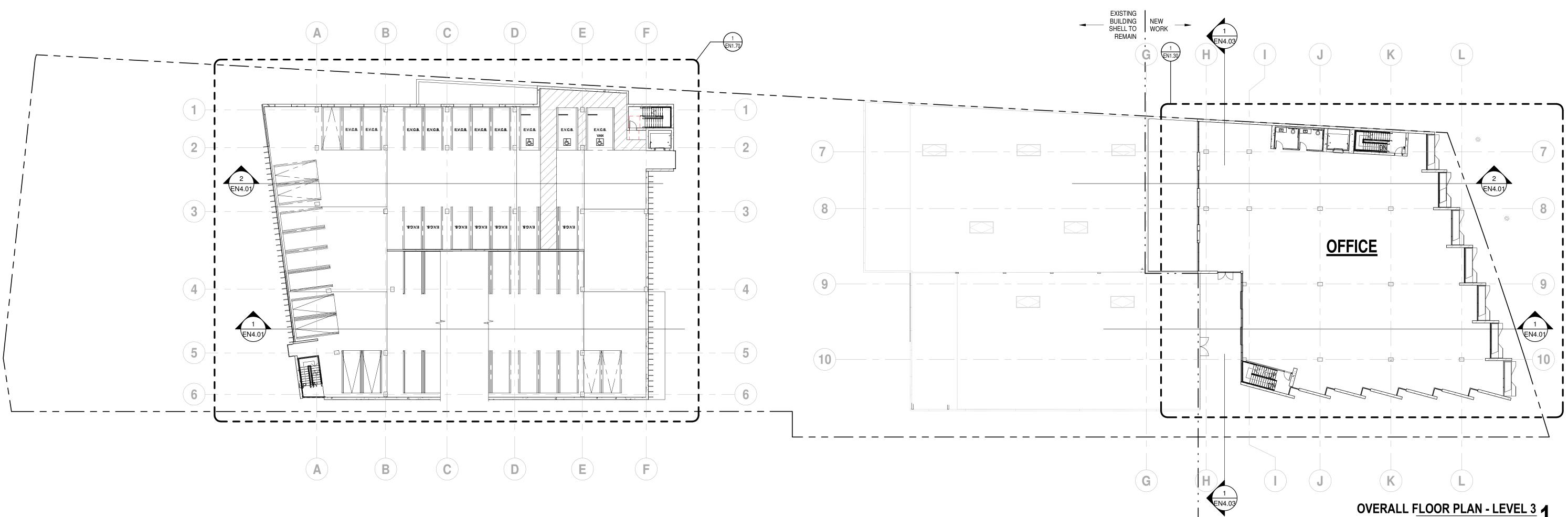
ENTITLEMENT SCALE: 3/64" = 1'-0" DATE: 01.14.2022

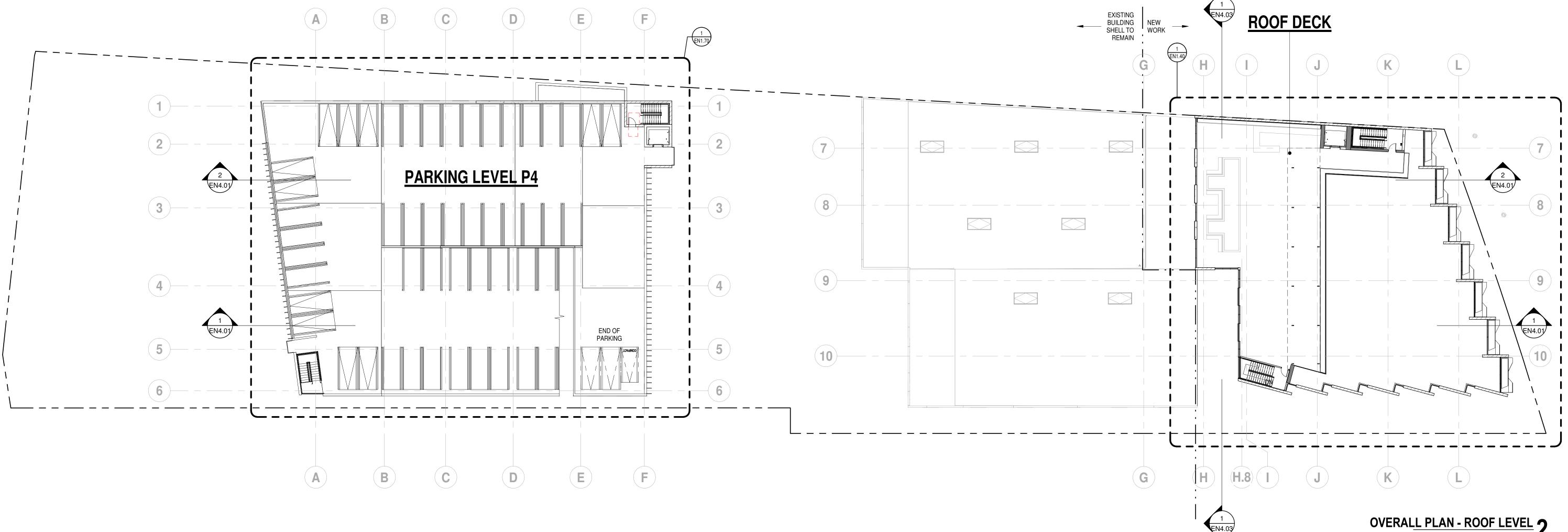
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10/26/2021 11:02:05 AM

OVERALL FLOOR PLANS EN1.04





OVERALL FLOOR PLAN - LEVEL 3 SCALE: 3/64" = 1'-0"

9 LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688 USABLE / NET OFFICE AREA LEVEL 1 301 SF 26556 SF 460 SF 92 SF ELEC RM OFFICE RESTROOMS STORAGE 27409 SF LEVEL 2 10711 SF OFFICE 174 SF 10885 SF RESTROOM LEVEL 3 10711 SF 174 SF 10885 SF 49179 SF OFFICE RESTROOM TOTAL USEABLE AREA

ShubinDonaldson

PARKING COUNT

P1	
STANDARD	34
STANDARD EVSE/LEFE	12
ADA	4
ADA VAN	1
	51
P2	
COMPACT	2
STANDARD	27
STANDARD EVSE/LEFE	14
ADA	4
ADA VAN	1
	48
P3	
STANDARD	42
STANDARD EVSE/LEFE	15
STANDARD EVSE/LEFE	2
STANDARD EVSE/LEFE	1
	60
P4	
COMPACT	1
STANDARD	17
	18
TOTAL PARKING	177
	177

SEE OFFICE LEVEL PLANS: EN1.10, EN1.20, EN1.30, EN1.40

SEE PARKING LEVEL PLANS: EN1.50, EN1.60, EN1.70, EN1.80

9925 JEFFERSON CULVER CITY, CA 90232 JOB NO. 1934 ENTITLEMENT SCALE: 3/64" = 1'-0" DATE: 01.14.2022 ALL IDEAS, DESIGNS, AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND ARE PROPERTY OF SHUBIN + DONALDSON INC. AND WERE CREATED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, OR PLANS SHALL BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SHUBIN + DONALDSON INC. © 2021 SHUBIN + DONALDSON INC.

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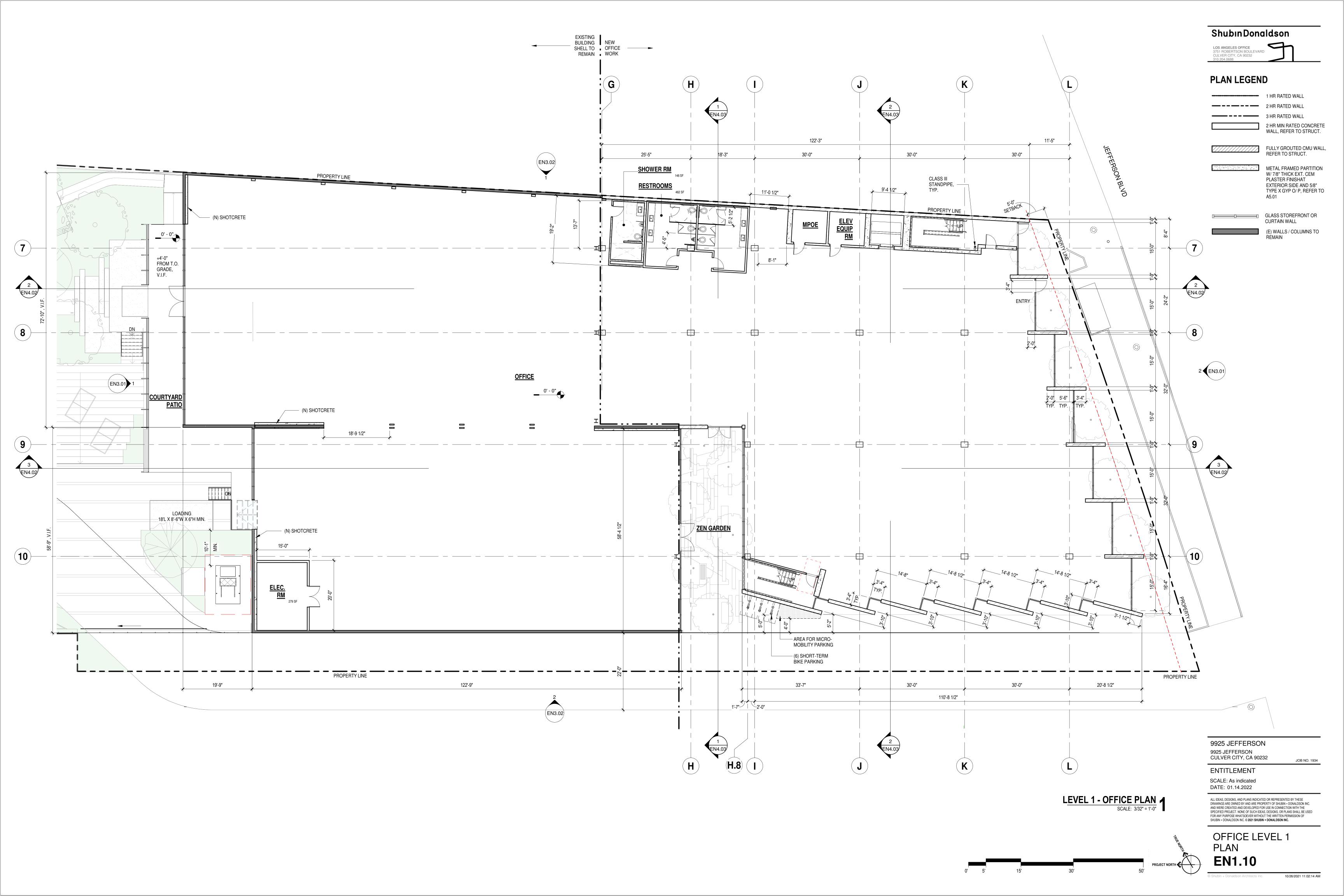
SCALE: 3/64" = 1'-0"

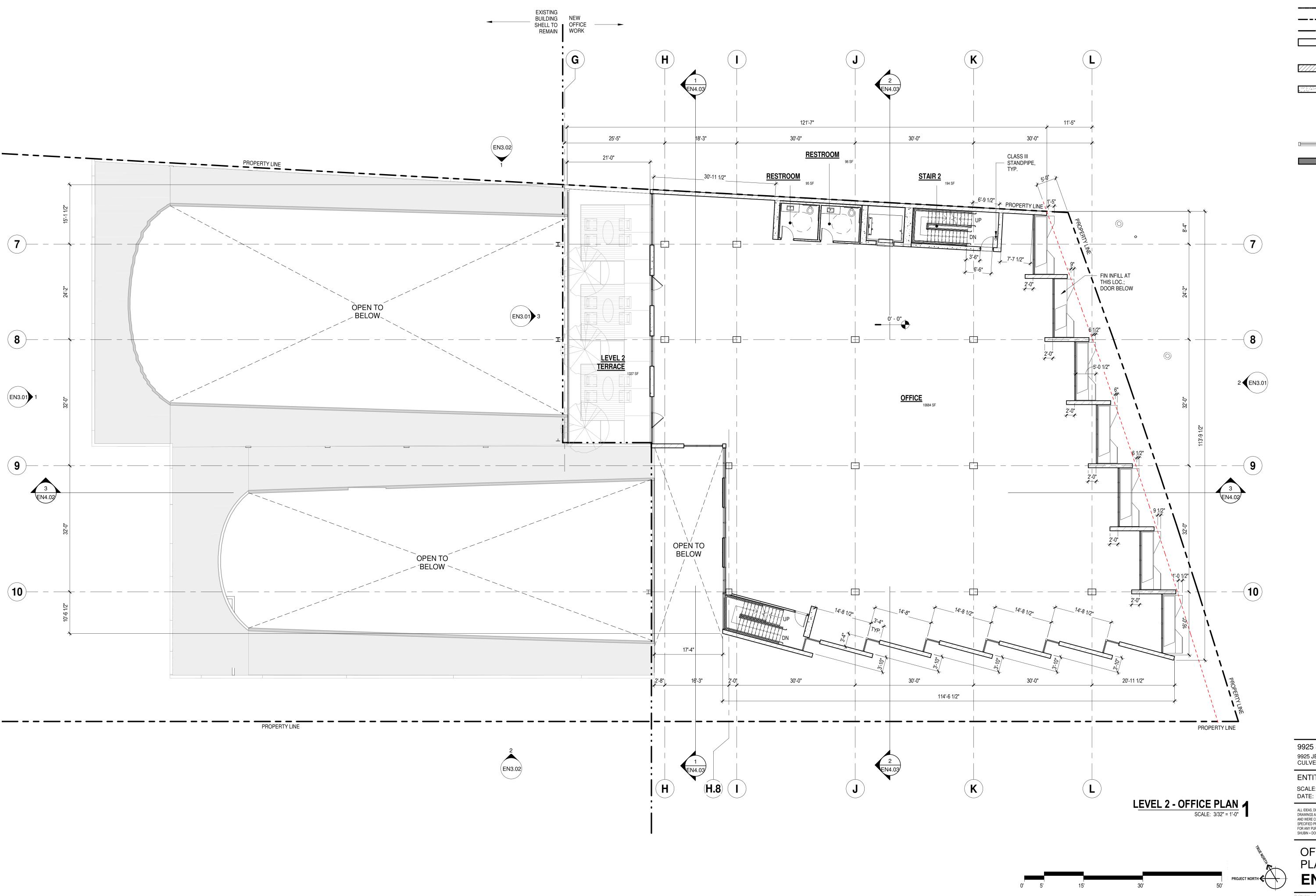
50'

