

# ATTACHMENT 11

# BH JEFFERSON SERVICE FACILITY

10150 JEFFERSON BLVD.,  
CULVER CITY, CA

## PLANNING SET

25-08-08

### GENERAL NOTES

#### GENERAL CONDITIONS

- THE GENERAL CONTRACTOR & ALL SUBCONTRACTORS SHALL CAREFULLY & THOROUGHLY EXAMINE THE PROJECT SITE, FIELD VERIFY ALL CONDITIONS, GRADES, ELEVATIONS & DIMENSIONS OF THE VARIOUS FEATURES OF THE EXISTING CONDITIONS. ANY DISCREPANCIES & OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT PRIOR TO APPROVAL OF CONTRACT.
- THE GENERAL CONTRACTOR & ALL SUBCONTRACTORS SHALL CAREFULLY & THOROUGHLY EXAMINE ALL CONTRACT DOCUMENTS REGARDLESS OF SPECIFIC TRADES AND ANY DISCREPANCIES & OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE FINAL BID.
- THE GENERAL CONTRACTOR & ALL SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE ENFORCEMENT OF ALL REQUIREMENTS & REGULATIONS & CODES OF THE APPLICABLE FEDERAL, STATE, AND LOCAL GOVERNMENT, AND LOCAL CODES, ORDINANCES & REGULATIONS OF THE GOVERNING AGENCY HAVING JURISDICTION OVER THE PROJECT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CODES LISTED UNDER THE APPLICABLE CODES HEADING ON THIS SHEET. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH ALL CODES AND ORDINANCES AS WELL AS THE REQUIREMENTS FOR CONSTRUCTION OF THIS PROJECT WHERE ANY CONFLICTS OCCUR BETWEEN FEDERAL, STATE AND LOCAL LAWS, CODES, ORDINANCES, AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- FINAL EXECUTION OF THE CONTRACT BY THE CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

#### DOCUMENTS

1. DUE TO THE REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE. THE CONTRACTOR SHALL TAKE PRECEDENCE OVER THE SCALE SHOWN IN NO CASE SHALL WORKING DIMENSIONS BE SCALLED FROM THE PLANS, SECTION, ELEVATIONS OR DETAILS.
2. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK FOR THE TRADE INVOLVED. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY, IN WRITING, OF ANY ALTERNATE, NON-STANDARD, OR UNTESTED METHOD(S) PROPOSED.
3. WHERE THERE MAY BE A CONFLICT IN THE SPECIFICATIONS AND/OR DRAWINGS, THEN THE MORE EXPENSIVE LABOR, MATERIALS, AND EQUIPMENT SHALL BE ASSUMED TO BE REQUIRED AND SHALL BE PROVIDED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER. THE ARCHITECT WILL RESOLVE CONFLICTS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS.
4. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR WITH THE BEST MATERIALS AND WORKMANSHIP.

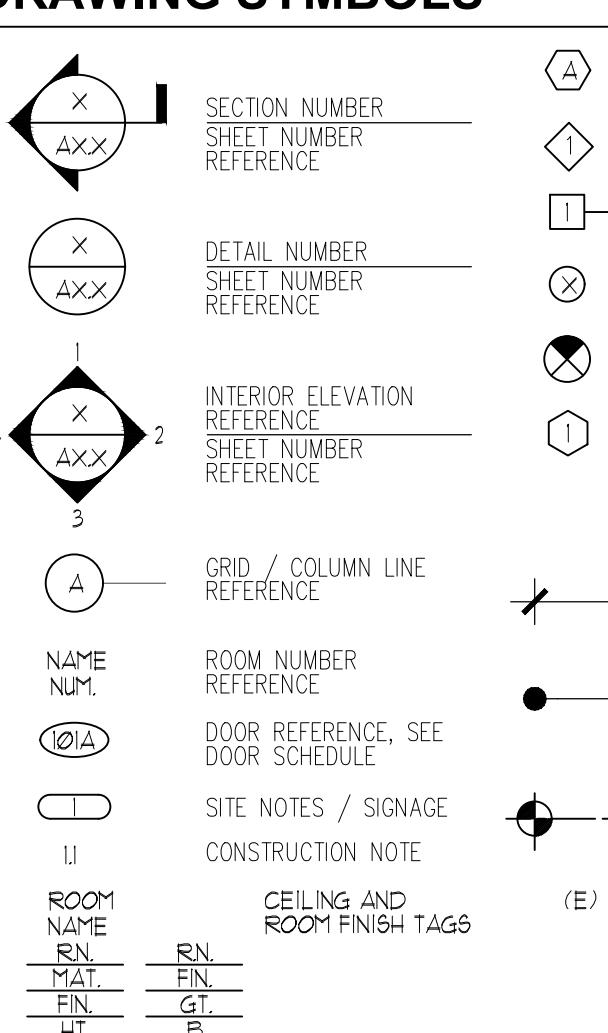
5. THE STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS ARE SUBMITTED AS THE CONTRACT DOCUMENTS. IF THERE ARE ANY DISCREPANCIES BETWEEN THE VARIOUS DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
6. DIMENSIONS ARE TYPICAL TO FACE OF MASONRY OR CONCRETE AND OR FRAMED WALLS OR TO CENTERLINE OF STUD UNLESS OTHERWISE NOTED. LARGER SCALE DETAILS GOVERN OVER SMALLER SCALE DETAILS.
7. IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND FINISHED PRODUCT MATCHING AND OR ABUTTING EXISTING CONSTRUCTION IN A NEAT AND PROFESSIONAL MANNER.

8. WHERE A CONFLICT OCCURS BETWEEN OR WITHIN STANDARDS, SPECIFICATIONS, AND DRAWINGS, THE MORE STRINGENT OR HIGHER QUALITY REQUIREMENTS SHALL APPLY. THE PRECEDENCE OF THE CONSTRUCTION DOCUMENTS IS IN THE FOLLOWING SEQUENCE:
  - A. APPENDA AND MODIFICATIONS TO THE DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE OVER GENERAL CONTRACT DOCUMENTS.
  - B. SHOULD THERE BE A CONFLICT WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, THE ARCHITECT SHALL DECIDE WHICH STIPULATION WILL PROVIDE THE BEST INSTALLATION AND HIS DECISION SHALL BE FINAL.
  - C. SHOULD THERE BE A CONFLICT WITHIN THE APPENDA AND DRAWINGS, THE ARCHITECT SHALL DECIDE WHICH STIPULATION WILL PROVIDE THE BEST INSTALLATION AND HIS DECISION SHALL BE FINAL.

