

ATTACHMENT NO. 4

HAYDEN PLACE CREATIVE OFFICE 8631-8635 HAYDEN PLACE, CULVER CITY, CA 90232

HACKMAN CAPITAL PARTNERS & IDS REAL ESTATE GROUP

JUNE 22, 2022



SHEET LIST

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Civil	C-SHEET 4	CIVIL PRELIMINARY UTILITY HANDLING PLAN
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Landscape	L1.25	LANDSCAPE PLAN - ROOF
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Landscape	L1.27	TREE DISPOSITION PLAN

PROJECT INFORMATION

8631-8635 HAYDEN PLACE, CULVER CITY, CA 90232

ASSESSOR'S PARCEL NUMBER: 4204-005-019

B OCCUPANCY, CONSTRUCTION TYPE 3B WITH BUILDING FIRE SEPERATION WALL, FULLY SPRINKLERED
S1 PARKING STRUCTURE, CONSTRUCTION TYPE 1A, FULLY SPRINKLERED

PROJECT NARRATIVE

PROPOSED NEW CONSTRUCTION OF A CREATIVE OFFICE BUILDING THAT IS 43' HIGH, 3 STORIES ON THE EAST, AND 4 STORIES ON THE WEST, TOTALING 244,000 GROSS SQUARE FEET OF BUILDING AREA PLUS. PROJECT INCLUDES 3 LEVELS OF SUBTERRANEAN PARKING TO ACCOMMODATE 752 PARKING SPACES INCLUDING 52 TANDEM STALLS. SITE AREA IS 2.67 ACRE SITE AT 8631 - 8635 HAYDEN PLACE. THE SITE IS CURRENTLY DEVELOPED WITH A 84,480 SQUARE FOOT INDUSTRIAL BUILDING WITH SURFACE PARKING THAT WILL BE DEMOLISHED.

ZONING INFORMATION

Table 2-9 Industrial District Development Standards (EXCERPTS)	
Development Feature	Requirement by Zoning District
	IG
Setbacks	Minimum setbacks required. See § 17.300.020 (Setback Regulations and Exceptions).
Street facing	5 feet Plans Indicate 5 ft facing Hayden Pl and 24 feet facing Higuera St
Side	None required. 17 ft proposed on both interior side property lines
Rear	None required. Not Applicable; both front and rear are street facing
Height limit	43 feet Proposed - 43 ft

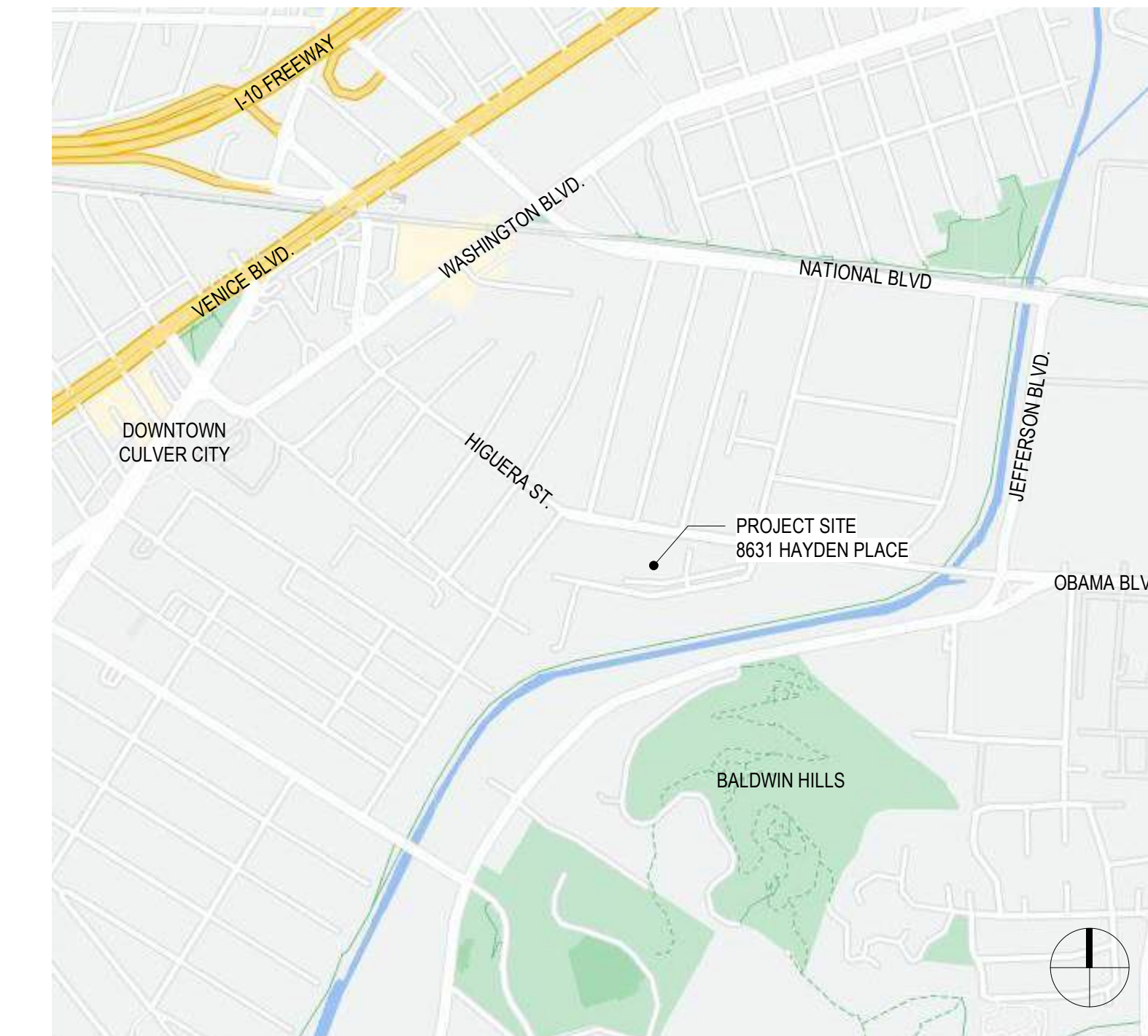
FLOOR AREA TABLE

TABLE 1 PROJECT SQUARE FOOTAGE SUMMARY	
Office Building Floor Area (GSF)	
Level 01	81,000
Loft Level 01 West	29,000
Level 02 East	32,000
Level 02 West	44,000
Level 03 East	31,000
Loft Level 02 West	27,000
Roof	0
TOTAL	244,000
Open Space Floor Area	
Level 01	0
Loft Level 01 West	0
Level 02 East	6,200
Level 02 West	0
Level 03 East	800
Loft Level 02 West	0
Roof	6,500
TOTAL	13,500
Vehicle Garage Area	
Parking Level 01	110,000
Parking Level 02	110,000
Parking Level 03	85,000
TOTAL	305,000
SITE AREA	116,607

PARKING TABULATION

	Standard	Tandem	Tandem EV	EV	ADA	Totals
PARKING - P1	115	15	15	95	14	254
PARKING - P2	162	21	15	78	0	276
PARKING - P3	129	16	14	63	0	222
TOTALS	406	52	44	236	14	752

VICINITY MAP



**HACKMAN
CAPITAL
PARTNERS & IDS
REAL ESTATE
GROUP**
8631 Hayden Place
Culver City, CA 90232

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel 213.327.3600
Fax 213.327.3601

△ Date Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
PROJECT INFORMATION

Scale
As indicated

G0.10

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OWNER

Company: HCP 8631 Hayden LLC
c/o IDS Real Estate Group
Address: 515 S. Figueroa St., 16th Floor
City/State/Zip: Los Angeles, CA 90071
Representative: David Saeta
Phone: 213-362-8519
Fax: 213-627-9937
Email: dsaeta@idsrealestate.com

ARCHITECT

Company: M. Arthur Gensler Jr. & Associates, Inc.
Address: 500 S. Figueroa St.
City/State/Zip: Los Angeles, CA 90071
Representative: Peter Barsuk
Phone: 213-327-3743
Fax: 213-327-3601
Email: Peter_Barsuk@gensler.com
License No: C-12855, Exp. Date: 12/31/21

LANDSCAPE ARCHITECT

Company: LRM Landscape Architecture
Address: 10335 Jefferson Boulevard
City/State/Zip: Culver City, CA 90232
Representative:
Phone: 310-839-6600
Fax: 310-559-1310
Email:

CIVIL ENGINEERING

Company: Atlas Civil Design
Address: 872 Higuera St.
City/State/Zip: San Luis Obispo, CA 93401
Representative: Tyler Johnson
Phone: 760-718-8010
Email: tyjohnson@atascivildesign.com

CONTRACTOR

Company: AECOM Hunt | AECOM Tishman
Address: One California Plaza
300 S. Grand Ave.
8th Floor
City/State/Zip: Los Angeles, CA 90071
Representative: Pete Shin
Phone: 213-593-8100
Email: pete.shin@aecom.com



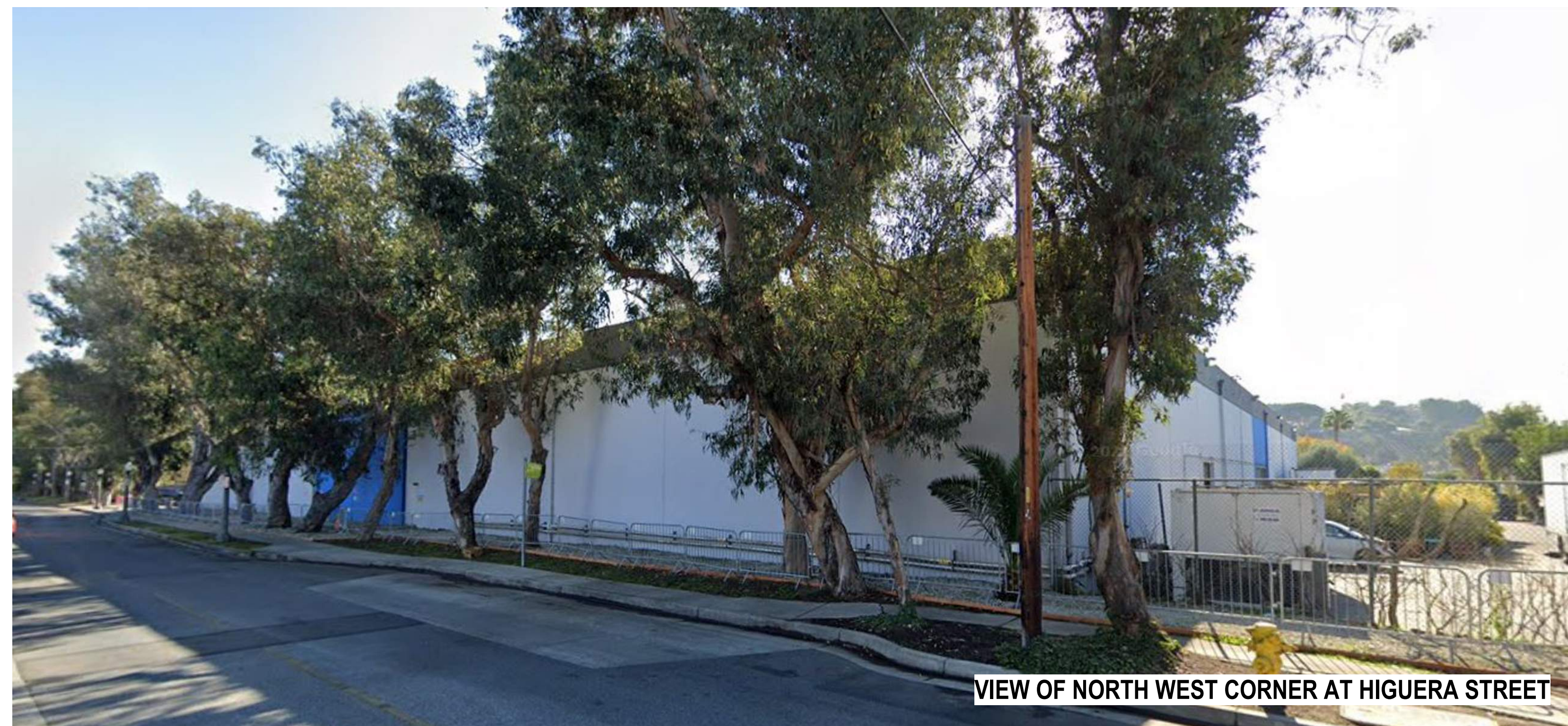
VIEW OF SOUTH EAST CORNER AT HAYDEN PLACE



VIEW OF SOUTH WEST CORNER AT HAYDEN PLACE



VIEW OF NORTH EAST CORNER AT HIGUERA STREET



VIEW OF NORTH WEST CORNER AT HIGUERA STREET

1 ENTITLEMENT SET - EXISTING PHOTOS
SCALE: 1" = 50'-0"

Date	Description
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Seal / Signature

**NOT FOR
CONSTRUCTION**

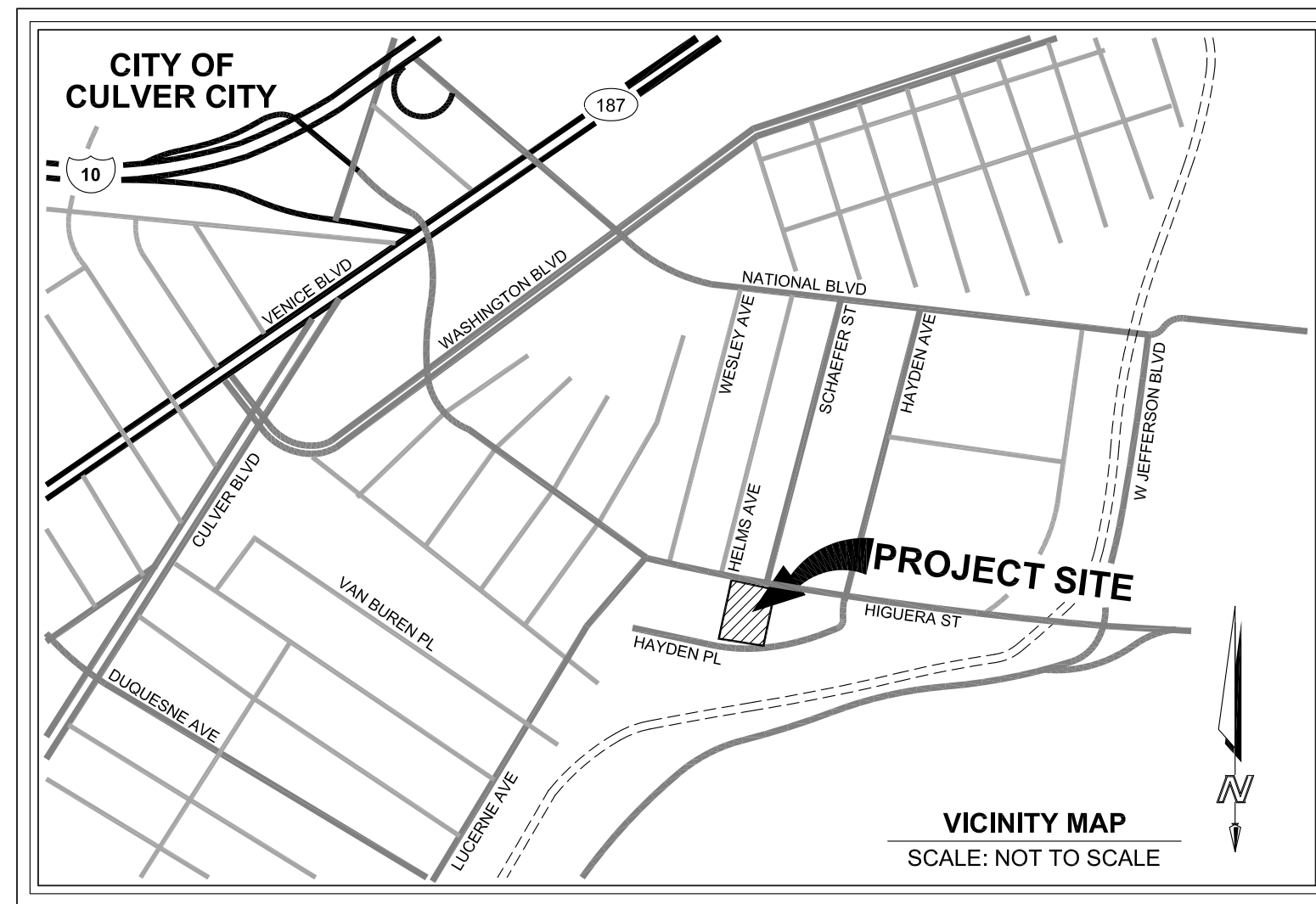
Project Name
8631 Hayden Place
Project Number
05.3755.000
Description
EXISTING BUILDING PHOTOS

Scale
1" = 50'-0"

G0.11

ALTA/NSPS LAND TITLE SURVEY

OF LOT 12 OF TRACT NO. 32560, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 865 PAGES 11 TO 14 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.