5' 15' 30'

OVERALL FLOOR PLANS EN1.05

10/26/2021 11:02:11 AM





9 LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688 PLAN LEGEND ------ 1 HR RATED WALL 2 HR RATED WALL 3 HR RATED WALL 2 HR MIN RATED CONCRETE WALL, REFER TO STRUCT. FULLY GROUTED CMU WALL, REFER TO STRUCT. METAL FRAMED PARTITION W/ 7/8" THICK EXT. CEM PLASTER FINISHAT EXTERIOR SIDE AND 5/8" TYPE X GYP O/ P, REFER TO A5.01

ShubinDonaldson

GLASS STOREFRONT OR CURTAIN WALL (E) WALLS / COLUMNS TO REMAIN

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

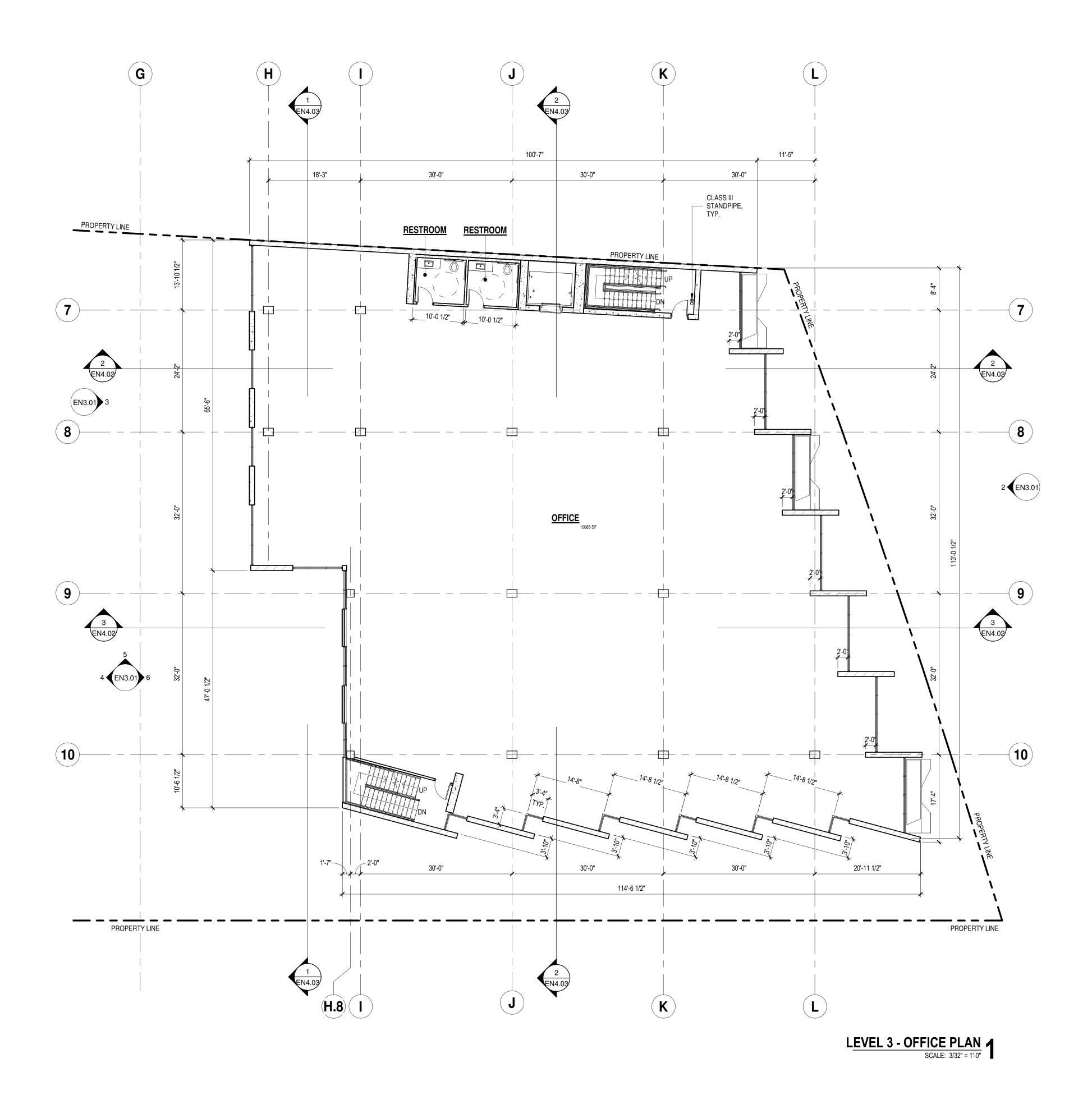
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OFFICE LEVEL 2 PLAN **EN1.20**



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10.204.0000	.0S ANGELES OFFICE 1751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 110.204.0688	F	
	10.204.0688		

PLAN LEGEND

 1 HR RATED WALL
 2 HR RATED WALL
 3 HR RATED WALL
2 HR MIN RATED CONCRETE WALL, REFER TO STRUCT.
FULLY GROUTED CMU WALL REFER TO STRUCT.
METAL FRAMED PARTITION W/ 7/8" THICK EXT. CEM PLASTER FINISHAT EXTERIOR SIDE AND 5/8" TYPE X GYP O/ P, REFER TO A5.01

GLASS STOREFRONT OR CURTAIN WALL (E) WALLS / COLUMNS TO REMAIN

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

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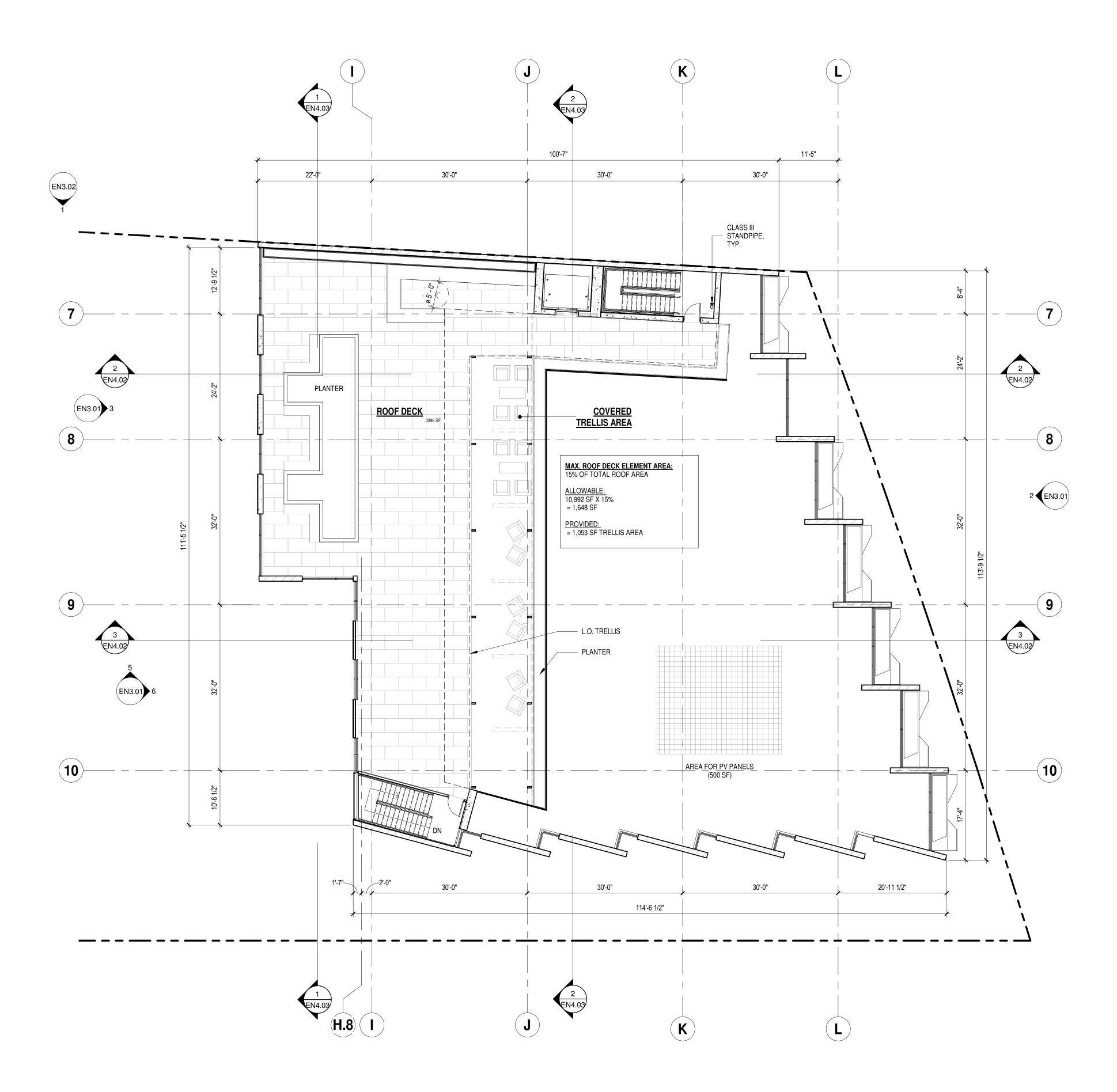
0' 5' 15' 30' 50' PROJECT NORTH

ALL IDEAS, DESIGNS, AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND ARE PROPERTY OF SHUBIN + DONALDSON INC. AND WERE CREATED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, OR PLANS SHALL BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SHUBIN + DONALDSON INC. © 2021 SHUBIN + DONALDSON INC.