#### COORDINATION

1. THE CONTRACTOR SHALL CONSULT THE ELECTRICAL, MECHANICAL, & PLUMBING DRAWINGS FOR LOCATION OF ROUGH OPENINGS THROUGH WALLS & FLOOR SLABS. NOTWITHSTANDING ANY TENS THAT DO NOT CONFORM WITH THE INTENT INDICATED ON THESE DRAWINGS.
2. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION OF SPECIAL CONSTRUCTION NOTATION IN THE DRAWINGS. THE CONTRACTOR SHALL VERIFY EQUIPMENT LOCATIONS WITH THE OWNER'S REPRESENTATIVE AND/OR EQUIPMENT MANUFACTURERS FOR PROPER SIZE AND LOCATION OF FOUNDATION, SLAB DEFLECTIONS, DRAINS, WARPS AND COORD. WITH ELEC. AND PLUMBING REQUIREMENTS.
3. THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S) AS MAY BE INDICATED ON THE PLANS. THE CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL) INTO THE BUILDING FRONT POINTS AS INDICATED ON THE PLANS, AND FOR SERVICE.
4. THE CONTRACTOR SHALL COMPLY WITH SAFETY RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE ENTIRE CONSTRUCTION PROCESS.
5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CASEWORK FURNISHINGS AND ALL OTHER ITEMS AS REQUIRED INCLUDING BUT NOT LIMITED TO: TOILET BARS, GRAB BARS, HANDRAILS, WINDOW TREATMENT, TELEPHONE BACKBOARDS, WATER HEATERS, AND CABINETY.
6. THE STARTING OF WORK BY ANY SUB-CONTRACTOR SHALL BE CONSIDERED EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.

#### DRAWING SYMBOLS



#### PROJECT TEAM

OWNER	ARCHITECT	STRUCTURAL
PHONE: (416) 482-5216 FAX: - CONTACT: HARRY CHRISTAKIS EMAIL: HCHRISTAKIS@HACACA.COM	WAGNER ARCHITECTURE GROUP 2124 EL CAMINO REAL, SUITE 200 OCEANSIDE, CA 92054 PHONE: (760) 729-0533 FAX: (760) 729-0530 CONTACT: CARL CHRISTIAN EMAIL: CCCHRISTIAN@WAGNERARCHITECTURE.COM	GRIMM & CHEN STRUCTURAL ENGINEERING 17500 REDHILL, SUITE 240 IRVINE, CA 92614 PHONE: (949) 284-3053 FAX: - CONTACT: JEFF Y. CHEN EMAIL: JEFFC@G-SC.COM
WALL TYPE	TOILET ACCESSORIES	FLOOR FINISH PLAN
ILLUMINATED EXIT SIGN	FURNITURE REFERENCE, SEE FFEG SCHEDULE	EXISTING ELEVATIONS
REVISION PRINTING REFERENCE	CEILING AND ROOM FINISH TAGS	EXTERIOR ELEVATIONS
DIMENSION TO FACE FINISH SURFACE OR CMU	(E)	ACCESSIBILITY DETAILS
NAME NUM.	CEILING AND ROOM FINISH TAGS	INTERIOR ELEVATIONS
DOOR REFERENCE, SEE DOOR SCHEDULE	(E)	DOOR SCHEDULES AND HARDWARE GROUPS
SITE NOTES / SIGNAGE	CONSTRUCTION NOTE	SPECIFICATIONS
ROOM NAME	CEILING AND ROOM FINISH TAGS	SPECIFICATIONS
RN	RN	RN
MAT	CEILING AND ROOM FINISH TAGS	CEILING AND ROOM FINISH TAGS
FIN	CEILING AND ROOM FINISH TAGS	CEILING AND ROOM FINISH TAGS
HT.	CEILING AND ROOM FINISH TAGS	CEILING AND ROOM FINISH TAGS
	(E)	EXISTING

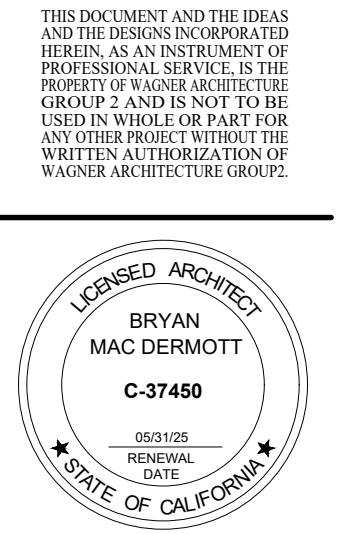
#### SHEET INDEX

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A21	FLOOR PLAN	
A23	FLOOR FINISH PLAN	
A25	FFEG PLAN	
A31	RCP	
A32	RCP DETAILS	
A41	ROOF PLAN	
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A51	EXTERIOR ELEVATIONS	
A10	ACCESSIBILITY DETAILS	
A11	INTERIOR ELEVATIONS	
A81	DOOR SCHEDULES AND HARDWARE GROUPS	
A91	SPECIFICATIONS	
A92	SPECIFICATIONS	
A93	SPECIFICATIONS	

#### PROJECT DATA

PROJECT DESCRIPTION:	PROPOSED AUTO SERVICE CENTER WITH RENOVATION TO EXTERIOR FACADE FINISHES AND INTERIOR TENANT IMPROVEMENTS.
APN:	4236-001-002
SITE INFORMATION:	PROPERTY ADDRESS: 10150 JEFFERSON BLVD, CULVER CITY, CA 90232 LEGAL DESCRIPTION: PORTION OF LOTS 3 AND 5 OF TRACT NO. 3343 IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
ZONING:	APN 4236-001-002 ZONING DESIGNATION: COMMERCIAL EXISTING USE: OFFICE WAREHOUSE PROPOSED USE: AUTOMOBILE SERVICE
SITE AREA:	PARCEL AREA (SQ. FT.) AREA (ACRES) SITE 7933 1.82

**WAGNER ARCHITECTURE GROUP**  
2124 S. El Camino Real, Suite 200  
Oceanside, CA 92054  
760.947.0511  
WagnerArchitecture.com



**BH JEFFERSON SERVICE**

10150 Jefferson Blvd, Culver City, CA

**COVER SHEET**

DATE 04/01/25  
REVISION/DESCRIPTION

PROJECT NO.

SHEET NO.

**A0.1**  
PROJECT SITE

10  
405  
VENICE BLVD.  
WASHINGTON BLVD.  
CULVER BLVD.  
BALONA CREEK  
JEFFERSON BLVD.

