

# CENTINELA DEVELOPMENT PARTNERS



## ENTRADA CREATIVE OFFICE SITE PLAN REVIEW SUBMITTAL 10/19/2016

6161 W. CENTINELA AVE, CULVER CITY, CA

### **CENTINELA DEVELOPMENT PARTNERS**

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### **Gensler**

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### **PAUL HASTINGS LLP**

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### **AHBE LANDSCAPE ARCHITECTS**

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Contact: Evan Mather

### **ESA PCR**

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Contact: Roy Nakamura

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Contact: Brian Powers

### **PSOMAS**

Civil (off-site)  
555 S Flower St #4300  
Los Angeles, CA 90071  
213.223.1400 Main  
Contact: Matthew Rowe

**(P) OFFICE BUILDING**

BUILDING USE: **BUSINESS (B)**  
 CONSTRUCTION TYPE: **TYPE 1B**  
 NO. OF STORIES: **6**  
 BLDG HEIGHT: **137'-6"**

FIRE RATING REQ. (2016 CBC - TABLE 601)

STRUCTURAL FRAME: **2**  
 BEARING WALLS:  
 EXTERIOR : **2**  
 INTERIOR: **2**  
 NONBEARING WALLS & PARTITIONS: **0**  
 FLOOR BEAMS & JOISTS: **2**  
 ROOF BEAMS & JOISTS: **1**

**(P) PARKING STRUCTURE**

BUILDING USE: **PARKING (S-2)**  
 CONSTRUCTION TYPE: **TYPE 1B**  
 NO. OF STORIES: **7 (5 ABOVE GRADE)**  
 BLDG HEIGHT: **53'-6"**

FIRE RATING REQ. (2016 CBC - TABLE 601)

STRUCTURAL FRAME: **2**  
 BEARING WALLS:  
 EXTERIOR : **2**  
 INTERIOR: **2**  
 NONBEARING WALLS & PARTITIONS: **0**  
 FLOOR BEAMS & JOISTS: **2**  
 ROOF BEAMS & JOISTS: **1**

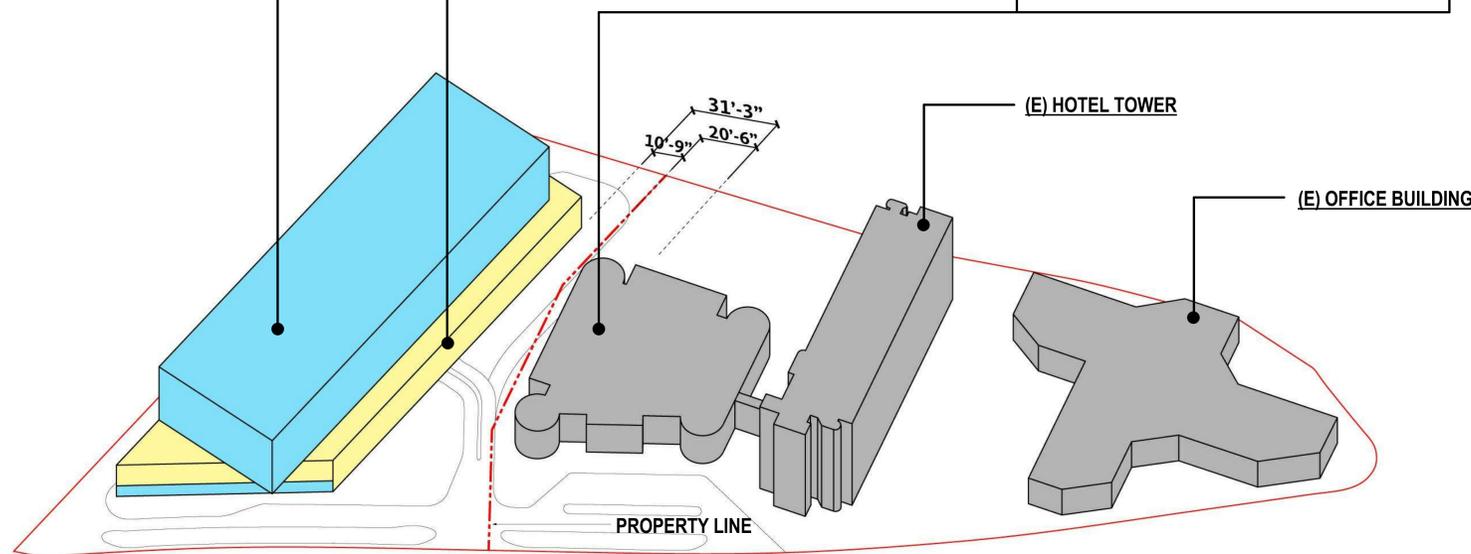
**(E) AMENITIES BUILDING**

BUILDING USE: **ASSEMBLY (A)**  
 CONSTRUCTION TYPE: **TYPE IIIA**  
**(CONSTRUCTED UNDER THE 1970 BUILDING CODE)**  
 NO. OF STORIES: **2**  
 BLDG HEIGHT: **44'**

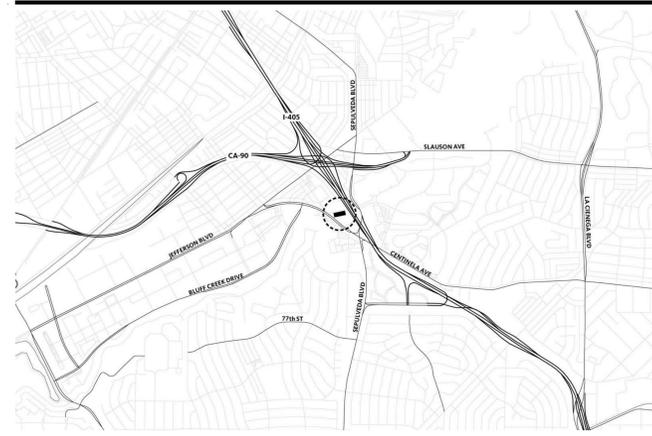
FIRE RATING REQ. (2016 CBC - TABLE 601)

STRUCTURAL FRAME: **1**  
 BEARING WALLS:  
 EXTERIOR : **2**  
 INTERIOR: **1**  
 NONBEARING WALLS & PARTITIONS: **0**  
 FLOOR BEAMS & JOISTS: **1**  
 ROOF BEAMS & JOISTS: **1**

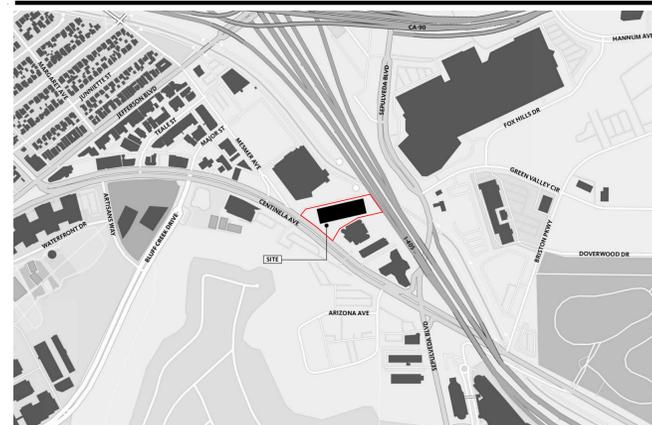
(E) = EXISTING  
 (P) = PROPOSED



VICINITY MAP



LOCATION MAP



BUILDING SUMMARY

PROJECT ADDRESS	6161 WEST CENTINELA AVE CULVER CITY CA 90230
APN	4220-015-029
LEGAL	PARCEL 2 OF PARCEL MAP NO. 4031, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 58, PAGE 100 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
OCCUPANCY	TYPE B
CONSTRUCTION TYPE	B - FULLY SPRINKLERED HIGH RISE
PROJECT DESCRIPTION	7- STORY PARKING GARAGE 6- STORY OFFICE BUILDING 11- STORY BUILDING ABOVE GROUND

BUILDING AREA AND HEIGHT

BUILDING GROSS SQUARE FOOTAGE	281,206 SF
ENTITLED GROSS SQUARE FOOTAGE	342,409 SF
REMAINING UNBUILT AREA	59,444 SF
HEIGHT TO HIGHEST OCCUPIED FLOOR	137'-6" FT
TOTAL BUILDING HEIGHT	152'-6" FT

APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE  
 2016 MECHANICAL CODE  
 2016 PLUMBING CODE  
 2016 FIRE CODE  
 2016 CALIFORNIA (MANDATORY MEASURES)  
 CDMC Culver City Municipal Code  
 CULVER CITY BICYCLE & PEDESTRIAN MASTER PLAN - DESIGN GUIDE  
 CITY OF OAKLAND - BICYCLE PARKING RACK GUIDELINES

Sheet List		
SHEET NUMBER	SHEET NAME	DATE
A0.00	COVER SHEET	10/19/2016
A0.01	PROJECT INFO	
A0.10	EXISTING SURVEY	
A0.11	EXISTING SURVEY	
C1.00	GRADING AND DRAINAGE PLAN	
C1.50	UTILITY PLAN	
C1.60	SUMP PLAN	
C1.80	TRACT MAP	
C2.00	LIFT DEDICATION	
A1.00	SITE PLAN	
A1.01	FLOOR PLAN - BASEMENT 02	
A1.02	FLOOR PLAN - BASEMENT 01	
A1.03	FLOOR PLAN - GROUND	
A1.04	FLOOR PLAN - P2	
A1.05	FLOOR PLAN - P3	
A1.06	FLOOR PLAN - P4	
A1.07	FLOOR PLAN - P5	
A1.08	FLOOR PLAN - LEVEL 01	
A1.09	FLOOR PLAN - LEVEL 02	
A1.10	FLOOR PLAN - LEVEL 03	
A1.11	FLOOR PLAN - LEVEL 04	
A1.12	FLOOR PLAN - LEVEL 05	
A1.13	FLOOR PLAN - LEVEL 06	
A1.14	FLOOR PLAN - T.O. ROOF	
A1.20	FLOOR PLAN - GROUND - KEYPLAN	
A1.21	AERIAL VIEW - KEYPLAN	
A1.22	PRECEDENTS - KEYPLAN	
A2.01	RENDERINGS	
A2.02	RENDERINGS	
A2.03	RENDERINGS	
A2.04	RENDERINGS	
A2.05	RENDERINGS	
A2.10	ELEVATIONS	
A2.11	ELEVATIONS	
A2.20	SECTIONS	
G0.50	ARCHITECTURAL MATERIAL DETAILS	
F0.01	EMERGENCY VEHICLE PLAN	
F0.02	EMERGENCY VEHICLE CLEARANCE DIAGRAM	
F0.03	ELEVATIONS - FIRE TRUCK 1	
F0.04	ELEVATIONS - FIRE TRUCK 2	
F0.05	SECTIONS - FIRE TRUCK	
L1.00	LANDSCAPE CONCEPT	
L1.01	LANDSCAPE CONCEPT	
L1.02	CONCEPTUAL LANDSCAPE PLAN - GROUND LEVEL	
L1.03	CONCEPTUAL LANDSCAPE PLAN - P2 & LEVEL 01	
L1.04	CONCEPTUAL LANDSCAPE PLAN - LEVEL 02 & LEVEL 03 & LEVEL 04	
L1.05	CONCEPTUAL LANDSCAPE PLAN - LEVEL 05 & LEVEL 06 & ROOF	
L2.01	PLANT PALETTE LEGENDS & NOTES - REFERENCE IMAGES	
L2.02	REFERENCE IMAGES	
L2.03	REFERENCE IMAGES	

BUILDING TABULATIONS

Office Building Area Tabulation

Levels	Gross Area	Gross Area* (as calculated for parking)
Ground	13,560	13,560
Level 01	45,039	42,830
Level 02	45,039	43,250
Level 03	45,039	43,250
Level 04	45,039	43,250
Level 05	45,039	43,250
Level 06	45,039	43,250
<b>Total</b>	<b>283,794</b>	<b>272,640</b>

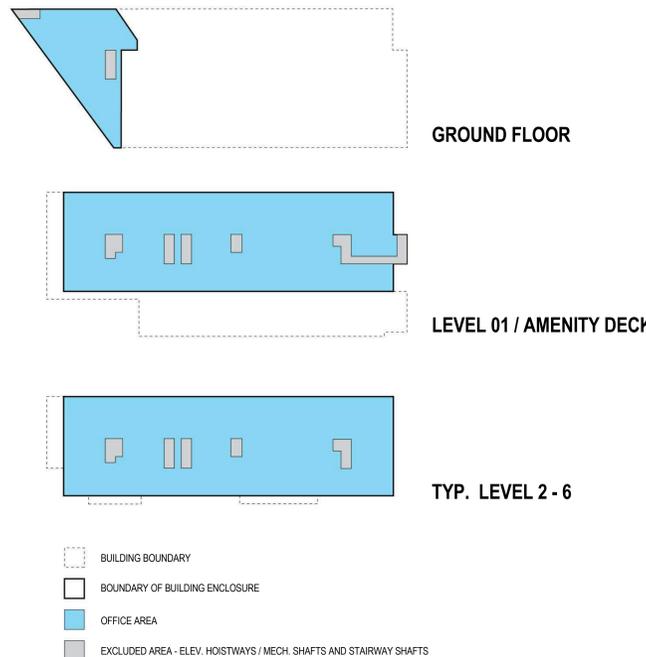
Bicycle Parking Tabulation

Levels	Bicycle (short term)	Bicycle (long term)	Total/level
P5	0	0	0
P4	0	0	0
P3	0	0	0
P2	0	0	0
P1	0	0	0
Ground	14	28	42
B1	0	0	0
B2	0	0	0
<b>Total</b>	<b>14</b>	<b>28</b>	<b>42</b>

Car Parking Tabulation

Level	Standard	Tandem	Compact	Accessible	Van/Carpool	Electric V.	Total / level
P5	62	75	0	2	0	0	139
P4	80	109	0	2	0	0	191
P3	80	109	0	2	0	0	191
P2	68	91	0	2	0	0	161
Ground	0	44	0	12	33	12	101
B1	81	115	0	2	0	0	198
B2	21	42	0	0	0	0	63
<b>Total</b>	<b>392</b>	<b>585</b>	<b>0</b>	<b>22</b>	<b>33</b>	<b>12</b>	<b>1044</b>

GROSS AREA DIAGRAM (as calculated for parking)



NOTE: SIGNAGE UNDER SEPARATE DOCUMENT

265 existing surface parking stalls are being displaced by this development and are being replaced in the parking structure for Hotel use.

CCMC 17.320 Table 3-3B requires 1 space per 350 square feet. Development is 272,640 GSF / 350 = 779 stalls required

779 + 265 (replaced hotel spaces) = 1,044 total stalls required 1,044 parking spaces required > 1,044 parking spaces provided

\* Total gross building area excluding Elevator Hoistway's, Mechanical Shafts, and Stairway shafts - refer to adjacent diagram.