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OFFICE LEVEL 3 PLAN **EN1.30**



PLAN - NEW ROOF SCALE: 3/32" = 1'-0" ShubinDonaldson

DS ANGELES OFFICE 51 ROBERTSON BOULEVARD JLVER CITY, CA 90232 0.204.0688	5	
		•

PLAN LEGEND

	1 HR RATED WALL
	2 HR RATED WALL
	3 HR RATED WALL
	2 HR MIN RATED CONCRETE WALL, REFER TO STRUCT.
	FULLY GROUTED CMU WALL, REFER TO STRUCT.
static de la poste de la construcción de la const	METAL FRAMED PARTITION W/ 7/8" THICK EXT. CEM PLASTER FINISHAT EXTERIOR SIDE AND 5/8" TYPE X GYP O/ P, REFER TO A5.01
	GLASS STOREFRONT OR CURTAIN WALL

(E) WALLS / COLUMNS TO REMAIN

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ENTITLEMENT

SCALE: As indicated DATE: 01.14.2022

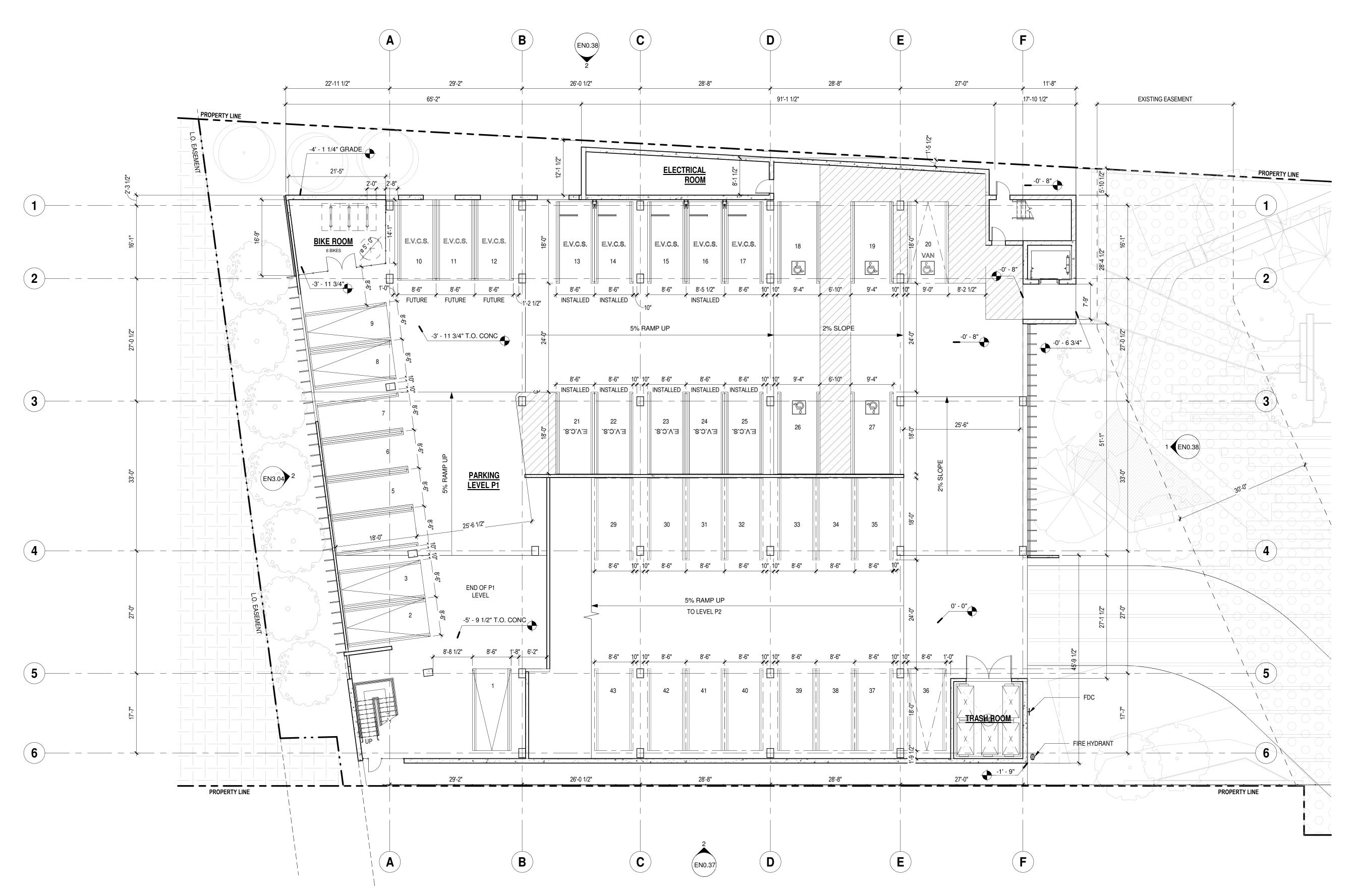
0' 5' 15' 30' 50' PROJECT NORTH

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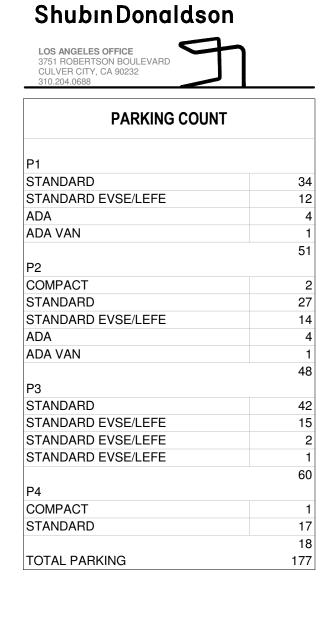
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ROOF LEVEL PLAN EN1.40







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ENTITLEMENT SCALE: 3/32" = 1'-0" DATE: 01.14.2022

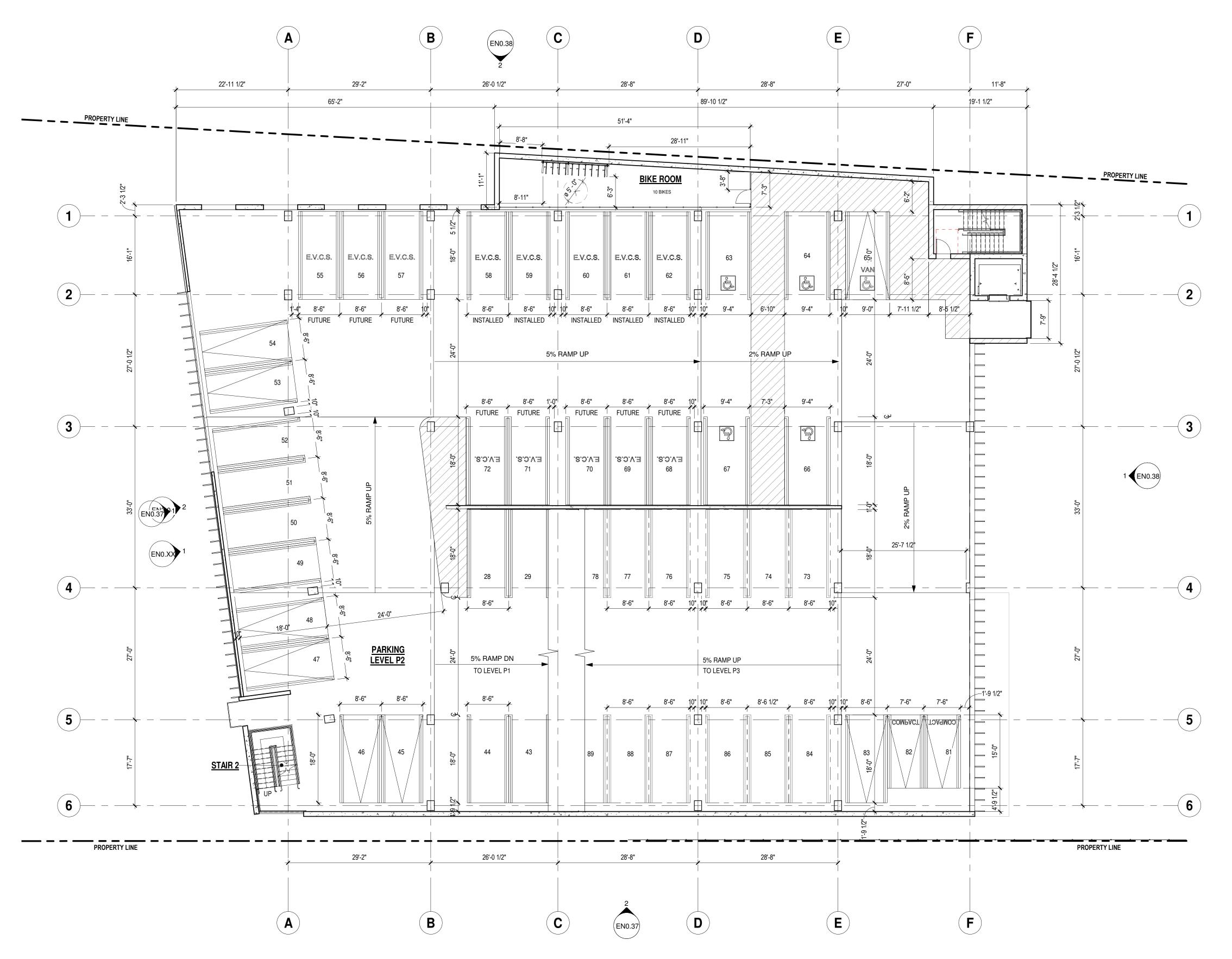
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PARKING LEVEL P1 PLAN **EN1.50**



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LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688		
PARKING COUNT		
P1		
STANDARD	34	
STANDARD EVSE/LEFE	12	
ADA	4	
ADA VAN	1	
P2	51	
COMPACT	2	
STANDARD	27	
STANDARD EVSE/LEFE	14	
ADA	4	
ADA VAN	1	
P3	48	
STANDARD	42	
STANDARD EVSE/LEFE	15	
STANDARD EVSE/LEFE	2	
STANDARD EVSE/LEFE	1	
60 P4		
COMPACT	1	
STANDARD	17	
	18	
TOTAL PARKING	177	



0' 5' 15' 30'

50'

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JOB NO. 1934

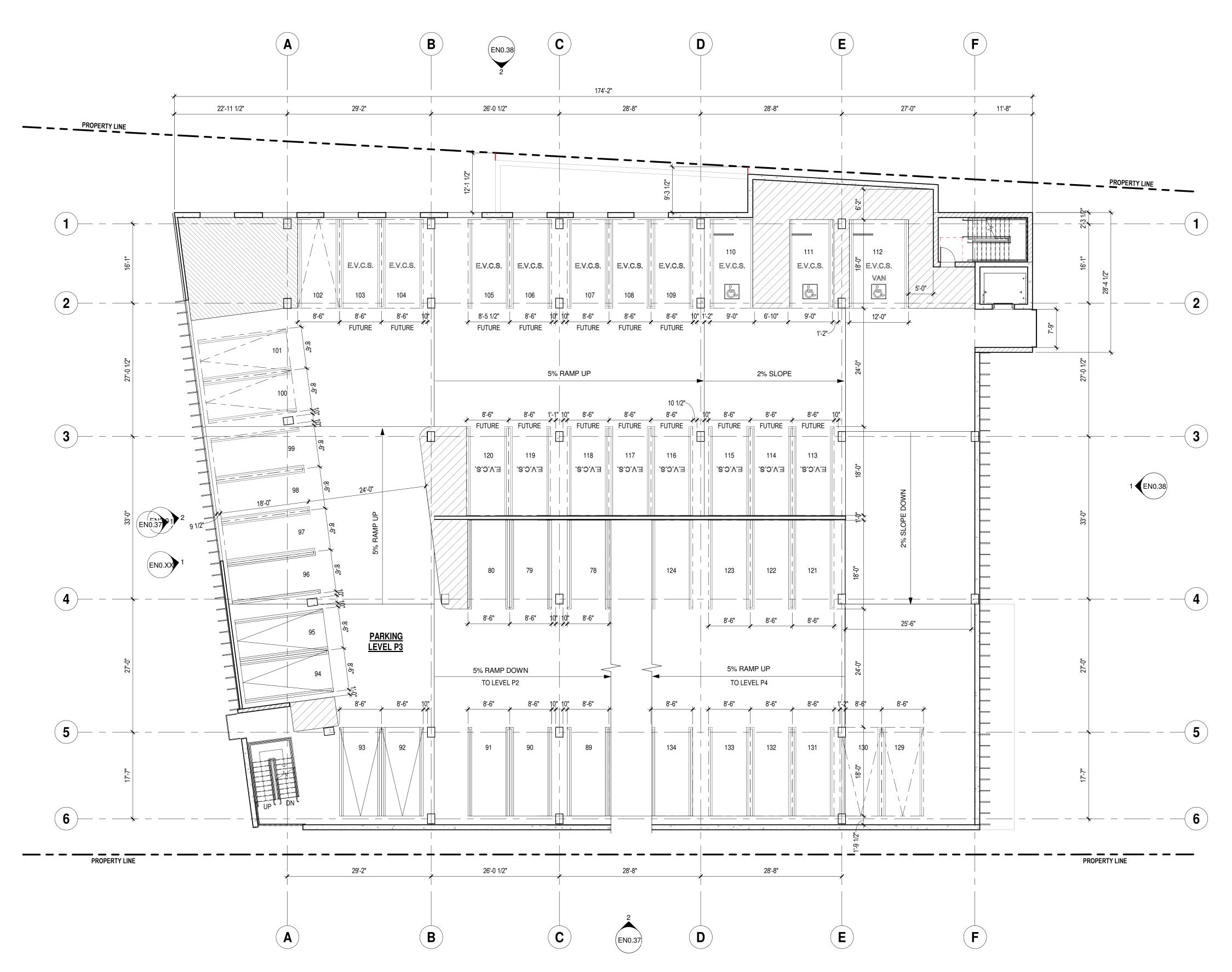
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ENTITLEMENT

SCALE: 3/32" = 1'-0" DATE: 01.14.2022



PARKING LEVEL P3 SCALE: 3/32" = 1'-0"

ShubinDonaldson		
LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688		
PARKING COUNT		
P1		
STANDARD	34	
STANDARD EVSE/LEFE	12	
ADA	4	
ADA VAN	1	
P2	51	
COMPACT	2	
STANDARD	27	
STANDARD EVSE/LEFE	14	
ADA	4	
ADA VAN	1	
48 P3		
STANDARD	42	
STANDARD EVSE/LEFE	15	
STANDARD EVSE/LEFE	2	
STANDARD EVSE/LEFE	1	
60 P4		
COMPACT	1	
STANDARD	17	
	18	
TOTAL PARKING	177	