#### TITLE 24/ADA COMPLIANCE

- THE DESIGN STANDARDS OF TITLE 24 ANSI/ITI AND THE ADA (CURRENT EDITIONS) ARE REFERRED TO AS THESE DOCUMENTS BY REFERENCE. INCONSISTENCIES OR OMISSIONS BETWEEN THESE DOCUMENTS AND THE REFERENCED CODES SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY OF COMPLIANCE WITH THESE STANDARDS.
- PROTECTION DURING WELDING, CONFORM TO TITLE 8, CCR, FURTHER PROTECT EYES AND FACE FROM SPATTER AND SPLASH. USE A FULL FACE, SOLID VISION BARRIER AROUND LOCATION WHERE WELDING IS BEING CONDUCTED. PROVIDE SIGNS WARNING AGAINST LOOKING AT WELDING WITHOUT PROPER EYE PROTECTION OR EQUIVALENT.
- THE CONTRACTOR SHALL THOROUGHLY FLASH & SEAL AROUND ALL WALL & ROOF PENETRATIONS TO CREATE A WATERPROOF CONDITION.
- ALL PENETRATIONS INTO SOUND PARTITION FLOORS OR CEILING FLOORS SHALL BE SEALED WITH APPROVED RESILIENT ACOUSTICAL SEALANT. ELECTRICAL DEVICES, RECESSED ITEMS, ETC. SHALL BE SEALED OR LINED TO MAINTAIN THE INTEGRITY OF THE ACOUSTIC ASSEMBLY.

#### TITLE 24/ADA COMPLIANCE

- THE DESIGN STANDARDS OF TITLE 24 ANSI/ITI AND THE ADA (CURRENT EDITIONS) ARE REFERRED TO AS THESE DOCUMENTS BY REFERENCE. INCONSISTENCIES OR OMISSIONS BETWEEN THESE DOCUMENTS AND THE REFERENCED CODES SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY OF COMPLIANCE WITH THESE STANDARDS.
- THE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTION OF MATERIALS OR EQUIPMENT WITHOUT THE WRITTEN CONSENT OF THE OWNER AND THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE.
- ANY REVISION OR ADDITIONAL WORK REQUIRED TO FIELD CONDITIONS OR LOCAL GOVNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING REGARDLESS OF COST, TIME OR MATERIAL INCREASE.
- THE GENERAL CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTION OF MATERIALS OR EQUIPMENT WITHOUT THE WRITTEN CONSENT OF THE OWNER AND THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO MATERIALS & CONSTRUCTION PRIOR TO & DURING CONSTRUCTION & AFTER INSTALLATION, AS WELL AS EXISTING CONSTRUCTION ADJACENT TO THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL FINISHES & MATERIALS, FOR REPAIRING AND OR REPLACING ALL ITEMS THAT ARE DAMAGED OR SOILED DURING CONSTRUCTION AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST TO THE OWNER.
- PROTECTION DURING WELDING, CONFORM TO TITLE 8, CCR, FURTHER PROTECT EYES AND FACE FROM SPATTER AND SPLASH. USE A FULL FACE, SOLID VISION BARRIER AROUND LOCATION WHERE WELDING IS BEING CONDUCTED. PROVIDE SIGNS WARNING AGAINST LOOKING AT WELDING WITHOUT PROPER EYE PROTECTION OR EQUIVALENT.
- THE CONTRACTOR SHALL THOROUGHLY FLASH & SEAL AROUND ALL WALL & ROOF PENETRATIONS TO CREATE A WATERPROOF CONDITION.
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10  
405  
VENICE BLVD.  
WASHINGTON BLVD.  
CULVER BLVD.  
BALONA CREEK  
JEFFERSON BLVD.