**CENTINELA DEVELOPMENT PARTNERS**  
 6161 W. CENTINELA AVE, CULVER CITY, CA  
**ENTRADA CREATIVE OFFICE**

**Gensler**  
 500 South Figueroa Street  
 Los Angeles, California 90071  
 United States  
 Tel: 213.327.3600  
 Fax: 213.327.3601

Date	Description
10/19/2016	

Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name  
 ENTRADA CREATIVE OFFICE

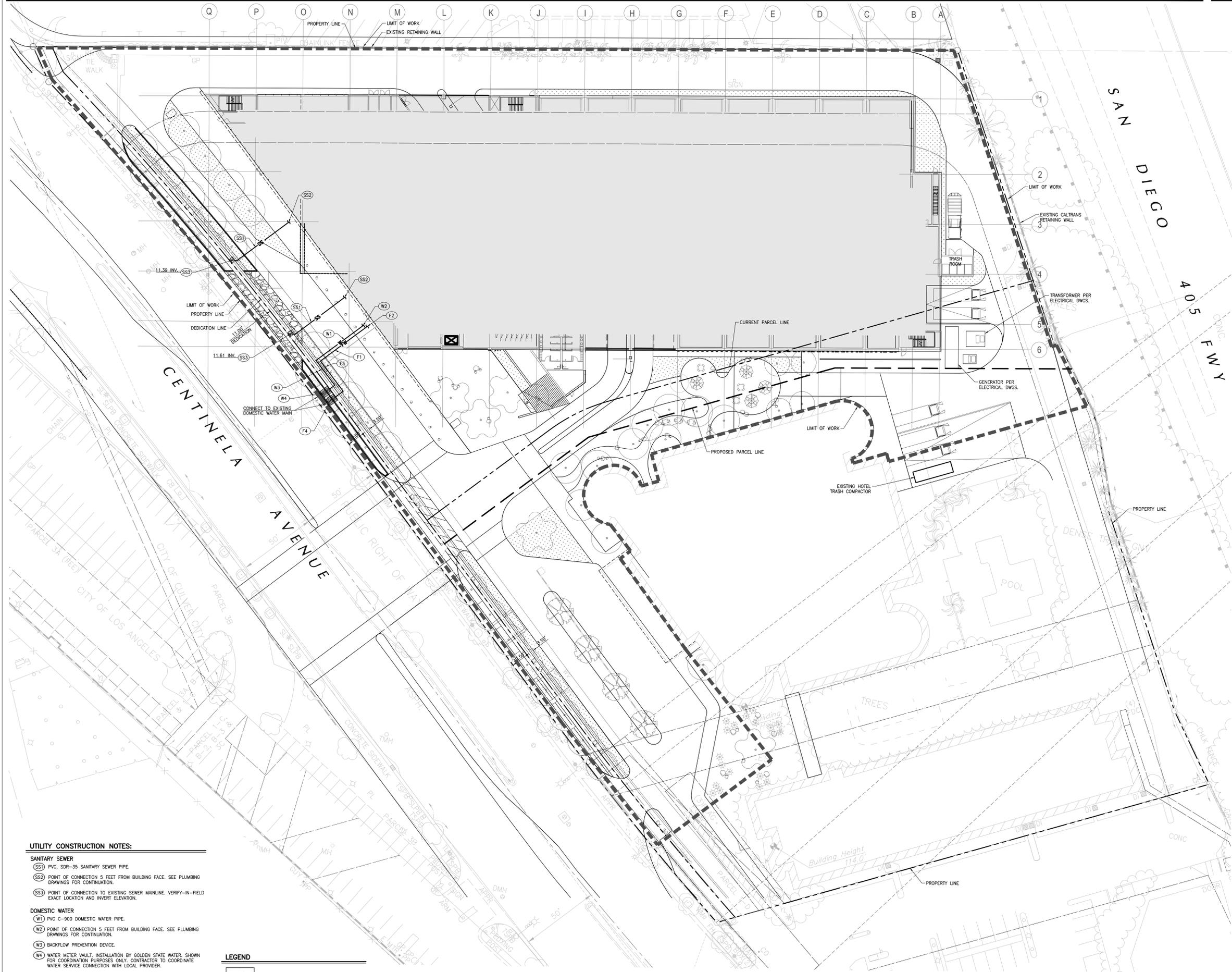
Project Number  
 05.9895.000  
 Description  
 PROJECT INFO

Scale

**A0.01**







**UTILITY CONSTRUCTION NOTES:**

- SANITARY SEWER**
- SS1 PVC, SDR-35 SANITARY SEWER PIPE.
  - SS2 POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
  - SS3 POINT OF CONNECTION TO EXISTING SEWER MAINLINE. VERIFY-IN-FIELD EXACT LOCATION AND INVERT ELEVATION.
- DOMESTIC WATER**
- W1 PVC C-900 DOMESTIC WATER PIPE.
  - W2 POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
  - W3 BACKFLOW PREVENTION DEVICE.
  - W4 WATER METER VAULT. INSTALLATION BY GOLDEN STATE WATER. SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR TO COORDINATE WATER SERVICE CONNECTION WITH LOCAL PROVIDER.
- FIRE WATER**
- F1 PVC C-900 FIRE WATER PIPE.
  - F2 POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
  - F3 BACKFLOW PREVENTION DEVICE.
  - F4 WATER METER VAULT. INSTALLATION BY GOLDEN STATE WATER. SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR TO COORDINATE FIRE WATER SERVICE CONNECTION WITH LOCAL PROVIDER.

**LEGEND**

	CONCRETE PAVING
	ASPHALT CONCRETE PAVING
	BIOFILTRATION PLANTER
	PROPOSED BUILDING (REFER TO ARCHITECTURAL PLANS FOR DETAILS)

Date	Description

Seal / Signature

**NOT FOR CONSTRUCTION**

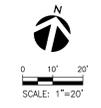
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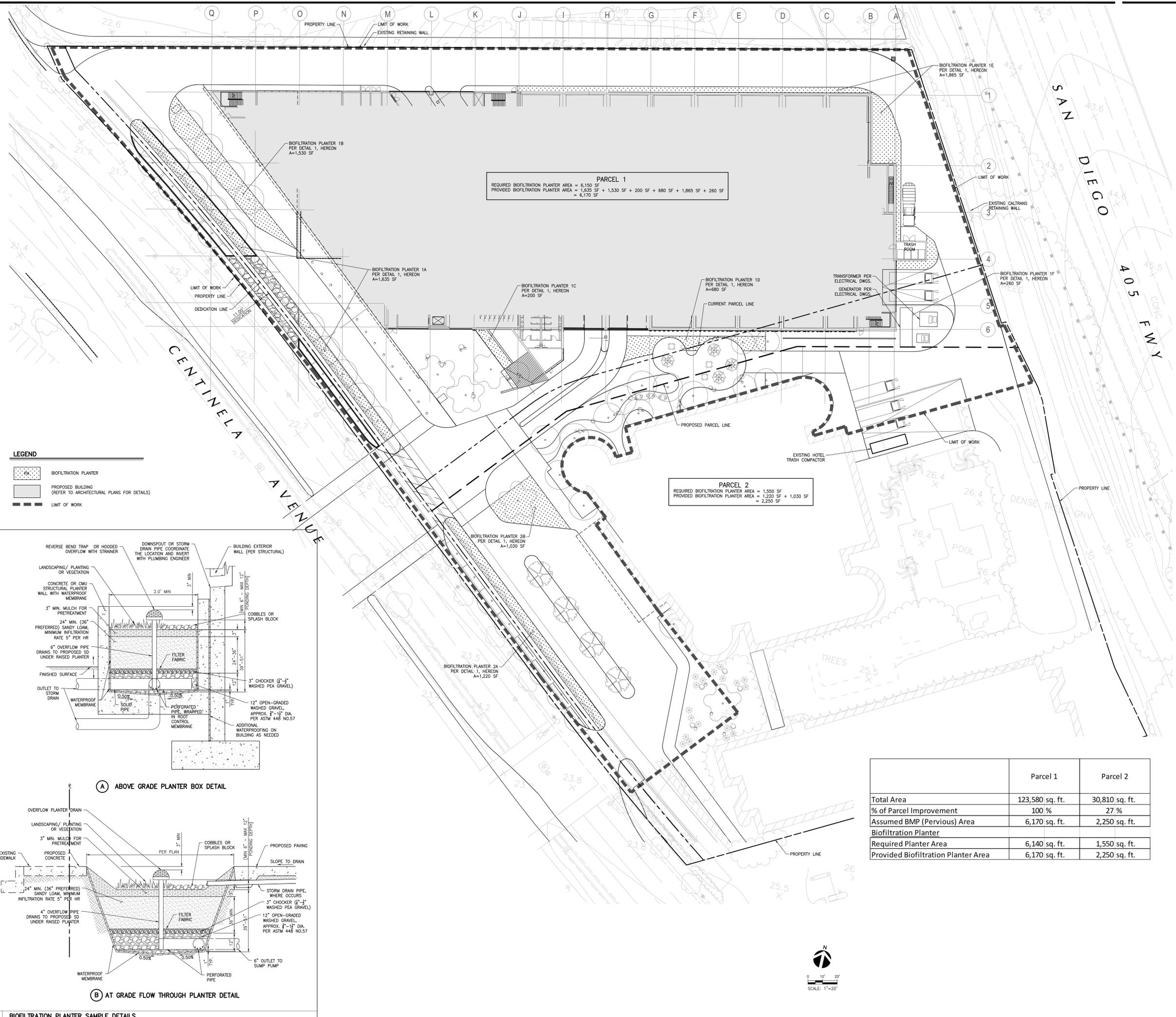
Project Number  
**1600031**

Description  
**UTILITY PLAN**

Scale  
**AS NOTED**

**C1.50**

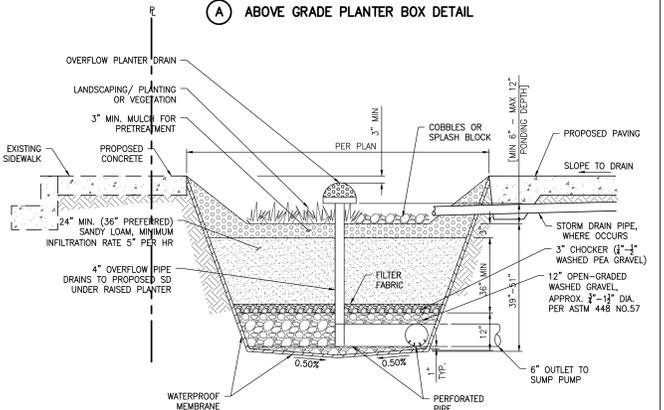
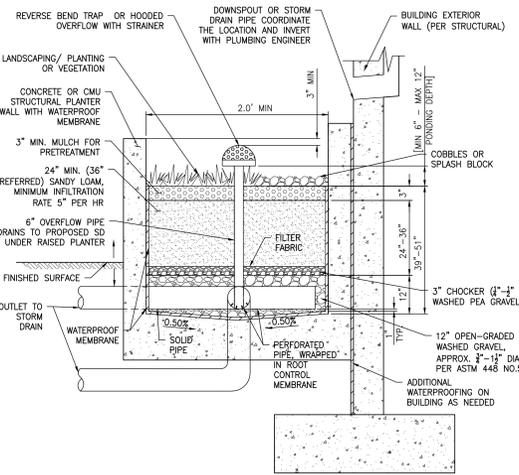




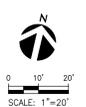
**PARCEL 1**  
 REQUIRED BIOFILTRATION PLANTER AREA = 6,150 SF  
 PROVIDED BIOFILTRATION PLANTER AREA = 1,635 SF + 1,530 SF + 200 SF + 680 SF + 1,865 SF + 260 SF  
 = 6,170 SF

**PARCEL 2**  
 REQUIRED BIOFILTRATION PLANTER AREA = 1,550 SF  
 PROVIDED BIOFILTRATION PLANTER AREA = 1,220 SF + 1,030 SF  
 = 2,250 SF

- LEGEND**
- BIOFILTRATION PLANTER
  - PROPOSED BUILDING (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
  - LIMIT OF WORK



	Parcel 1	Parcel 2
Total Area	123,580 sq. ft.	30,810 sq. ft.
% of Parcel Improvement	100 %	27 %
Assumed BMP (Pervious) Area	6,170 sq. ft.	2,250 sq. ft.
Biofiltration Planter		
Required Planter Area	6,140 sq. ft.	1,550 sq. ft.
Provided Biofiltration Planter Area	6,170 sq. ft.	2,250 sq. ft.



Date Description

Seal / Signature

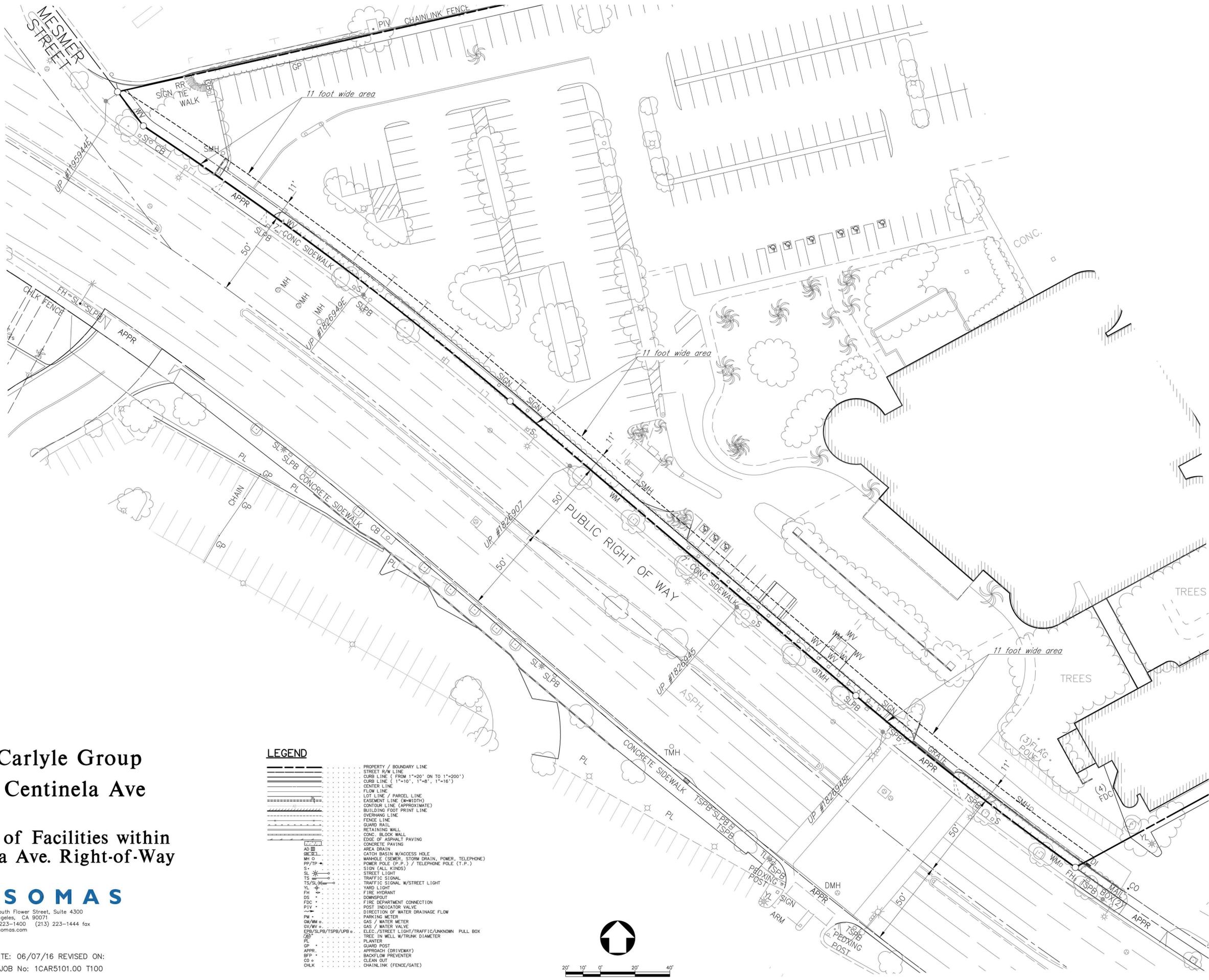
**NOT FOR CONSTRUCTION**

Project Name  
**ENTRADA CREATIVE OFFICE**  
 Project Number  
 1600031  
 Description  
 SUSMP PLAN