PARKING LEVEL P3 PLAN **EN1.70**

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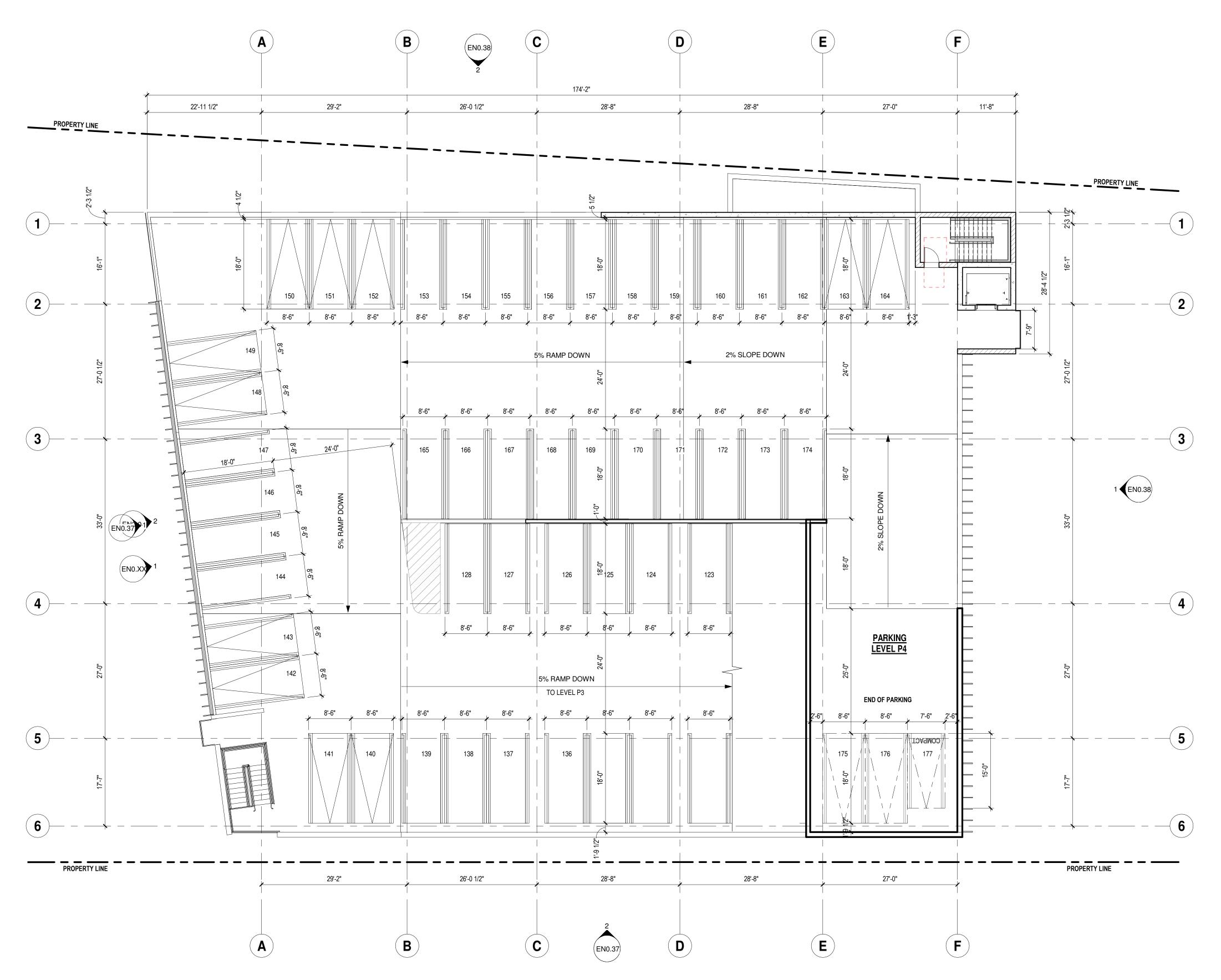
9925 JEFFERSON

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ENTITLEMENT

SCALE: 3/32" = 1'-0" DATE: 01.14.2022 JOB NO. 1934

10/26/2021 11:02:29 AM



PARKING LEVEL P4 SCALE: 3/32" = 1'-0"

Shubin Donaldson	
PARKING COUNT	
P1	
STANDARD	34
STANDARD EVSE/LEFE	12
ADA	4
ADA VAN	1
P2	51
COMPACT	2
STANDARD	27
STANDARD EVSE/LEFE	14
ADA	4
ADA VAN	1
P3	48
STANDARD	42
STANDARD EVSE/LEFE	15
STANDARD EVSE/LEFE	2
STANDARD EVSE/LEFE	1
60 P4	
COMPACT	1
STANDARD	17
	18
TOTAL PARKING	177



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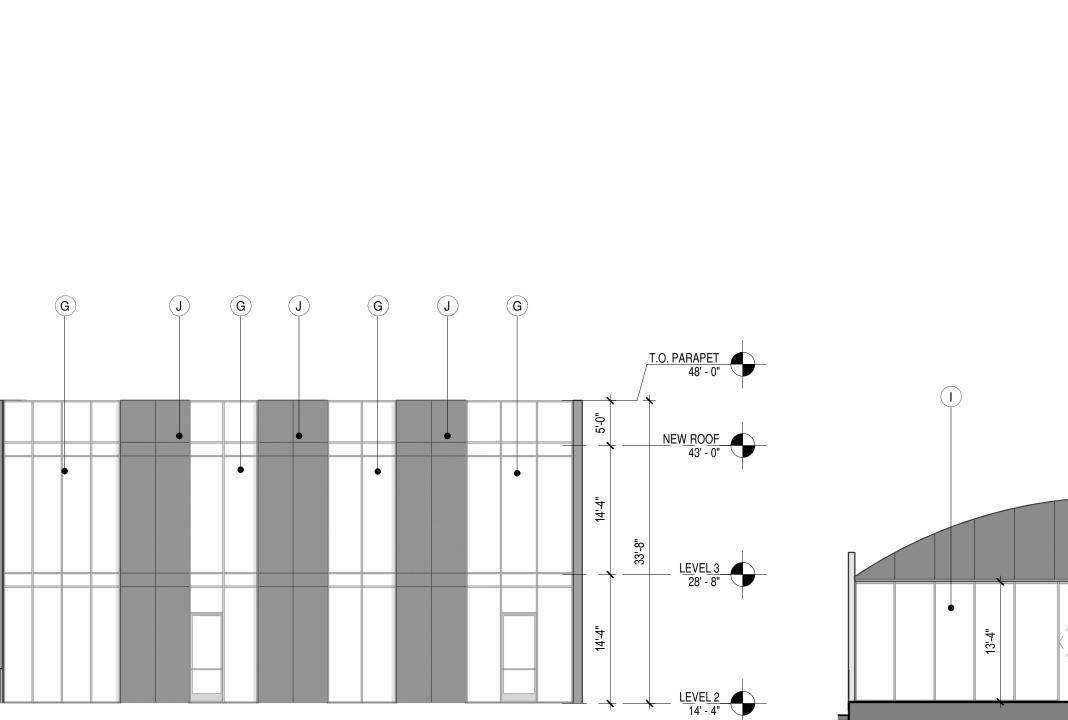
9925 JEFFERSON

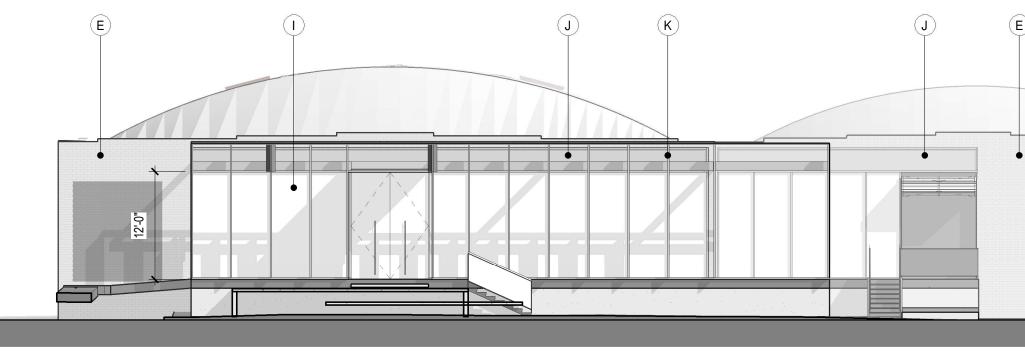
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ENTITLEMENT

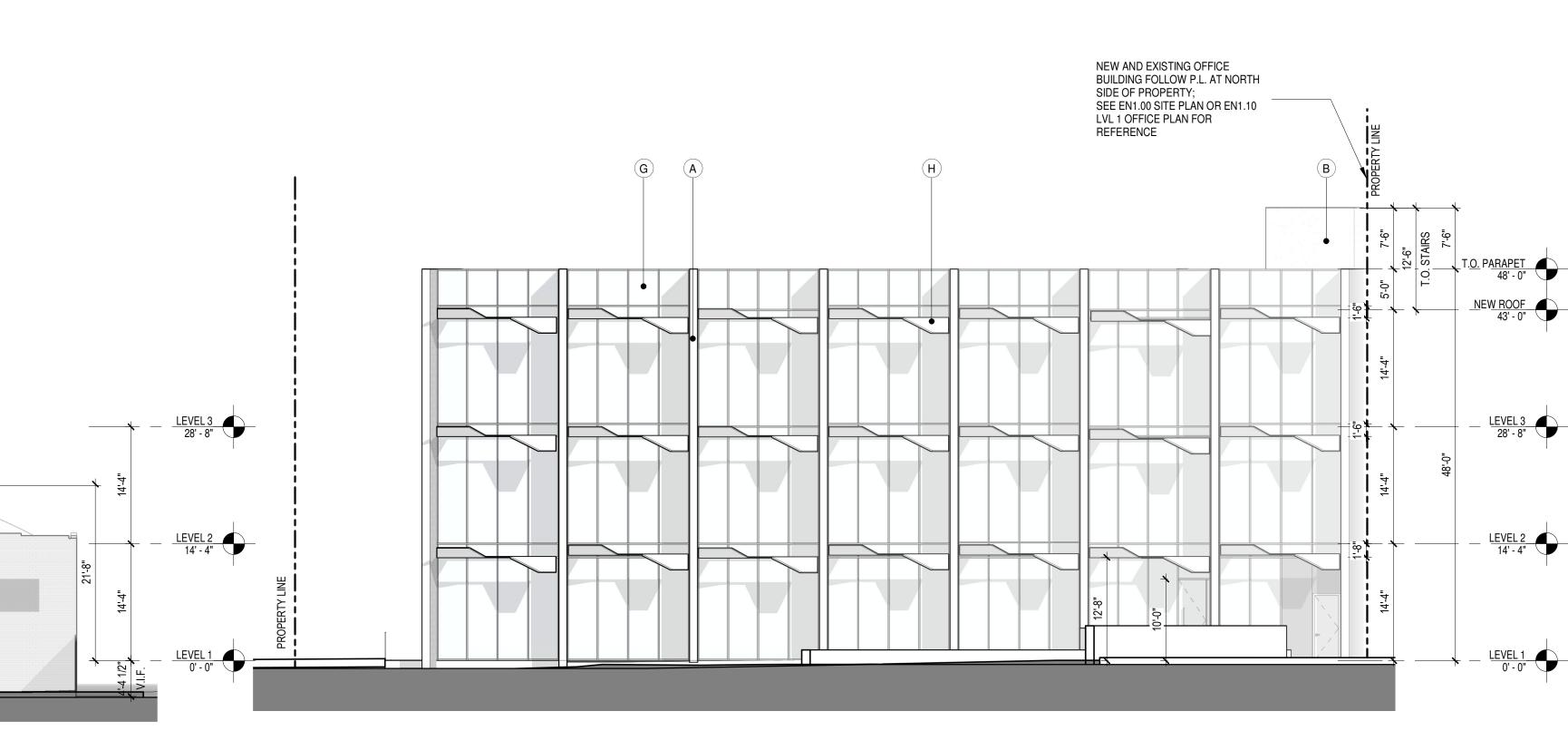
SCALE: 3/32" = 1'-0" DATE: 01.14.2022

PARKING LEVEL P4 PLAN **EN1.80**

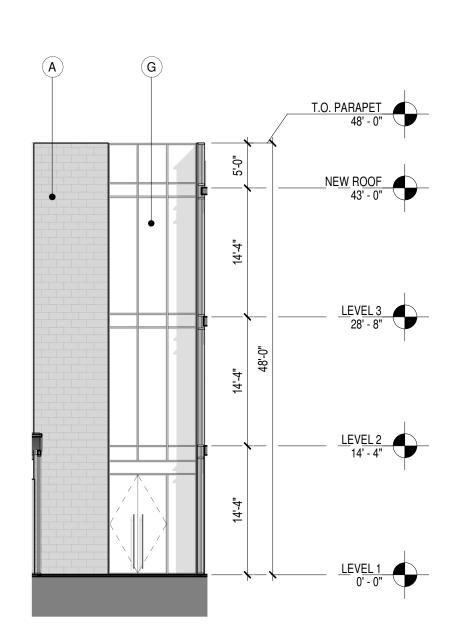


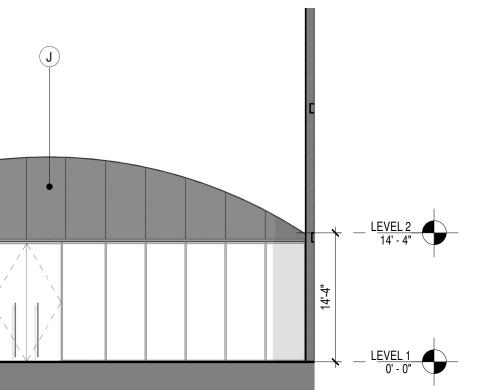


LEVEL 2 DECK ELEVATION - NORTH SCALE: 3/32" = 1'-0"