**A0.1**  
PROJECT SITE

# **SERVICE CENTER**

**CADILLAC of BEVERLY HILLS**

**10200 Jefferson Blvd**

**Culver City 90232**

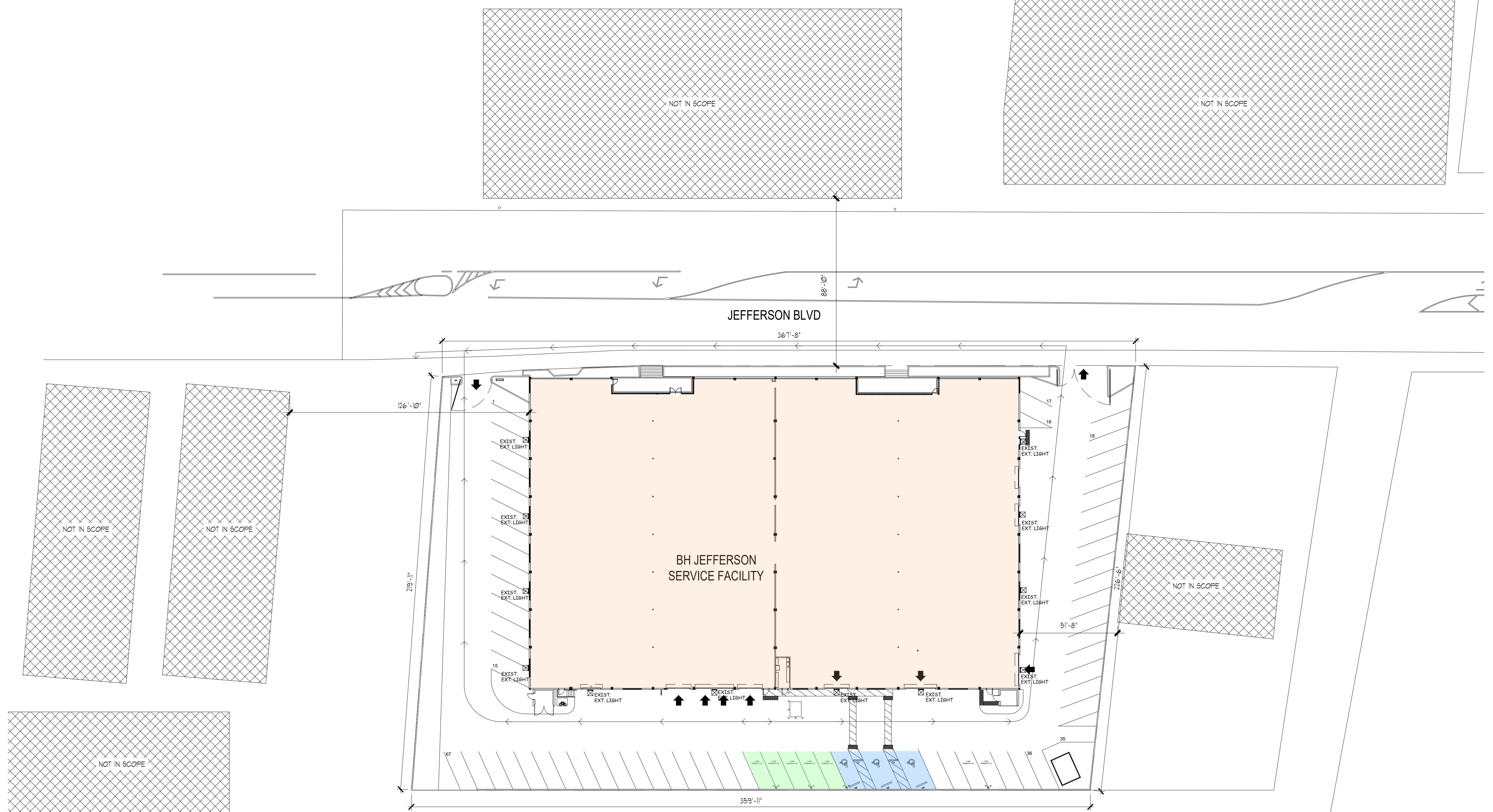


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### GENERAL SITE NOTES

1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY - ALL SITE CONDITIONS ARE EXISTING. MINOR CHANGES PROPOSED AS OUTLINED ON DRAWINGS
2. THIS DRAWING HAS BEEN DEVELOPED FROM ARCHIVE DRAWINGS PROVIDED BY THE OWNER AND MAY NOT REFLECT EXISTING FIELD CONDITIONS. LAND SURVEY OR TOPOGRAPHICAL INFORMATION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECTURE GROUP OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS
3. IF DISCREPANCIES WITH DIMENSIONS OF SITE PLAN TO FLOOR PLAN AND LOCAL ZONING ORDINANCES CANNOT BE SETTLED, NOTIFY WAGNER ARCHITECTURE GROUP PRIOR TO COMMENCING ANY WORK
4. NO RESIDENTIAL BUILDINGS WITHIN 50' OF PROPERTY LINE OF THE SITE



OVERALL SITE PLAN  
SCALE: 1" = 30'-0"