LEGAL DESCRIPTION TITLE REPORT ORDER NO: 00111650-001-TG3-DB

PARCEL 1: APN: 4204-005-019
LOT 12 OF TRACT NO. 32560, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 865 PAGES 11 TO 14 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM AN UNDIVIDED ONE-FOURTH OF ALL MINING AND MINERAL RIGHTS OR SUBSTANCES WHETHER SOLID OR LIQUID, IN OR UNDER SAID LAND, AS RESERVED BY RKO TELEVISION PICTURES, INC., IN DEED RECORDED JANUARY 30, 1958 AS INSTRUMENT NO. 1381 IN BOOK 56452 PAGE 110, OFFICIAL RECORDS.

THE RIGHT TO USE OR OCCUPY THE SURFACE AND SUBSURFACE AREA OF SAID LAND TO A DEPTH OF 500 FEET WAS RELINQUISHED TO THE RECORD OWNER OF SAID LAND, BY DEED RECORDED MARCH 4, 1959 IN BOOK D-387 PAGE 496, OFFICIAL RECORDS.

PARCEL 2:
AN EASEMENT FOR MUTUAL ACCESS AND INCIDENTAL PURPOSES, OVER THE EASTERLY 17.00 FEET OF LOT 11 OF SAID TRACT NO. 32560, AS PER MAP FILED IN BOOK 865 PAGES 11 TO 14 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS CREATED BY THAT CERTAIN INSTRUMENT ENTITLED DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS AND RESTRICTIONS AND GRANT OF EASEMENT DATED NOVEMBER 12, 1976, AND RECORDED NOVEMBER 26, 1976 AS INSTRUMENT NO. 2360 OF OFFICIAL RECORDS.

PARCEL 3:
AN EASEMENT FOR MUTUAL ACCESS AND INCIDENTAL PURPOSES, OVER THE WESTERLY 17.00 FEET OF LOT 13 OF SAID TRACT NO. 32560, AS PER MAP FILED IN BOOK 865 PAGES 11 TO 14 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS CREATED BY THAT CERTAIN INSTRUMENT ENTITLED DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS AND RESTRICTIONS AND GRANT OF EASEMENT DATED NOVEMBER 12, 1976, AND RECORDED NOVEMBER 26, 1976 AS INSTRUMENT NO. 2360 OF OFFICIAL RECORDS.

SAID EASEMENT IS TO EXTEND FROM HIGUERA STREET TO HAYDEN PLACE.

SCHEDULE B - SECTION II EXCEPTIONS

NOTE:
THE INFORMATION SHOWN HEREON IS PER TITLE REPORT ORDER NO: 00111650-001-TG3-DB DATED SEPTEMBER 24, 2019 BY CHICAGO TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF COMPLETENESS OR ACCURACY OF SAID PRELIMINARY TITLE REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

CIRCLED INDEX NUMBERS SHOWN BELOW INDICATE SCHEDULE B ITEMS WHICH BOTH AFFECT THE PROPERTY, AND HAVE SUFFICIENT MATHEMATICAL DATA TO BE SHOWN GRAPHICALLY. THESE ITEMS ARE SHOWN ON SHEET 2. ITEMS SHOWN WITHOUT CIRCLES ARE DEEMED TO BE "NOT PLOTTABLE" DUE TO THE LACK OF SUFFICIENT MATHEMATICAL DATA, OR THEY DO NOT DIRECTLY AFFECT THE SUBJECT PROPERTY.

- A PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2019-2020.
- B PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:
TAX IDENTIFICATION NO.: 4204-005-019
FISCAL YEAR: 2019-2020
1ST INSTALLMENT: \$57,614.49, UNPAID (DELINQUENT AFTER DECEMBER 10)
PENALTY: \$5,761.44
2ND INSTALLMENT: \$57,614.48, UNPAID (DELINQUENT AFTER APRIL 10)
PENALTY AND COST: \$5,771.44
HOMEOWNERS EXEMPTION: \$0.00
CODE AREA: 03133 (AFFECTS, NOT A SURVEY MATTER)

C THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- 2 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: SEPTEMBER 2, 1976
RECORDING NO: 1186 OF OFFICIAL RECORDS
AFFECTS: THE SOUTHERLY 2 FEET OF THE EASTERLY 12 FEET OF THE WESTERLY 25 FEET OF SAID LOT 12 OF SAID TRACT. (AFFECTS, PLOTTABLE AS SHOWN)

- 3 COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING DATE: NOVEMBER 26, 1976
RECORDING NO: 2360, OF OFFICIAL RECORDS (AFFECTS, PLOTTABLE AS SHOWN)

SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.

- 4 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT ABOVE MENTIONED:

PURPOSE: INGRESS AND EGRESS
AFFECTS: THE EASTERLY 17 FEET AND WESTERLY 17 FEET OF SAID LAND (AFFECTS, PLOTTABLE AS SHOWN)

- 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: ROBERTS INDUSTRIAL PARK, A LIMITED PARTNERSHIP
PURPOSE: MUTUAL ACCESS
RECORDING DATE: APRIL 15, 1977
RECORDING NO: 77-358652, OF OFFICIAL RECORDS
AFFECTS: THE WESTERLY 17.00 FEET OF SAID LAND (AFFECTS, PLOTTABLE AS SHOWN)

- 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: MUTUAL ACCESS
RECORDING DATE: JANUARY 3, 1978
RECORDING NO: 78-3883, OF OFFICIAL RECORDS
AFFECTS: THE WESTERLY 17.00 FEET AND THE EASTERLY 17.00 FEET OF SAID LAND (AFFECTS, PLOTTABLE AS SHOWN)

- 7 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: HAZARDOUS SUBSTANCES CERTIFICATE AND INDEMNITY AGREEMENT
RECORDING DATE: JUNE 22, 2015
RECORDING NO: 2015-739200, OF OFFICIAL RECORDS (AFFECTS, NOT A SURVEY MATTER)

- 8 A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW.

AMOUNT: \$5,500,000.00
DATED: JUNE 1, 2015
TRUSTOR/GRANTOR: HN REALTY ASSOCIATES, LLC, A DELAWARE LIMITED LIABILITY COMPANY
TRUSTEE: THE NORTHERN TRUST COMPANY
BENEFICIARY: THE NORTHERN TRUST COMPANY
RECORDING DATE: JUNE 22, 2015
RECORDING NO: 2015-739201, OF OFFICIAL RECORDS (AFFECTS, NOT A SURVEY MATTER)

THE DEED OF TRUST SET FORTH ABOVE IS PURPORTED TO BE A "CREDIT LINE" DEED OF TRUST, UNDER CALIFORNIA CIVIL CODE §2943.1 IT IS A REQUIREMENT THAT THE TRUSTOR/GRANTOR OF SAID DEED OF TRUST EITHER IMMEDIATELY PROVIDE THE BENEFICIARY WITH THE "BORROWER'S INSTRUMENT" TO SUSPEND AND CLOSE EQUITY LINE OF CREDIT" OR PROVIDE A SATISFACTORY SUBORDINATION OF THIS DEED OF TRUST TO THE PROPOSED DEED OF TRUST TO BE RECORDED AT CLOSING.

SECTION B - SECTION II EXCEPTIONS CONTINUED

IF THE ABOVE CREDIT LINE IS BEING PAID OFF, THIS COMPANY WILL REQUIRE THAT ESCROW OBTAIN WRITTEN CONFIRMATION FROM THE CURRENT BENEFICIARY THAT THE ACCOUNT HAS BEEN FROZEN PRIOR TO RECORDING. FAILURE TO DO SO WILL RESULT IN THIS COMPANY HOLDING FUNDS AT THE CLOSE OF ESCROW UNTIL SUCH CONFIRMATION IS OBTAINED FROM THE BENEFICIARY.

THE COMPANY REQUIRES THAT AN UPDATED DEMAND BE RECEIVED NO MORE THAN TWO DAYS PRIOR TO PAYOFF.

- 9 ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.
- 10 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCREASMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.
- 11 MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
- 12 ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.

THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE.

THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.

SURVEY NOTES

- 1 THIS SURVEY WAS PERFORMED ON AUGUST 31, 2021.
- 2 THERE ARE NO SPRINGS, STREAMS, RIVERS, PONDS OR LAKES BORDERING ON OR RUNNING THROUGH THE PROPERTY.
- 3 THERE WAS NO EVIDENCE OF CEMETERIES OR FAMILY BURIAL GROUNDS LOCATED ON PROPERTY, HOWEVER, THIS SURVEY WILL NOT OVERWRITE ANY PAST ARCHEOLOGICAL REPORTS, OR SUFFICE IN LIEU OF AN ARCHEOLOGICAL REPORT IN THE FUTURE.
- 4 THERE WAS NO EVIDENCE OF THE PROPERTY USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL, HOWEVER, THIS SURVEY WILL NOT OVERWRITE ANY PAST SOILS REPORTS OR SUFFICE IN LIEU OF AN SOILS REPORT IN THE FUTURE.
- 5 AT THE TIME OF WHICH THE SURVEY WAS PERFORMED THERE WAS NO EVIDENCE THAT A STREET WIDENING WAS IN PROGRESS.
- 6 AT THE TIME OF WHICH THE SURVEY WAS PERFORMED ALL BLOCK WALLS WITHIN 5 FEET OF PROPERTY WERE PLUMB.
- 7 AT THE TIME OF WHICH THE SURVEY WAS PERFORMED THERE WAS NO EARTH MOVING, CONSTRUCTION, OR BUILDING ADDITIONS IN PROCESS.
- 8 ENCREASMENTS ARE REFERENCED UNDER THE "ENCREASMENT TABLE" ON SHEET 1 AND SHOWN GRAPHICALLY ON SHEET 2
- 9 THERE ARE NO GAPS OR GORES BETWEEN THE PROPERTIES LISTED WITHIN THE TITLE REPORT LISTED HEREON.
- 10 SUBJECT PROPERTY HAS DIRECT ACCESS FROM HAYDEN PLACE AND HIGUERA STREET, LOCATIONS SHOWN ON SHEET 2.
- 11 THE LANDS SHOWN HEREON ARE THE SAME AS DESCRIBED IN TITLE REPORT ORDER NO: 00111650-001-TG3-DB PROVIDED BY CHICAGO TITLE INSURANCE COMPANY.

BASEIS OF BEARING

BEING THE CENTERLINE OF HIGUERA STREET, PER TRACT NO. 32560, RECORDED IN BOOK 865 AT PAGES 11-14, COUNTY OF LOS ANGELES, A BEARING OF N81°24'50"W.

BENCHMARK INFORMATION

THE OFF-SITE BENCHMARK IS BASED ON NAVD 1988 DATUM. BENCHMARK USED IS LOS ANGELES COUNTY BENCHMARK NUMBER 5V9330, BEING A L&SPK IN SOUTHEAST CORNER OF A CATCH BASIN, 39.4 FEET NORTH OF THE CENTERLINE OF JEFFERSON BOULEVARD & 22 FEET WEST OF THE CENTERLINE PROD OF HETZLER ROAD, ELEVATION 79.739 FEET.

ZONING & SETBACKS

PARCEL 1
STREET FRONT: 5 FEET
REAR: NONE REQUIRED
SIDES: NONE REQUIRED
MAX BUILDING HEIGHT: 43 FEET
MAX BUILDING COVERAGE: NONE LISTED
ZONE: IG (INDUSTRIAL GENERAL)

CONTAINS 67 STANDARD PARKING STALLS
CONTAINS 4 HANDICAP STALLS
CONTAINS 0 MOTORCYCLE STALLS
71 TOTAL STALLS

NOTES:

- 1 NO ZONING REPORT OR LETTER WAS PROVIDED BY THE CLIENT TO THE SURVEYOR. ALL SETBACK INFORMATION WAS PROVIDED BY THE CITY OF CULVER CITY DEPARTMENT WEBSITE <HTTP://CULVERCITY.ORG>. ANY QUESTIONS OR DISCREPANCIES SHOULD BE DIRECTED TO THE CITY AT PHONE NUMBER (310) 253-5710, OR AT THE COUNTER AT 970 CULVER BOULEVARD, 2ND FLOOR, CULVER CITY, CA, 90232. IT IS NOT OUR POLICY TO MAKE CALCULATIONS TO DETERMINE REQUIREMENTS FOR THE SITE, BUT ONLY TO REPORT INFORMATION AS DISCOVERED.
- 2 NO SUBDIVISION OR RE-PLAT IS REQUIRED TO CONVEY THE SURVEYED PROPERTY.

FLOOD DESIGNATION

PER FLOOD INSURANCE RATE MAP NO. 06037C1595G PROJECT SITE LIES IN FLOOD ZONE "X".
FLOOD "X" DESIGNATION IS DEFINED AS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN;" PER THE FEMA WEB SITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV.

ENCROACHMENT TABLE

- ⚠ SUBJECT OWNERS TEMPORARY FENCING, CANOPIES AND STORAGE ENCREASCH ONTO MUTUAL INGRESS AND EGRESS EASEMENT. SEE SHEET 2 FOR DETAILS.
- ⚠ SUBJECT OWNERS LOADING DOCK WALLS ENCREASCH ONTO MUTUAL INGRESS AND EGRESS EASEMENT. SEE SHEET 2 FOR DETAILS.
- ⚠ SUBJECT OWNERS TEMPORARY FENCING AND STORAGE ENCREASCH ONTO MUTUAL INGRESS AND EGRESS EASEMENT. SEE SHEET 2 FOR DETAILS.

SHEET INDEX

SHEET 1: PROPERTY / TITLE INFORMATION
SHEET 2: PROPERTY BOUNDARY / PROCEDURE OF SURVEY / TOPOGRAPHY

OWNERS

HN REALTY ASSOCIATES, LLC, A DELAWARE LIMITED LIABILITY COMPANY

SURVEYOR'S CERTIFICATE

TO CHICAGO TITLE INSURANCE COMPANY AND HN REALTY ASSOCIATES, LLC, A DELAWARE LIMITED LIABILITY COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2 THROUGH 5, 6(A)(B), 7(A)(B)(C), 8, 9, 10(A)(B), 13 THROUGH 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2021.

DATE OF PLAT OR MAP: _____

FOR LEGAL AND TITLE REVIEW ONLY

C - SHEET 1



DATE	BY	REVISIONS

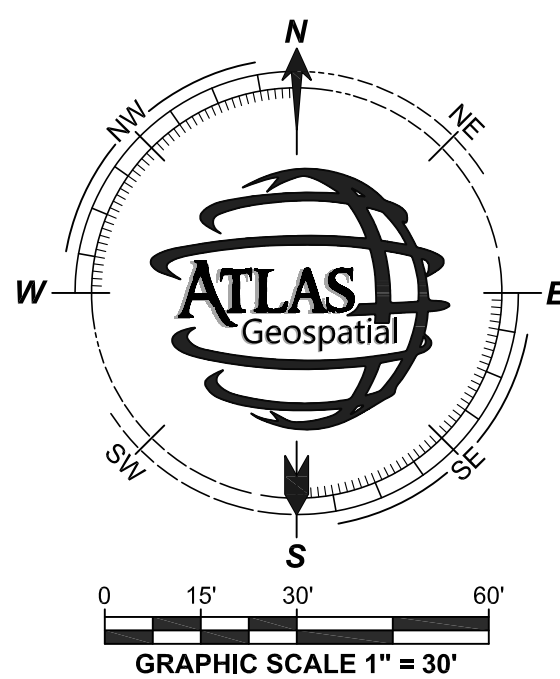
ALTA/NSPS LAND TITLE SURVEY
8635 HAYDEN PLACE, CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

PROJECT NUMBER: 21-092
DWG NAME: 21-092 HAYDEN PLACE
PREPARED BY: CDA/M DATE: 09.20.2021
CHECKED BY: JAA/WWW DATE: 09.20.2021
REVISION SHEET 0 1 of 2

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS GEOSPATIAL. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS GEOSPATIAL IS FORBIDDEN.

ALTA/NSPS LAND TITLE SURVEY

OF LOT 12 OF TRACT NO. 32560, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 865 PAGES 11 TO 14 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.



RECORD LEGEND

XX INDICATES A DIMENSION THAT IS MEASURED OR CALCULATED FROM MEASURED DISTANCES.
R1 INDICATES A DIMENSION PER TRACT NO. 32560, AS PER MAP RECORDED IN BK 865 PAGES 11-14.