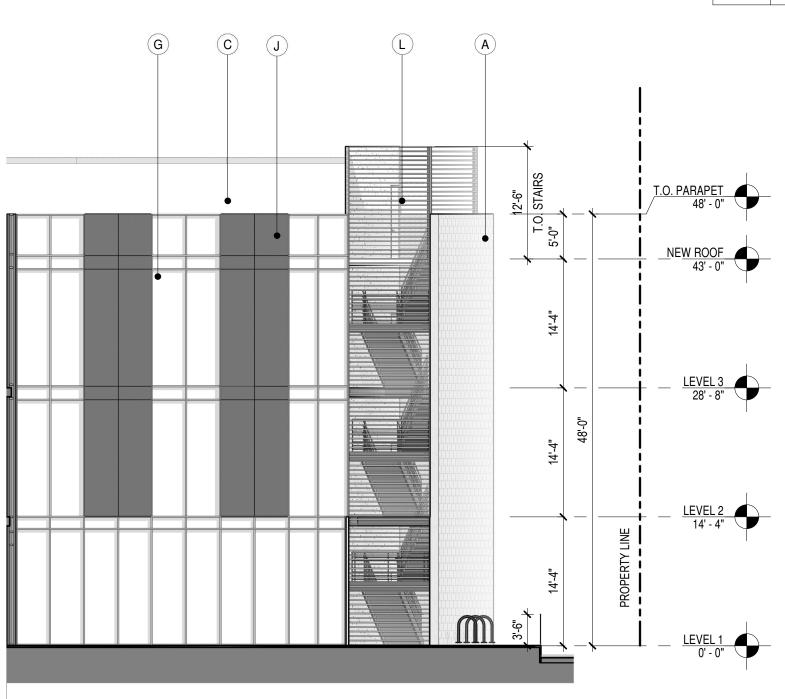




3751 ROBI	ELES OFFICE ERTSON BOULEVARD CITY, CA 90232 888	3	
EXTERIOR MATERIALS			
SYMBOL	BUILDING COMPONENT	COLOR	
A	SANDBLASTED CMU BLOCKS	GREY, TBD	
B	CONCRETE	SMOOTH FINISH	
C	MTL TRELLIS SUPPORTS	DARK GREY	
D	STEEL TRELLIS	DARK GREY	
E	EXISTING BRICK, CLEANED & STAINED	GREY	
F	EXISTING ROOF, CLEANED & SEALED	LIGHT GREY	
G	CURTAIN WALL SYSTEM	STARFIRE GLASS & DARK GREY MULLIONS	
(\mathbf{H})	HORIZONTAL METAL FIN	FACTORY FINISH GREY	
	STOREFRONT	DARK GREY MULLIONS	
J	ACM METAL PANEL	ALUCOBOND; DARK GREY	
K	VERTICAL ACM FIN	DARK GREY	
L	METAL SCREEN, HORIZONTAL SLATS	GREY, TBD	
M	GLASS RAILING	DARK GREY TOP RAIL	
N	MESH SCREEN	TBD	
0	ACM PANELS	ALUCOBOND, DARK GREY METALLIC	
0	METAL GUARDRAIL	DARK GREY METALLIC	

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OFFICE BLDG ELEVATION - SOUTH SCALE: 3/32" = 1'-0" 2



COURTYARD ELEVATION - NORTH SCALE: 3/32" = 1'-0" 6

30'

0' 5'

15

9925 JEFFERSON CULVER CITY, CA 90232

50'

ENTITLEMENT

SCALE: As indicated DATE: 01.14.2022

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ELEVATIONS -

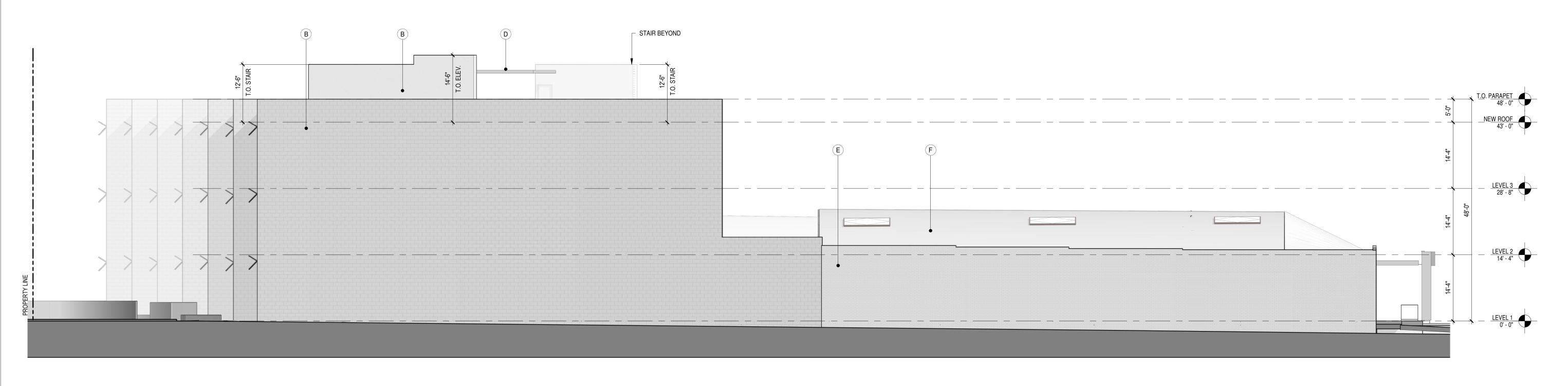
EN3.01

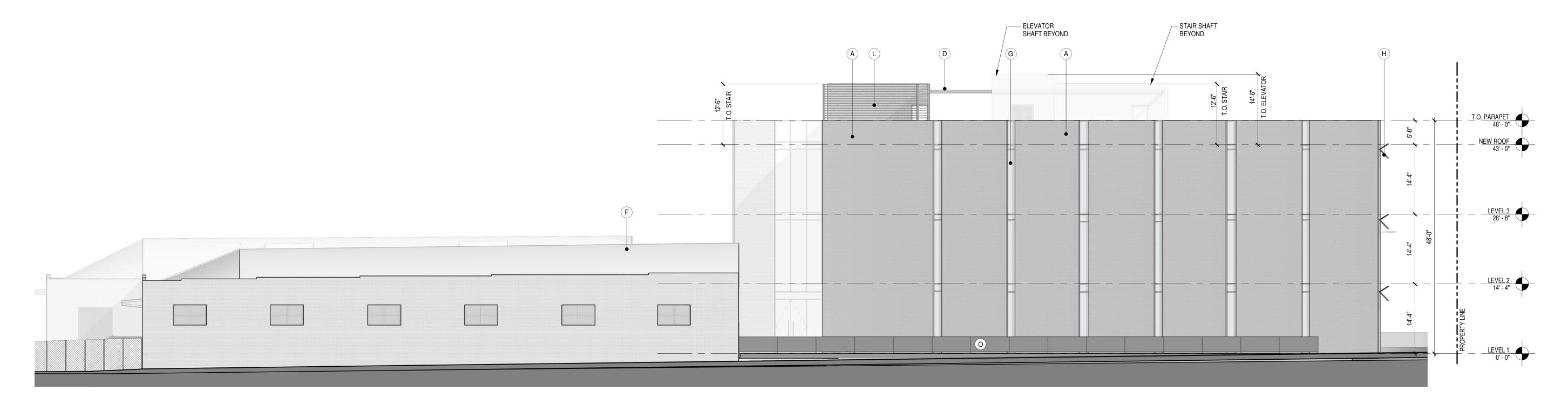
OFFICE BUILDING

JOB NO. 1934

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LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688

EXTERIOR MATERIALS LEGEND

BUILDING COMPONENT	COLOR
SANDBLASTED CMU BLOCKS	GREY, TBD
CONCRETE	SMOOTH FINISH
MTL TRELLIS SUPPORTS	DARK GREY
STEEL TRELLIS	DARK GREY
EXISTING BRICK, CLEANED & STAINED	GREY
EXISTING ROOF, CLEANED & SEALED	LIGHT GREY
CURTAIN WALL SYSTEM	STARFIRE GLASS & DARK GREY MULLIONS
HORIZONTAL METAL FIN	FACTORY FINISH GREY
STOREFRONT	DARK GREY MULLIONS
ACM METAL PANEL	ALUCOBOND; DARK GREY
VERTICAL ACM FIN	DARK GREY
METAL SCREEN, HORIZONTAL SLATS	GREY, TBD
GLASS RAILING	DARK GREY TOP RAIL
MESH SCREEN	TBD
ACM PANELS	ALUCOBOND, DARK GREY METALLIC
METAL GUARDRAIL	DARK GREY METALLIC
	COMPONENT SANDBLASTED CMU BLOCKS CONCRETE MTL TRELLIS SUPPORTS STEEL TRELLIS STEEL TRELLIS CURTAING BRICK, CLEANED & STAINED CURTAIN WALL SYSTEM HORIZONTAL METAL FIN STOREFRONT ACM METAL PANEL VERTICAL ACM FIN WETAL SCREEN, HORIZONTAL SLATS GLASS RAILING

OFFICE BLDG ELEVATION - EAST SCALE: 3/32" = 1'-0"

OFFICE BLDG ELEVATION - WEST SCALE: 1/8" = 1'-0"

0' 5' 15' 30' 50'

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ENTITLEMENT SCALE: As indicated DATE: 01.14.2022

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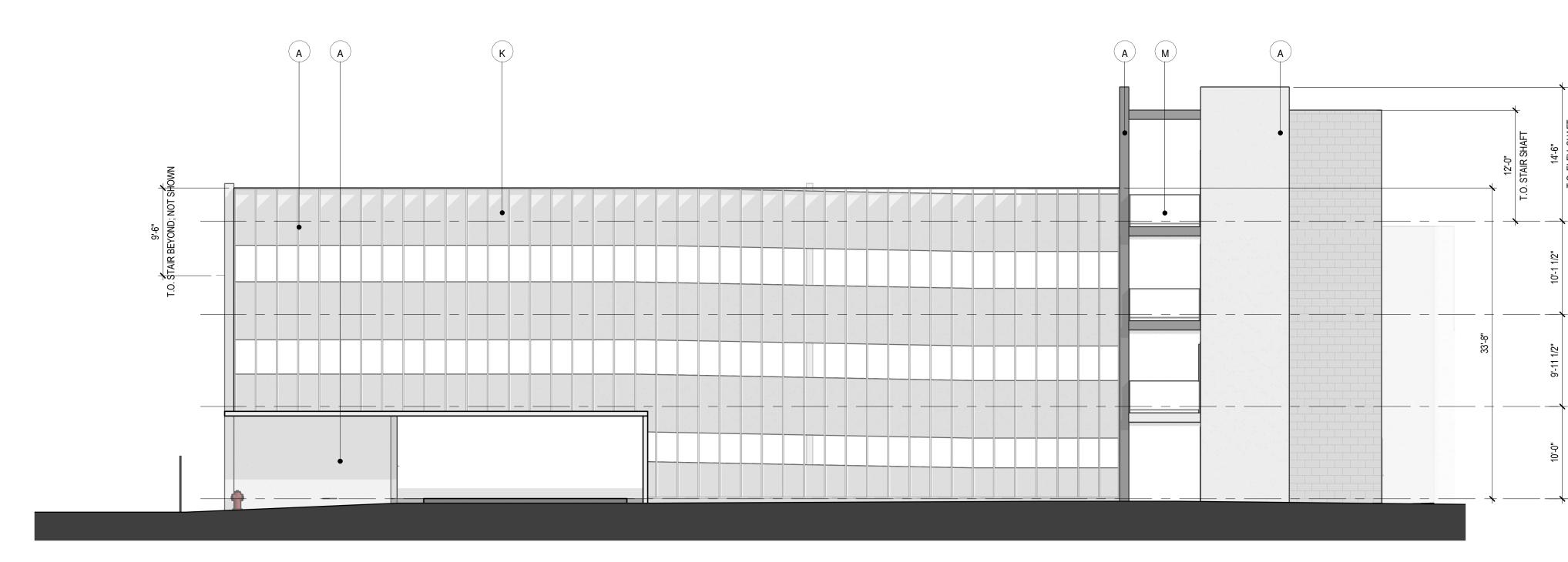
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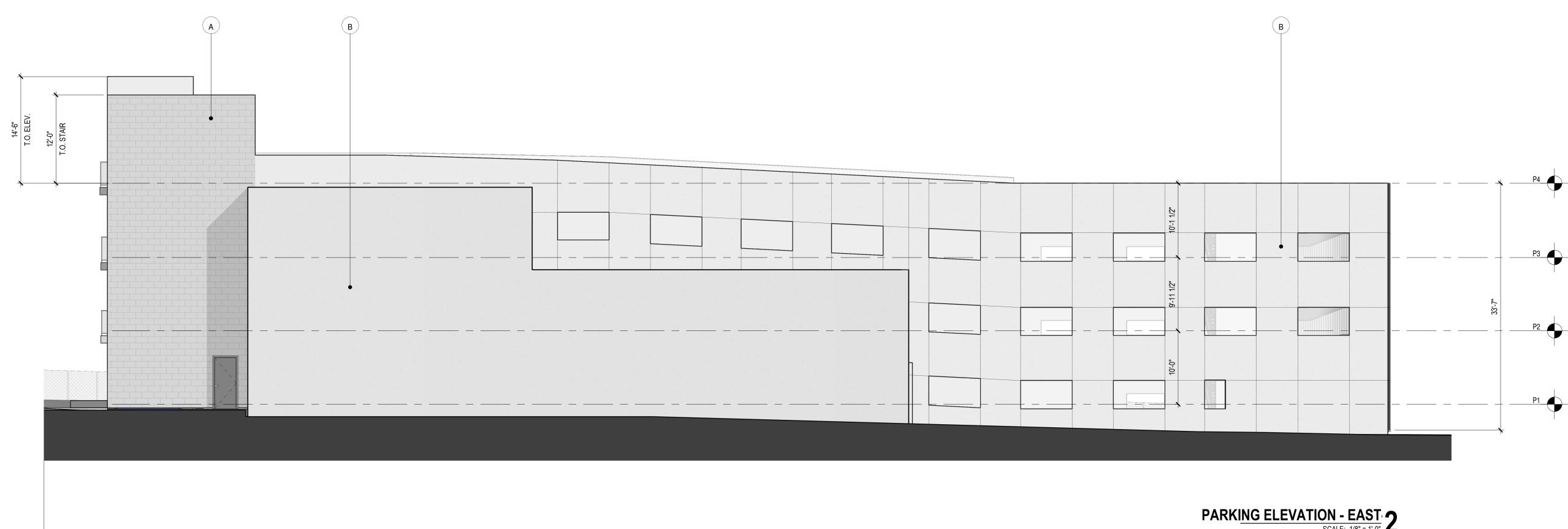
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ELEVATIONS -OFFICE BUILDING EN3.02