Scale  
 AS NOTED

**C1.60**





**The Carlyle Group**  
 6101 Centinela Ave

**Exhibit of Facilities within Centinela Ave. Right-of-Way**

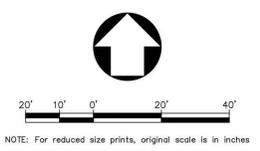
**PSOMAS**

555 South Flower Street, Suite 4300  
 Los Angeles, CA 90071  
 (213) 223-1400 (213) 223-1444 fax  
 www.psomas.com

DATE: 06/07/16 REVISED ON:  
 JOB No: 1CAR5101.00 T100

**LEGEND**

---	PROPERTY / BOUNDARY LINE
---	STREET ROW LINE
---	CURB LINE (FROM 1"-20" ON TO 1"-200")
---	CURB LINE (1"-10", 1"-8", 1"-16")
---	CENTER LINE
---	FLOW LINE
---	LOT LINE / PARCEL LINE
---	EASEMENT LINE (W=WIDTH)
---	CONTOUR LINE (APPROXIMATE)
---	BUILDING FOOT PRINT LINE
---	OVERHANG LINE
---	FENCE LINE
---	GUARD RAIL
---	RETAINING WALL
---	CONC. BLOCK WALL
---	EDGE OF ASPHALT PAVING
---	CONCRETE PAVING
---	AREA DRAIN
---	CATCH BASIN W/ACCESS HOLE
---	MANHOLE (SEWER, STORM DRAIN, POWER, TELEPHONE)
---	POWER POLE (P.P.) / TELEPHONE POLE (T.P.)
---	SIGN (ALL KINDS)
---	STREET LIGHT
---	TRAFFIC SIGNAL
---	TRAFFIC SIGNAL W/STREET LIGHT
---	YARD LIGHT
---	FIRE HYDRANT
---	DOWNSPOUT
---	FIRE DEPARTMENT CONNECTION
---	POST INDICATOR VALVE
---	DIRECTION OF WATER DRAINAGE FLOW
---	PARKING METER
---	GAS / WATER METER
---	ELEC./STREET LIGHT/TRAFFIC/UNKNOWN PULL BOX
---	TREE IN WELL W/TRUNK DIAMETER
---	PLANTER
---	GUARD POST
---	APPROACH (DRIVEWAY)
---	BACKFLOW PREVENTER
---	CLEAN OUT
---	CHAINLINK (FENCE/GATE)



Date	Description
10/19/2016	

Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name  
 ENTRADA CREATIVE OFFICE

Project Number  
 05.9895.000  
 Description  
 11FT DEDICATION

Scale

**C2.00**











**SHEET NOTES**

**OFFICE**  
 LEVEL FLR / BALCONIESsf  
 GROUND: 13, 560sf  
 LEVEL 01: 45, 039sf / 3, 254sf / DECK 16,284sf  
 LEVEL 02: 45, 039sf / 3, 029sf  
 LEVEL 03: 45, 039sf / 2, 638sf  
 LEVEL 04: 45, 039sf / 3, 299sf  
 LEVEL 05: 45, 039sf / 3, 526sf  
 LEVEL 06: 45, 039sf / 585sf  
**TOTAL: 283, 794sf / 32, 345sf**

**PARKING LEGEND**  
 S = STANDARD STALL - 8'6"x18'  
 T = TANDEM - 9'x18'  
 EV = ELECTRIC VEHICLE - 8'6"x18'  
 V = VAN/CARPOOL - 9'x18'  
 V\* = POTENTIAL VAN/CARPOOL - 9'x18'  
 A = ACCESSIBLE - 9'x18'

- ① ALL SHAFTS AND STAIR WALLS ARE TO BE MIN. 2 HR. RATED
- ② PARKING STALL DISTANCE TO COLUMN FACE IS LESS THAN REQUIRED PER CCMC - CHAPTER 17.320.035

**GENERAL NOTES**

**LEGEND**

- CORE
- PARKING
- HARDSCAPE
- LANDSCAPE
- 2HR RATED WALLS

Date	Description
10/19/2016	

Seal / Signature

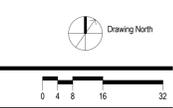
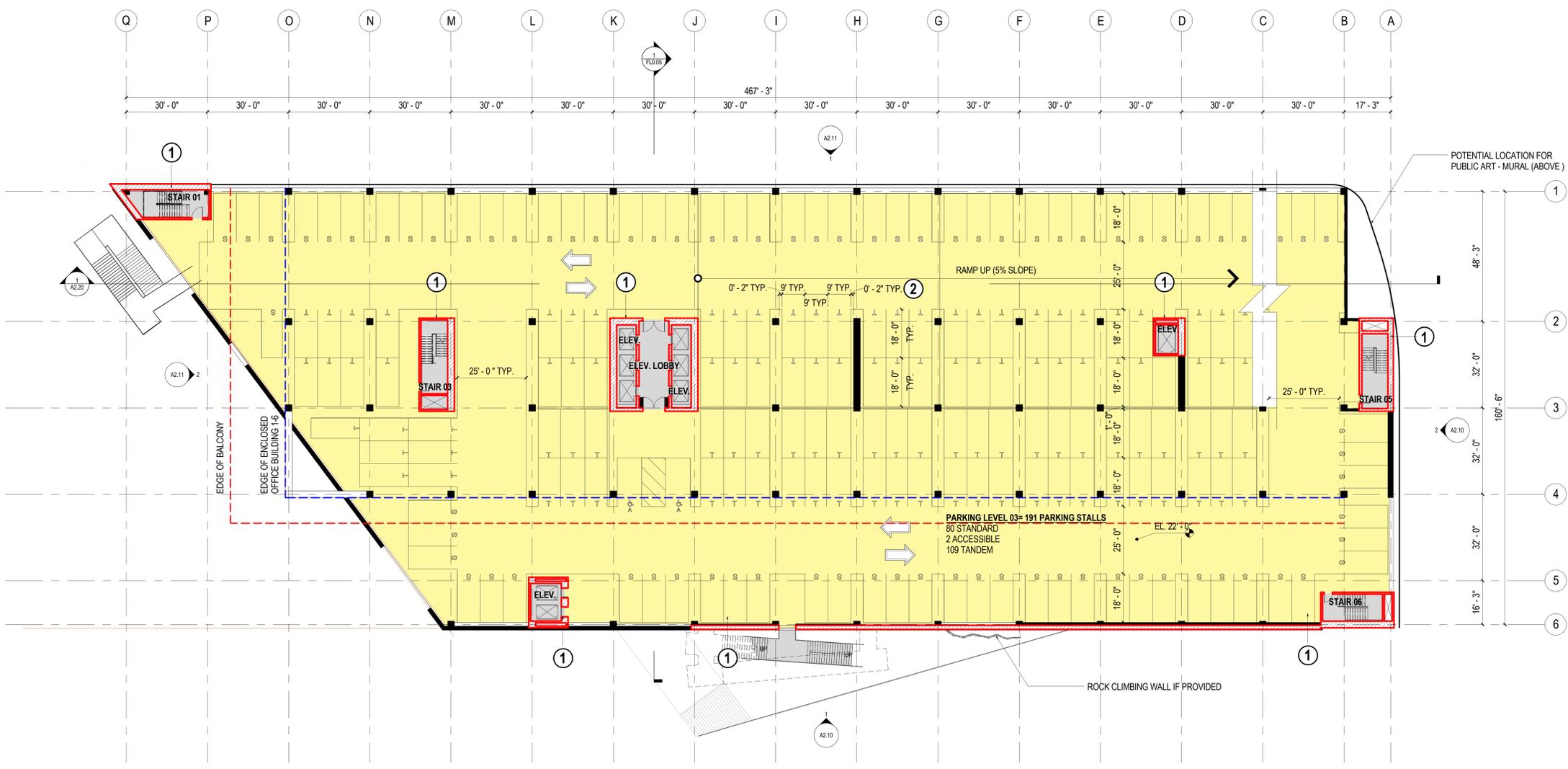
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Project Name  
 ENTRADA CREATIVE OFFICE  
 Project Number  
 05.9895.000  
 Description  
 FLOOR PLAN - P3

**KEY PLAN**

Scale  
 As indicated

**A1.05**



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**SHEET NOTES**

**OFFICE**

LEVEL: FLR / BALCONIESsf

GROUND: 13, 560sf  
 LEVEL 01: 45, 039sf / 3, 254sf / DECK 16,284sf  
 LEVEL 02: 45, 039sf / 3, 029sf  
 LEVEL 03: 45, 039sf / 2, 638sf  
 LEVEL 04: 45, 039sf / 3, 299sf  
 LEVEL 05: 45, 039sf / 3, 526sf  
 LEVEL 06: 45, 039sf / 585sf

**TOTAL: 283, 794sf / 32, 345sf**

① ALL SHAFTS AND STAIR WALLS ARE TO BE MIN. 2 HR. RATED

**GENERAL NOTES**

- LEGEND**
- OFFICE
  - CORE
  - Calculating...
  - HARDSCAPE
  - LANDSCAPE
  - 2HR RATED WALLS

Date	Description
10/19/2016	

Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

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05.9895.000

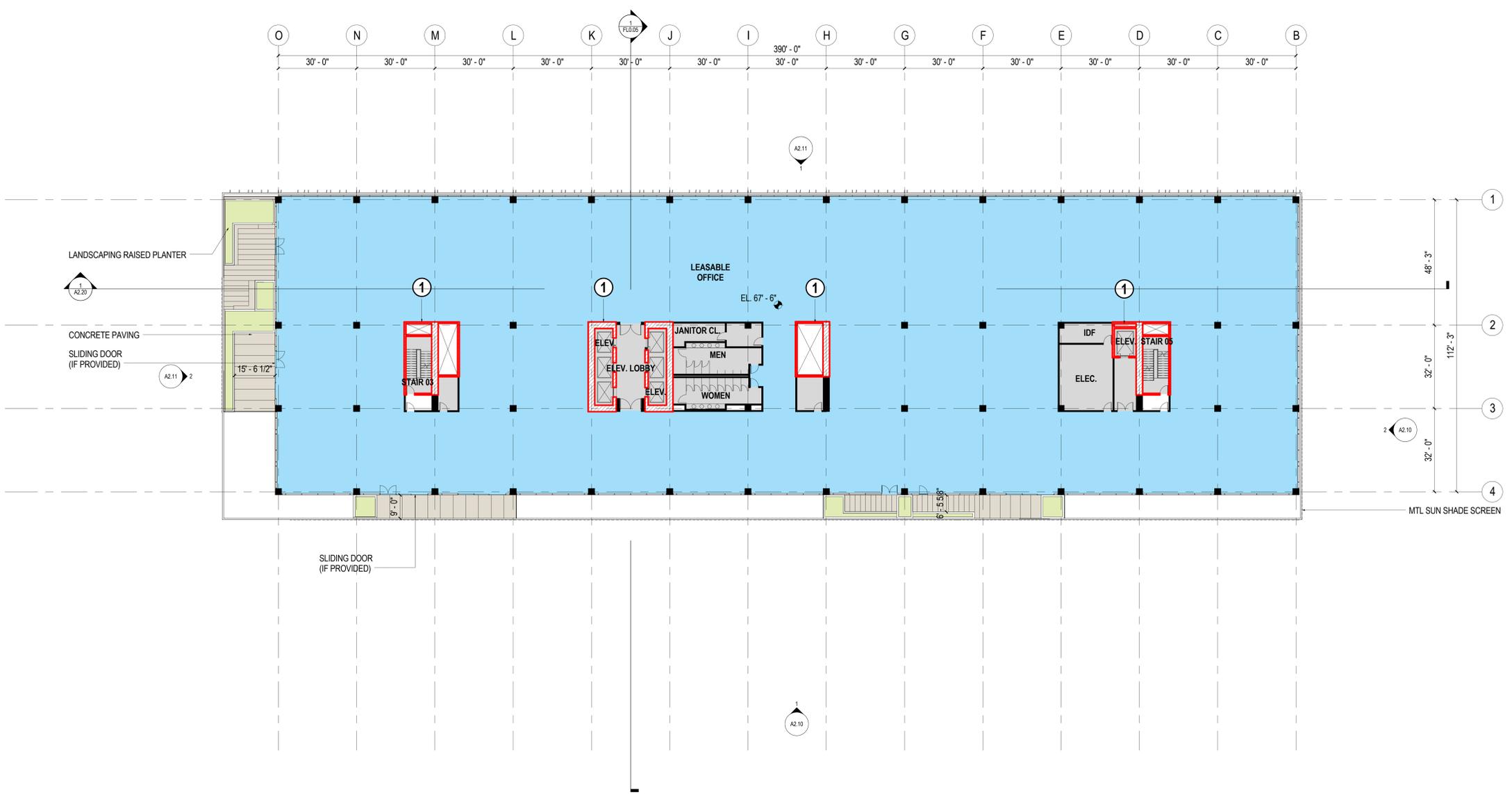
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FLOOR PLAN - LEVEL 02

**KEY PLAN**

Scale  
As indicated

**A1.09**

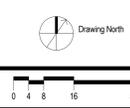
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**Exit Stair Width Calculation:**  
 Floor size: 43,250 SF/100 = 433 occupants x .2"=86.6"/2 (for 2 stairs) = 43.3" min based on occupant load. Two stairs provided, each 48" wide

**Number of Stairs:**  
 2 based on Table 1021.1 (433 < 500)

**Distance Between Stairs:**  
 Not less than 1/3 the diagonal (per 1015.2.1, exception 2) and not more than 300' based on Table 1016.2.  
 Diagonal = 409/3 = 136.33'



**CENTINELA DEVELOPMENT PARTNERS**  
 6161 W. CENTINELA AVE, CULVER CITY, CA  
**ENTRADA CREATIVE OFFICE**  
**Gensler**

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 Los Angeles, California 90071  
 United States  
 Tel: 213.327.3600  
 Fax: 213.327.3601

**SHEET NOTES**

**OFFICE**

LEVEL	FLR / BALCONIESsf
GROUND:	13, 560sf
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LEVEL 02:	45, 039sf / 3, 029sf
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<b>TOTAL:</b>	<b>283, 794sf / 32, 345sf</b>

① ALL SHAFTS AND STAIR WALLS ARE TO BE MIN. 2 HR. RATED

**GENERAL NOTES**

**LEGEND**

	CORE
	OFFICE
	HARDSCAPE
	LANDSCAPE
	2HR RATED WALLS

Date	Description
10/19/2016	

Seal / Signature

**NOT FOR CONSTRUCTION**

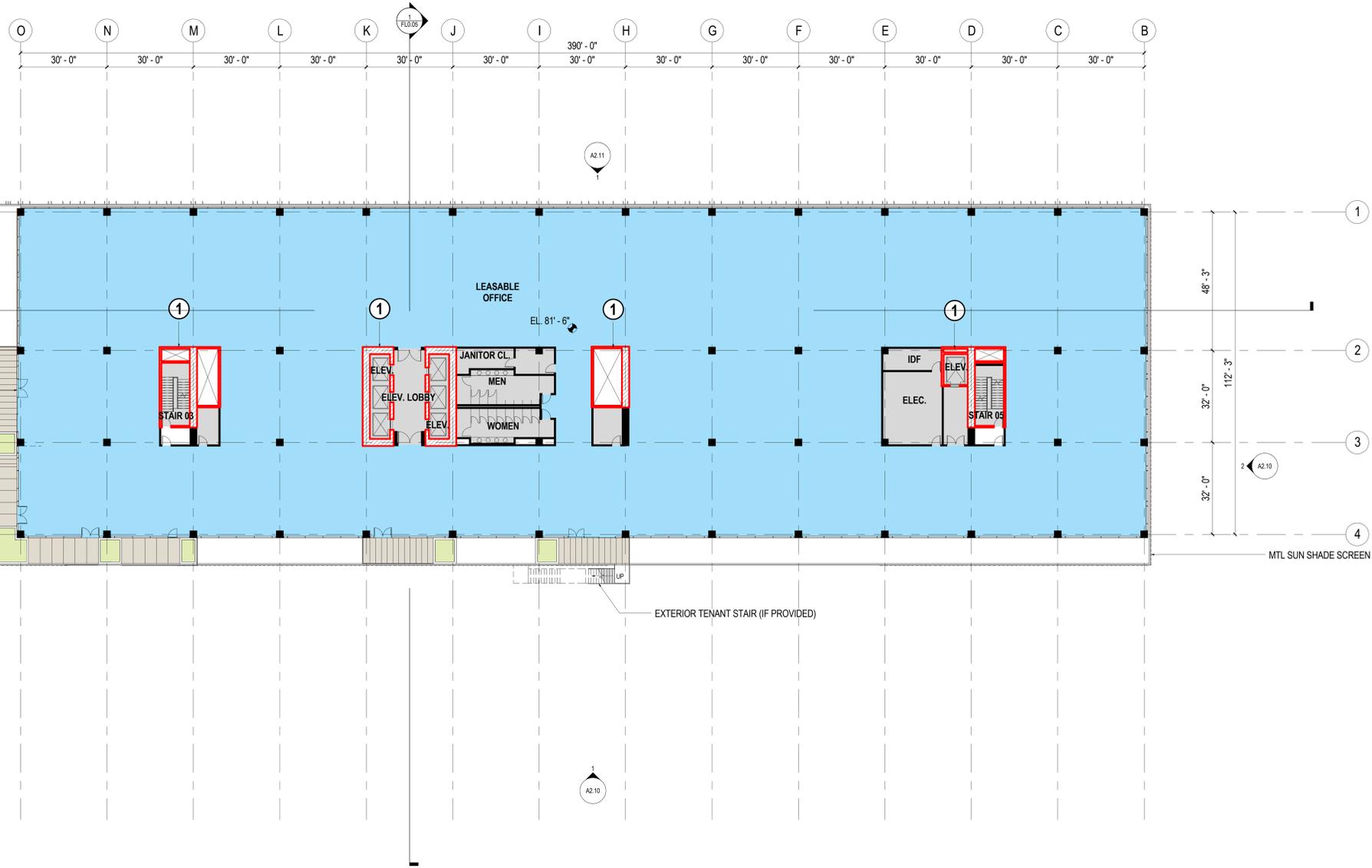
Project Name	ENTRADA CREATIVE OFFICE
Project Number	05.9895.000
Description	FLOOR PLAN - LEVEL 03