1  
A1.0

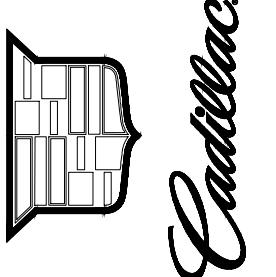
### LEGEND

AREA NOT IN SCOPE - REFERENCE ONLY

**A1.0**

**BH JEFFERSON SERVICE**

10150 Jefferson Blvd, Culver City, CA



SHEET TITLE

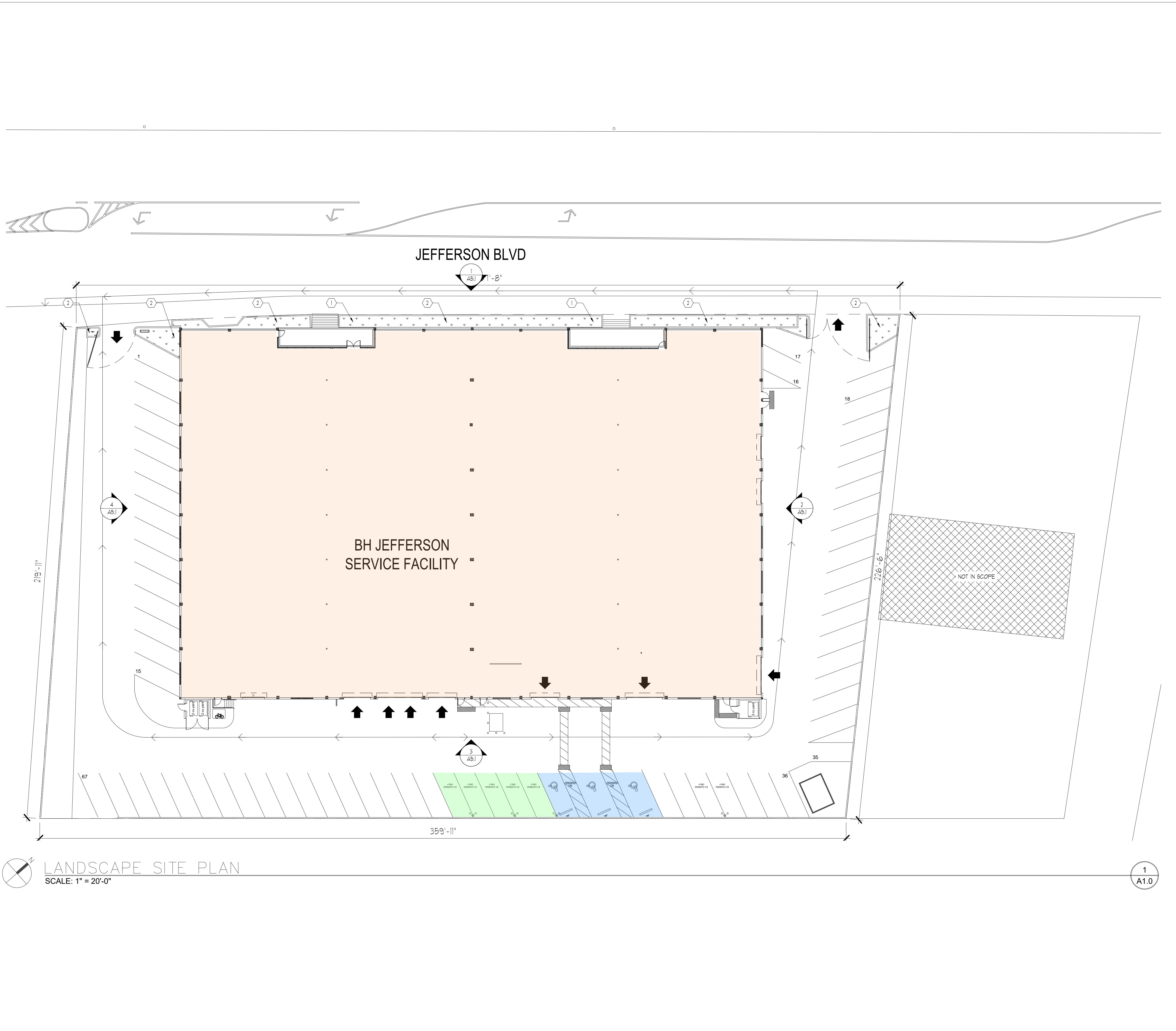
OVERALL  
SITE  
PLAN

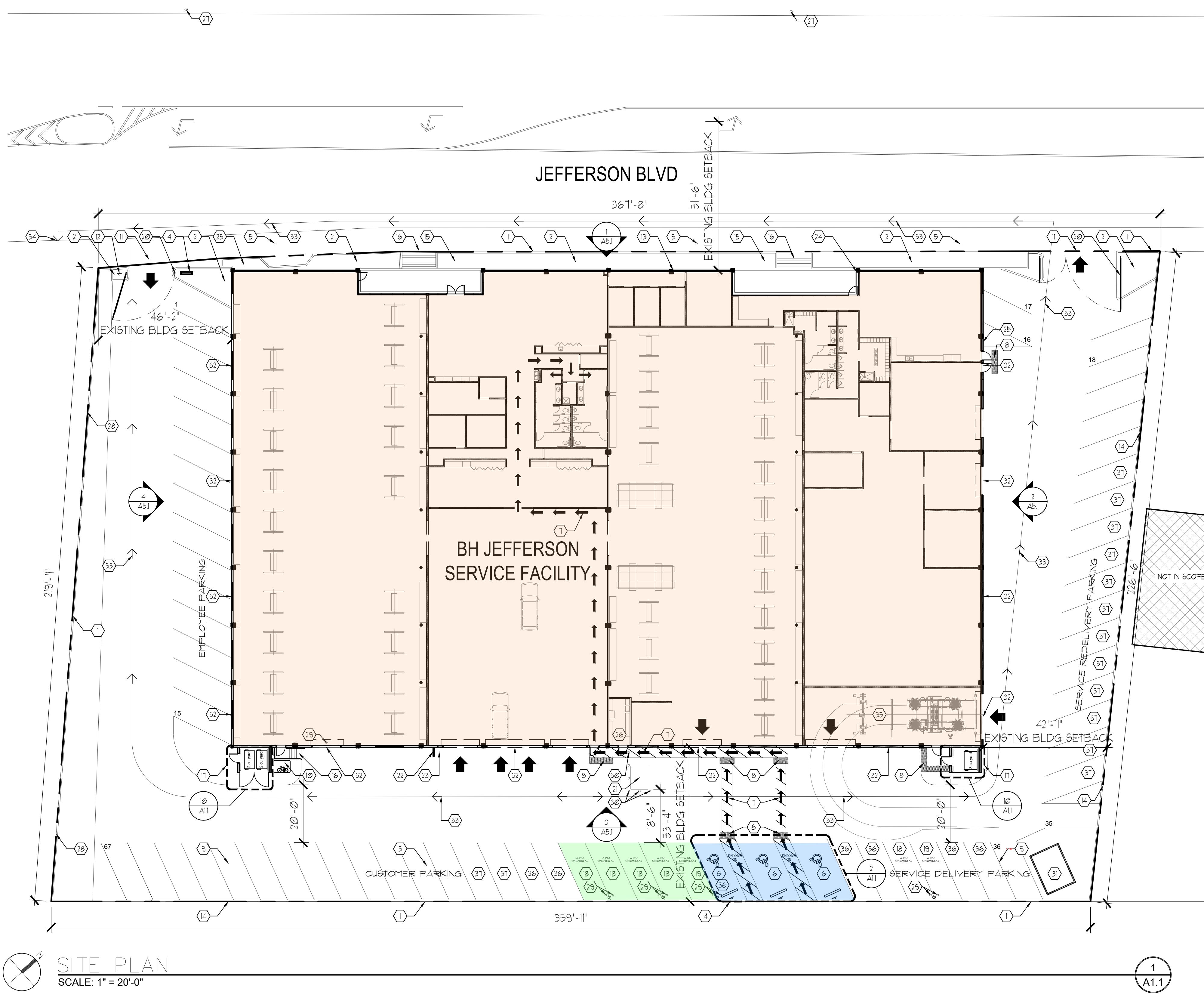
DATE 04/01/25

REVISION/ DESCRIPTION

PROJECT NO.

SHEET NO.





## GENERAL SITE NOTES

1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY - ALL SITE CONDITIONS ARE EXISTING, MINOR CHANGES PROPOSED AS OUTLINED ON DRAWINGS
  2. THIS DRAWING HAS BEEN DEVELOPED FROM ARCHIVE DRAWINGS PROVIDED BY THE OWNER AND MAY NOT REFLECT EXISTING FIELD CONDITIONS, LAND SURVEY OR TOPOGRAPHICAL INFORMATION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS.
  3. IF DISCREPANCIES WITH DIMENSIONS OF SITE PLAN TO FLOOR PLAN AND LOCAL ZONING ORDINANCES CANNOT BE MET, NOTIFY WAGNER ARCHITECTURE GROUP PRIOR TO COMMENCING ANY WORK.
  4. NO RESIDENTIAL BUILDINGS WITHIN 50' OF PROPERTY LINE OF THE SITE
  5. LIMITED FUEL LOAD: INTERNAL COMBUSTION VEHICLES WILL HAVE MINIMAL FUEL AND ELECTRIC VEHICLES WILL BE MAINTAINED BELOW 50% CHARGE, SIGNIFICANTLY REDUCING POTENTIAL FIRE INTENSITY