PARKING ELEVATION - SOUTH SCALE: 1/8" = 1'-0"

14'-6 1.0. ELEV.

10'-1

____P4

<u>P3</u>

P2

<u>P1</u>

PARKING ELEVATION - EAST SCALE: 1/8" = 1'-0" 2



 \square LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688

EXTERIOR MATERIALS LEGEND

SYMBOL	BUILDING COMPONENT	COLOR
A	SANDBLASTED CMU BLOCKS	GREY, TBD
B	CONCRETE	SMOOTH FINISH
C	MTL TRELLIS SUPPORTS	DARK GREY
D	STEEL TRELLIS	DARK GREY
E	EXISTING BRICK, CLEANED & STAINED	GREY
F	EXISTING ROOF, CLEANED & SEALED	LIGHT GREY
G	CURTAIN WALL SYSTEM	STARFIRE GLASS & DARK GREY MULLIONS
(\mathbf{H})	HORIZONTAL METAL FIN	FACTORY FINISH GREY
	STOREFRONT	DARK GREY MULLIONS
J	ACM METAL PANEL	ALUCOBOND; DARK GREY
K	VERTICAL ACM FIN	DARK GREY
L	METAL SCREEN, HORIZONTAL SLATS	GREY, TBD
M	GLASS RAILING	DARK GREY TOP RAIL
N	MESH SCREEN	TBD
0	ACM PANELS	ALUCOBOND, DARK GREY METALLIC
0	METAL GUARDRAIL	DARK GREY METALLIC

PARKING ELEVATION NOTES

1. PARKING STRUCTURE BUILDING TO BE MAXIMUM 36 FEET TALL, SO TREE PLANTING AT MATURITY WILL SUBSTANTIALLY SCREEN HEIGHT OF BUILDING

2. NO SOLAR PANELS WILL BE PROVIDED ON ROOF OF GARAGE THAT REQUIRE ROOF TOP SCREENING

15' 0' 5' 30' 50'

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

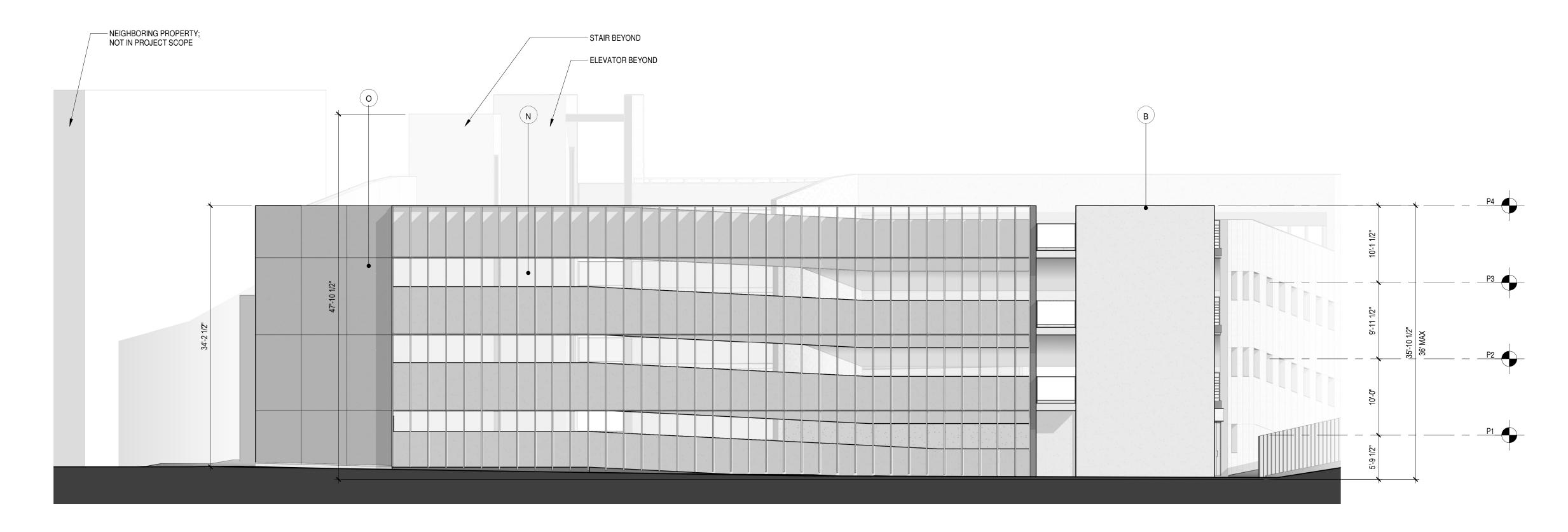
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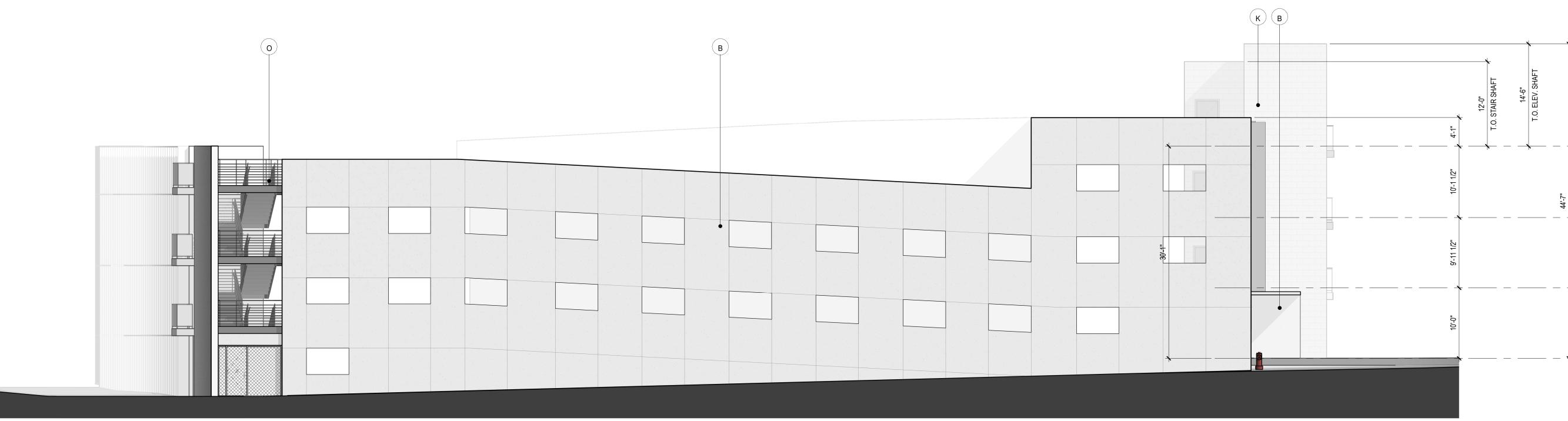
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ELEVATIONS -PARKING EN3.03





PARKING ELEVATION - NORTH SCALE: 1/8" = 1'-0"

0' 5'



LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232 310.204.0688

 \neg

EXTERIOR MATERIALS LEGEND

SYMBOL	BUILDING COMPONENT	COLOR	
A	SANDBLASTED CMU BLOCKS	GREY, TBD	
B	CONCRETE	SMOOTH FINISH	
C	MTL TRELLIS SUPPORTS	DARK GREY	
D	STEEL TRELLIS	DARK GREY	
E	EXISTING BRICK, CLEANED & STAINED	GREY	
F	EXISTING ROOF, CLEANED & SEALED	LIGHT GREY	
G	CURTAIN WALL SYSTEM	STARFIRE GLASS & DARK GREY MULLIONS	
H	HORIZONTAL METAL FIN	FACTORY FINISH GREY	
	STOREFRONT	DARK GREY MULLIONS	
J	ACM METAL PANEL	ALUCOBOND; DARK GREY	
K	VERTICAL ACM FIN	DARK GREY	
L	METAL SCREEN, HORIZONTAL SLATS	GREY, TBD	
M	GLASS RAILING	DARK GREY TOP RAIL	
N	MESH SCREEN	TBD	
0	ACM PANELS	ALUCOBOND, DARK GREY METALLIC	
0	METAL GUARDRAIL	DARK GREY METALLIC	

PARKING ELEVATION NOTES

P4

<u>P3</u>

P2

1. PARKING STRUCTURE BUILDING TO BE MAXIMUM 36 FEET TALL, SO TREE PLANTING AT MATURITY WILL SUBSTANTIALLY SCREEN HEIGHT OF BUILDING

2. NO SOLAR PANELS WILL BE PROVIDED ON ROOF OF GARAGE THAT REQUIRE ROOF TOP SCREENING

9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232

____ ENTITLEMENT

SCALE: As indicated DATE: 01.14.2022

50'

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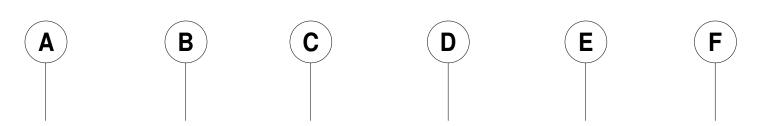
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ELEVATIONS -PARKING EN3.04