**KEY PLAN**

Scale  
 As indicated

**A1.10**

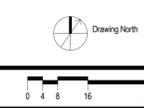
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 Diagonal = 409/3 = 136.33'



**SHEET NOTES**

**OFFICE**

LEVEL FLR / BALCONIESsf

GROUND: 13,560sf  
 LEVEL 01: 45,039sf / 3,254sf / DECK 16,284sf  
 LEVEL 02: 45,039sf / 3,029sf  
 LEVEL 03: 45,039sf / 2,638sf  
 LEVEL 04: 45,039sf / 3,299sf  
 LEVEL 05: 45,039sf / 3,526sf  
 LEVEL 06: 45,039sf / 585sf

**TOTAL: 283,794sf / 32,345sf**

① ALL SHAFTS AND STAIR WALLS ARE TO BE MIN. 2 HR. RATED

**GENERAL NOTES**

**LEGEND**

- OFFICE
- CORE
- Calculation HARDWARE
- LANDSCAPE
- 2HR RATED WALLS

Date	Description
10/19/2016	

Seal / Signature

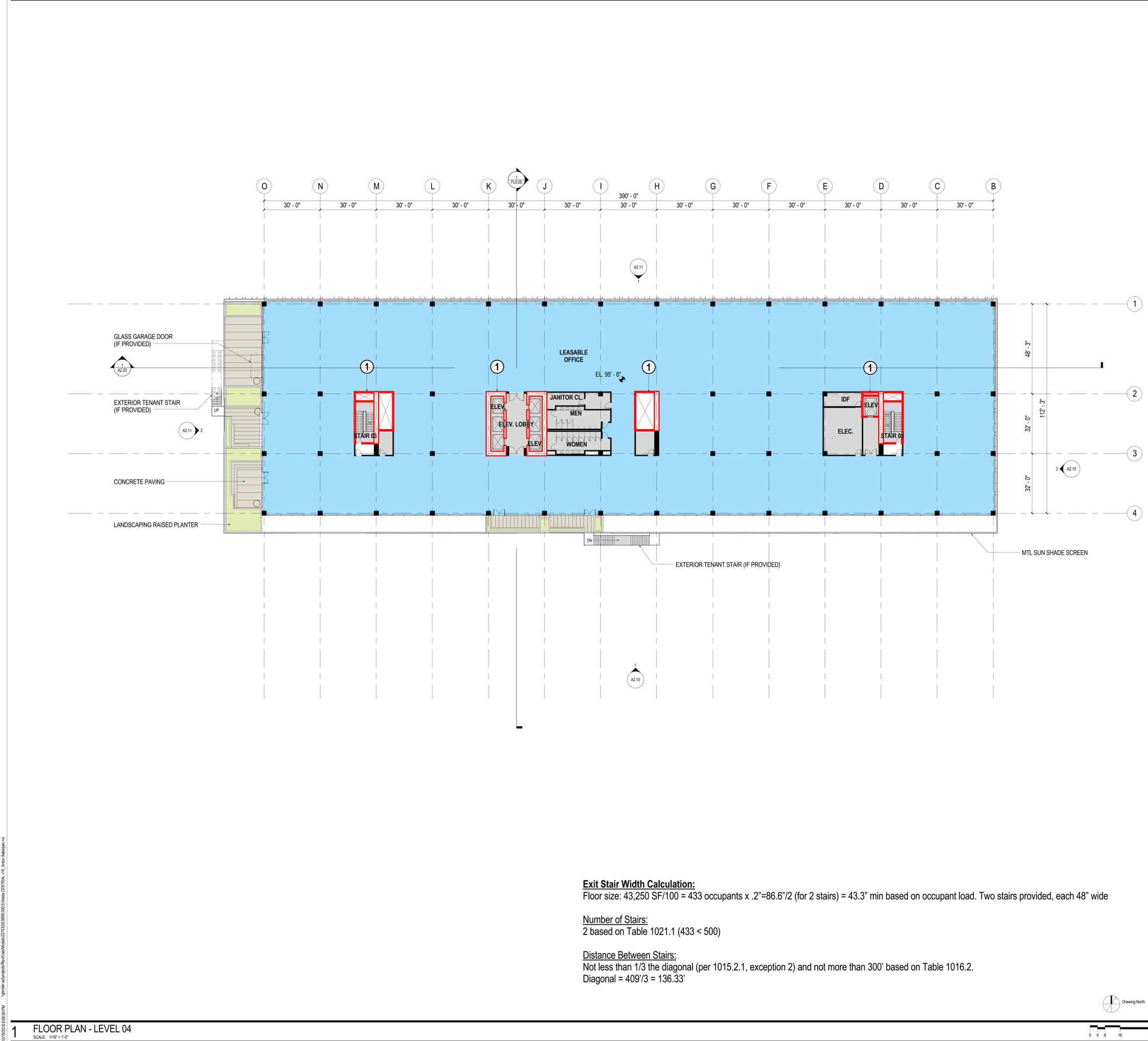
**NOT FOR CONSTRUCTION**

Project Name	ENTRADA CREATIVE OFFICE
Project Number	05.9895.000
Description	FLOOR PLAN - LEVEL 04

**KEY PLAN**

Scale  
 As indicated

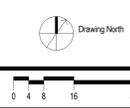
**A1.11**



**Exit Stair Width Calculation:**  
 Floor size: 43,250 SF/100 = 433 occupants x .2"=86.6"/2 (for 2 stairs) = 43.3" min based on occupant load. Two stairs provided, each 48" wide

**Number of Stairs:**  
 2 based on Table 1021.1 (433 < 500)

**Distance Between Stairs:**  
 Not less than 1/3 the diagonal (per 1015.2.1, exception 2) and not more than 300' based on Table 1016.2.  
 Diagonal = 409/3 = 136.33'



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**SHEET NOTES**

**OFFICE**

LEVEL	FLR / BALCONIESsf
GROUND:	13,560sf
LEVEL 01:	45,039sf / 3,254sf / DECK 16,284sf
LEVEL 02:	45,039sf / 3,029sf
LEVEL 03:	45,039sf / 2,638sf
LEVEL 04:	45,039sf / 3,299sf
LEVEL 05:	45,039sf / 3,526sf
LEVEL 06:	45,039sf / 585sf
<b>TOTAL:</b>	<b>283,794sf / 32,345sf</b>

① ALL SHAFTS AND STAIR WALLS ARE TO BE MIN. 2 HR. RATED

**GENERAL NOTES**

**LEGEND**

[Grey Box]	CORE
[Blue Box]	OFFICE
[Brown Box]	HARDSCAPE
[Green Box]	LANDSCAPE
[Red Box]	2HR RATED WALLS

Date	Description
10/19/2016	

Seal / Signature

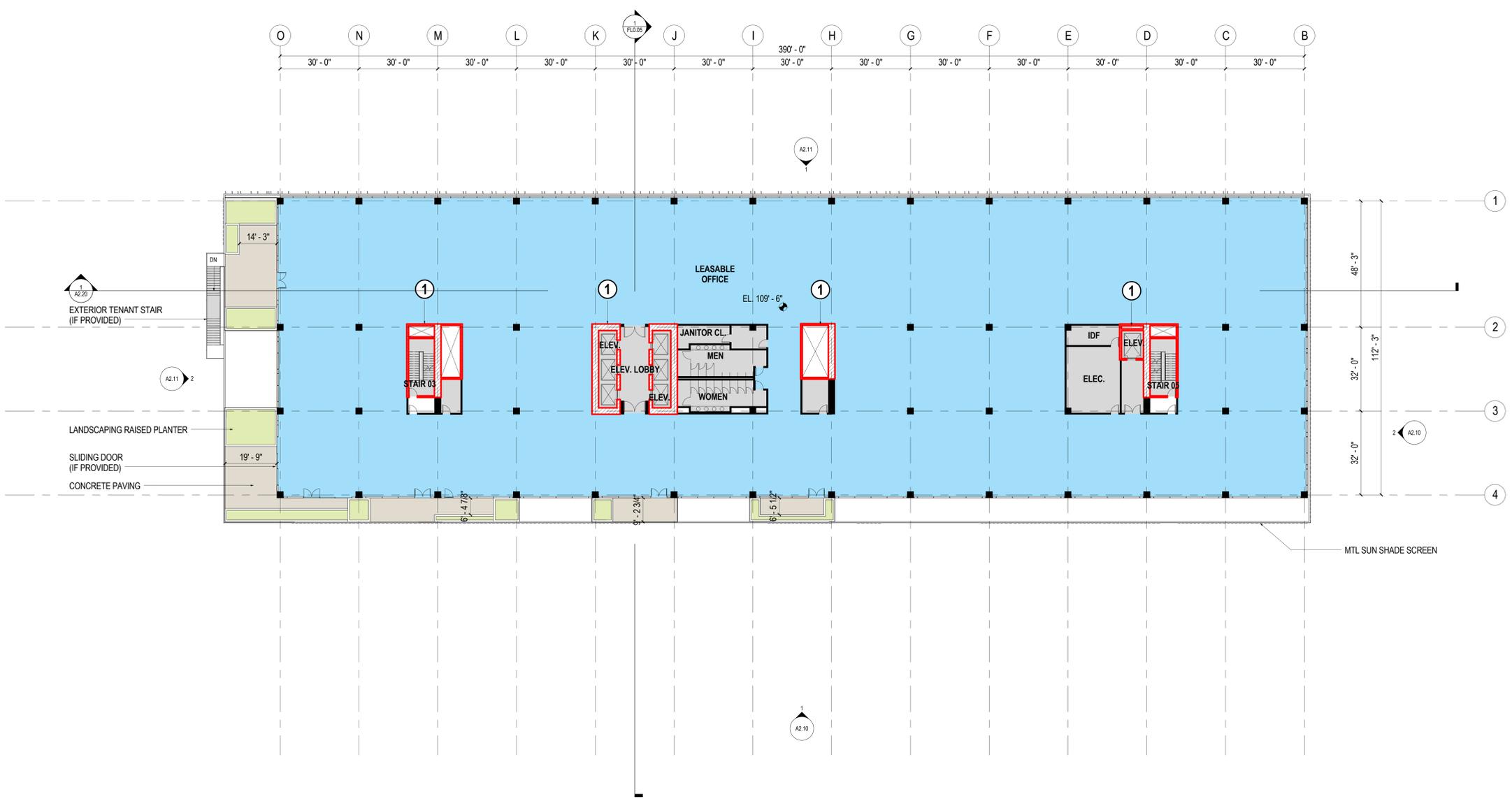
**NOT FOR CONSTRUCTION**

Project Name	ENTRADA CREATIVE OFFICE
Project Number	05.9895.000
Description	FLOOR PLAN - LEVEL 05

**KEY PLAN**

Scale  
 As indicated

**A1.12**

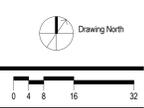


**Exit Stair Width Calculation:**  
 Floor size: 43,250 SF/100 = 433 occupants x .2"=86.6"/2 (for 2 stairs) = 43.3" min based on occupant load. Two stairs provided, each 48" wide

**Number of Stairs:**  
 2 based on Table 1021.1 (433 < 500)

**Distance Between Stairs:**  
 Not less than 1/3 the diagonal (per 1015.2.1, exception 2) and not more than 300' based on Table 1016.2.  
 Diagonal = 409/3 = 136.33'

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**SHEET NOTES**

**OFFICE**

LEVEL	FLR / BALCONIESsf
GROUND:	13, 560sf
LEVEL 01:	45, 039sf / 3, 254sf / DECK 16,284sf
LEVEL 02:	45, 039sf / 3, 029sf
LEVEL 03:	45, 039sf / 2, 638sf
LEVEL 04:	45, 039sf / 3, 299sf
LEVEL 05:	45, 039sf / 3, 526sf
LEVEL 06:	45, 039sf / 585sf
<b>TOTAL:</b>	<b>283, 794sf / 32, 345sf</b>

① ALL SHAFTS AND STAIR WALLS ARE TO BE MIN. 2 HR. RATED

**GENERAL NOTES**

- LEGEND**
- CORE
  - OFFICE
  - HARDSCAPE
  - LANDSCAPE
  - 2HR RATED WALLS

Date	Description
10/19/2016	

Seal / Signature

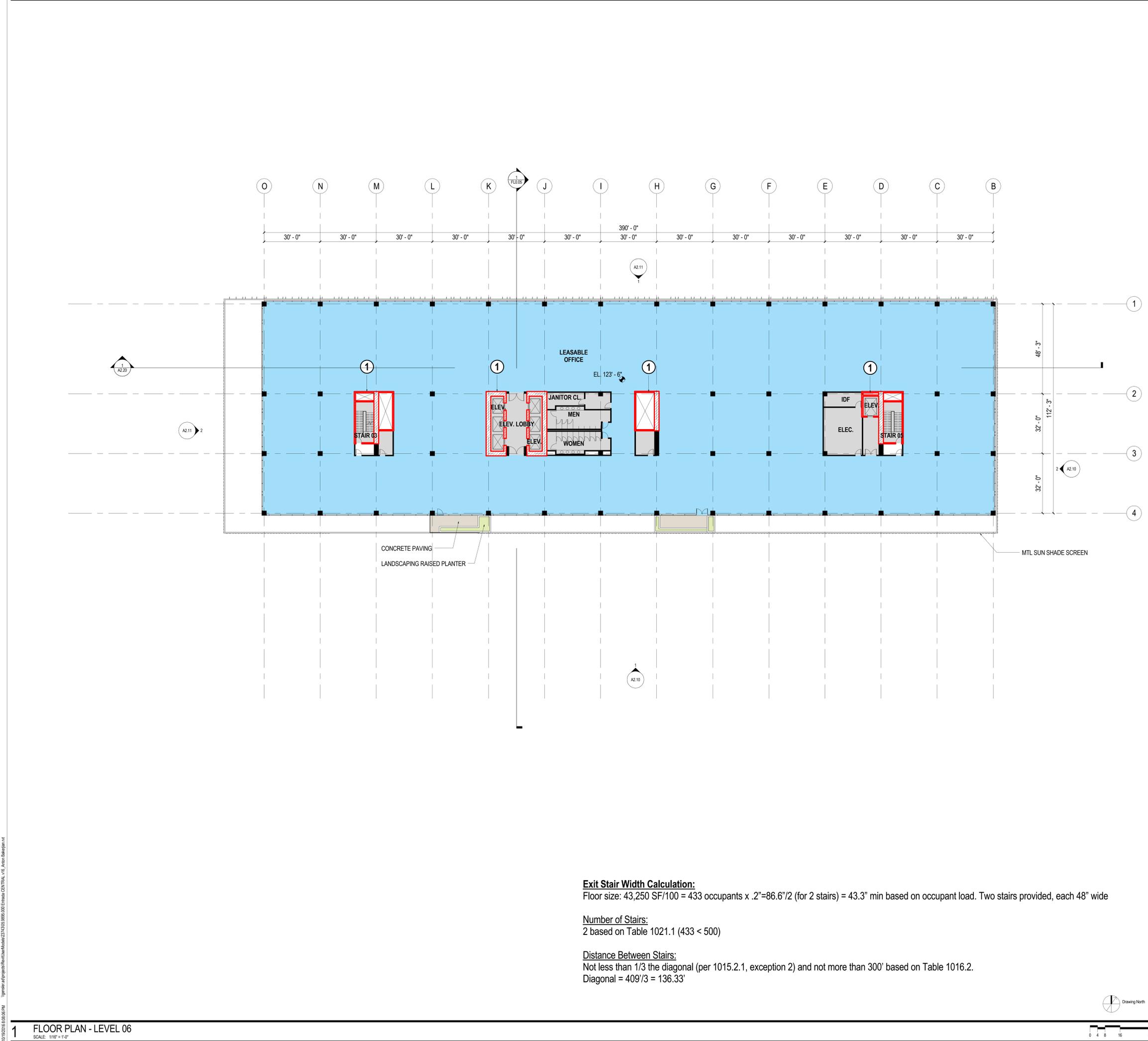
**NOT FOR CONSTRUCTION**

Project Name	ENTRADA CREATIVE OFFICE
Project Number	05.9895.000
Description	FLOOR PLAN - LEVEL 06