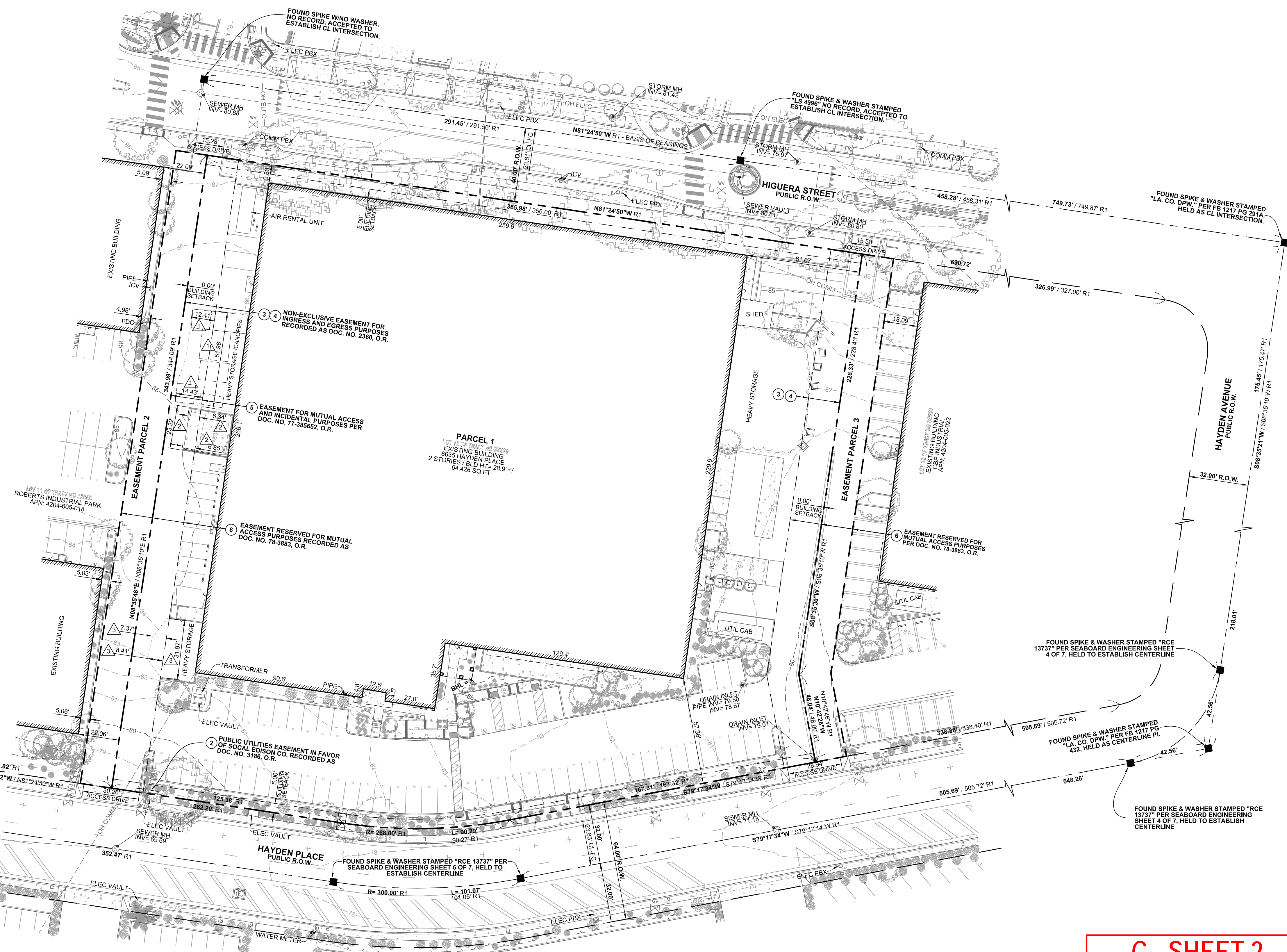
PARCEL INFORMATION

PARCEL 1
BEING LOT 12 OF TRACT NO. 32560, AS PER MAP RECORDED IN BK 865 PAGES 11-14.
APN: 4204-005-019
SQ. FT. = 116,759.587 / 2.680 ACRES
ZONING: IG (INDUSTRIAL GENERAL)

LEGEND

NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING.

---	PROPERTY BOUNDARY LINE	PIV	POST INDICATOR VALVE
---	PROPOSED LEASE AREA	BFP	BACKFLOW PREVENTOR
---	CENTERLINE	ELEC	ELECTRIC
---	INDETERMINATE BOUNDARY LINE	COMM	COMMUNICATION
---	EASEMENT LINE	X=BHL	BUILDING HEIGHT LOCATION
---	EXISTING CONTOURS	---	FIRE HYDRANT
---	OH ELEC	---	LIGHT WITH CONCRETE BASE
---	COMMUNICATION LINE	---	WATER VALVE
---	EXISTING CHAIN LINK FENCE	---	GAS VALVE
---	EXISTING WROUGHT IRON FENCE	---	STORM DRAIN MANHOLE
---	BLOCK WALL	---	SANITARY SEWER MANHOLE
---	INDICATES RESTRICTED ACCESS	---	SEWER CLEANOUT
---	ZONING BOUNDARY	---	GREASE INTERCEPTOR MANHOLE
---	ASSESSORS PARCEL NUMBER	---	COMMUNICATION MANHOLE
---	RIGHT OF WAY	---	SPOT ELEVATIONS
---	PL	---	STREET SIGN
---	C.L.	---	UTILITY POLE
---	FC	---	GUY WIRE
---	WL	---	EXISTING BOLLARD
---	FN	---	TRAFFIC SIGNAL/LIGHTPOLE
---	INV	---	FOUND MONUMENT AS DESCRIBED
---	ICV	---	SET 5/8" I.P. W/ PLASTIC CAP TAG "LS 8645"
---	PBX	---	PULLBOX
---	FDC	---	FIRE DEPARTMENT CONNECTION
---	---	---	EXISTING BUILDING WITH OVERHANG



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DATE	BY	REVISIONS

DATE	BY	REVISIONS

ALTA/NSPS LAND TITLE SURVEY
 8635 HAYDEN PLACE, CITY OF
 CULVER CITY, COUNTY OF LOS ANGELES,
 STATE OF CALIFORNIA

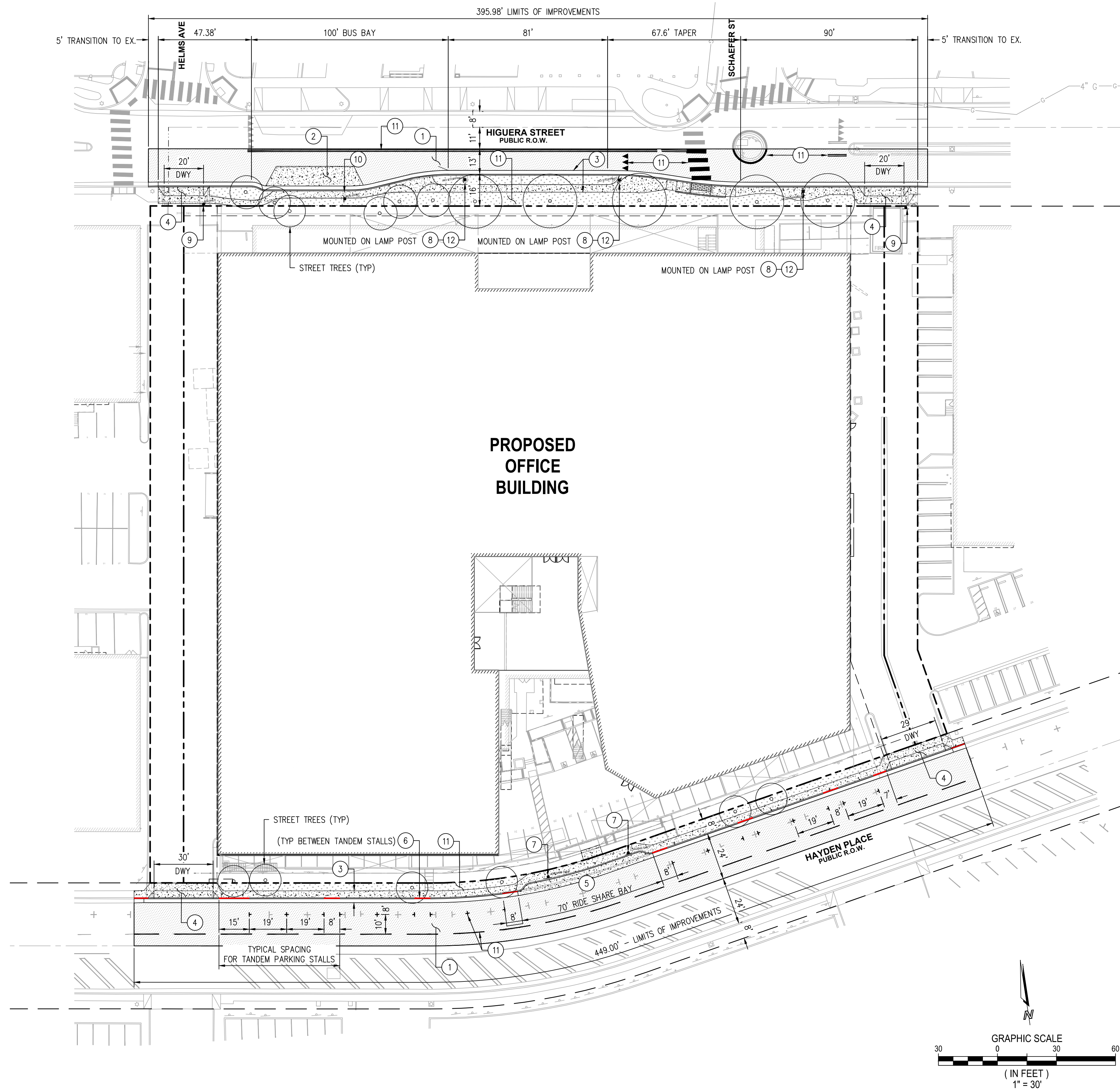
PROJECT NUMBER: 21-092
DWG NAME: 21-092 HAYDEN PLACE
PREPARED BY: CD/AM DATE: 09.20.2021
CHECKED BY: JAA/WWW DATE: 09.20.2021

REVISION	SHEET
0	2 OF 2

C - SHEET 2

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LEGEND (EXISTING)

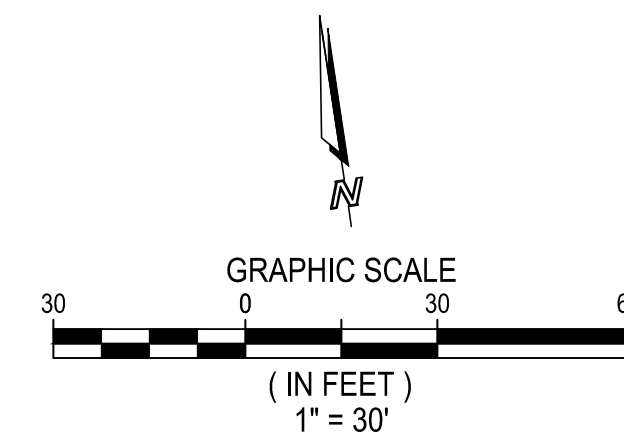
- PROPERTY BOUNDARY LINE
- CENTERLINE
- INDETERMINATE BOUNDARY LINE
- EASEMENT LINE
- EXISTING CONTOURS
- OHL OVERHEAD ELECTRICAL LINE
- EL ELECTRICAL LINE
- GAS GAS LINE
- SD STORM DRAIN
- S SANITARY SEWER
- W WATER MAIN
- CHAIN LINK FENCE
- WROUGHT IRON FENCE
- BLOCK WALL
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- SPOT ELEVATIONS
- STREET SIGN
- UTILITY POLE
- EXISTING BUILDING

LEGEND (PROPOSED)

- PROPERTY BOUNDARY LINE
- CENTERLINE
- EASEMENT LINE
- PROPOSED CONCRETE
- PROPOSED HALF WIDTH 2" AC GRIND AND OVERLAY
- PROPOSED LANDSCAPE
- DESC ● PROPOSED TRAFFIC SIGN
- PROPOSED STREETSCAPE TREE

RIGHT-OF-WAY UTILIZATION NOTES

- 1 PROPOSED 2" GRIND AND OVERLAY; PAVEMENT SHALL BE RUBBERIZED ASPHALT.
- 2 PROPOSED CONCRETE BUS STOP PAD PER SPPWC 131-2.
- 3 PROPOSED SIDEWALK, CURB & GUTTER REPLACEMENT PER SPPWC 113-2.
- 4 PROPOSED TYPE 'B' CONCRETE DRIVE APPROACH PER SPPWC 110-2.
- 5 PROPOSED RIDE SHARE PASSENGER LOADING ZONE.
- 6 PROPOSED PAINTED RED CURB.
- 7 PROPOSED TRAFFIC SIGN "PASSENGER LOADING ONLY - 5 MINUTE LIMIT".
- 8 PROPOSED TRAFFIC SIGN "NO STOPPING ANYTIME".
- 9 PROPOSED TRAFFIC SIGN "RIGHT TURN ONLY".
- 10 PROPOSED BUS ROUTE INFORMATIONAL SIGN.
- 11 PROPOSED RIGHT-OF-WAY LANDSCAPING PER CITY STANDARDS.
- 12 RE-STRIPE TRAFFIC LANE LINES, CROSSWALKS & PARKING STALLS IN KIND.
- 13 REPLACE CITY STREET LIGHT LAMP POST IN KIND.



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DATE	REVISIONS	BY

HAYDEN PLACE
8635 HAYDEN PLACE
CULVER CITY, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA

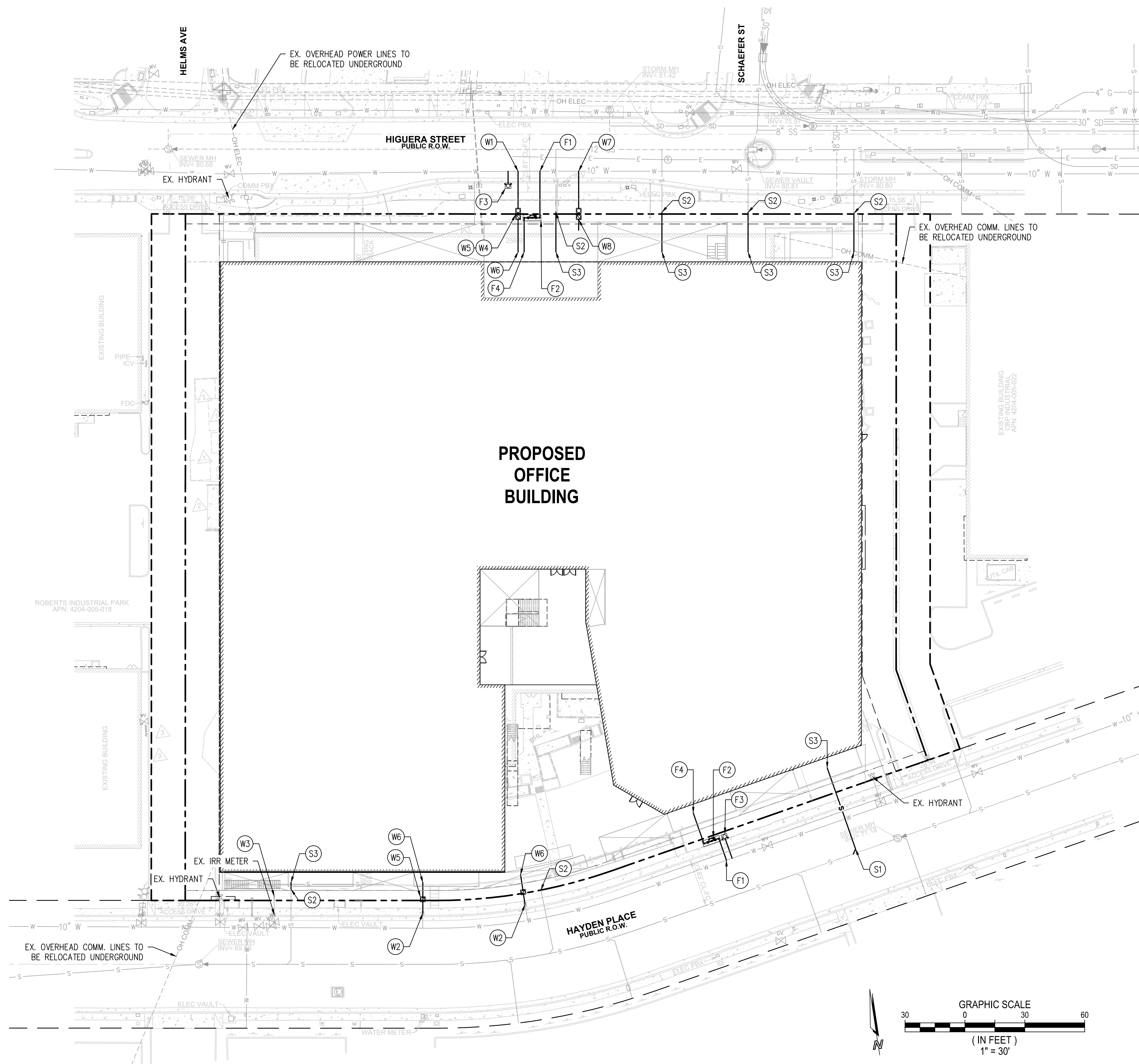
**PRELIMINARY CURBSIDE AND
RIGHT-OF-WAY UTILIZATION PLAN**

PROJECT NUMBER: 21-092
PREPARED ON: 12/16/2021
REVISED ON:
PREPARED BY: C.Rogers
CHECKED BY: THJ
SHEET 1 OF 1

C - SHEET 3

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3:\LOCAL_CADD\SHARED\2021\21-092 HAYDEN PLACE (DMS) CONCRETE SITE PLAN REVIEW\21-092 PRELIMINARY UTILITY HANDLING PLAN.DWG