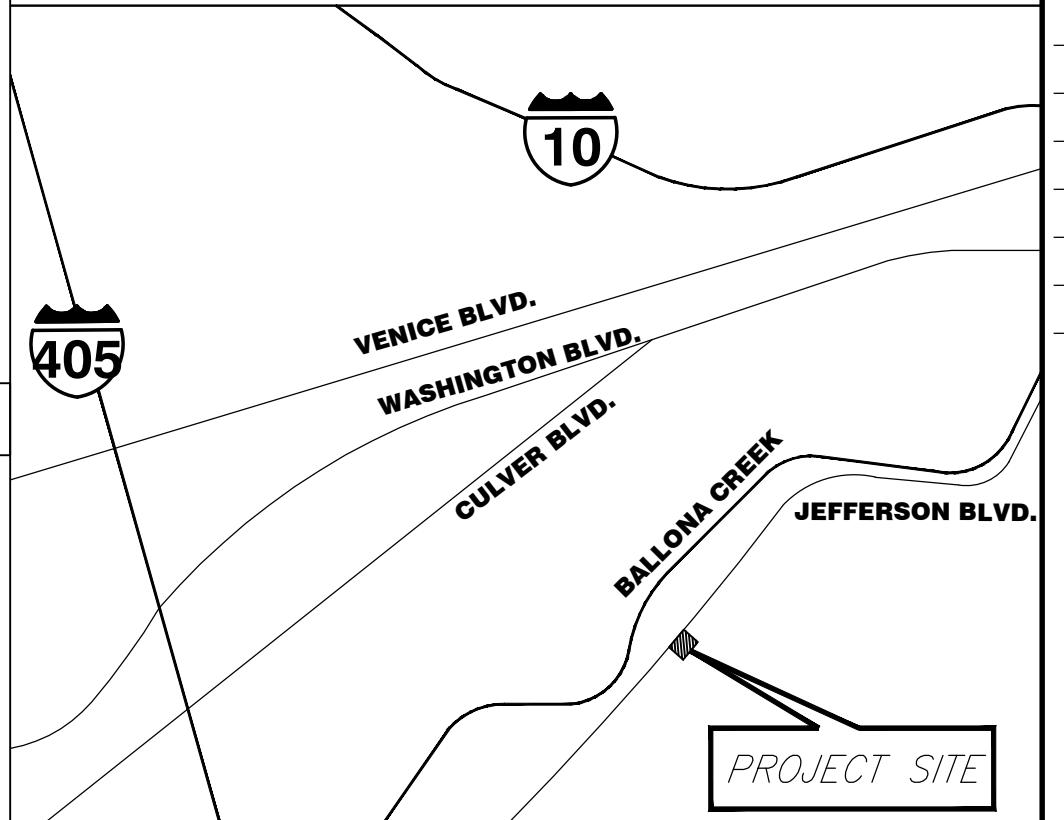
## PROJECT DATA

<u>PROJECT DESCRIPTION:</u>			
PROPOSED AUTO SERVICE CENTER WITH RENOVATION TO EXTERIOR FACADE FINISHES AND INTERIOR TENANT IMPROVEMENTS.			
<u>APN:</u>			
4296-001-002			
<u>SITE INFORMATION:</u>			
PROPERTY ADDRESS:		10150 JEFFERSON BLVD, CULVER CITY, CA, 90232	
LEGAL DESCRIPTION:		PORTION OF LOTS 3 AND 5 OF TRACT NO. 3343 IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA	
<u>ZONING:</u>			
APN		4296-001-002	
ZONING DESIGNATION		COMMERCIAL	
EXISTING USE:		OFFICE WAREHOUSE	
PROPOSED USE:		AUTOMOBILE SERVICE	
<u>SITE AREA:</u>			
PARCEL		AREA (SQ. FT.)	AREA (ACRES)
SITE		79133	1.82
<u>BUILDING AREA CALCULATIONS:</u>			
EXISTING BUILDING AREA		42,333 SQ. FT. (53.5%)	
<u>BUILDING CODE DATA LEGEND - BUILDING INFORMATION</u>			
OCCUPANCY TYPE:		B, S-1	
DESCRIPTION OF USE		AUTOMOBILE SERVICE CENTER	
TYPE OF CONSTRUCTION:		Y-B	
SPRINKLERS:		YES	
NUMBER OF STORIES:		ONE STORY	
HEIGHT:		20'-3"	
OCCUPANT LOAD		-	
<u>LOT COVERAGE: (EXISTING, NO CHANGES)</u>			
PER CMC 2104.061	AREA (SQ. FT.)	LOT (SQ. FT.)	RATIO
BUILDING FLOOR AREA	42333	79133	0.53 F.A.R
<u>PARKING TABULATION</u>			
EXISTING PARKING SPACES PROVIDED	61		
	REQUIRED	PROVIDED	
ADA	3	3 (STANDARD)	
EV STALLS	1	1	
EV READY	1	1	
EV CAPABLE	14	14	
SECTION 17.320.035	NON-RESIDENTIAL USES A. QUANTITY OF EV CAPABLE: 20% OF THE PARKING SPACES PROVIDED B. QUANTITY OF EV READY: 10% OF THE PARKING SPACES PROVIDED C. QUANTITY OF FULL EV CHARGER/CHARGING STATION: 10% OF THE PARKING SPACES PROVIDED		
EV READY	CIRCUIT INSTALLED WITH WIRING IN PLACE BUT NO EQUIPMENT		
EV CAPABLE	CONDUIT INSTALLED BUT NO WIRING OR EQUIPMENT		

# BH JEFFERSON SERVICE

10150 Jefferson Blvd Culver City CA

## VICINITY MAP



## LEGEND

 AREA NOT IN SCOPE. - REFERENCE ONLY

← ← ← ACCESSIBLE PATH OF TRAVEL  
PER SECTION 11B-403.3 SLOPE. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48

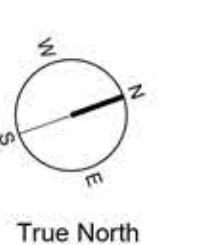
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## CADILLAC SERVICE CENTER

10200 Jefferson Blvd, Culver City 90232



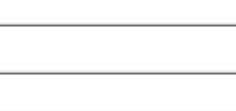
True North

SHEET TITLE

EXTERIOR ELEVATIONS

DATE

REVISION/DESCRIPTION



DEALERNAME

SHEET NO.

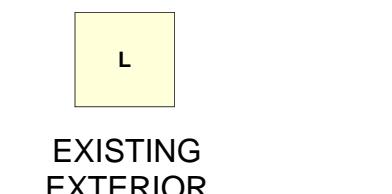
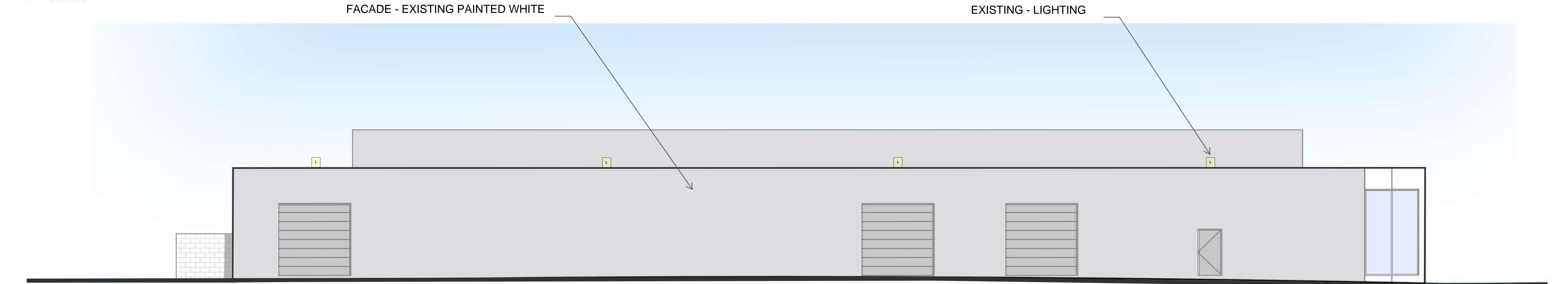
A2.1



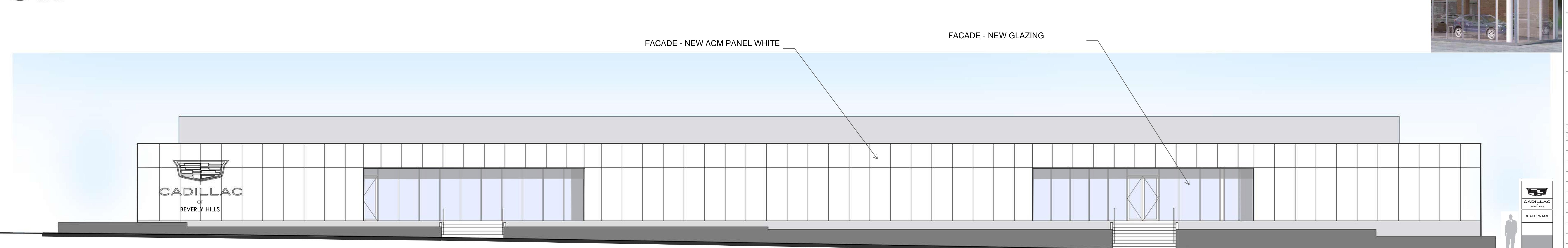
01 EAST ELEVATION  
1/16" = 1'-0"