**KEY PLAN**

Scale  
 As indicated

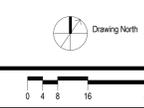
**A1.13**



**Exit Stair Width Calculation:**  
 Floor size: 43,250 SF/100 = 433 occupants x .2"=86.6"/2 (for 2 stairs) = 43.3" min based on occupant load. Two stairs provided, each 48" wide

**Number of Stairs:**  
 2 based on Table 1021.1 (433 < 500)

**Distance Between Stairs:**  
 Not less than 1/3 the diagonal (per 1015.2.1, exception 2) and not more than 300' based on Table 1016.2.  
 Diagonal = 409/3 = 136.33'



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**SHEET NOTES**

1. REFER TO SHEET A1.22 FOR KEY NOTES AND IMAGERY

**GENERAL NOTES**

- LEGEND**
- CAFE
  - CORE
  - LOBBY
  - PARKING

Date	Description
10/18/2016	

Seal / Signature

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Project Name  
ENTRADA CREATIVE OFFICE

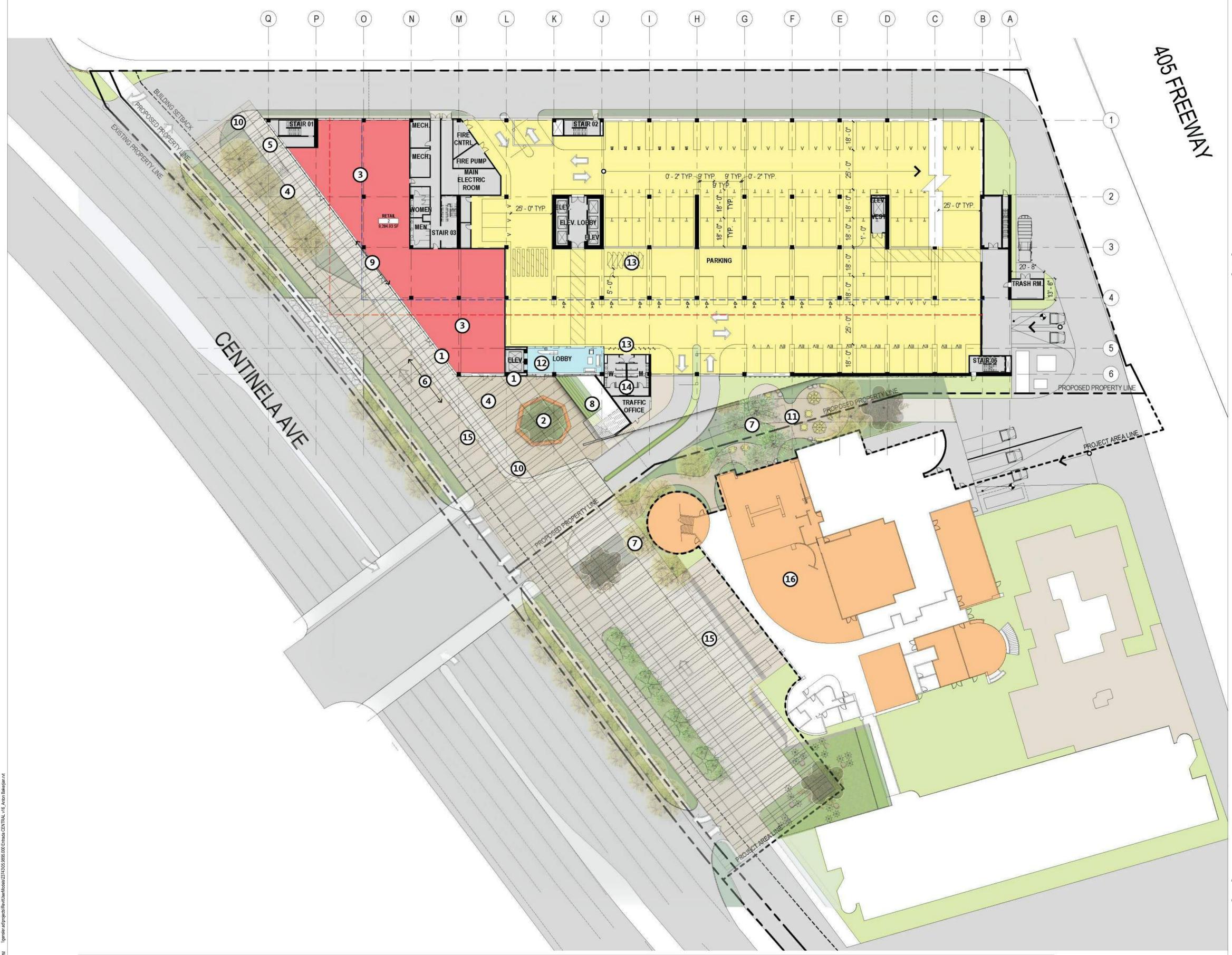
Project Number  
05.9895.000

Description  
FLOOR PLAN - GROUND - KEYPLAN

Scale  
1 1/2" = 1'-0"

**A1.20**

**KEY PLAN**



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**CENTINELA  
DEVELOPMENT  
PARTNERS**

6161 W. CENTINELA AVE., CULVER CITY,  
CA

**ENTRADA  
CREATIVE OFFICE**

**Gensler**

500 South Figueroa Street  
Los Angeles, California 90071  
United States  
Tel: 213.327.3600  
Fax: 213.327.3601



Date	Description
10/19/2016	

Seal / Signature

**NOT FOR  
CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

Description  
RENDERINGS

Scale

**A2.02**



**CENTINELA  
DEVELOPMENT  
PARTNERS**

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Fax: 213.327.3601



Date Description

10/19/2016

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CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

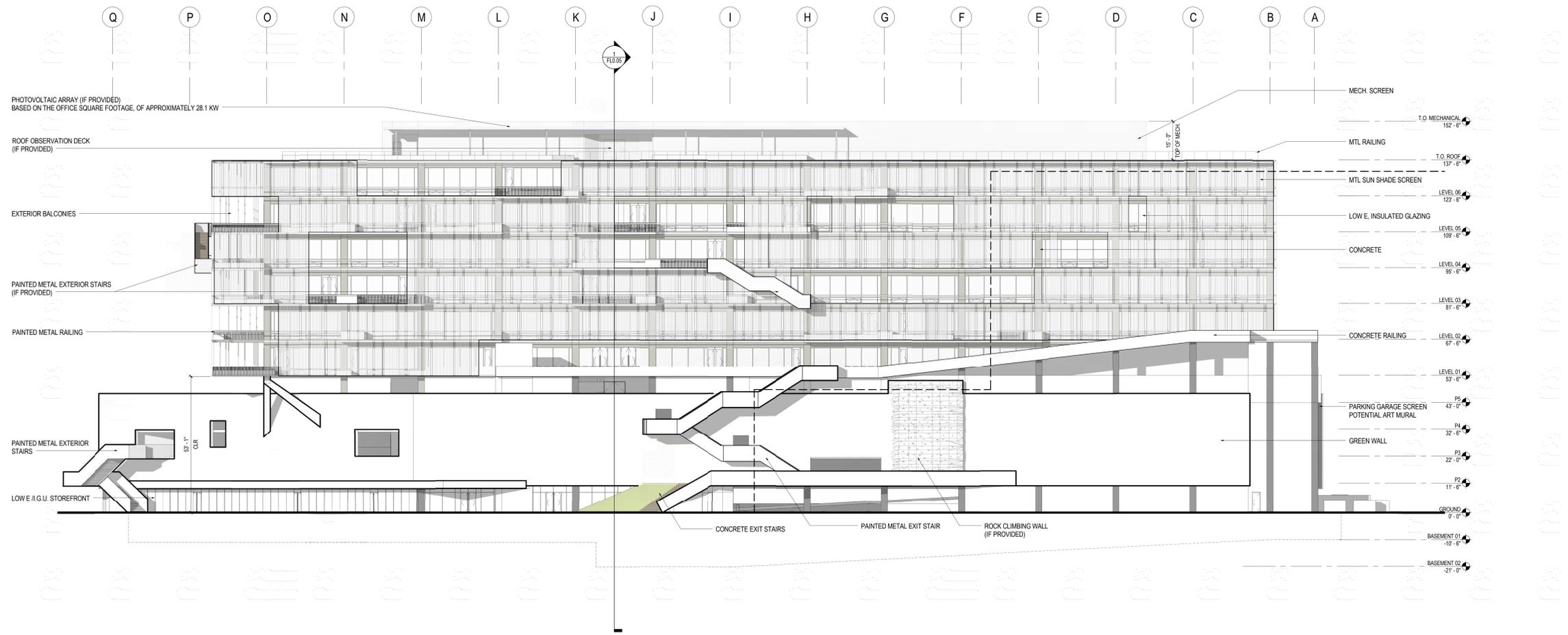
Description  
RENDERINGS

Scale

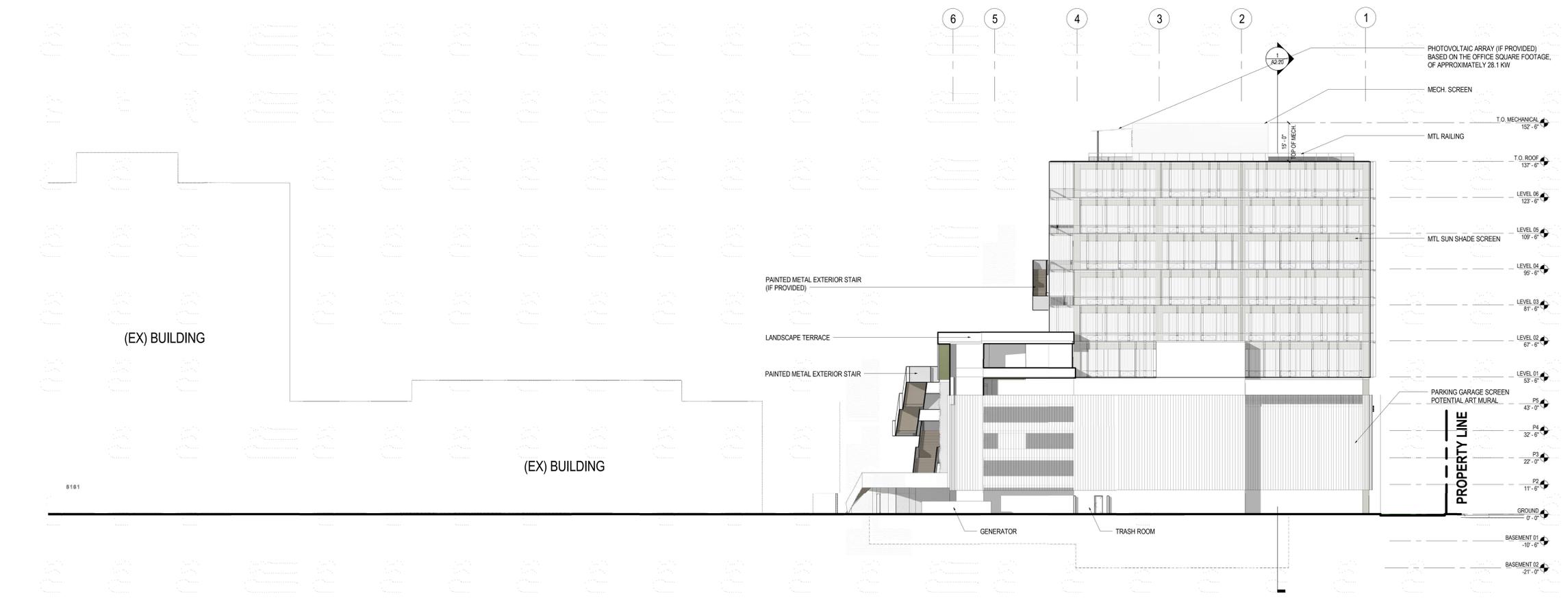
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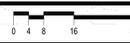




**1 EXTERIOR ELEVATION-SOUTH**  
SCALE: 1/16" = 1'-0"



**2 EXTERIOR ELEVATION - EAST**  
SCALE: 1/16" = 1'-0"



**SHEET NOTES**

**OFFICE**  
 LEVEL FLR / BALCONIESsf  
 GROUND: 13, 560sf  
 LEVEL 01: 45, 039sf / 3, 254sf / DECK 16,284sf  
 LEVEL 02: 45, 039sf / 3, 029sf  
 LEVEL 03: 45, 039sf / 2, 638sf  
 LEVEL 04: 45, 039sf / 3, 299sf  
 LEVEL 05: 45, 039sf / 3, 526sf  
 LEVEL 06: 45, 039sf / 585sf  
**TOTAL: 283, 794sf / 32, 345sf**

**GENERAL NOTES**

**CENTINELA DEVELOPMENT PARTNERS**  
 6161 W. CENTINELA AVE, CULVER CITY, CA  
**ENTRADA CREATIVE OFFICE**  
**Gensler**  
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 Los Angeles, California 90071  
 United States  
 Tel: 213.327.3600  
 Fax: 213.327.3601

Date	Description
10/19/2016	

Seal / Signature

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Project Name  
**ENTRADA CREATIVE OFFICE**  
 Project Number  
**05.9895.000**  
 Description  
**ELEVATIONS**

**KEY PLAN**

Scale  
 As indicated

**A2.10**



**SHEET NOTES**

**OFFICE**

LEVEL FLR / BALCONIESsf

GROUND: 13,560sf  
 LEVEL 01: 45,039sf / 3,254sf / DECK 16,284sf  
 LEVEL 02: 45,039sf / 3,029sf  
 LEVEL 03: 45,039sf / 2,638sf  
 LEVEL 04: 45,039sf / 3,299sf  
 LEVEL 05: 45,039sf / 3,526sf  
 LEVEL 06: 45,039sf / 585sf