LEGEND (EXISTING)

- PROPERTY BOUNDARY LINE
- CENTERLINE
- - - INDETERMINATE BOUNDARY LINE
- - - EASEMENT LINE
- - - 3.35' EXISTING CONTOURS
- OH ELEC OVERHEAD ELECTRICAL LINE
- E ELECTRICAL LINE
- GAS GAS LINE
- SD STORM DRAIN
- S SANITARY SEWER
- W WATER MAIN
- CL CHAIN LINK FENCE
- W-I WROUGHT IRON FENCE
- B BLOCK WALL
- F FIRE HYDRANT
- V WATER VALVE
- G GAS VALVE
- X 519.06 SPOT ELEVATIONS
- S STREET SIGN
- U UTILITY POLE
- EXISTING BUILDING

LEGEND (PROPOSED)

- PROPERTY BOUNDARY LINE
- CENTERLINE
- - - EASEMENT LINE
- - - 3.35' PROPOSED CONTOURS
- B BLOCK WALL
- S SANITARY SEWER
- SD STORM DRAIN
- W WATER MAIN
- FS FIRE WATER MAIN
- PROPOSED CONCRETE
- AC PAVEMENT
- PROPOSED LANDSCAPE
- F FIRE DEPARTMENT CONNECTION
- F FIRE HYDRANT
- V WATER VALVE
- S STORM DRAIN MANHOLE
- S SEWER CLEANOUT

WATER CONSTRUCTION NOTES

- (W1) OPTIONAL POINT OF CONNECTION TO EXISTING WATER MAIN FOR DOMESTIC SERVICE.
- (W2) OPTIONAL POINT OF CONNECTION TO EXISTING DOMESTIC WATER SERVICE/METER.
- (W3) OPTIONAL POINT OF CONNECTION TO EXISTING IRRIGATION BACKFLOW PREVENTER.
- (W4) NEW DOMESTIC WATER METER.
- (W5) NEW DOMESTIC WATER BACKFLOW PREVENTER.
- (W6) STUB 5' FROM PROPOSED BUILDING FOR CONTINUATION PER PLUMBING PLAN.
- (W7) OPTIONAL POINT OF CONNECT TO EXISTING MAIN FOR IRRIGATION SERVICE.
- (W8) NEW IRRIGATION METER & BACKFLOW PREVENTER.

FIRE CONSTRUCTION NOTES

- (F1) OPTIONAL NEW POINT OF CONNECTION TO EXISTING WATER MAIN FOR FIRE WATER SERVICE.
- (F2) NEW 6" DOUBLE DETECTOR CHECK ASSEMBLY WITH POST INDICATOR VALVE & FIRE DEPARTMENT CONNECTION.
- (F3) NEW 6" FIRE HYDRANT ASSEMBLY.
- (F4) STUB 5' FROM PROPOSED BUILDING FOR CONTINUATION TO FIRE RISER ROOM PER FIRE PROTECTION SPRINKLER AND MECHANICAL PLANS.

SEWER CONSTRUCTION NOTES

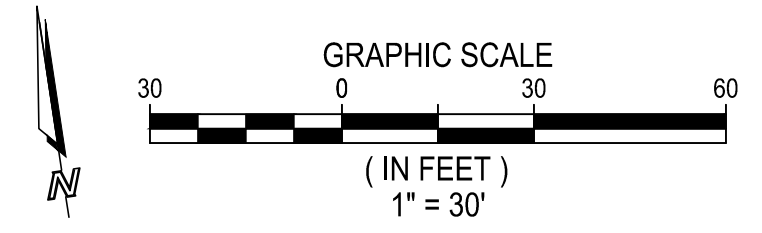
- (S1) OPTIONAL NEW SEWER LATERAL.
- (S2) OPTIONAL CONNECTION TO EXISTING SEWER LATERAL.
- (S3) STUB 5' FROM PROPOSED BUILDING FOR CONTINUATION PER PLUMBING PLAN.

UTILITY GENERAL NOTES

1. THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL AGENCIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES NOT CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

FIRE GENERAL NOTES

1. UTILITIES PROVIDED ARE FOR REFERENCE ONLY. SEPARATE PERMITS MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH WATER PURVEYOR AND LOCAL PUBLIC WORKS INSPECTOR PRIOR TO INSTALLATION OF SERVICES.
2. UNDERGROUND FIRE PIPE SIZES AND CALCULATION SHALL BE REVIEWED AND APPROVED BY FIRE PROTECTION COMPANY PRIOR TO INSTALLATION.
3. PIV AND FDC NOTES:
 - 3.1. THE DEVICE SHALL BE PREASSEMBLED AS A UNIT AT THE FACTORY OR AS APPROVED EQUAL IF FURNISHED OTHERWISE, EACH COMPONENT SHALL MEET CURRENT AWWA OR USC SPECIFICATIONS.
 - 3.2. INSTALLATION AND MATERIALS SHALL CONFORM TO CURRENT LOCAL AND DHS CODE.



C - SHEET 4

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DATE	REVISIONS	BY

HAYDEN PLACE
8635 HAYDEN PLACE
CULVER CITY, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA

PRELIMINARY UTILITY
HANDLING PLAN

PROJECT NUMBER: 21-092
PREPARED ON: 12/16/2021
REVISED ON:
PREPARED BY: C.Rogers
CHECKED BY: THJ
SHEET
1 OF 1

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS CIVIL DESIGN WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS CIVIL DESIGN. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS CIVIL DESIGN IS FORBIDDEN.

GENERAL NOTES

Date	Description
------	-------------

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
SITE PLAN

Scale
1/32" = 1'-0"

A1.00

KEY PLAN





	Parking Required	EV Required	ADA Required			
Calculations per Culver City Municipal Code	244,000 SF ÷ 350	40% of 698 Spaces	2% of 698 Spaces			
Space Count	698	280	14			
	Standard	Tandem	Tandem EV	EV	ADA	Totals
PARKING - P1	115	15	15	95	14	254
PARKING - P2	162	21	15	78	0	276
PARKING - P3	129	16	14	63	0	222
TOTALS	406	52	44	236	14	752

SHEET NOTES

GENERAL NOTES

- A THIRD-PARTY PARKING OPERATOR WILL BE ENGAGED TO OFFER VALET SERVICES ONCE THE BUILDING IS PHYSICALLY OCCUPIED, AND THE NEED IS CONFIRMED. VALET SERVICES ARE ANTICIPATED TO BE OFFERED MONDAY THROUGH FRIDAY FROM 8AM TO 6PM. HOWEVER, THIS MAY CHANGE DEPENDING ON THE NEED. VALET RATES WILL BE DETERMINED BASED ON MARKET RATES.

HACKMAN CAPITAL PARTNERS & IDS REAL ESTATE GROUP
 8631 Hayden Place
 Culver City, CA 90232

Gensler
 500 South Figueroa Street
 Los Angeles, California 90071
 United States
 Tel: 213.327.3600
 Fax: 213.327.3601

Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 8631 Hayden Place
 Project Number
 05.3755.000
 Description
 FLOOR PLAN - P1 BASEMENT

KEY PLAN

Scale
 As indicated

A1.2P1



	Parking Required	EV Required	ADA Required			
Calculations per Culver City Municipal Code	244,000 SF ÷ 350	40% of 698 Spaces	2% of 698 Spaces			
Space Count	698	280	14			
	Standard	Tandem	Tandem EV	EV	ADA	Totals
PARKING - P1	115	15	15	95	14	254
PARKING - P2	162	21	15	78	0	276
PARKING - P3	129	16	14	63	0	222
TOTALS	406	52	44	236	14	752

SHEET NOTES

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 United States
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 Fax: 213.327.3601

GENERAL NOTES

Date	Description

Seal / Signature

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Project Name
 8631 Hayden Place
 Project Number
 05.3755.000
 Description
 FLOOR PLAN - P2 BASEMENT

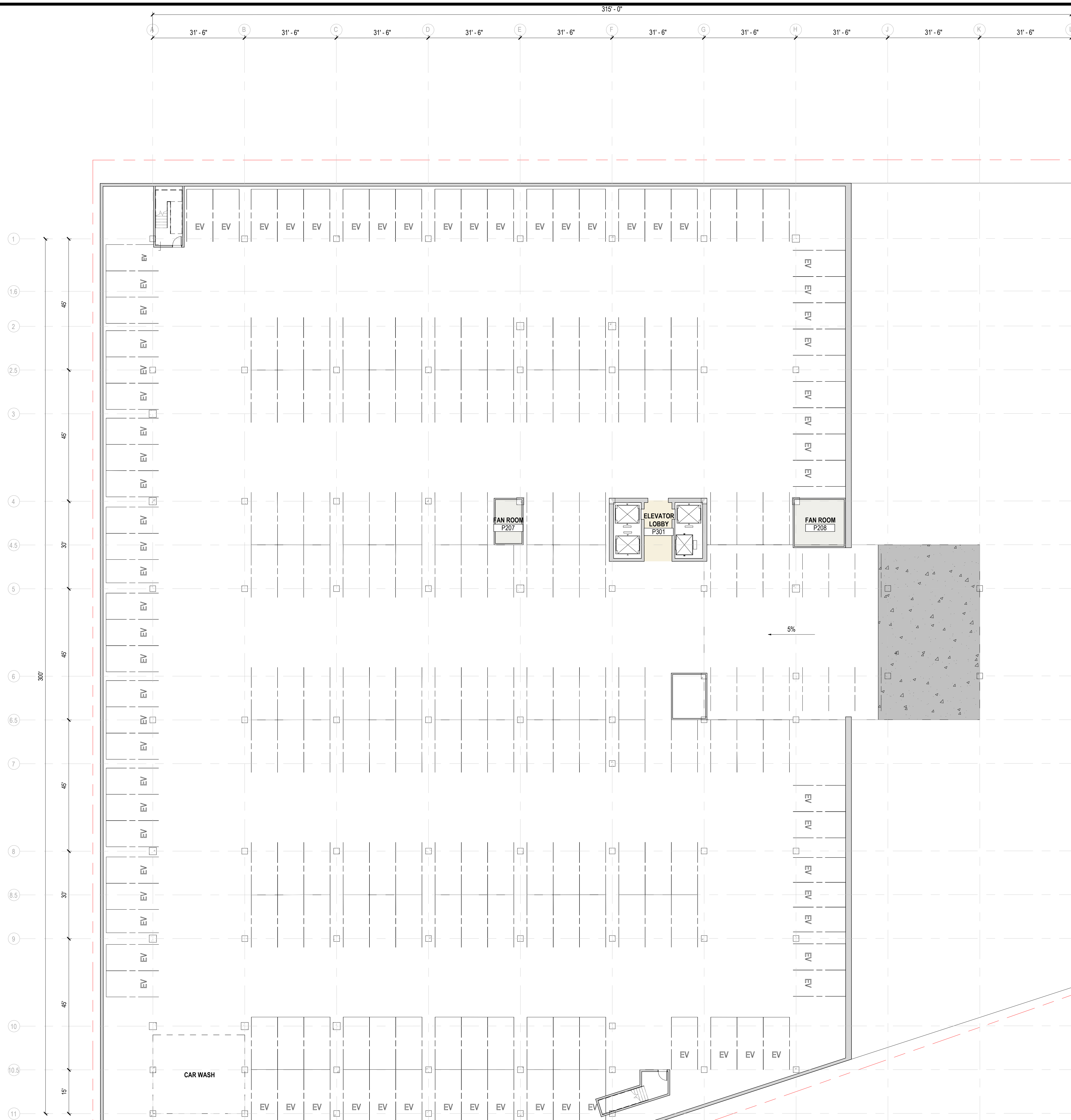
KEY PLAN

Scale
 1/16" = 1'-0"

A1.2P2

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6/22/2022 9:42:36 PM BIM 360://05.3755.000 - 8631 Hayden Place/Architecture - 05.3755.000.rvt



	Parking Required	EV Required	ADA Required			
Calculations per Culver City Municipal Code	244,000 SF ÷ 350	40% of 698 Spaces	2% of 698 Spaces			
Space Count	698	280	14			
	Standard	Tandem	Tandem EV	EV	ADA	Totals
PARKING - P1	115	15	15	95	14	254
PARKING - P2	162	21	15	78	0	276
PARKING - P3	129	16	14	63	0	222
TOTALS	406	52	44	236	14	752

SHEET NOTES

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 Culver City, CA 90232

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 Los Angeles, California 90071
 United States
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 Fax: 213.327.3601

GENERAL NOTES

- A THIRD-PARTY CAR WASH VENDOR WILL BE ENGAGED TO OFFER SERVICES ONCE THE BUILDING IS PHYSICALLY OCCUPIED. CAR WASH SERVICES WILL BE OFFERED MONDAY THROUGH FRIDAY FROM 8AM TO 4PM. A MENU OF SERVICES RANGING FROM A BASIC CAR WASH TO A FULL CAR DETAIL WILL BE OFFERED. THE DIRTY WATER WILL NEED TO GO TO A CLARIFIER (SIZE DEPENDING ON EXPECTED WATER) BEFORE SEWER EJECTION. THE STORM DRAINS IN THE GARAGE GO TO STORM DRAIN IN CULVER CITY.

Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
FLOOR PLAN - P3 BASEMENT

KEY PLAN

Scale
As indicated

A1.2P3



SHEET NOTES

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United States
Tel: 213.327.3600
Fax: 213.327.3601

GENERAL NOTES

- A THIRD-PARTY PARKING OPERATOR WILL BE ENGAGED TO OFFER VALET SERVICES ONCE THE BUILDING IS PHYSICALLY OCCUPIED, AND THE NEED IS CONFIRMED. VALET SERVICES ARE ANTICIPATED TO BE OFFERED MONDAY THROUGH FRIDAY FROM 8AM TO 6PM. HOWEVER, THIS MAY CHANGE DEPENDING ON THE NEED. VALET RATES WILL BE DETERMINED BASED ON MARKET RATES.
- FITNESS CENTER FOR OFFICE EMPLOYEE USE ONLY.
- DAILY TRASH, RECYCLABLE, AND ORGANIC WASTE SERVICE.
- TRASH CALCULATIONS:
SOLID WASTE: 6.5 CUBIC YARDS/WEEKDAY ON AVERAGE
RECYCLABLE WASTE MATERIAL: 8.6 CUBIC YARDS/WEEKDAY ON AVERAGE
ORGANIC WASTE: 1.4 CUBIC YARDS/WEEKDAY ON AVERAGE

Date	Description
------	-------------

Seal / Signature

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CONSTRUCTION**

Project Name
8631 Hayden Place
Project Number
05.3755.000
Description
FLOOR PLAN - GROUND LEVEL L01

KEY PLAN

Scale
As indicated

A1.21

GENERAL NOTES

Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
FLOOR PLAN - L01 WEST LOFT-L02 EAST

Scale
1/16" = 1'-0"

A1.22



01 LEVEL 01 WEST LOFT - LEVEL 02 EAST
SCALE: 1/16" = 1'-0"

GENERAL NOTES

Date	Description

Seal / Signature

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CONSTRUCTION**

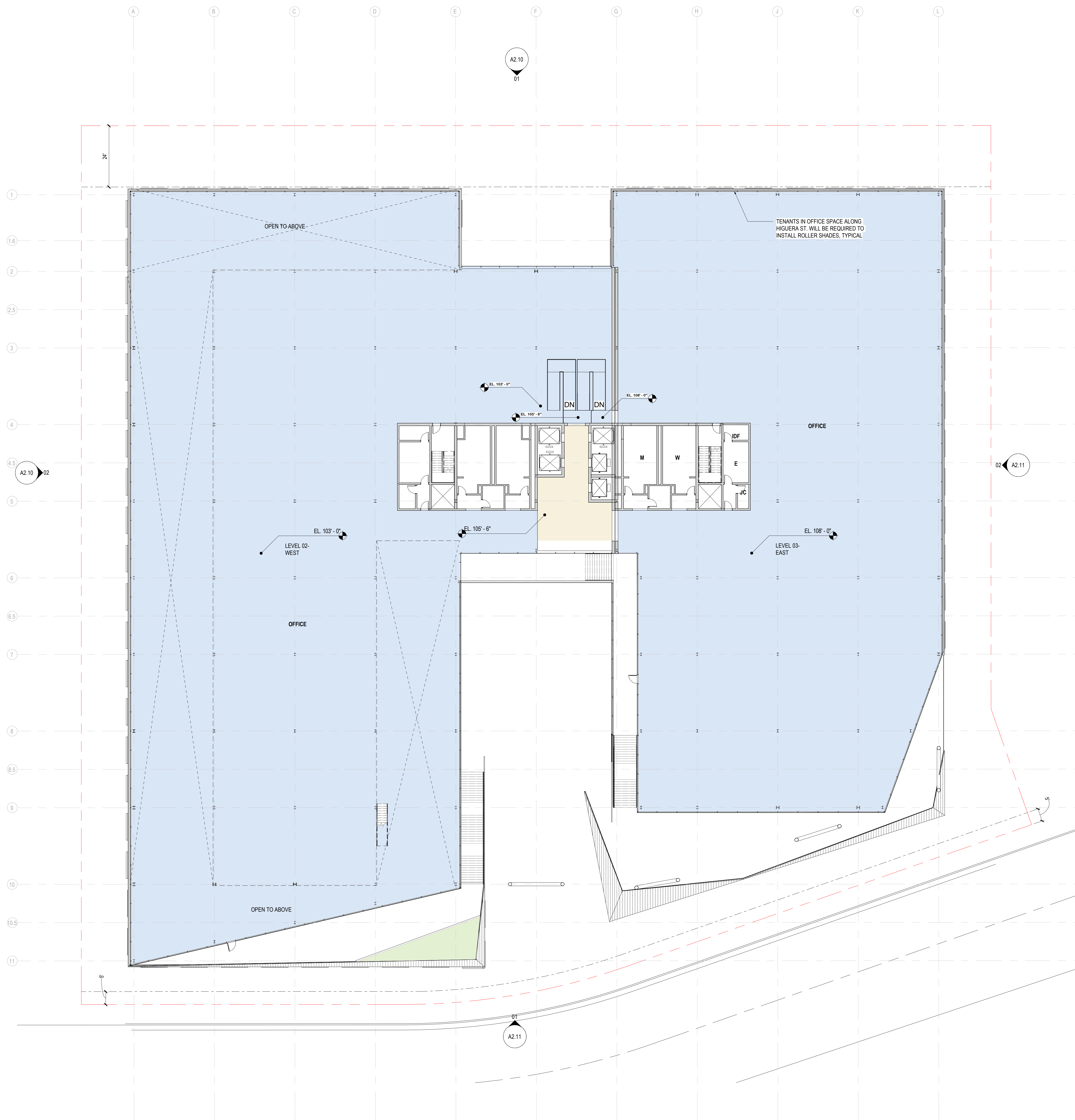
Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
FLOOR PLAN - L02 WEST-L03 EAST

Scale
1/16" = 1'-0"

A1.23



GENERAL NOTES

Date	Description

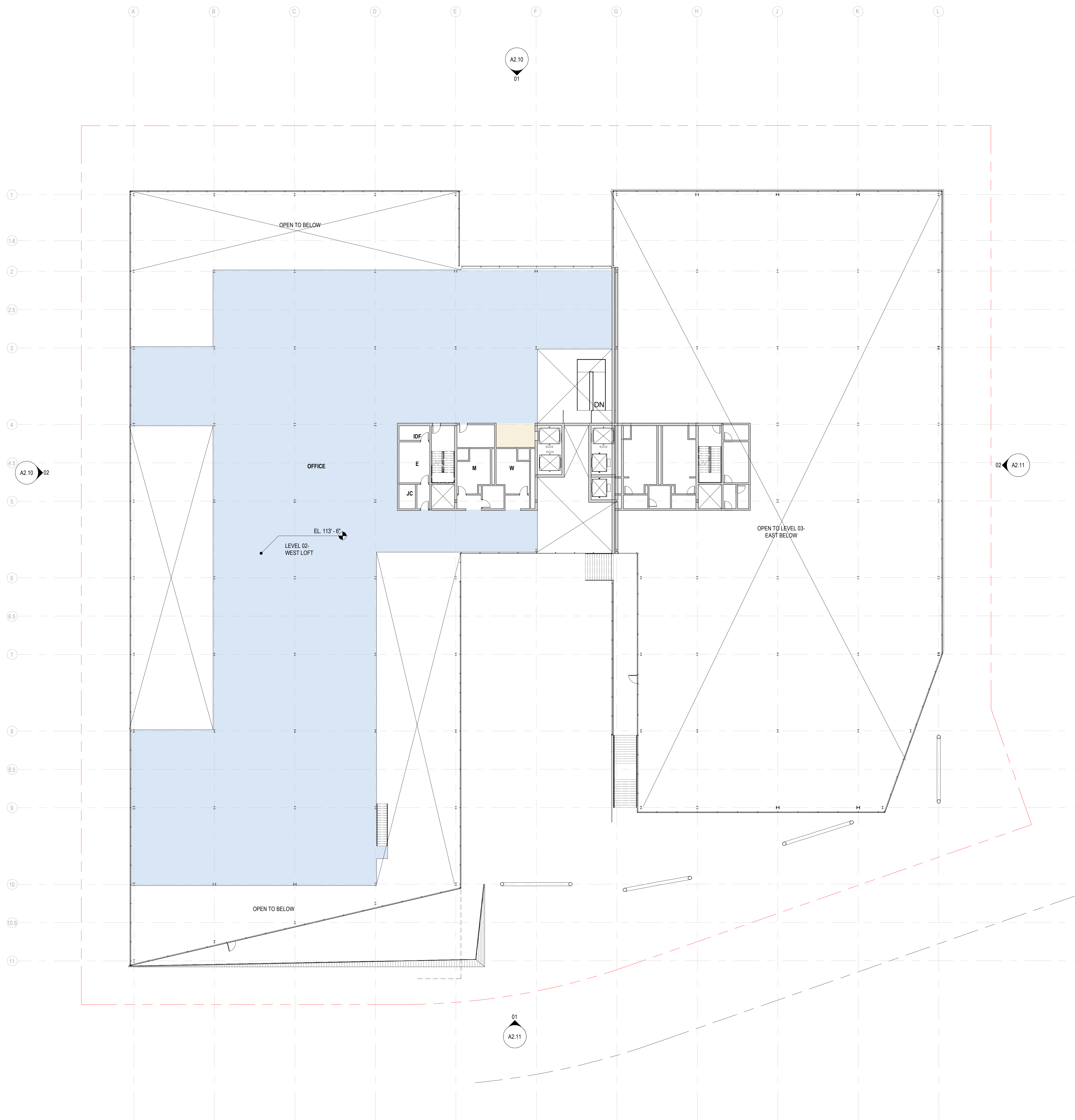
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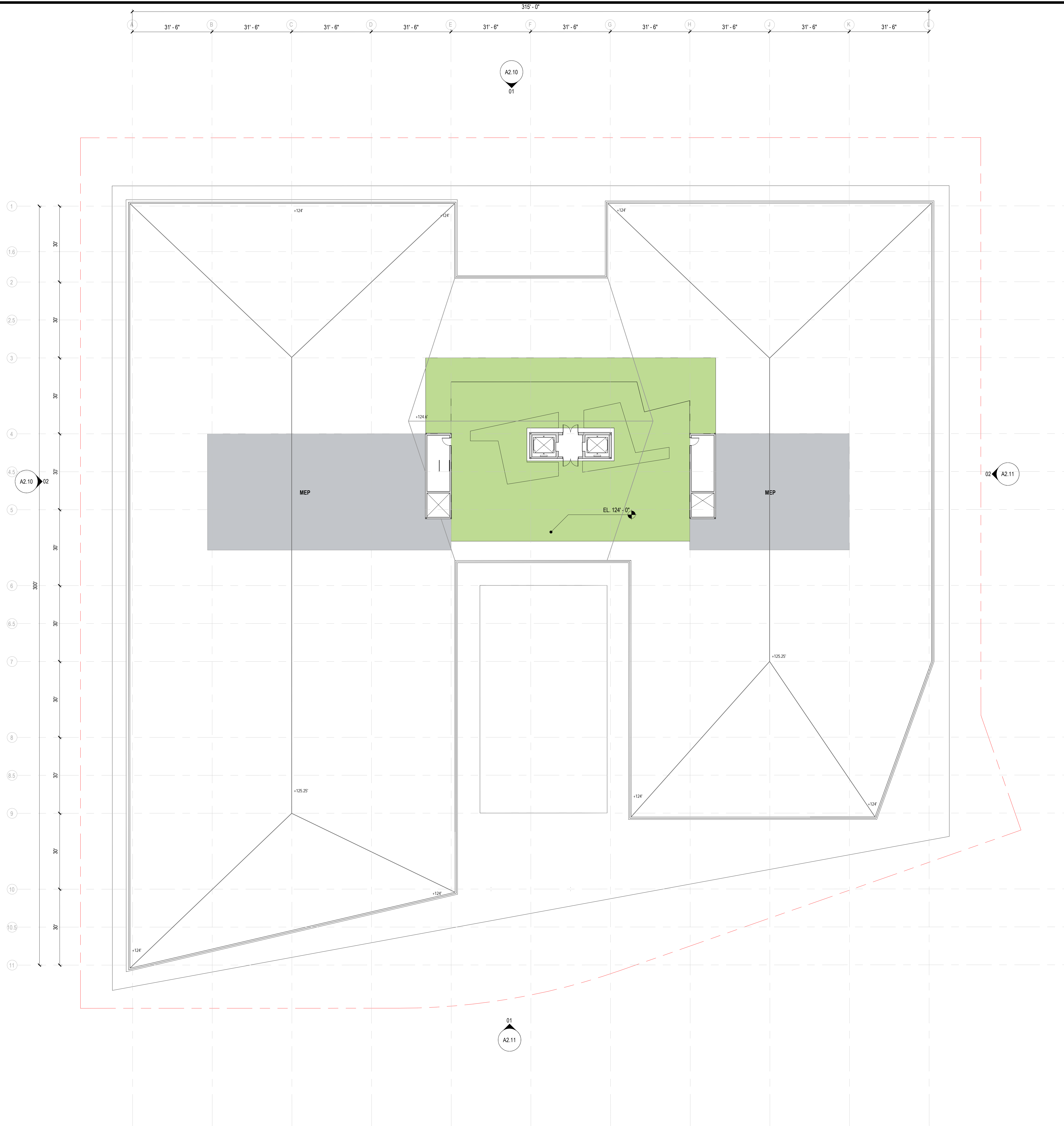
**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place
Project Number
05.3755.000
Description
FLOOR PLAN - L02 WEST LOFT

Scale
1/16" = 1'-0"

A1.24





SHEET NOTES

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Los Angeles, California 90071
United States
Tel 213.327.3600
Fax 213.327.3601

GENERAL NOTES

- NON-HABITABLE SAWTOOTH ARCHITECTURAL ROOF FEATURES TOTAL 12,000 SF IN AREA OR 15% OF 80,000 SF TOTAL ROOF AREA AND MEASURE 15'-0" IN HEIGHT FROM THE TOP OF THE ROOF.

Date	Description
------	-------------

Seal / Signature

**NOT FOR
CONSTRUCTION**

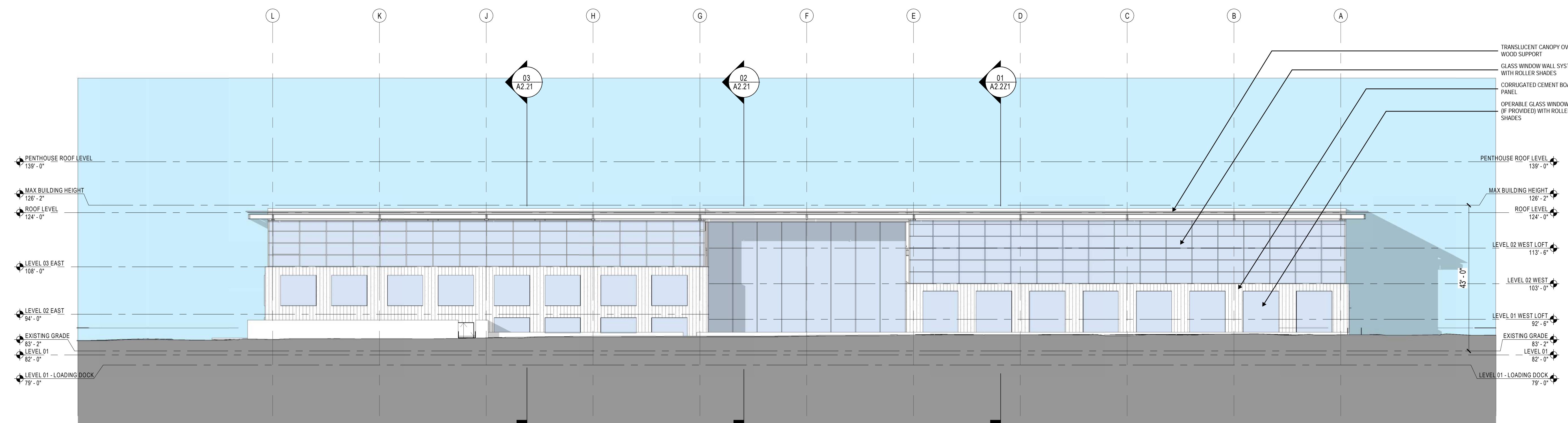
Project Name
8631 Hayden Place

Project Number
05.3755.000

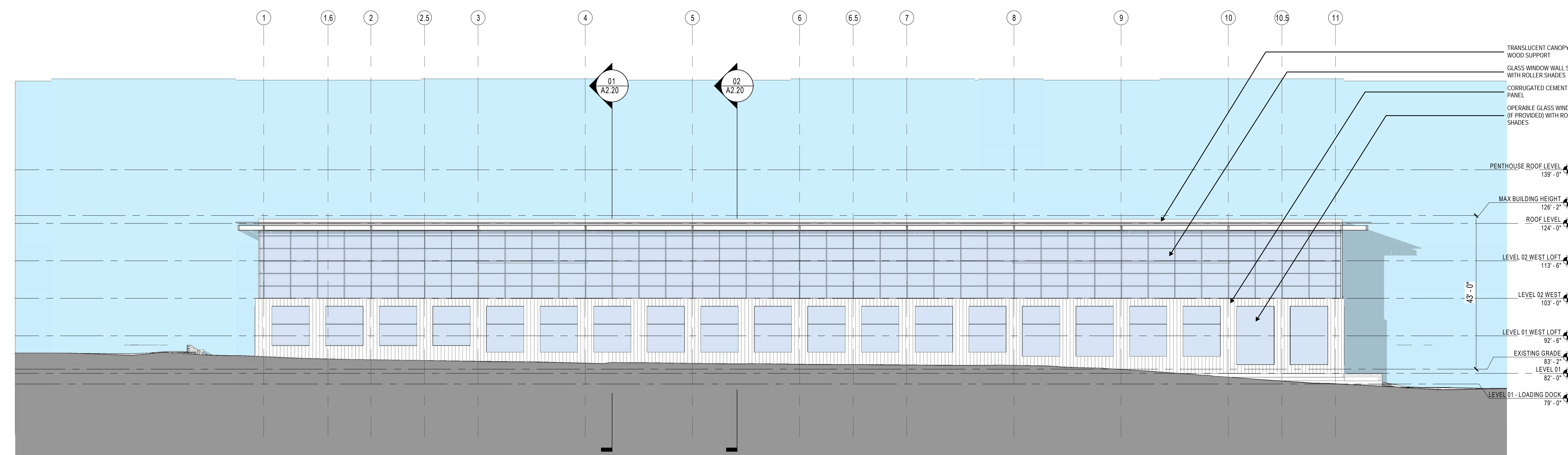
Description
ROOF PLAN

Scale
As indicated

A1.25



01 EXTERIOR ELEVATION - NORTH
SCALE: 1/16" = 1'-0"



02 EXTERIOR ELEVATION - WEST
SCALE: 1/16" = 1'-0"

GENERAL NOTES

Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
BUILDING ELEVATIONS

Scale
1/16" = 1'-0"