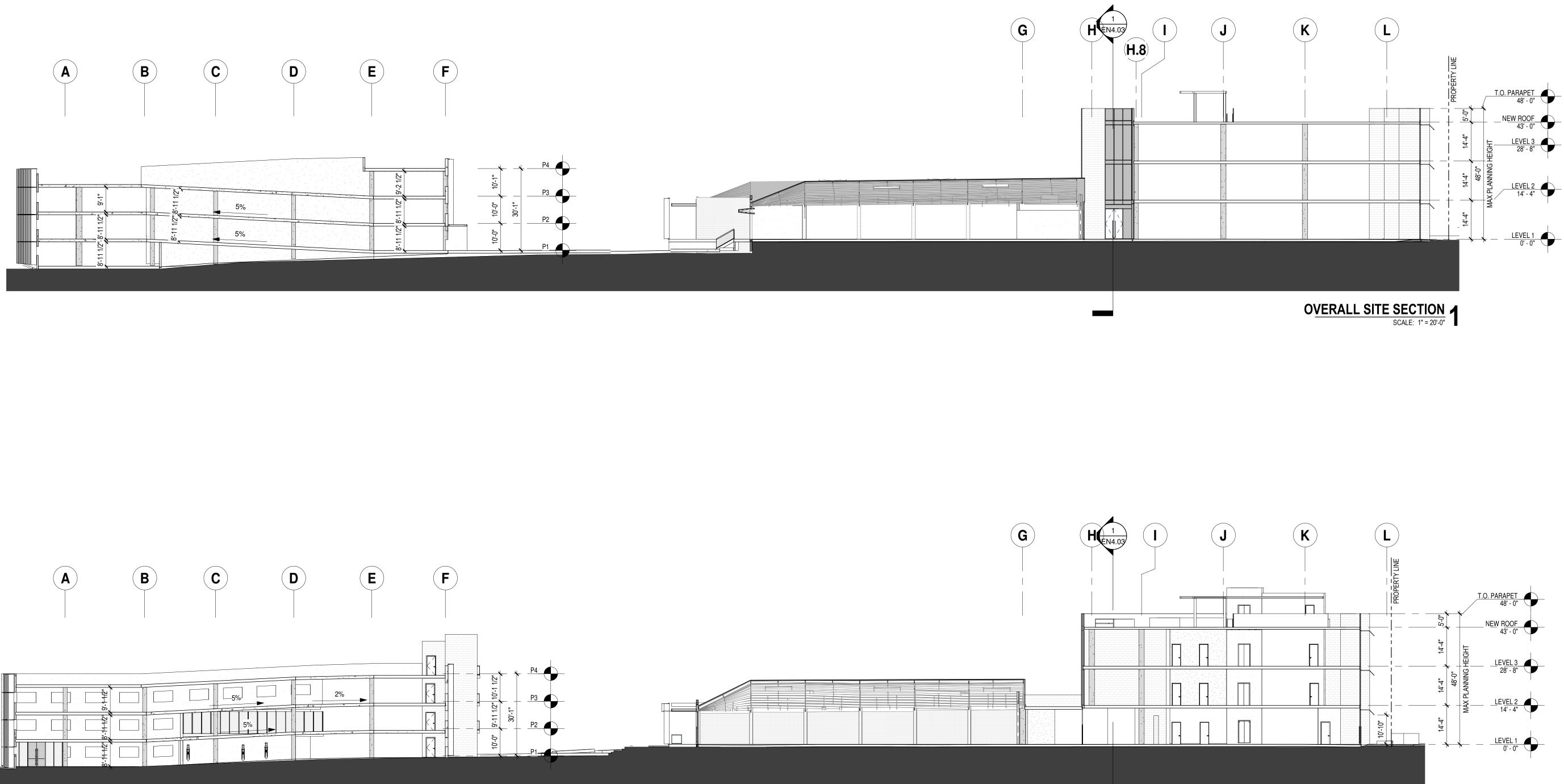
PARKING ELEVATION - WEST SCALE: 1/8" = 1'-0"

15'

30'

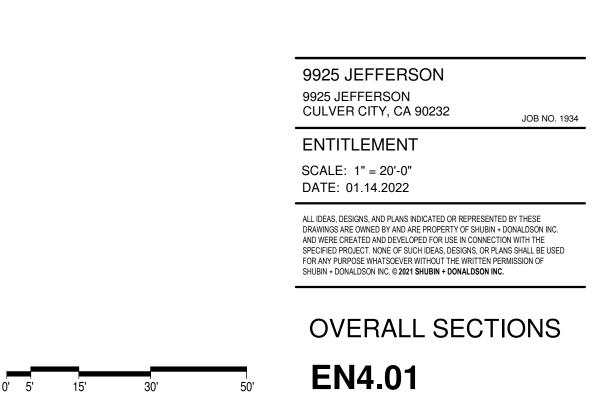


1/2" 8-11 1/2" 8-11 1/2"	10-0" 10-0" 10-1" - 10-1"	P4 P3 P2 P1
₩ <u>₩</u>		



ShubinDonaldson	ShubınDonaldson			
LOS ANGELES OFFICE 3751 ROBERTSON BOULEVARD CULVER CITY, CA 90232				

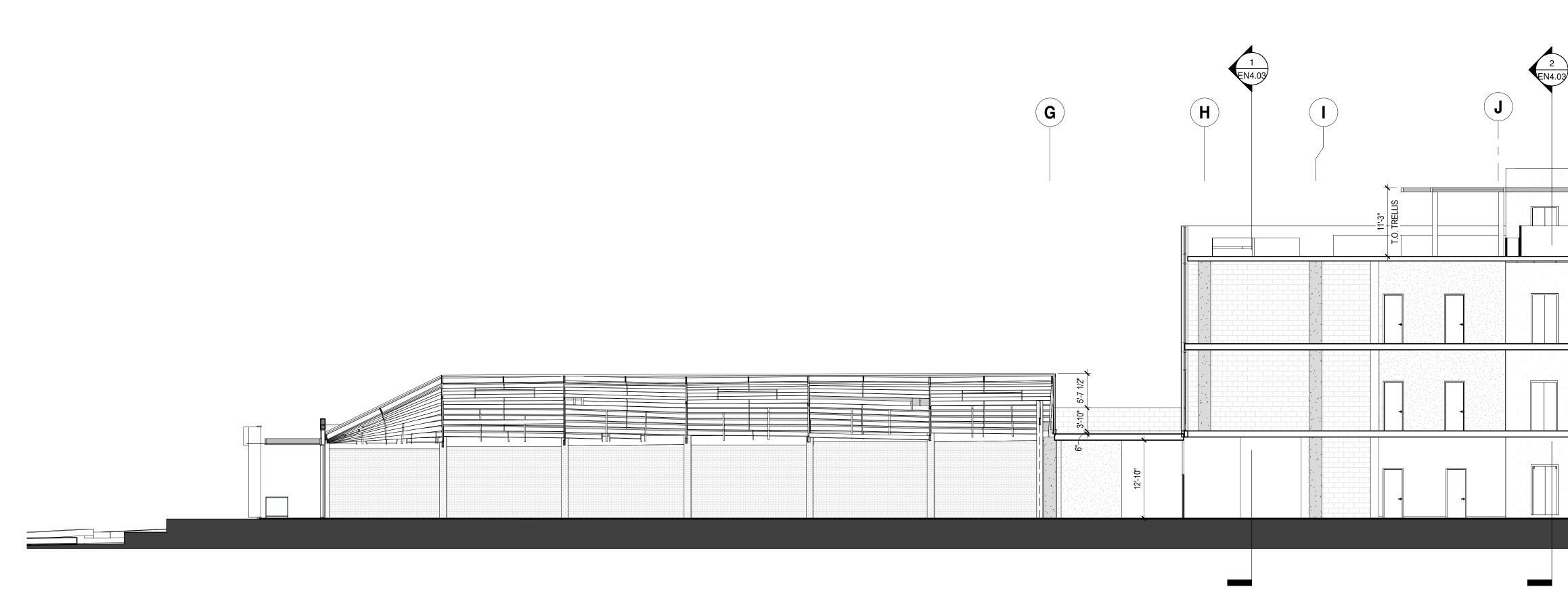
OVERALL SITE SECTION 2 SCALE: 1" = 20'-0"

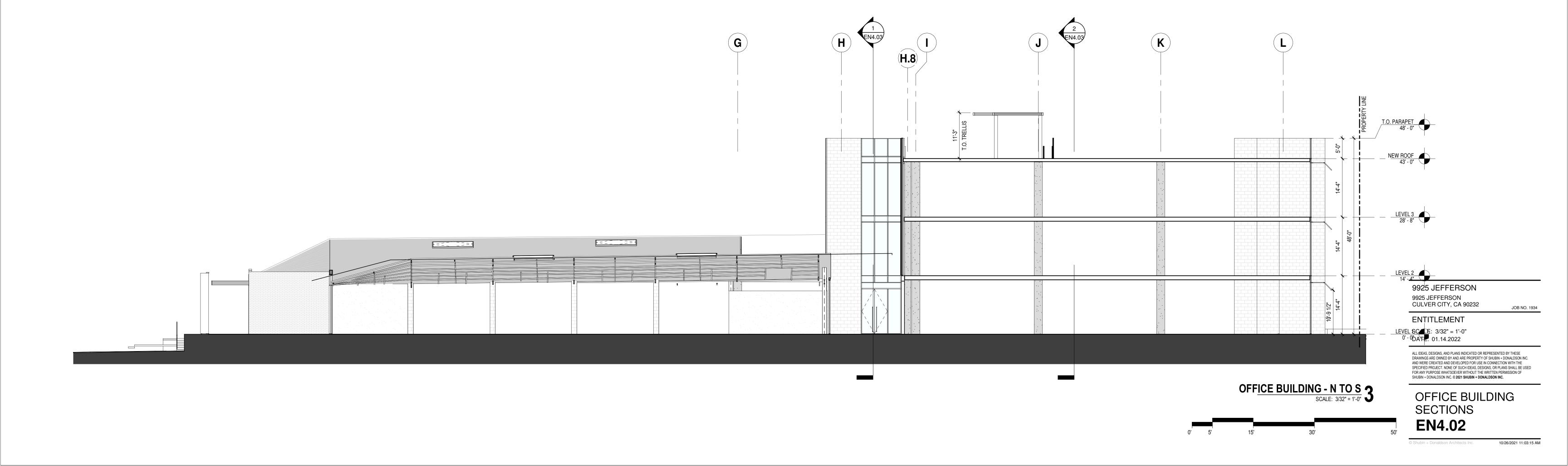


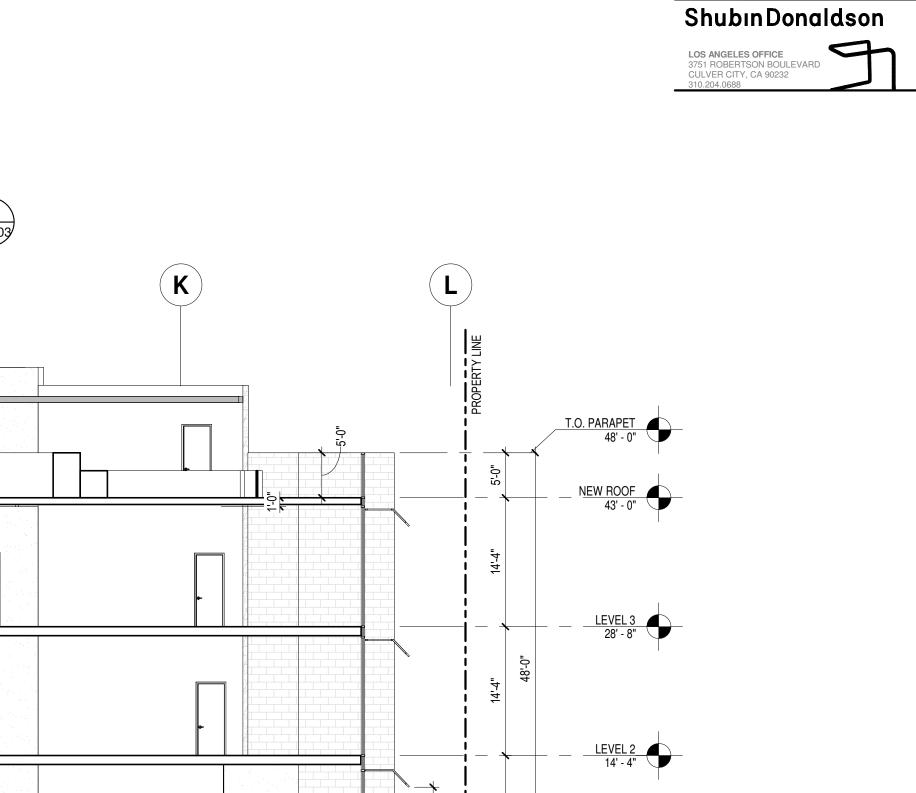
0' 5' 15' 30'

50'

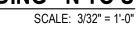
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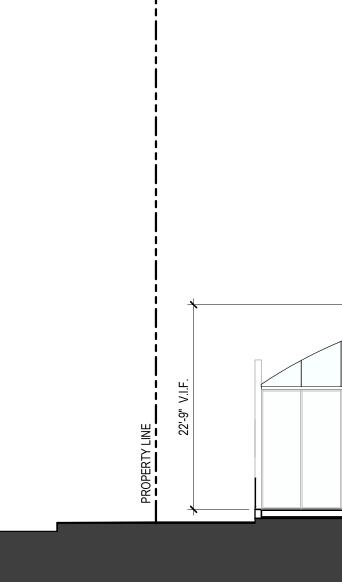