TOTAL: 283,794sf / 32,345sf

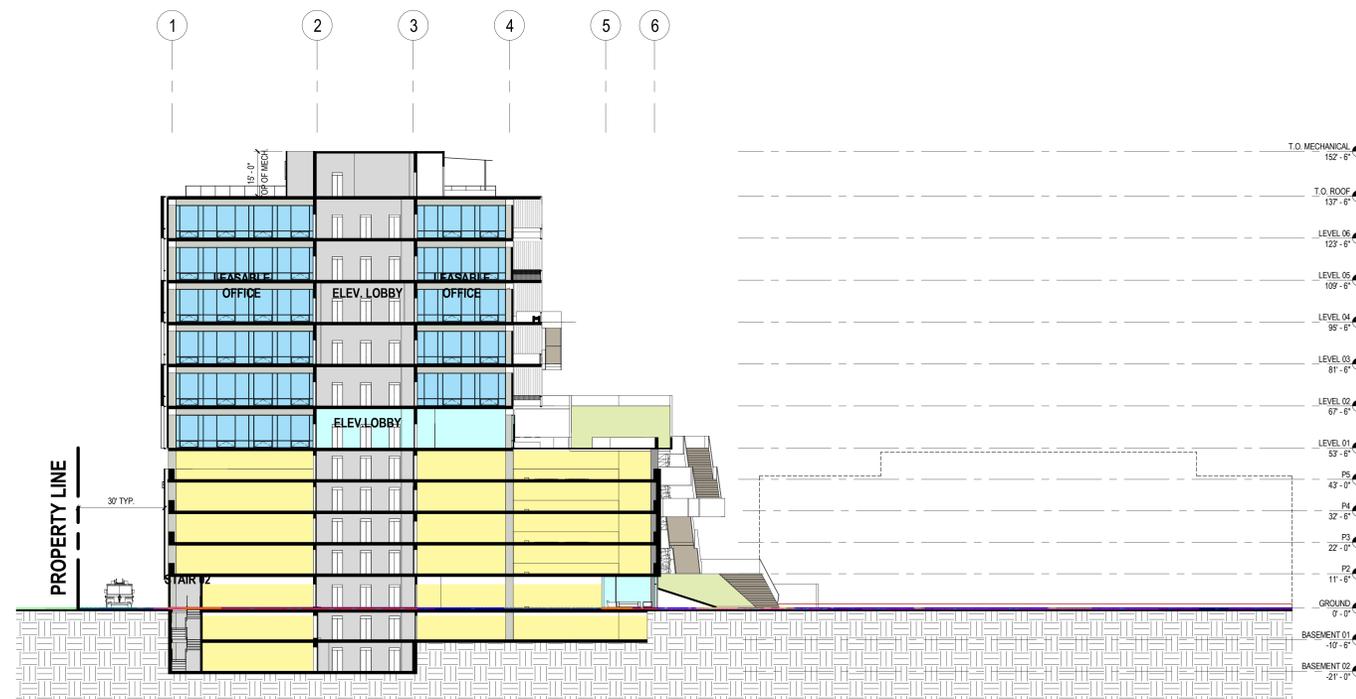
**CENTINELA DEVELOPMENT PARTNERS**

6161 W. CENTINELA AVE, CULVER CITY, CA

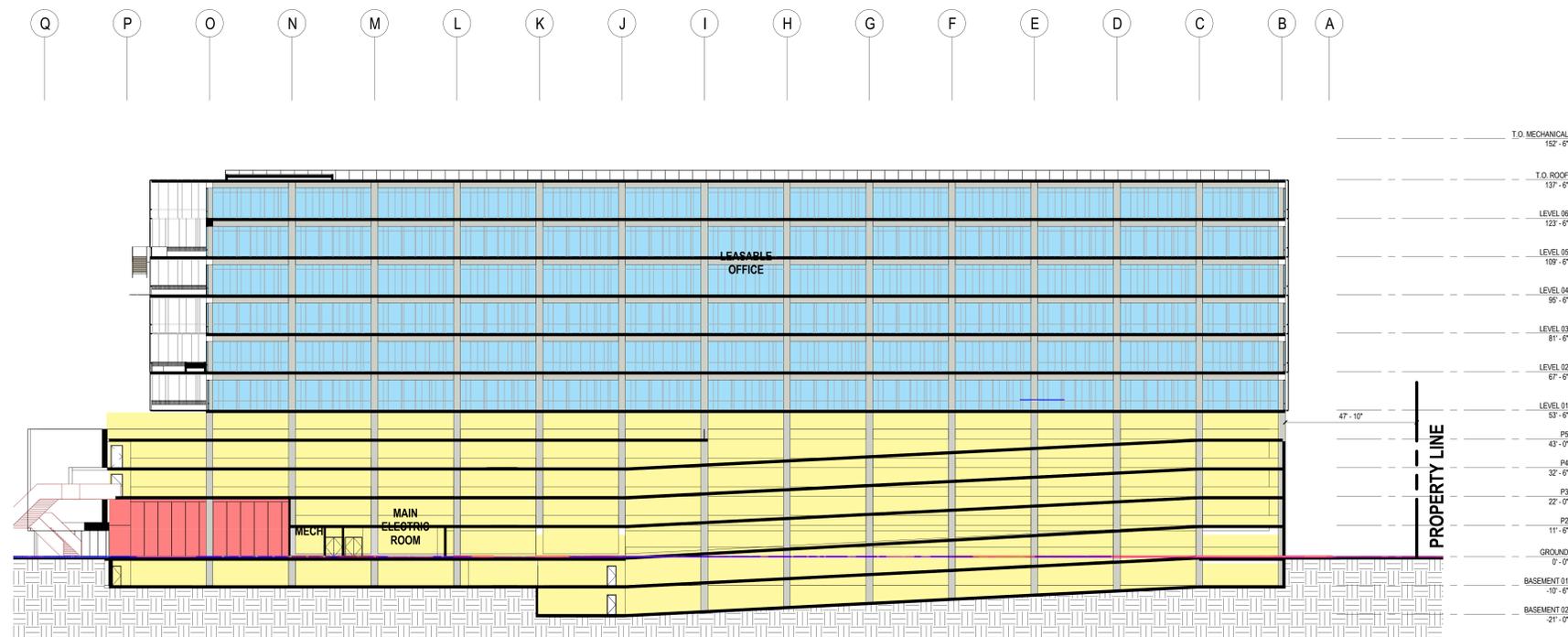
**ENTRADA CREATIVE OFFICE**

**Gensler**

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 Los Angeles, California 90071  
 United States  
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 Fax: 213.327.3601



**2 SECTION B**  
 SCALE: 1" = 20'-0"



**1 SECTION A**  
 SCALE: 1" = 20'-0"



**GENERAL NOTES**

**LEGEND**

- CORE
- LOBBY
- OFFICE
- PARKING

Date	Description
10/19/2016	

Seal / Signature

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Project Name  
 ENTRADA CREATIVE OFFICE

Project Number  
 05.9895.000

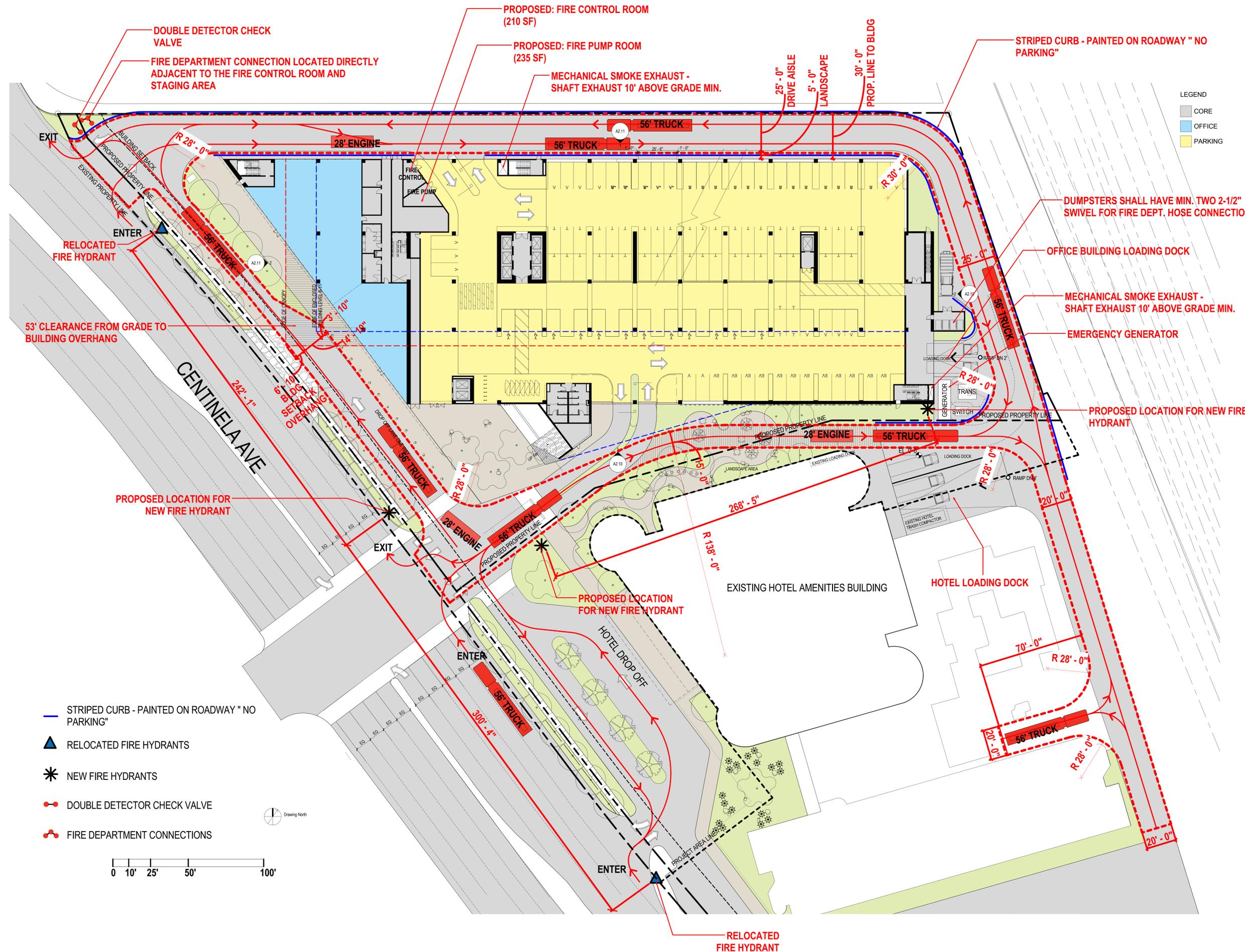
Description  
 SECTIONS

**KEY PLAN**

Scale  
 As indicated

**A2.20**





**LEGEND**  
 CORE  
 OFFICE  
 PARKING

DUMPSTERS SHALL HAVE MIN. TWO 2-1/2" SWIVEL FOR FIRE DEPT. HOSE CONNECTION  
 OFFICE BUILDING LOADING DOCK  
 MECHANICAL SMOKE EXHAUST - SHAFT EXHAUST 10' ABOVE GRADE MIN.  
 EMERGENCY GENERATOR  
 PROPOSED LOCATION FOR NEW FIRE HYDRANT

Date	Description
10/19/2016	

Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name  
 ENTRADA CREATIVE OFFICE  
 Project Number  
 05.9895.000  
 Description  
 EMERGENCY VEHICLE PLAN

Scale  
 1" = 20'-0"

**EL0.01**

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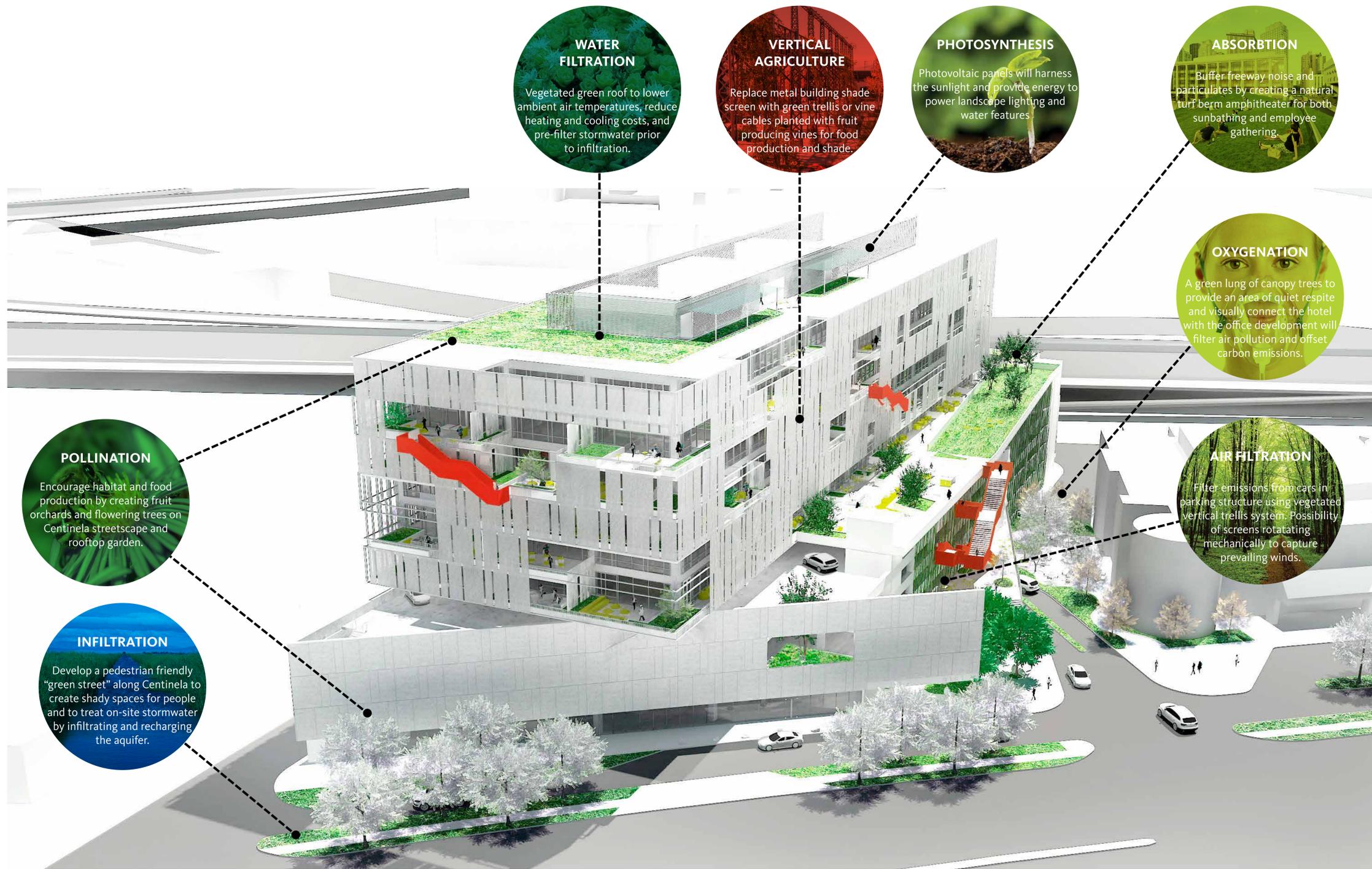








GENERAL NOTES



Date	Description
10/19/2016	



Seal/Signature

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Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