A2.10

GENERAL NOTES

Date	Description
------	-------------

Seal / Signature

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CONSTRUCTION**

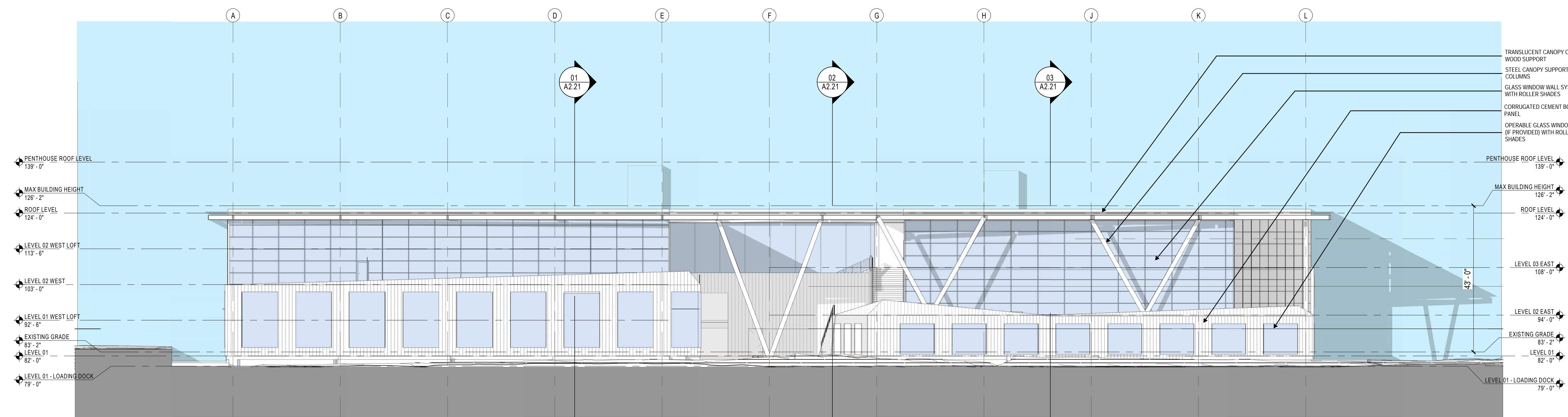
Project Name
8631 Hayden Place

Project Number
05.3755.000

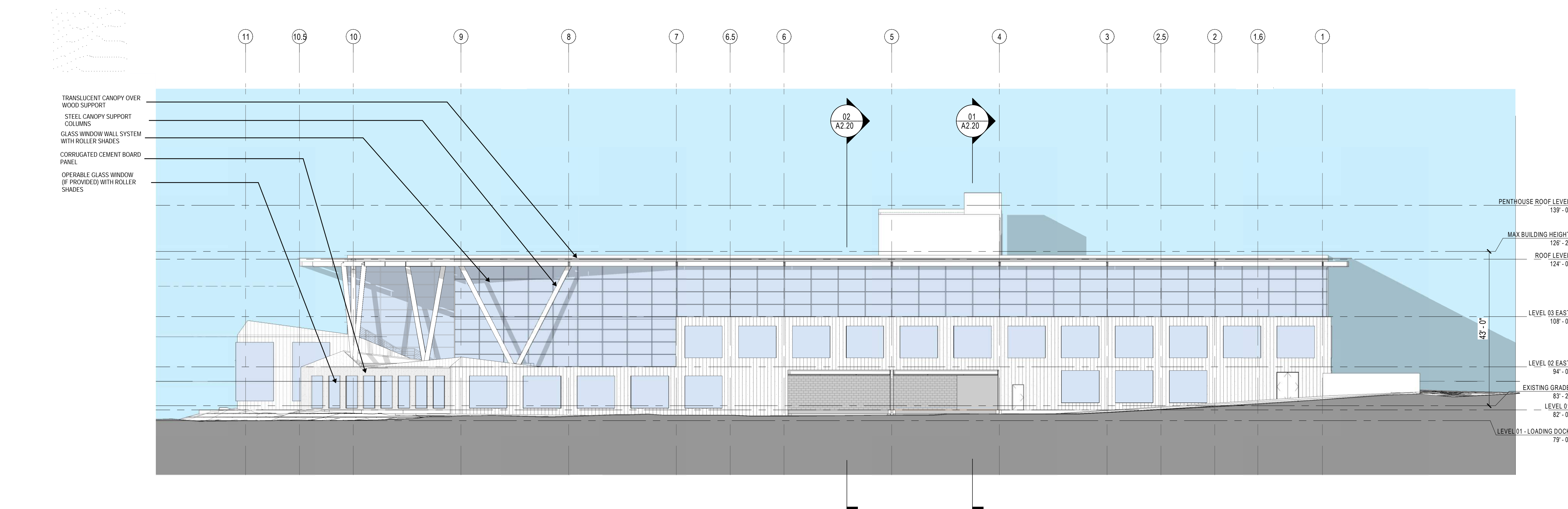
Description
BUILDING ELEVATIONS

Scale
1/16" = 1'-0"

A2.11



01 EXTERIOR ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"



02 EXTERIOR ELEVATION - EAST
SCALE: 1/16" = 1'-0"

KEY PLAN

GENERAL NOTES

Date	Description
------	-------------

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

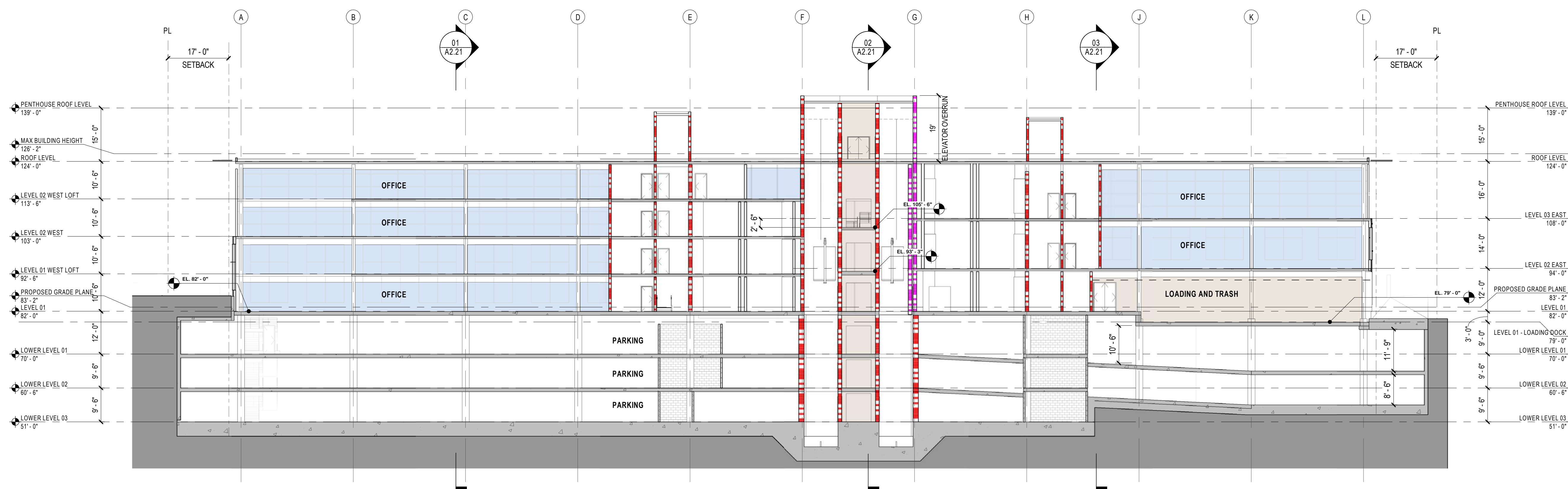
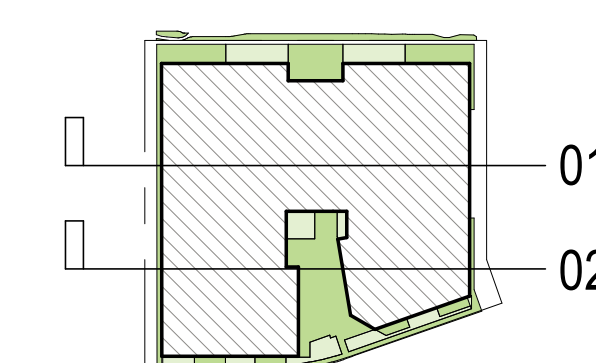
Project Number
05.3755.000

Description
BUILDING SECTIONS

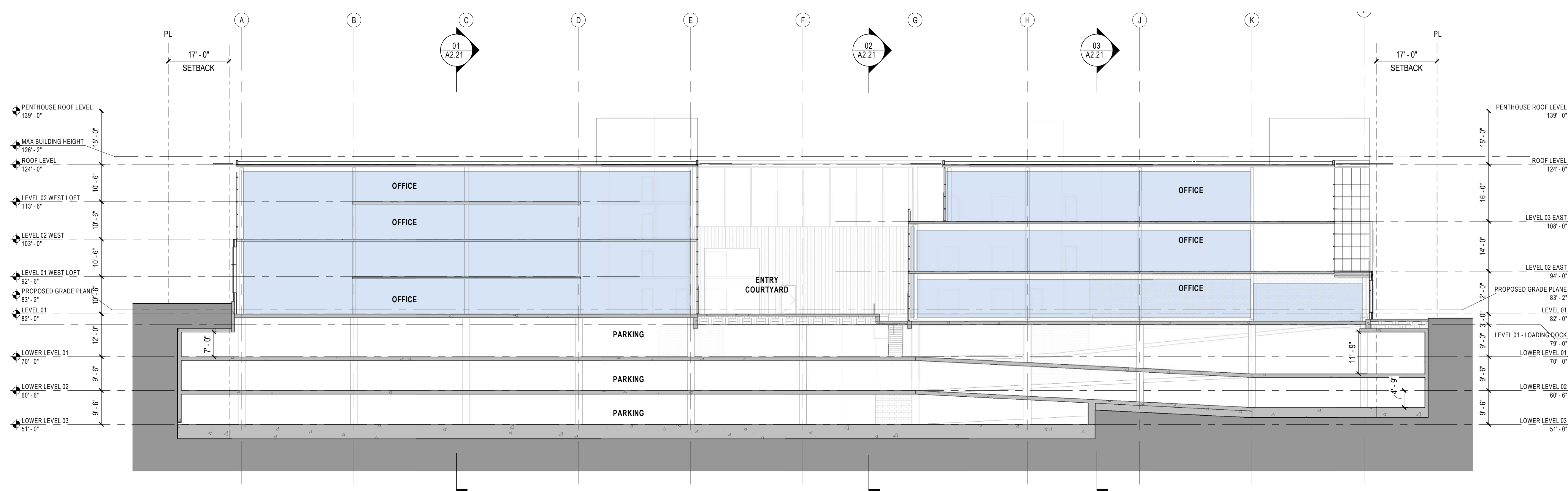
Scale
As indicated

A2.20

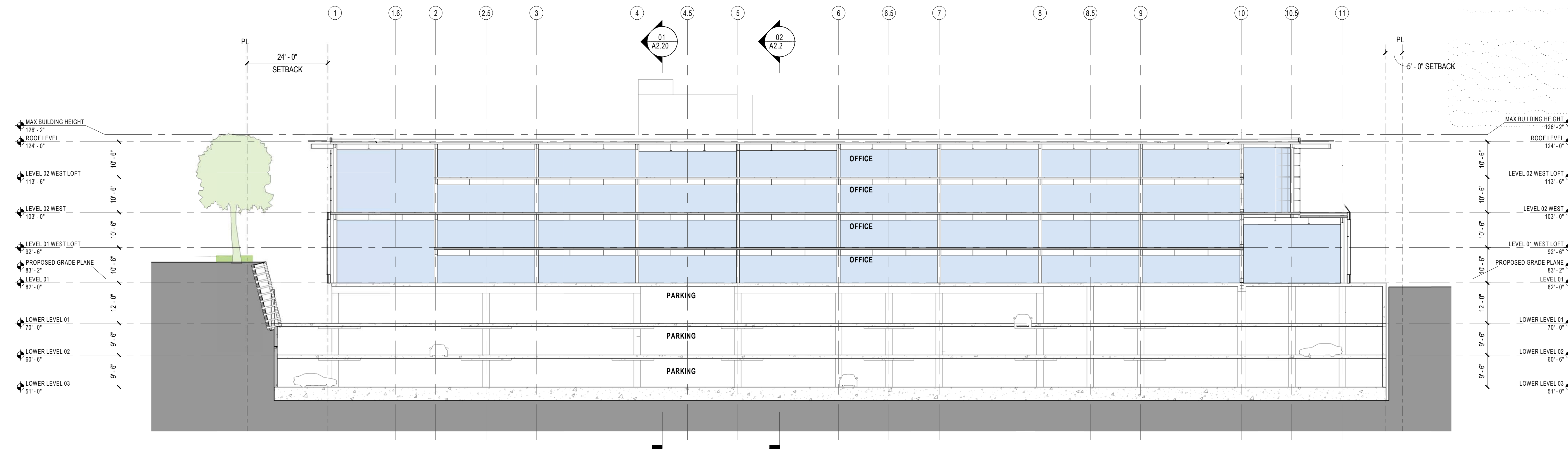
KEY PLAN



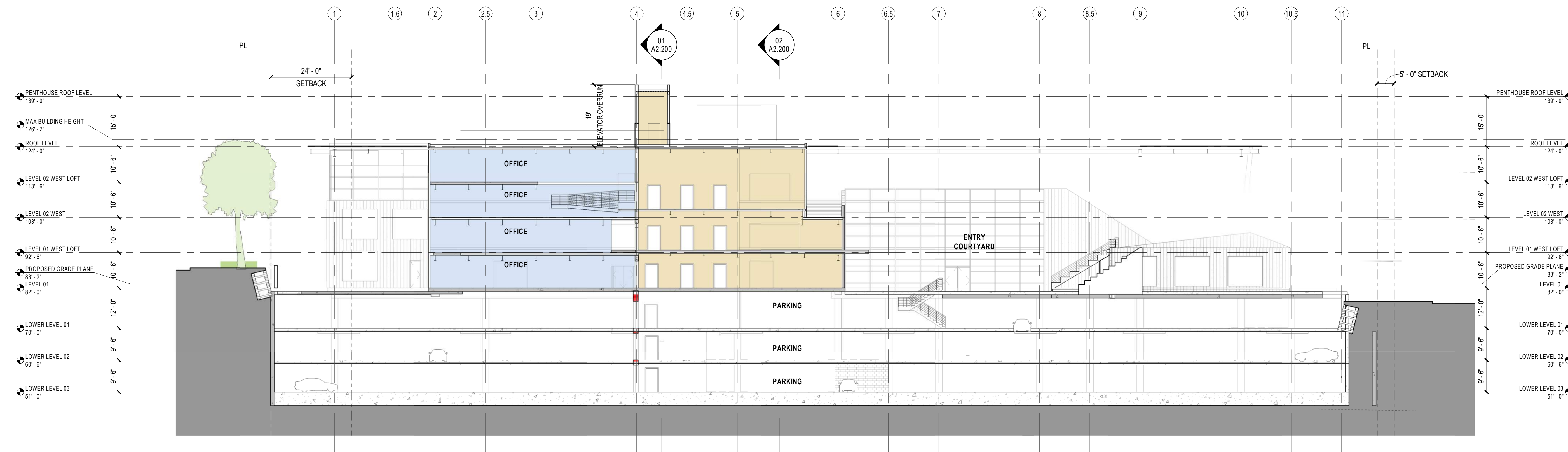
01 BUILDING SECTION - EAST-WEST AT GL-4
SCALE: 1/16" = 1'-0"