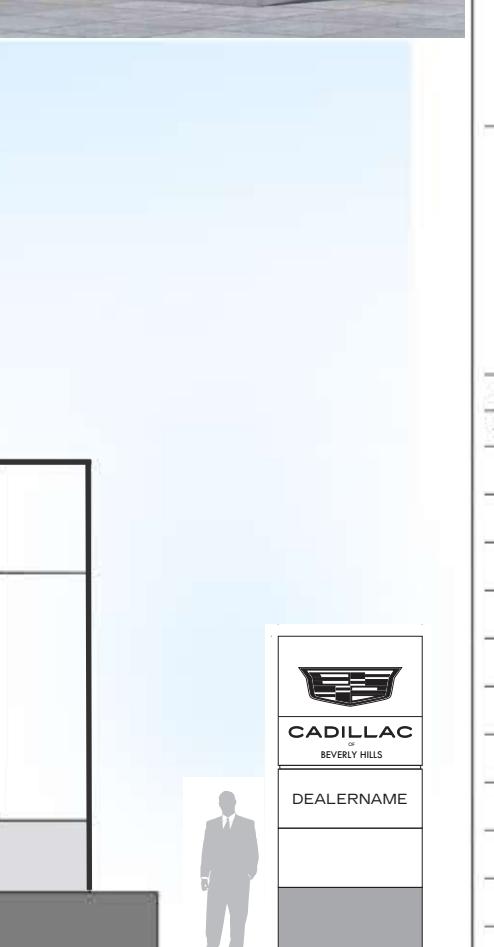
02 SOUTH ELEVATION  
1/16" = 1'-0"

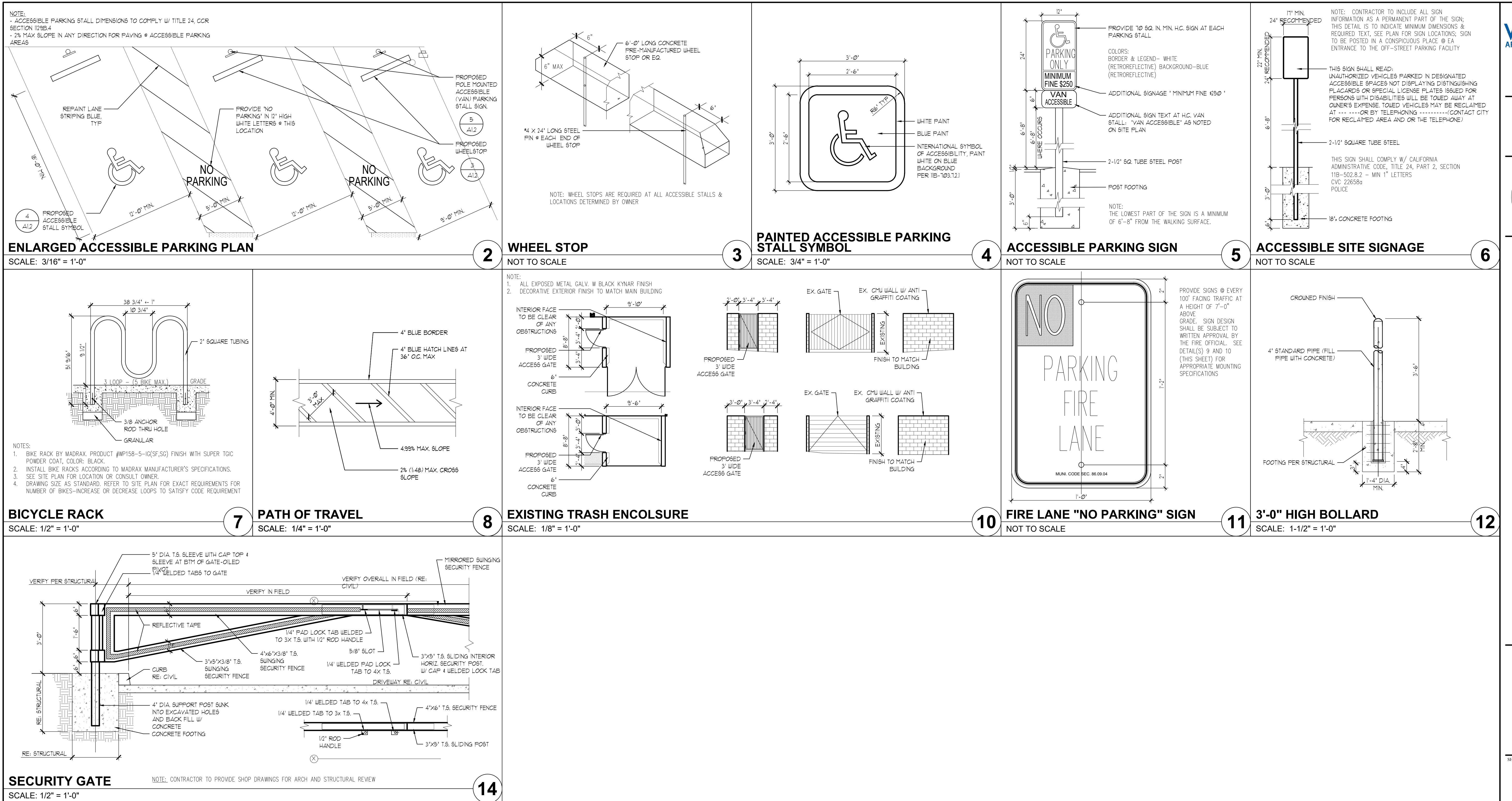


03 NORTH ELEVATION  
1/16" = 1'-0"



04 WEST ELEVATION  
1/16" = 1'-0"

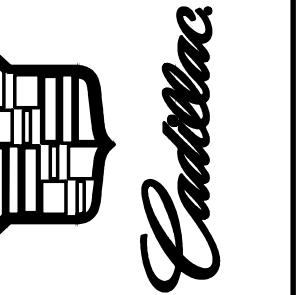






## BH JEFFERSON SERVICE

10150 Jefferson Blvd, Culver City, CA



SHEET TITLE

## DEMOLITION PLAN

DATE 04/01/25

REVISION/DESCRIPTION

PROJECT NO.

SHEET NO.