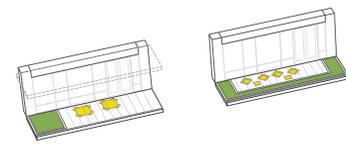
Description  
LANDSCAPE CONCEPT

Scale

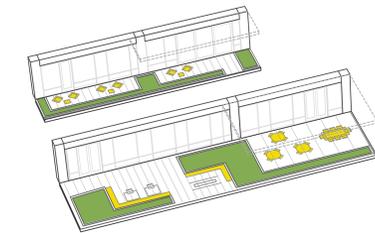
**L1.00**

KEY PLAN

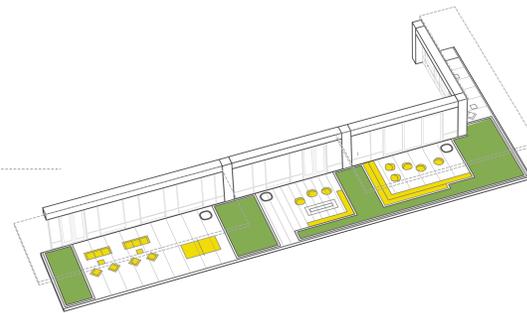
# BALCONY AND AMENITY DECK LANDSCAPE TYPOLOGY S, M, L, XL



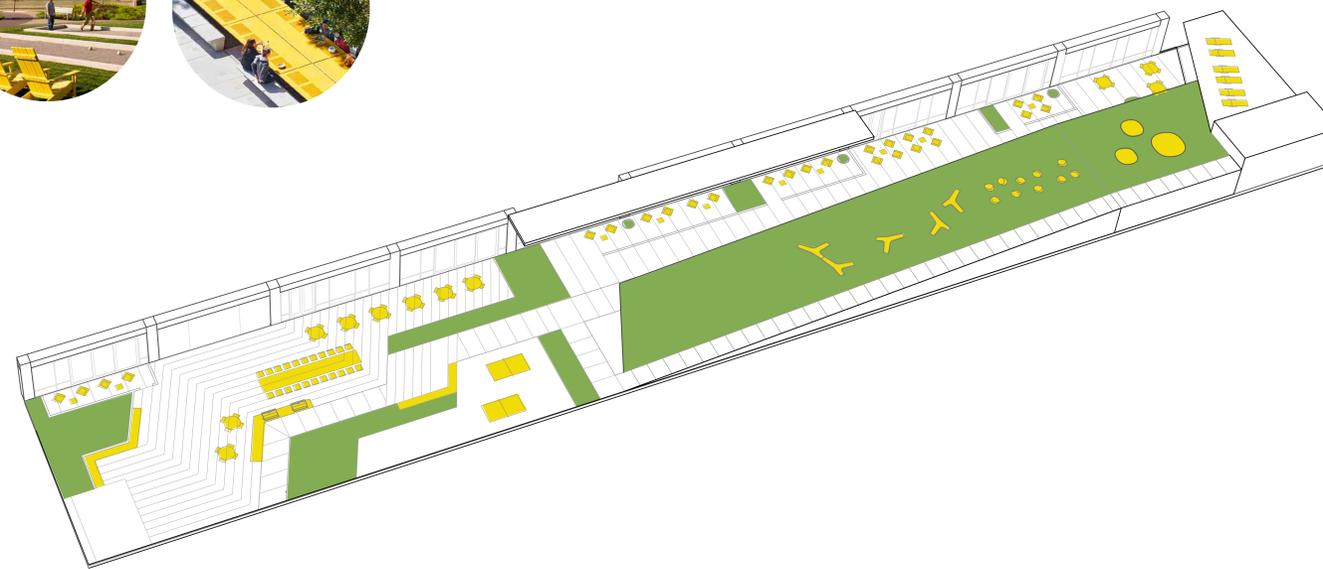
**S**  
**BALCONY:**  
LOUNGING  
+ OUTDOOR DINING



**M**  
**BALCONY:**  
LOUNGING  
+ OUTDOOR DINING  
+ MEETING ROOM  
+ NAP ROOM



**L**  
**BALCONY:**  
LOUNGING  
+ OUTDOOR DINING  
+ MEETING ROOM  
+ NAP ROOM  
+ GAMING AND FITNESS  
+ AMPHITHEATER GATHERING



**XL**  
**AMENITY DECK:**  
GREAT LAWN  
+ ROCK CLIMBING  
+ OUTDOOR ENTERTAINMENT CENTER  
+ VIEWING DECK  
+ PICNIC AREA  
+ HARVEST GARDEN  
+ OUTDOOR COOK CENTER  
+ FITNESS & HEALTH CENTER



SHEET NOTES

GENERAL NOTES

KEY PLAN

ENTRADA  
CREATIVE OFFICE

**Gensler**

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United States  
Tel: 213.327.3600  
Fax: 213.327.3601

**AHBE**  
LANDSCAPE ARCHITECTS

617 WEST SEVENTH STREET  
SUITE 304  
LOS ANGELES, CA 90017  
T: 213.694.3800 F: 213.694.3801

Date	Description
10/19/2016	



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CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

Description  
LANDSCAPE CONCEPT

Scale

**L1.01**



**SHEET NOTES**

- ① Integral Color Concrete.
- ② Integral Color Concrete with Aggregate.
- ③ Curbless Pedestrian Walk.
- ④ Stormwater Infiltration Area.
- ⑤ Boulders.
- ⑥ Cobble Stone.
- ⑦ Landscape Berms.
- ⑧ Sculptural Garden.
- ⑨ Outdoor Dining.
- ⑩ Seat Wall.
- ⑪ Site Furniture.
- ⑫ Specimen Tree.
- ⑬ Planting along Steps with Corten Planter.
- ⑭ Fire Lane.
- ⑮ Gravel Pave.

**GENERAL NOTES**

**ENTRADA  
CREATIVE OFFICE**

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500 South Figueroa Street  
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LANDSCAPE ARCHITECTS  
617 WEST SEVENTH STREET  
SUITE 304  
LOS ANGELES, CA 90017  
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10/19/2016	



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CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

Description  
FLOOR PLAN - GROUND  
FLOOR PLAN - P2

Scale  
1/16" = 1'-0"

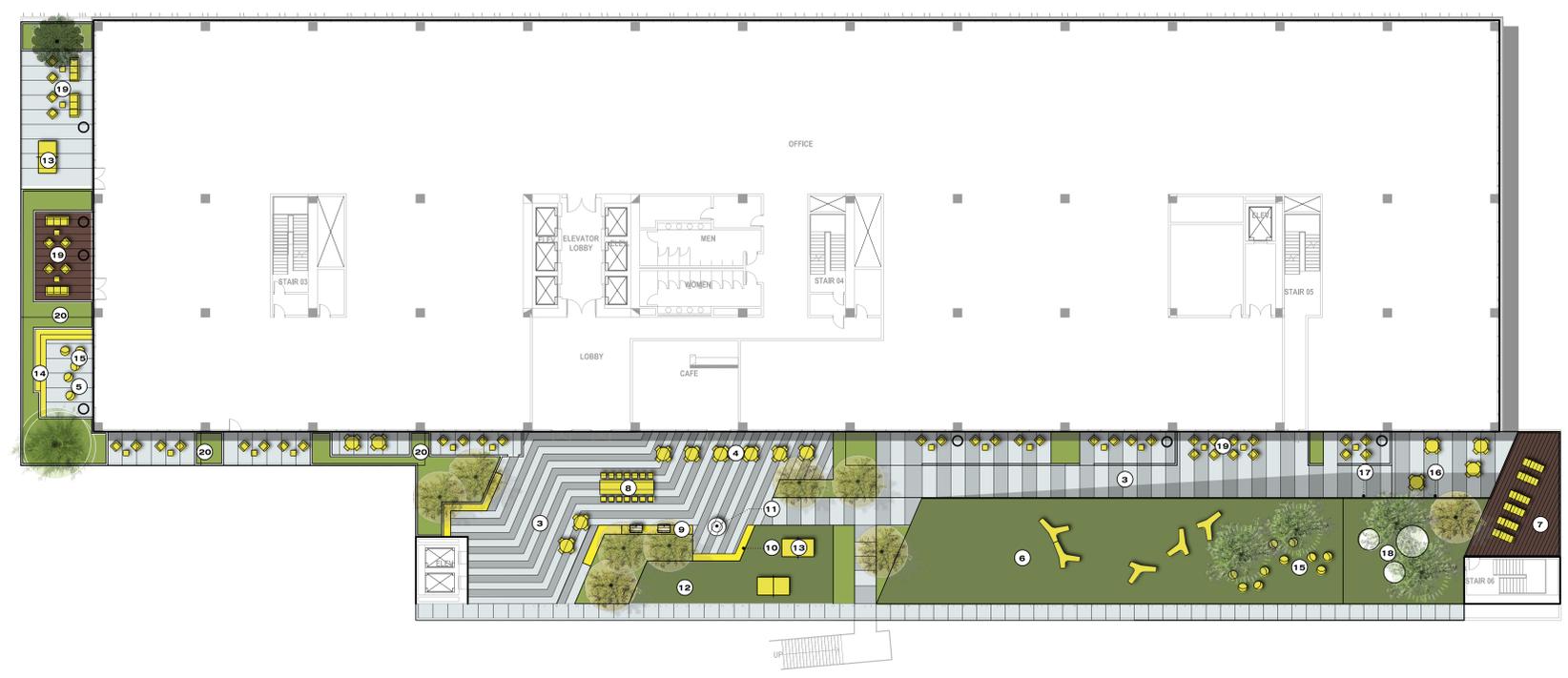
**L1.02**

**KEY PLAN**





1 FLOOR PLAN - P2  
SCALE: 1/16" = 1'-0"



1 FLOOR PLAN - O1  
SCALE: 1/16" = 1'-0"

**SHEET NOTES**

- ① Planting along Steps with Corten Planter.
- ② Boulder.
- ③ Concrete Unit Paver.
- ④ Site Furniture.
- ⑤ Porcelain Tile Paving.
- ⑥ Sloped Great Lawn.
- ⑦ Viewing Deck.
- ⑧ Communal Table.
- ⑨ Outdoor BBQ.
- ⑩ Seat Wall.
- ⑪ Fire Pit.
- ⑫ Multi-Function Exercise Zone.
- ⑬ Ping Pong Table.
- ⑭ Amphitheater.
- ⑮ Casual Seating.
- ⑯ Climbing Wall.
- ⑰ Media Wall.
- ⑱ Picnic Area.
- ⑲ Outdoor Lounge.
- ⑳ Privacy Green Screen.

**GENERAL NOTES**

**ENTRADA  
CREATIVE OFFICE**

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SUITE 304  
LOS ANGELES, CA 90017  
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Date	Description
10/19/2016	



Seal / Signature

**NOT FOR  
CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

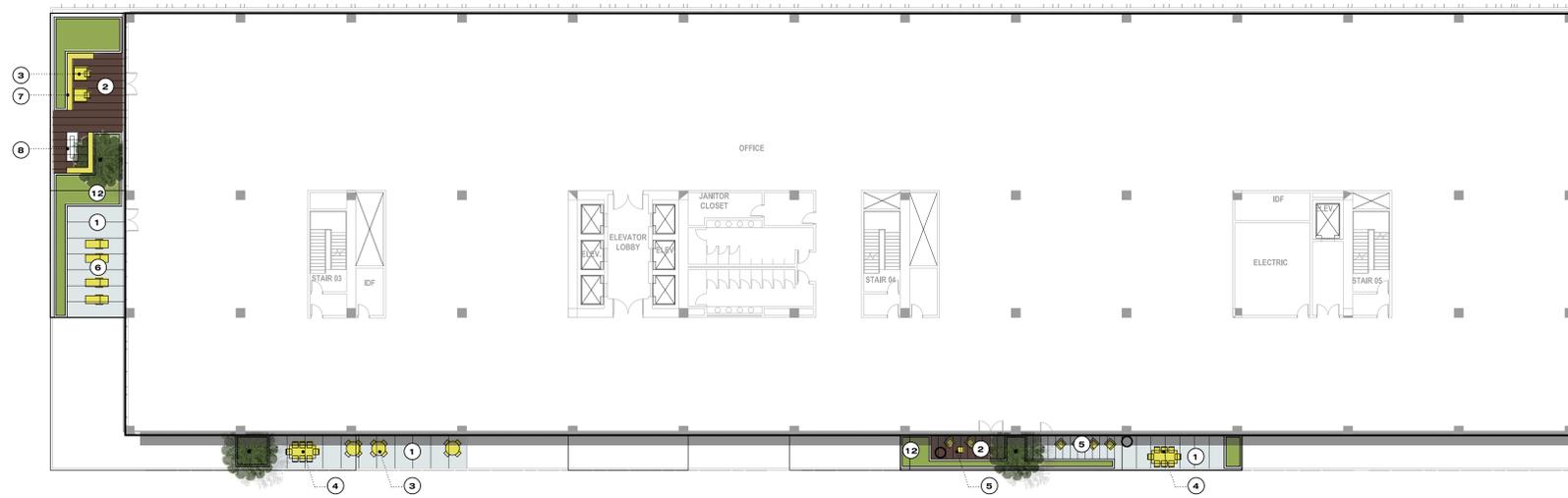
Description  
FLOOR PLAN - P2  
FLOOR PLAN - O1

Scale  
1/16" = 1'-0"

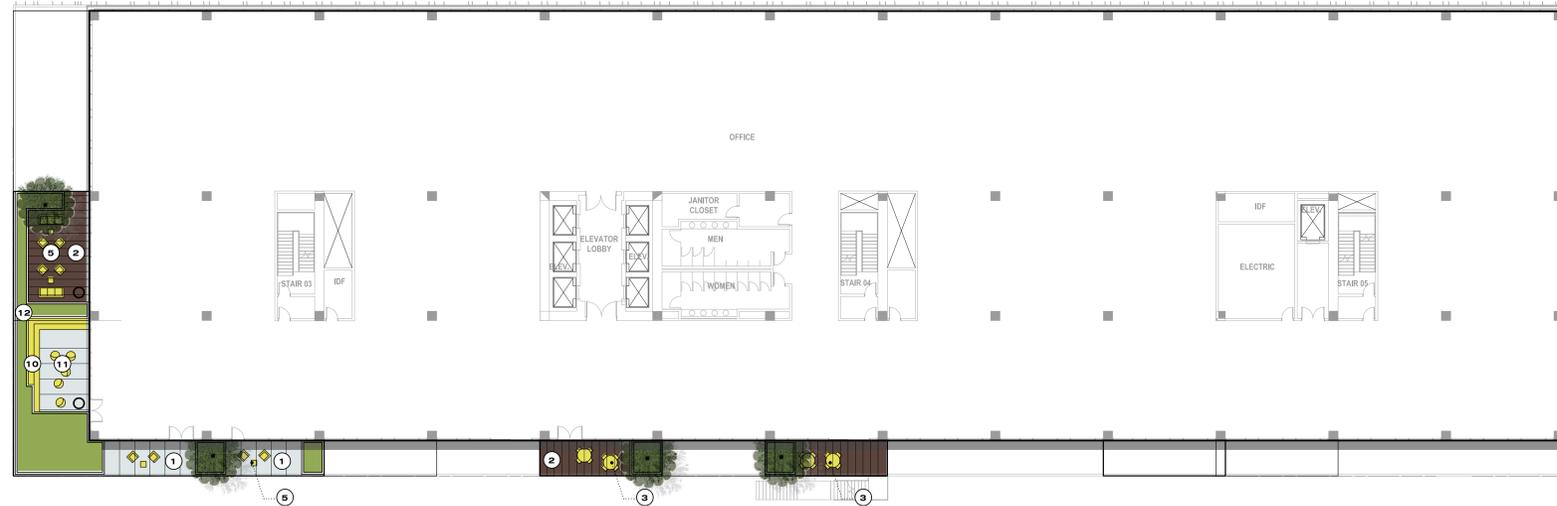
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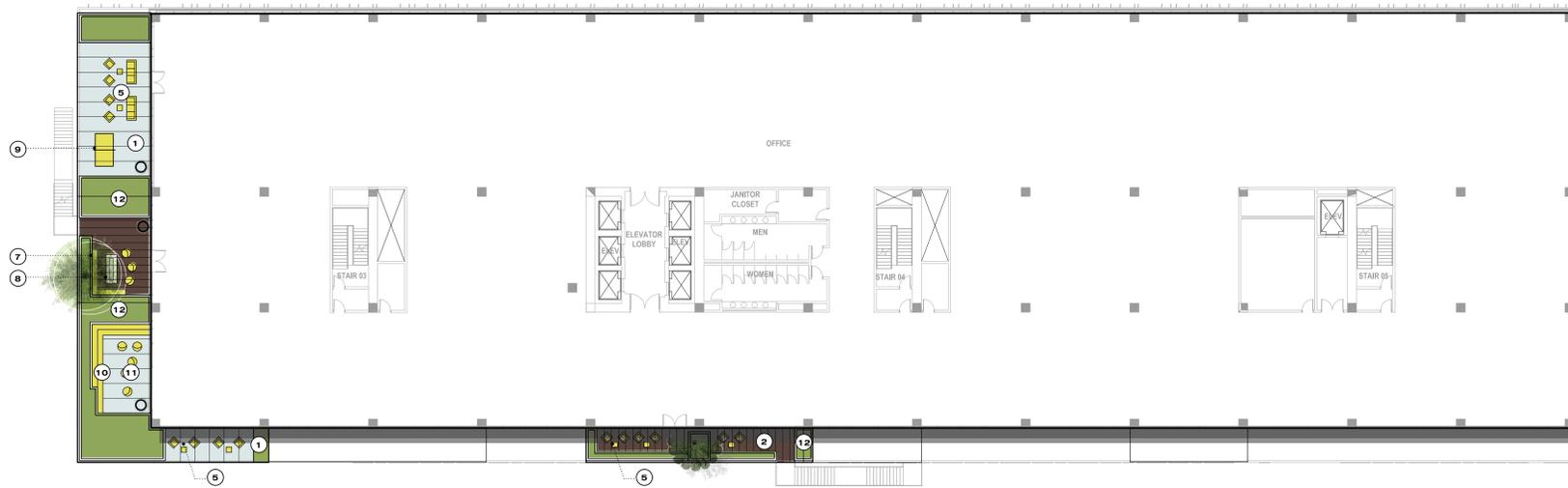
**L1.03**



1 FLOOR PLAN - 02  
SCALE: 1/16" = 1'-0"



2 FLOOR PLAN - 03  
SCALE: 1/16" = 1'-0"



3 FLOOR PLAN - 04  
SCALE: 1/16" = 1'-0"

**SHEET NOTES**

- ① Porcelain Tile Paving.
- ② Wood Decking.
- ③ Outdoor Dining Area.
- ④ Soical Meeting Area.
- ⑤ Outdoor Lounge.
- ⑥ Outdoor Nap Room.
- ⑦ Seat Wall.
- ⑧ Fire Pit.
- ⑨ Ping Pong Table.
- ⑩ Amphitheater.
- ⑪ Casual Seating.
- ⑫ Privacy Green Screen.