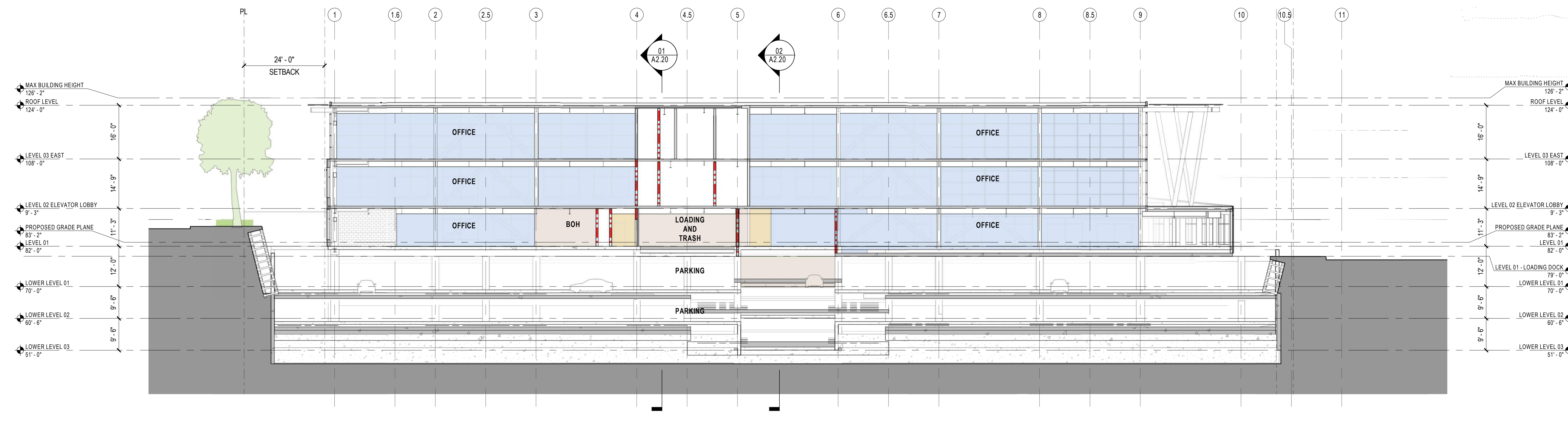
02 BUILDING SECTION - EAST-WEST AT GL-8
SCALE: 1/16" = 1'-0"



01 BUILDING SECTION - NORTH-SOUTH AT GL-C
SCALE: 1/16" = 1'-0"



02 BUILDING SECTION - NORTH-SOUTH AT GL-G
SCALE: 1/16" = 1'-0"



03 BUILDING SECTION - NORTH-SOUTH AT GL-J
SCALE: 1/16" = 1'-0"

GENERAL NOTES

Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

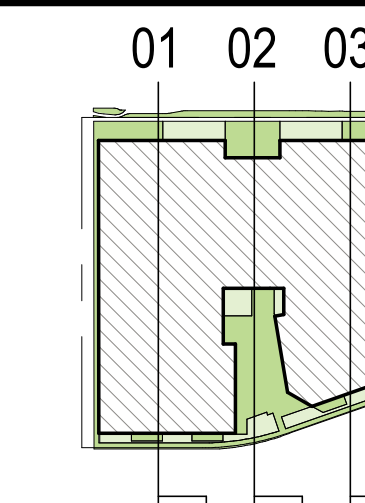
Project Number
05.3755.000

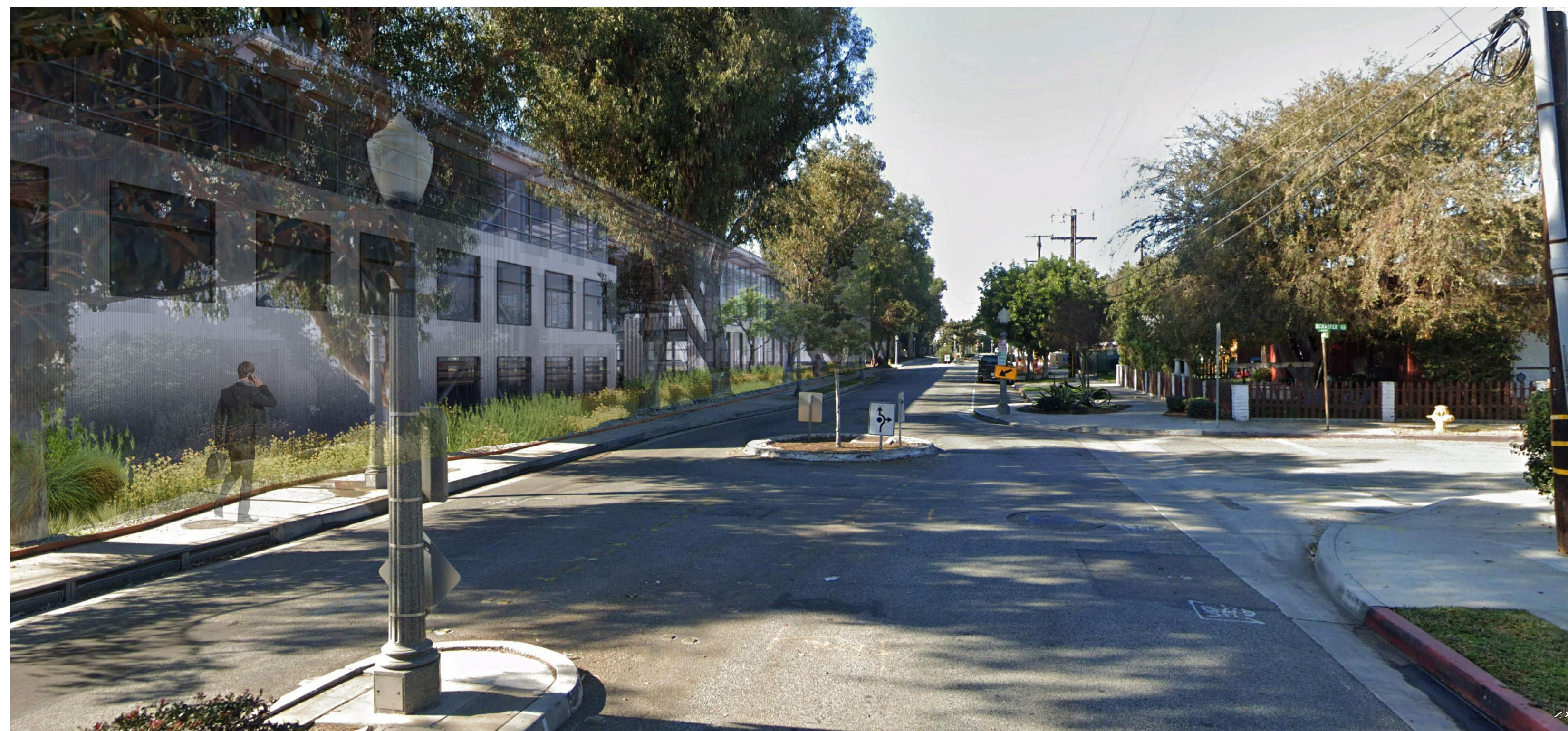
Description
BUILDING SECTIONS

Scale
As indicated

A2.21

KEY PLAN





Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
VISUALIZATION RENDERINGS

Scale
1" = 50'-0"

A3.00

1 ENTITLEMENT SET - RENDERINGS
SCALE: 1" = 50'-0"



△ Date	Description
--------	-------------

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
VISUALIZATION RENDERINGS

Scale
1" = 50'-0"

A3.01

1 HAYDEN PLACE SOUTEAST
SCALE: 1" = 50'-0"



△ Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
8631 Hayden Place

Project Number
05.3755.000

Description
VISUALIZATION RENDERINGS

Scale
1" = 50'-0"

A3.02

1 HAYDEN PLACE SOUTHWEST
SCALE: 1" = 50'-0"



1 HIGUERA NORTHEAST
SCALE: 1" = 50'-0"

△ Date	Description
--------	-------------

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

8631 Hayden Place

Project Number

05.3755.000

Description

VISUALIZATION RENDERINGS

Scale

1" = 50'-0"

A3.03



Google Earth
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1 HIGUERA NORTHWEST
SCALE: 1" = 50'-0"

△ Date Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

8631 Hayden Place

Project Number

05.3755.000

Description

VISUALIZATION RENDERINGS

Scale

1" = 50'-0"

A3.04



NOTE:
 THE AREA ALONG HIGUERA STREET WILL
 BE LANDSCAPED. IT INCLUDES NEW TREES
 IN ADDITION TO THE STREET TREES.



JC

MAIL

TRASH

ZONE

OFFICE LOBBY
2291 SF

POTENTIAL FITNESS
CENTER LOCATION

10.9%
DOWN

OFFICE
44261 SF

OFFICE
14643 SF

STAIRS

BRIDGE TO LOBBY

STAIRS

CENTRAL PLAZA

PING-PONG TABLE

EL. 82' - 0"

OUTDOOR CONFERENCE

OUTDOOR CONFERENCE

BBQ & BAR COUNTER

EDGE OF FLOOR
ABOVE

TRELLIS

FIRE PIT

DINNING AREA

OPEN TO ABOVE

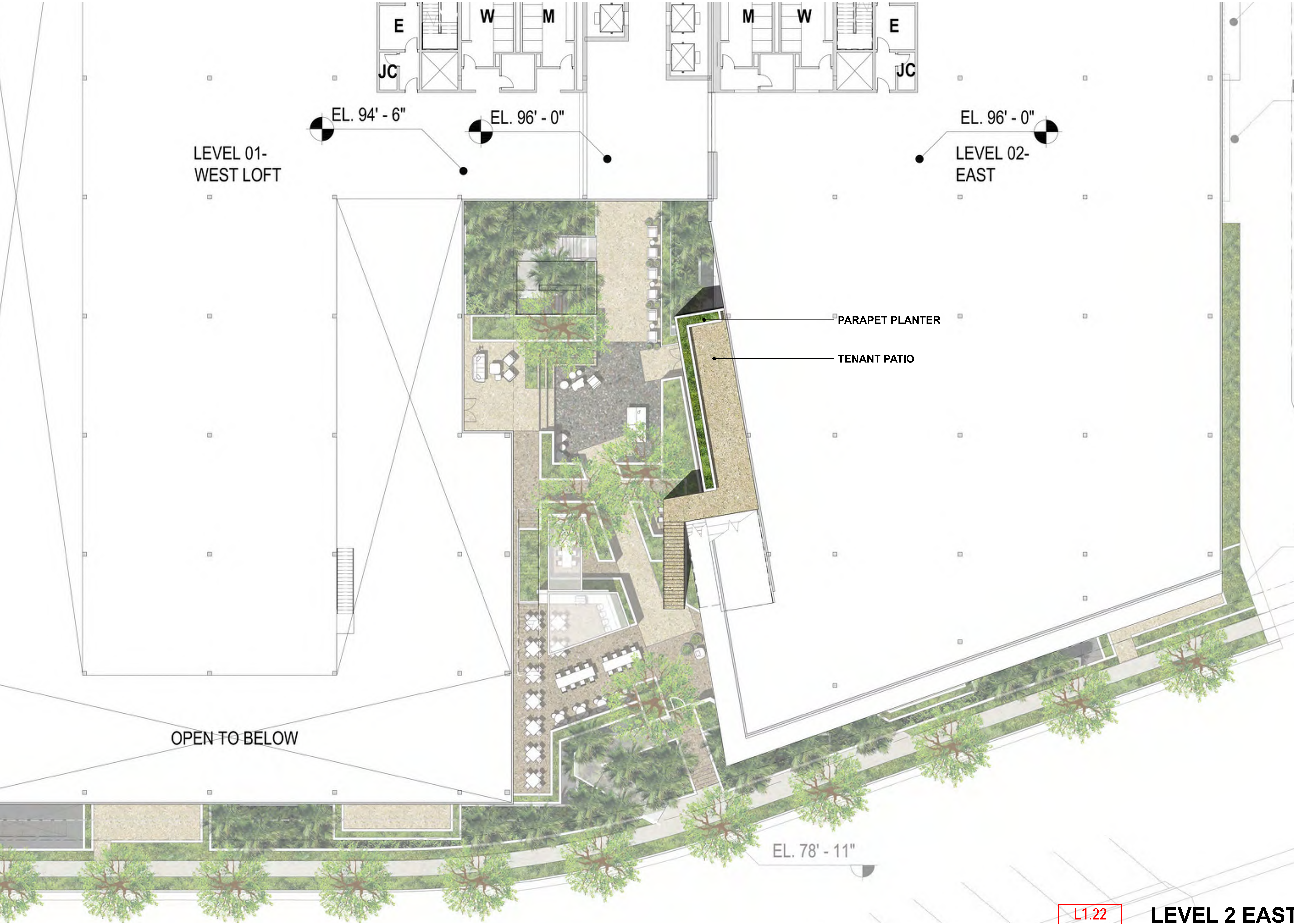
GATED ACCESS POINT

STAIRS

RAMP

EL. 78' - 11"

STREET TREES PER APPROVAL OF
THE CITY OF CULVER CITY



LEVEL 01-
WEST LOFT

EL. 94' - 6"

EL. 96' - 0"

EL. 96' - 0"

LEVEL 02-
EAST

PARAPET PLANTER

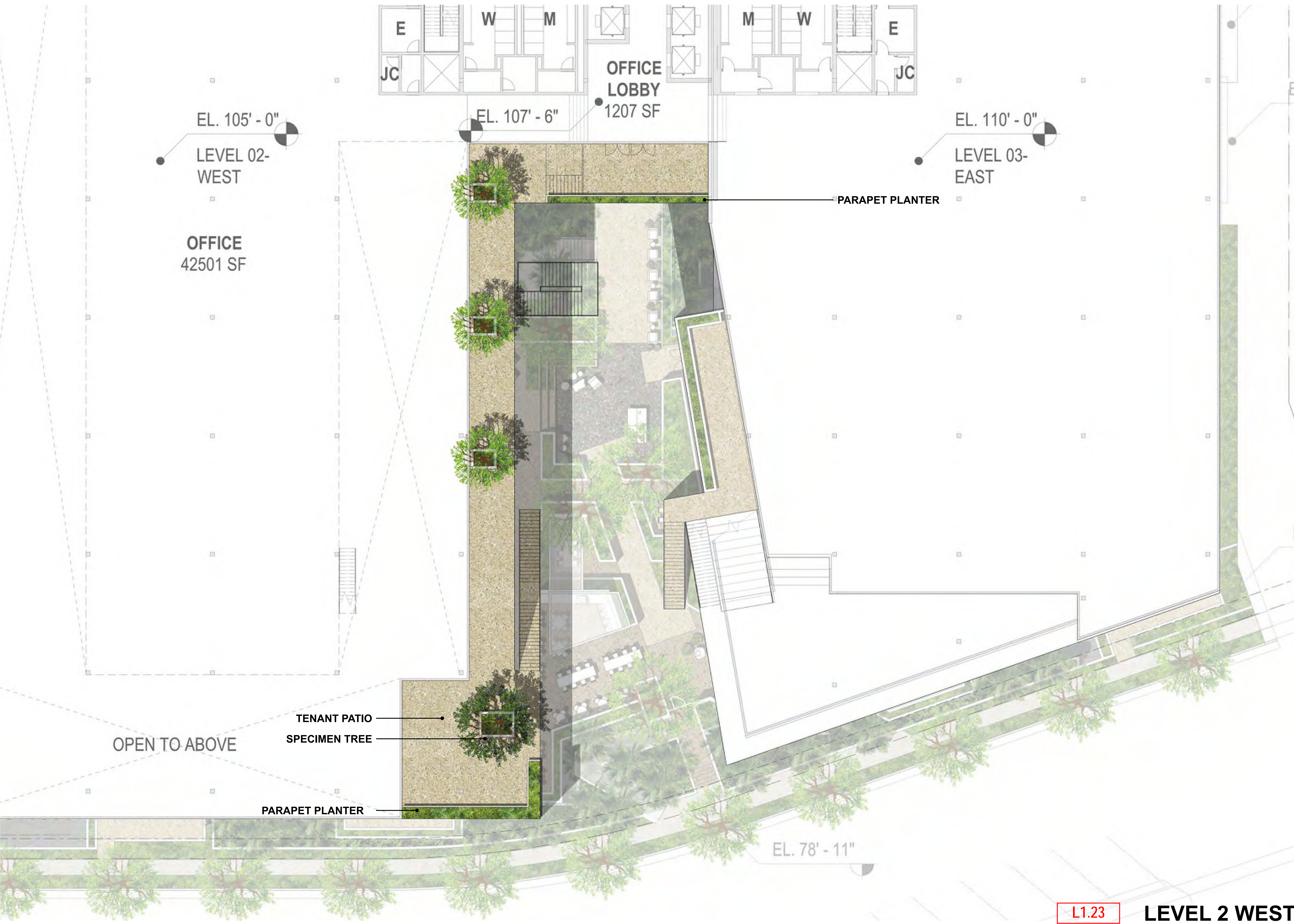
TENANT PATIO

OPEN TO BELOW

EL. 78' - 11"