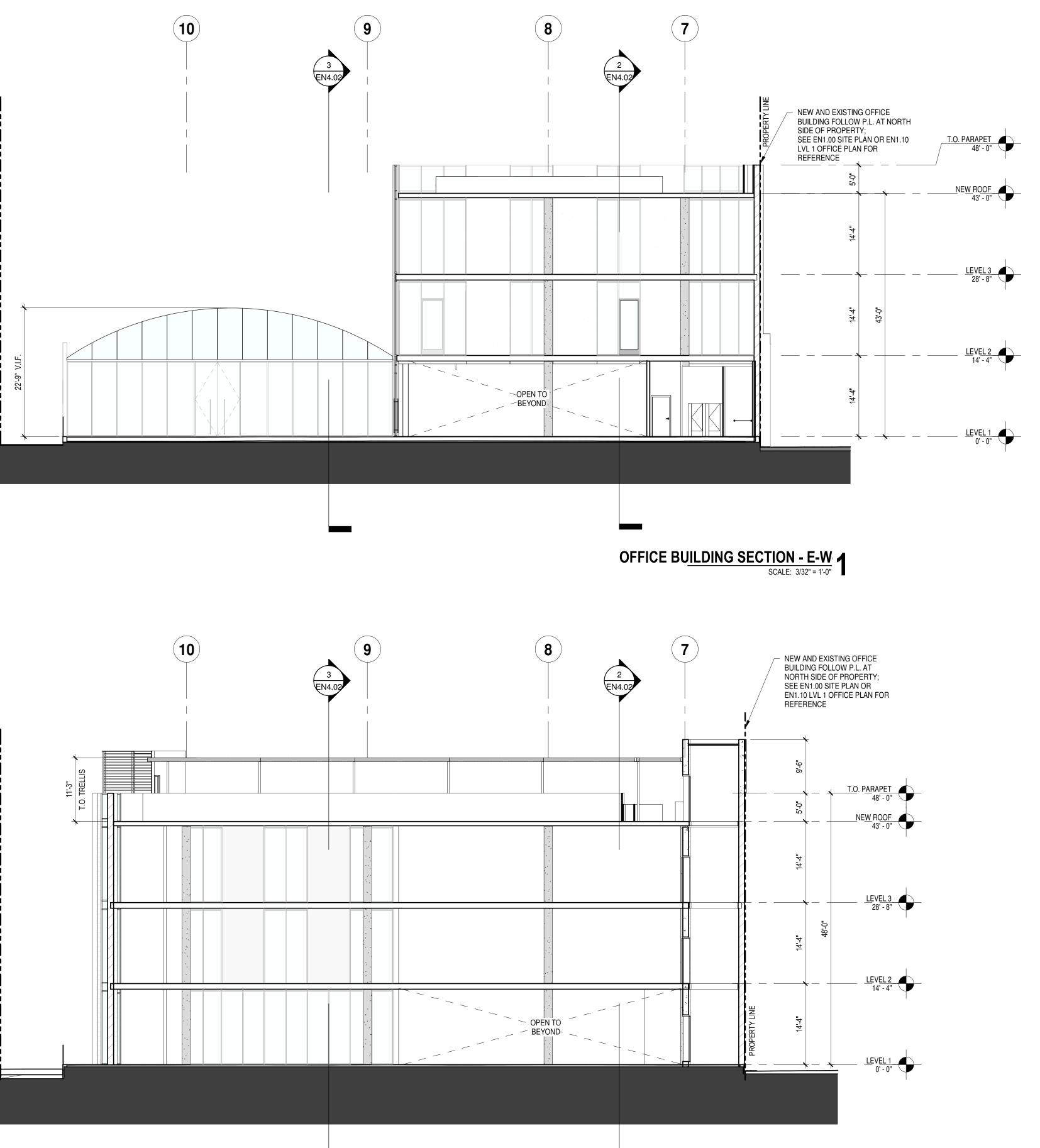






LEVEL 1 0' - 0"





OFFICE BUILDING SECTION - E-W SCALE: 3/32" = 1'-0"

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9925 JEFFERSON 9925 JEFFERSON CULVER CITY, CA 90232 ____ ENTITLEMENT

SCALE: 3/32" = 1'-0" DATE: 01.14.2022

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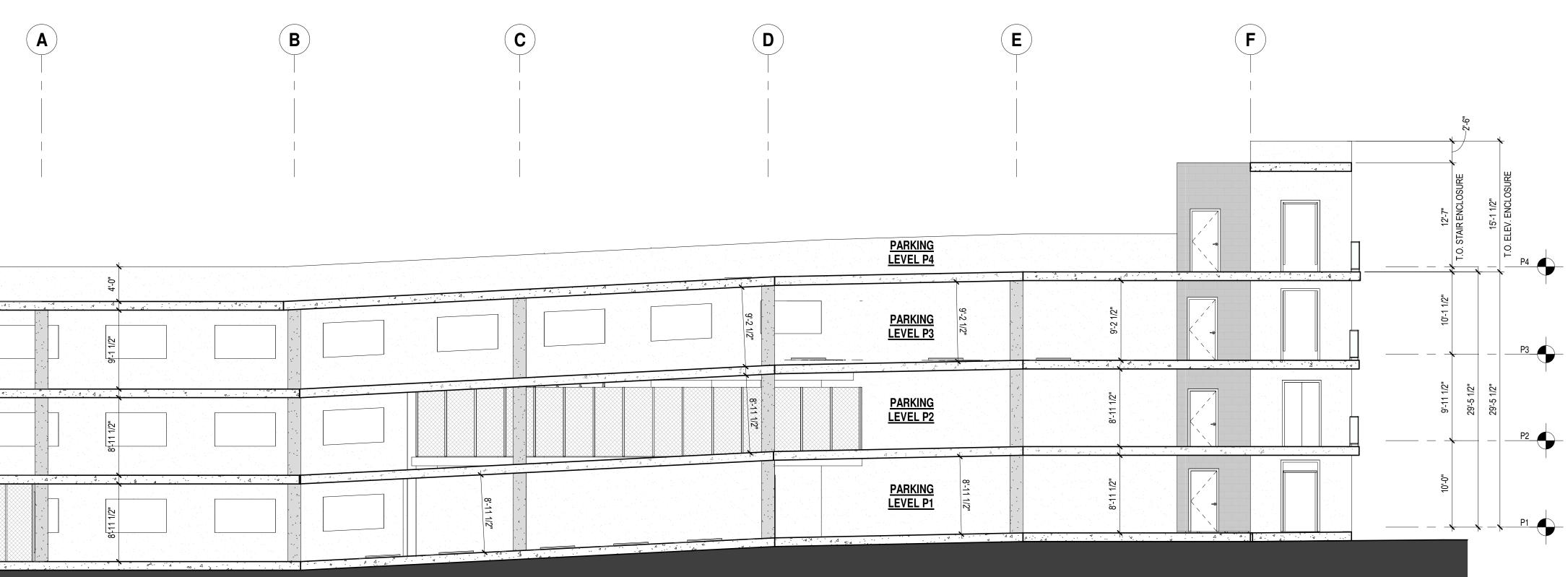
OFFICE BUILDING SECTIONS EN4.03

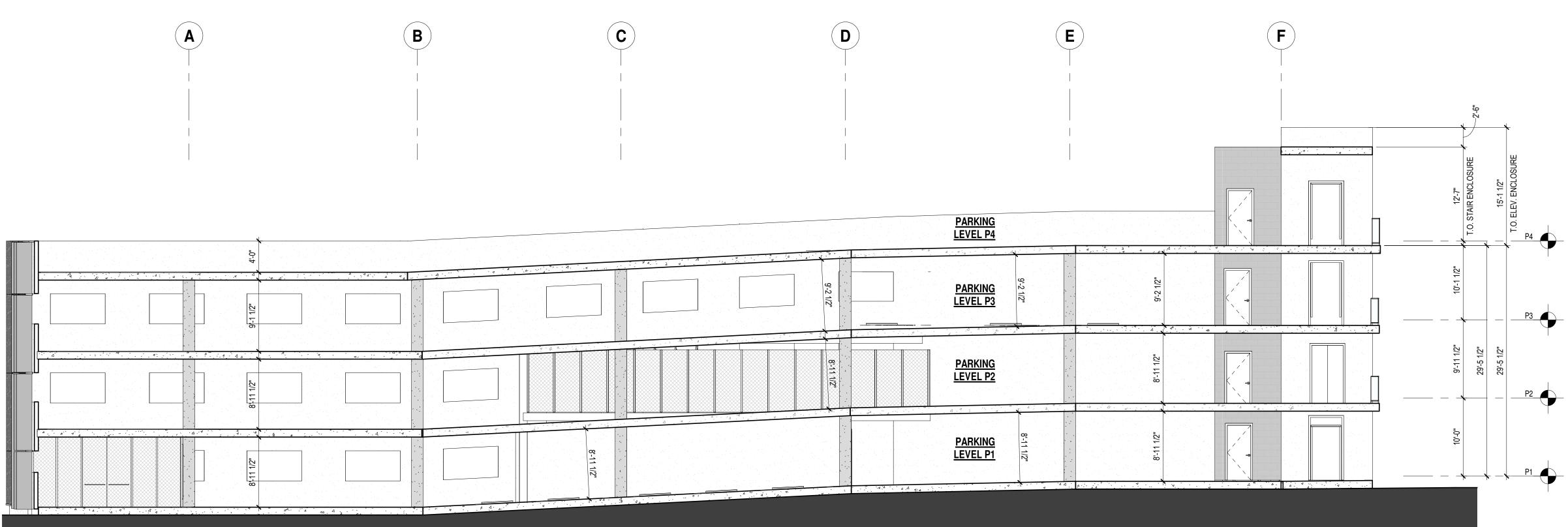
JOB NO. 1934

10/26/2021 11:03:17 AM

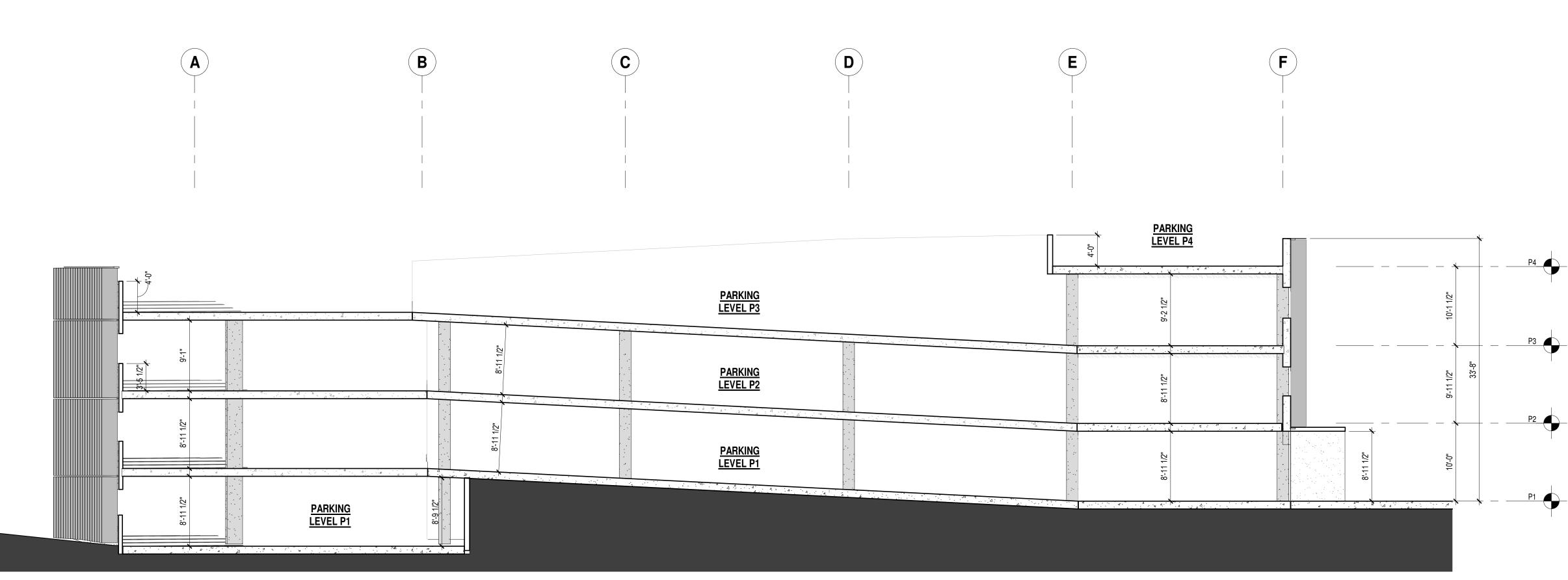
0' 5' 15' 30'

50'



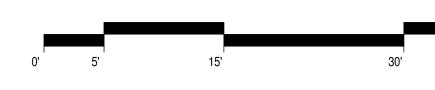






PARKING SECTION A - NORTH SOUTH SCALE: 1/8" = 1'-0"

PARKING SECTION B - NORTH SOUTH SCALE: 1/8" = 1'-0"



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PARKING COUNT		
P1		
STANDARD	34	
STANDARD EVSE/LEFE	12	
ADA	4	
ADA VAN	1	
	51	
P2		
COMPACT	2	
STANDARD	27	
STANDARD EVSE/LEFE	14	
ADA	4	
ADA VAN	1	
	48	
P3		
STANDARD	42	
STANDARD EVSE/LEFE	15	
STANDARD EVSE/LEFE	2	
STANDARD EVSE/LEFE	1	
	60	
P4		
COMPACT	1	
STANDARD	17	
	18	
TOTAL PARKING	177	

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_____ ENTITLEMENT

SCALE: 1/8" = 1'-0" DATE: 01.14.2022

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PARKING SECTIONS EN4.04