**ENTRADA  
CREATIVE OFFICE**

**Gensler**

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Los Angeles, California 90071 Fax 213.327.3601  
United States

**AHBE**  
LANDSCAPE ARCHITECTS

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LOS ANGELES, CA 90017  
T: 213.694.3800 F: 213.694.3801

**GENERAL NOTES**

Date	Description
10/19/2016	



Seal/Signature

**NOT FOR  
CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

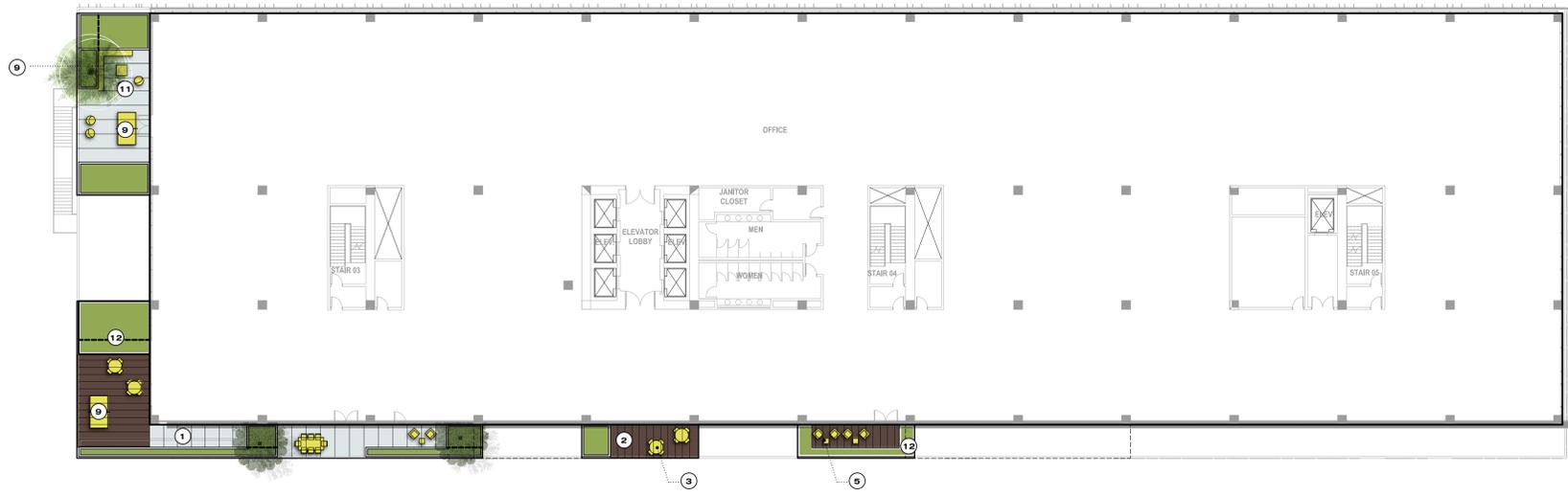
Description  
FLOOR PLAN - 02  
FLOOR PLAN - 03  
FLOOR PLAN - 04

Scale  
1/16" = 1'-0"

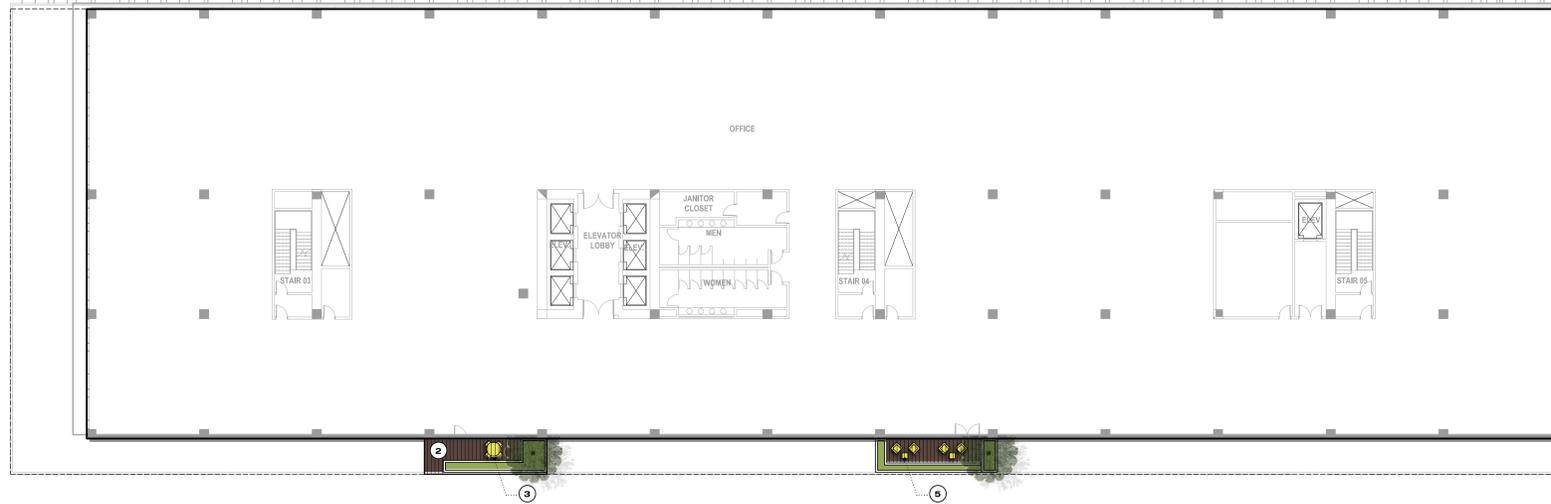
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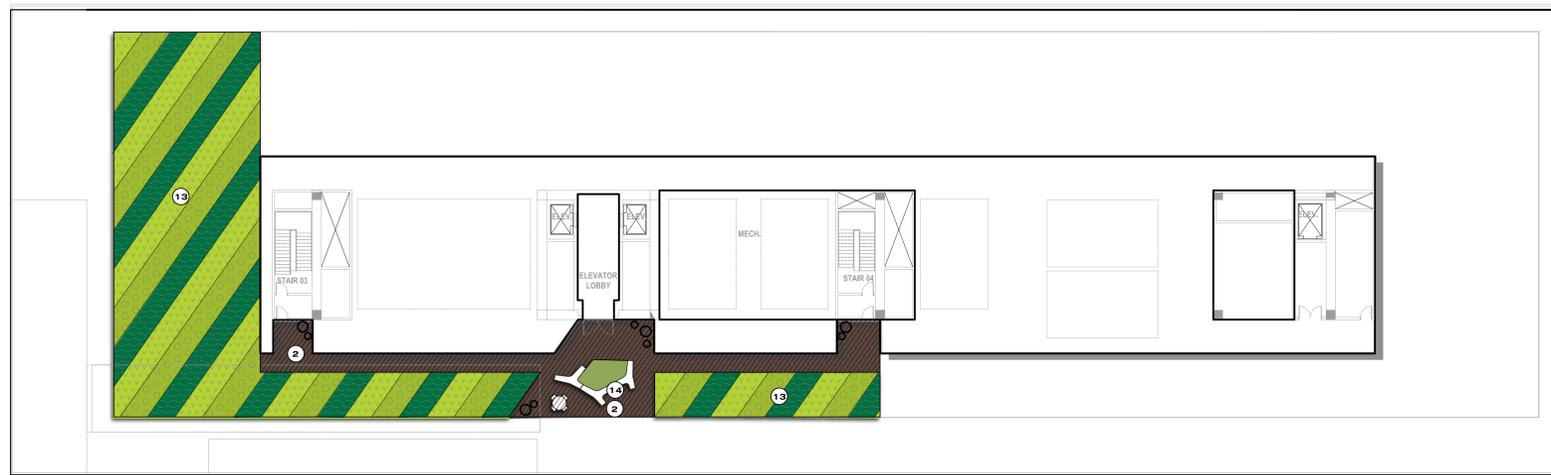
**L1.04**



1 FLOOR PLAN - O5  
SCALE: 1/16" = 1'-0"



2 FLOOR PLAN - O6  
SCALE: 1/16" = 1'-0"



3 FLOOR PLAN - ROOF  
SCALE: 1/16" = 1'-0"

**SHEET NOTES**

- ① Porcelain Tile Paving.
- ② Wood Decking.
- ③ Outdoor Dining Area.
- ④ Social Meeting Area.
- ⑤ Outdoor Lounge.
- ⑥ Outdoor Nap Room.
- ⑦ Seat Wall.
- ⑧ Fire Pit.
- ⑨ Ping Pong Table.
- ⑩ Amphitheater.
- ⑪ Casual Seating.
- ⑫ Privacy Green Screen.
- ⑬ Green Roof.
- ⑭ Landscape Forms Twig Bench.

**ENTRADA  
CREATIVE OFFICE**

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LANDSCAPE ARCHITECTS

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**GENERAL NOTES**

Date	Description
10/19/2016	



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**NOT FOR  
CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

Description  
FLOOR PLAN-O5  
FLOOR PLAN-O6  
FLOOR PLAN-ROOF

Scale  
1/16" = 1'-0"

**KEY PLAN**



**L1.05**



**Arbutus 'Marina'** Strawberry Tree



**Cercidium x 'Desert Museum'**  
Desert Museum Palo Verde



**Citrus limon 'Meyer Improved'**  
Improved Meyer Lemon



**Heteromeles arbutifolia 'Davis Gold'**  
Golden Berry Toyon



**Quercus agrifolia** Coast Live Oak



**Taxodium mucronatum** Montezuma Cypress



**Pinus halepensis** Aleppo Pine



**Platanus racemosa** California Sycamore



**Achillea millefolium** Yarrow



**Agave attenuata** Foxtail Agave



**Aloe arborescens** Aloe



**Artemisia californica** California Sagebrush



**Carex divulsa** Berkeley Sedge



**Muhlenbergia rigens** Deer Grass



**UC Verde Buffalo Grass** Buffalo Grass



**Vitis californica** California Wild Grape



**Etera Sedum Tile 'Color Max'**



**Etera Sedum Tile 'Red Mix'**

**TREE LEGEND:**

SYMBOL	BOTANICAL NAME "COMMON NAME"	SIZE (HTxSPR)	COMMENTS
	PLATANUS MEXICANA "MEXICAN SYCAMORE"	36" BOX	X X
	QUERCUS AGRIFOLIA "COAST LIVE OAK"	120" BOX	X X
	TAXODIUM MUCRONATUM "MONTEZUMA CYPRESS"	48" BOX	X X
	CITRUS SP. "LEMON"	24" BOX	X X
	PINUS HALEPENSIS "ALLEPO PINE"	48" BOX	X X
	CERCIDIUM X "DESERT MUSEUM" "DESERT MUSEUM PALO VERDE"	24" BOX	X X
	ARBUTUS UNEDO "DWARF STRAWBERRY TREE"	24" BOX	X X
	HETEROMELES ARBUTIFOLIA "DAVIS GOLD" / "GOLDEN BERRY TOYON"	15 GAL	X X

**SHRUB, VINE & GROUND COVER LEGEND:**

SYMBOL	BOTANICAL NAME "COMMON NAME"	SIZE (HTxSPR)	COMMENTS
	REGIONALLY APPROPRIATE PLANTING	TBD	-
	BIOFILTRATION PLANTING	TBD	AT STORMWATER FILTRATION PLANTERS
	SUCCULENT PLANTING	TBD	HOTEL DROP-OFF
	UC VERDE BUFFALO GRASS	N/A	ESTATE LAWN ON AMENITY DECK
	SEDUM TILE	N/A	AT VEGETATED GREEN ROOF

**SHEET NOTES**

**GENERAL NOTES**

**ENTRADA  
CREATIVE OFFICE**

**Gensler**

500 South Figueroa Street  
Los Angeles, California 90017  
United States  
Tel: 213.327.3600  
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**AHBE**  
LANDSCAPE ARCHITECTS

617 WEST SEVENTH STREET  
SUITE 304  
LOS ANGELES, CA 90017  
T: 213.694.3800 F: 213.694.3801

Date	Description
10/19/2016	



Seal / Signature

**NOT FOR  
CONSTRUCTION**

Project Name  
ENTRADA CREATIVE OFFICE

Project Number  
05.9895.000

Description  
PLANT PALETTE LEGENDS &  
NOTES  
REFERENCE IMAGES

Scale  
1/16" = 1'-0"

**L2.01**

**KEY PLAN**



Sloped Estate Lawn as Sound Absorber and Relaxer



Recreating Nature



Pedestrian Friendly Streetscape Improvements



Indoor / Outdoor Living



Food Production



User Configurable Seating



Nighttime Use



Sculptural Furniture



Foosball



Yoga Deck



Outdoor Workstations



Chill



Gaming Deck



Outdoor Movie Screening



Climbing Wall

GENERAL NOTES

ENTRADA  
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Scale

KEY PLAN

L2.02



Stormwater Filtration Planters



Light Ceiling



Tree Grates



Seasonal Color



Vine Trellis



Vine Cables



Fire Table



Exposed Aggregate Paving



Planters Integrated with Stairs



Precast Pavers



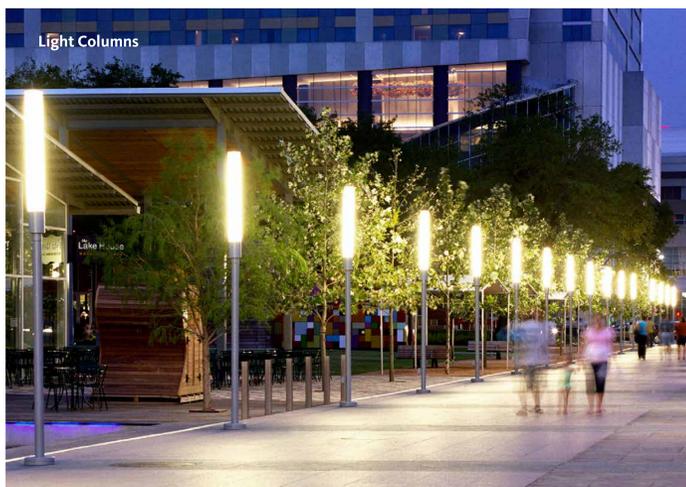
Movable Furniture



Boulders as Bollards



Sculptural Furniture



Light Columns



Water Feature



Serpentine Bench



Bike Center

GENERAL NOTES

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REFERENCE IMAGES

Scale

KEY PLAN

L2.03