L1.22

LEVEL 2 EAST



EL. 105' - 0"
LEVEL 02-
WEST

EL. 107' - 6"

EL. 110' - 0"
LEVEL 03-
EAST

OFFICE
42501 SF

PARAPET PLANTER

OPEN TO ABOVE

TENANT PATIO
SPECIMEN TREE

PARAPET PLANTER

EL. 78' - 11"

L1.23

LEVEL 2 WEST



OFFICE LOBBY
1207 SF

EL. 105' - 0"

LEVEL 02-
WEST

EL. 107' - 6"

EL. 110' - 0"

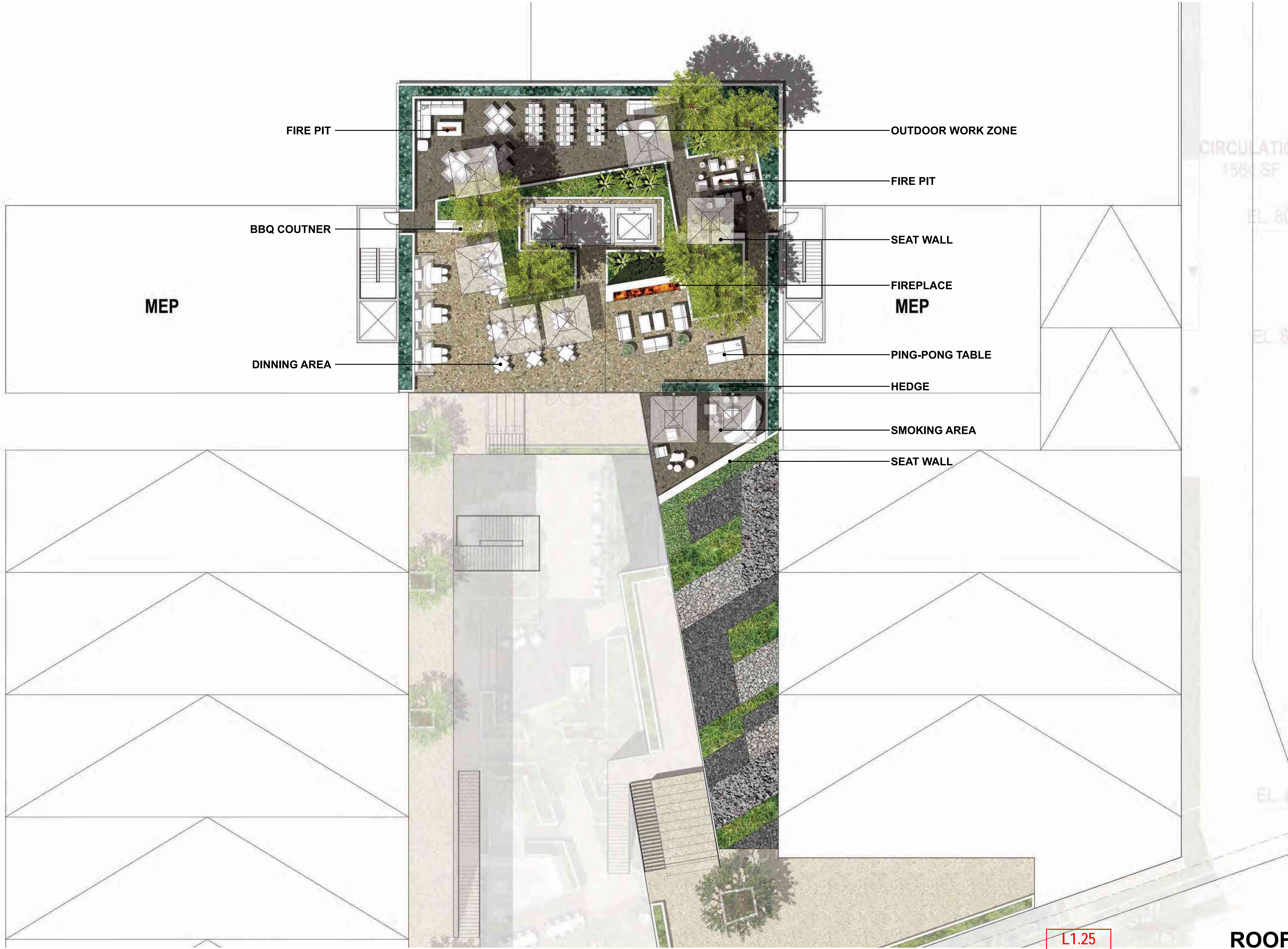
LEVEL 03-
EAST

OFFICE
42501 SF

OPEN TO ABOVE

- SPECIMEN TREE
- TENANT PATIO
- PARAPET PLANTER

EL. 78' - 11"



FIRE PIT

OUTDOOR WORK ZONE

BBQ COUNTER

FIRE PIT

MEP

SEAT WALL

FIREPLACE

MEP

DINNING AREA

PING-PONG TABLE

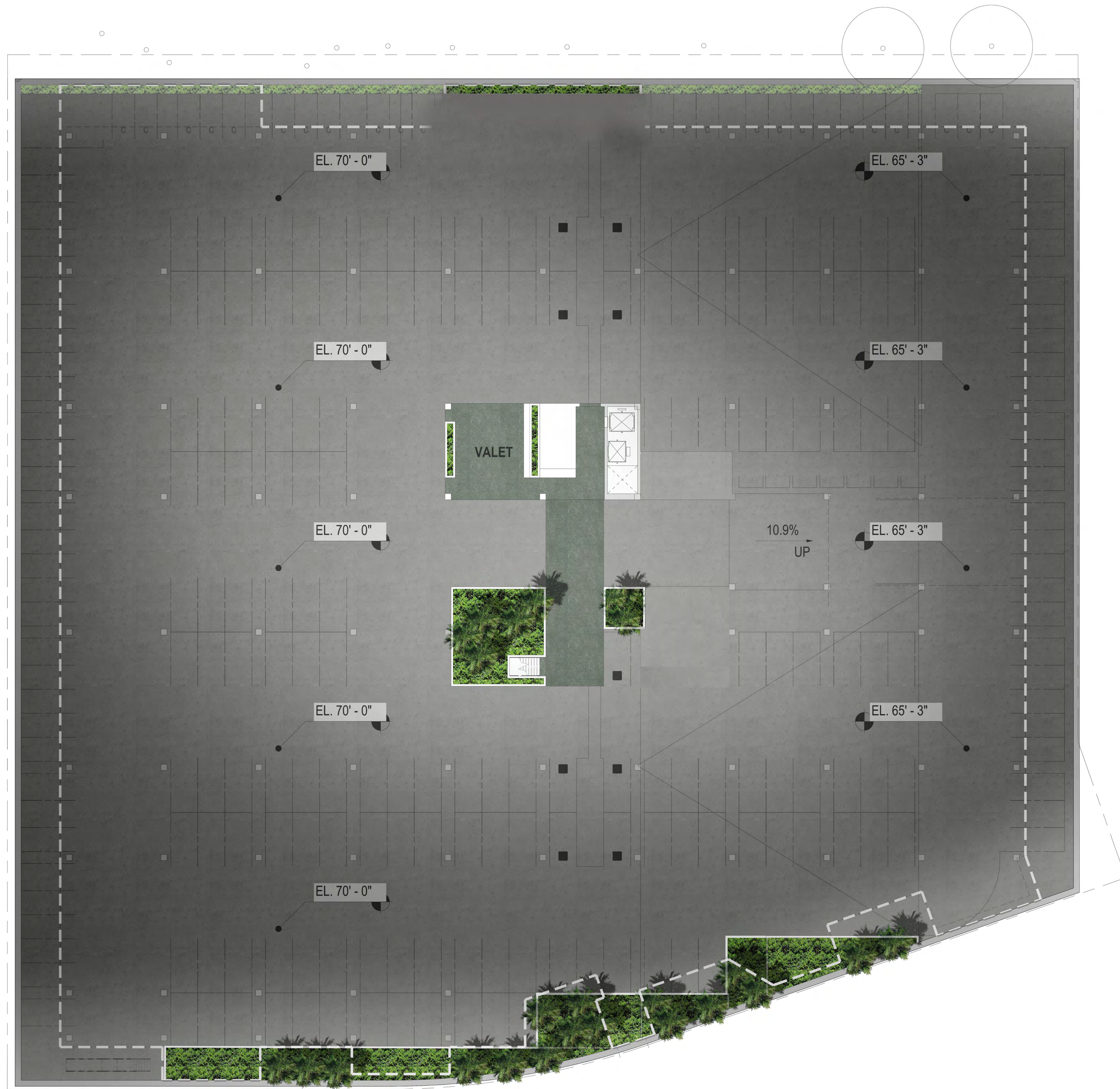
HEDGE

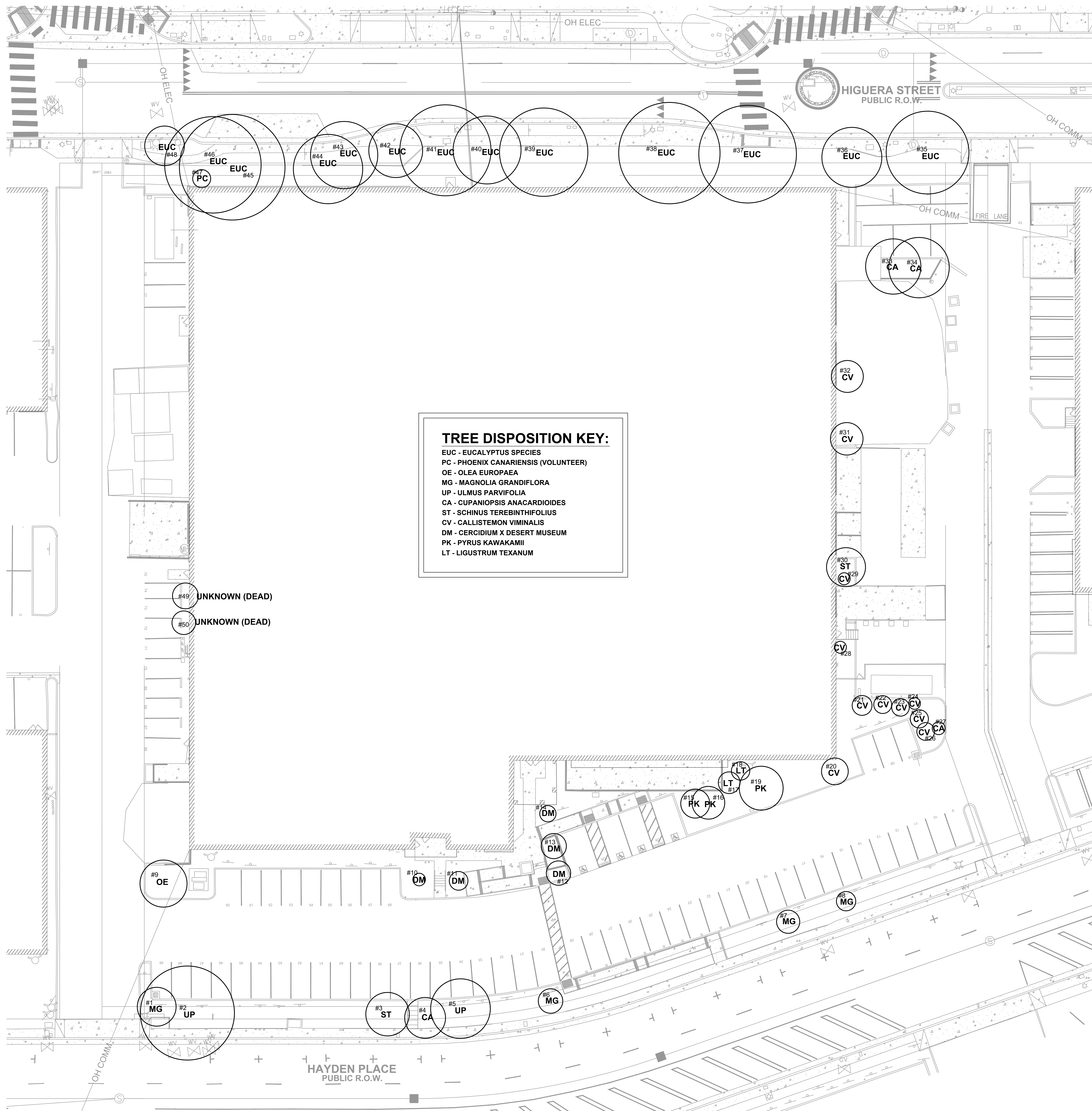
SMOKING AREA

SEAT WALL

L1.25

ROOF





TREE DISPOSITION KEY:
 EUC - EUCALYPTUS SPECIES
 PC - PHOENIX CANARIENSIS (VOLUNTEER)
 OE - OLEA EUROPAEA
 MG - MAGNOLIA GRANDIFLORA
 UP - ULMUS PARVIFOLIA
 CA - CUPANIOPSIS ANACARDIOIDES
 ST - SCHINUS TEREBINTHIFOLIUS
 CV - CALLISTEMON VIMINALIS
 DM - CERCIDIUM X DESERT MUSEUM
 PK - PYRUS KAWAKAMII
 LT - LIGUSTRUM TEXANUM

TREE DISPOSITION SUMMARY:

TREE #	KEY	BOTANICAL NAME COMMON NAME	REMOVE? Y/N
1	MG	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	Y
2	UP	ULMUS PARVIFOLIA EVERGREEN ELM	Y
3	ST	SCHINUS TEREBINTHIFOLIUS BRAZILIAN PEPPERTREE	Y
4	CA	CUPANIOPSIS ANACARDIOIDES CARROTWOOD	Y
5	UP	ULMUS PARVIFOLIA EVERGREEN ELM	Y
6	MG	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	Y
7	MG	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	Y
8	MG	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	Y
9	OE	OLEA EUROPAEA EUROPEAN OLIVE	Y
10	DM	CERCIDIUM X 'DESERT MUSEUM' DESERT MUSEUM	Y
11	DM	CERCIDIUM X 'DESERT MUSEUM' DESERT MUSEUM	Y
12	DM	CERCIDIUM X 'DESERT MUSEUM' DESERT MUSEUM	Y
13	DM	CERCIDIUM X 'DESERT MUSEUM' DESERT MUSEUM	Y
14	DM	CERCIDIUM X 'DESERT MUSEUM' DESERT MUSEUM	Y
15	PK	PYRUS KAWAKAMII EVERGREEN PEAR	Y
16	PK	PYRUS KAWAKAMII EVERGREEN PEAR	Y
17	LT	LIGUSTRUM TEXANUM TEXAS PRIVET	Y
18	LT	LIGUSTRUM TEXANUM TEXAS PRIVET	Y
19	PK	PYRUS KAWAKAMII EVERGREEN PEAR	Y
20	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
21	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
22	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
23	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
24	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
25	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
26	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
27	CA	CUPANIOPSIS ANACARDIOIDES CARROTWOOD	Y
28	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
29	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
30	ST	SCHINUS TEREBINTHIFOLIUS BRAZILIAN PEPPERTREE	Y
31	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
32	CV	CALLISTEMON VIMINALIS WEEPING BOTTLEBRUSH	Y
33	CA	CUPANIOPSIS ANACARDIOIDES CARROTWOOD	Y
34	CA	CUPANIOPSIS ANACARDIOIDES CARROTWOOD	Y
35	EUC	EUCALYPTUS SP. EUCALYPTUS	N
36	EUC	EUCALYPTUS SP. EUCALYPTUS	N
37	EUC	EUCALYPTUS SP. EUCALYPTUS	N
38	EUC	EUCALYPTUS SP. EUCALYPTUS	N
39	EUC	EUCALYPTUS SP. EUCALYPTUS	N
40	EUC	EUCALYPTUS SP. EUCALYPTUS	N
41	EUC	EUCALYPTUS SP. EUCALYPTUS	N
42	EUC	EUCALYPTUS SP. EUCALYPTUS	N
43	EUC	EUCALYPTUS SP. EUCALYPTUS	N
44	EUC	EUCALYPTUS SP. EUCALYPTUS	N
45	EUC	EUCALYPTUS SP. EUCALYPTUS	N
46	EUC	EUCALYPTUS SP. EUCALYPTUS	N
47	PC	PHOENIX CANARIENSIS CANARY ISLAND PALM	Y
48	EUC	EUCALYPTUS SP. EUCALYPTUS	N
49	N/A	UNKNOWN (DEAD)	Y
50	N/A	UNKNOWN (DEAD)	Y

TOTAL NUMBER OF EXISTING TREES TO BE REMOVED: 37 TREES