A2.0

## GENERAL DEMO NOTES

1. DEMO NOTES ARE GENERAL CONTRACTOR TO REVIEW WITH OWNER FOR FINAL DEMOLITION EVALUATION. ADDITIONAL DEMOLITION MAY BE REQUIRED TO FINALIZE WORK. CONTACT ARCHITECT TO REVIEW PRIOR TO START. RE: MEPC, CIVIL STRUCTURAL FOR COORDINATION.
2. NEITHER OWNER OR DESIGN TEAM HAVE HAD TESTING OF HAZARDOUS MATERIALS ON SITE OR WITHIN STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PERFORM SUCH TESTING AND TO PERFORM ALL DEMOLITION ACTIVITIES IN ACCORDANCE WITH LOCAL REQUIREMENTS, ESPECIALLY WHEN HAZARDOUS MATERIALS ARE KNOWN TO EXIST.
3. REMOVE ADDITIONAL AREAS AS REQUIRED BY ARCHITECTURAL, STRUCTURAL AND FF/E CONSTRUCTION DRAWINGS. COORDINATE REQUIRED CLEANING OF EXISTING FINISH MATERIALS.
4. REFER TO ALL SITE PLAN FOR ADDITIONAL INFORMATION ON EXTERIOR AND SITE DEMOLITION WORK.

## BUILDING DEMOLITION NOTES

1. THIS DRAWING HAS BEEN DEVELOPED FROM ARCHIVE DRAWINGS PROVIDED BY THE OWNER. NOT ALL EXISTING CONDITIONS ARE SHOWN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY WORK DESCRIBED IN THE CONTRACT DOCUMENTS WHICH CANNOT BE PERFORMED DUE TO EXISTING BUILDING CONDITIONS.
3. THE CONTRACTOR SHALL MEET WITH THE OWNER'S AUTHORIZED REPRESENTATIVE WELL IN ADVANCE OF DEMOLITION COMMENCEMENT TO: A. SCHEDULE SEQUENCE AND COORDINATE ALL WORK TO MAINTAIN EXITS AND EGGS WIDTHS REQUIRED BY CODES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL SHORE AND BRACE EXISTING STRUCTURE AS REQUIRED. THE DESIGN ADEQUACY AND SAFETY OF ERECTION OF THIS SHORING AND BRACING AND ANY OTHER TEMPORARY STRUCTURE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
5. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. IF EXISTING FIREPROOFING OR FIRE ASSEMBLIES TO REMAIN ARE DAMAGED DURING DEMO, THEY SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.
7. REMOVE EXISTING CONSTRUCTION AS SHOWN TYPICAL ENTRY CURTAIN WALLS, REMOVE EXISTING FINISHED DOORS, DOOR FRAMES, WINDOWS AND WINDOW FRAMES, CASEWORK AND FIXTURES AS REQUIRED. REPAIR HOLES IN FLOORS OR EXISTING WALLS.
8. DEMOLITION OF THE WORK SHALL BE EXECUTED IN CONFORMANCE WITH APPLICABLE BUILDING CODES AND REGULATIONS.
9. CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY. NOTIFY STRUCTURAL ENGINEER OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION.
10. THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERINGS FOR MATERIAL AND FINISHES.
11. IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS OR ANY SUBCONTRACTOR'S WORK.
12. USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, TO CUSTOMERS AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
13. IN THE EVENT OF DEMOLITION OF ITEMS NOT SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
14. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK.
15. DEMOLISHED MATERIAL NOT OTHERWISE DESIGNATED BY THE OWNER'S REPRESENTATIVE SHALL BE CONSIDERED PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE AND DISPOSED OF IN A LAWFUL MANNER.
16. ALL SHEETS TO BE REVIEWED TO COMPLETE FINAL DESIGN SCOPE. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL DEMO AS IT RELATES TO THE COMPLETE FINISHED PRODUCT.
17. PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY THIS CHAPTER. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC. CBC 3306.1 WHERE OCCURS. PEDESTRIAN PROTECTION CONSTRUCTED WITHIN A PUBLIC RIGHT OF WAY SHALL BE PROVIDED BY THE OWNER. PEDESTRIAN PROTECTION CONSTRUCTED WITHIN A SEPARATE RIGHT OF WAY BY THE BUILDER SHALL BE PROVIDED BY A SEPARATE AGENCY FROM THE CITY'S PUBLIC WORKS AGENCY PROVIDING FEATURES SUCH AS SITE FENCING AND BARRIER (CBC 3306). SANITATION (CBC 3305). CONTRACTOR SHALL PROVIDE.

## KEY DEMO FLOOR NOTES

1. EXISTING COLUMN TO STAY IN PLACE
2. EXTERIOR WALL TO STAY IN PLACE, PATCH AND REPAIR AS NEEDED

## SELECTIVE DEMOLITION KEYNOTES

NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET.

## GENERAL:

- 1.1 REMOVE ALL EXISTING FURNITURE AND DEMOLISH ALL EXISTING FIXTURES IN PROPOSED AREAS
- 1.2 REMOVE EXISTING ENTRY ELEMENT FRAMING AND FINISH MATERIAL TO BE DISPOSED
- 1.3 REMOVE EXISTING STAIRCASE FRAMING AND FINISH MATERIAL TO BE DISPOSED
- 1.4 REMOVE EXISTING PLUMBING FIXTURES AND DISPOSE AND REPLACE

## WALLS AND FLOORS:

- 2.1 REMOVE INDICATED WALLS, BASE, FINISHES, CAP, ETC., AND DISPOSE OF REMOVED MATERIALS. PROTECT ADJACENT STRUCTURE AND REPAIR DAMAGED SURFACES TO NEW CONDITION.
- 2.2 REMOVE FLOORING MATERIALS THROUGHOUT SHOWROOM/OFFICES AND LEVEL SURFACE WHERE NEEDED. REPLACE WITH NEW FINISHES.
- 2.3 REMOVE INDICATED MILLWORK AND DISPOSE OF MATERIALS
- 2.4 REMOVE INDICATED COLUMN FINISH ONLY & PROTECT IN PLACE

## DOORS AND WINDOWS:

- 3.1 REMOVE INDICATED DOORS AND DISPOSE OF MATERIALS
- 3.2 DEMO GLAZING
- 3.3 REMOVE EXISTING EXTERIOR STOREFRONT

## CEILINGS AND SOFFITS:

- 4.1 REMOVE CEILING MATERIAL IN AREAS AND DISPOSE OF MATERIALS

## PIPE &amp; FIRE:

- 5.1 REMOVE LIGHT FIXTURES, HVAC DEVICES AND ALL OTHER CEILING MOUNTED EQUIPMENT IN AREAS OF REVISED CEILING AND DISPOSE OF MATERIALS AS REQ.

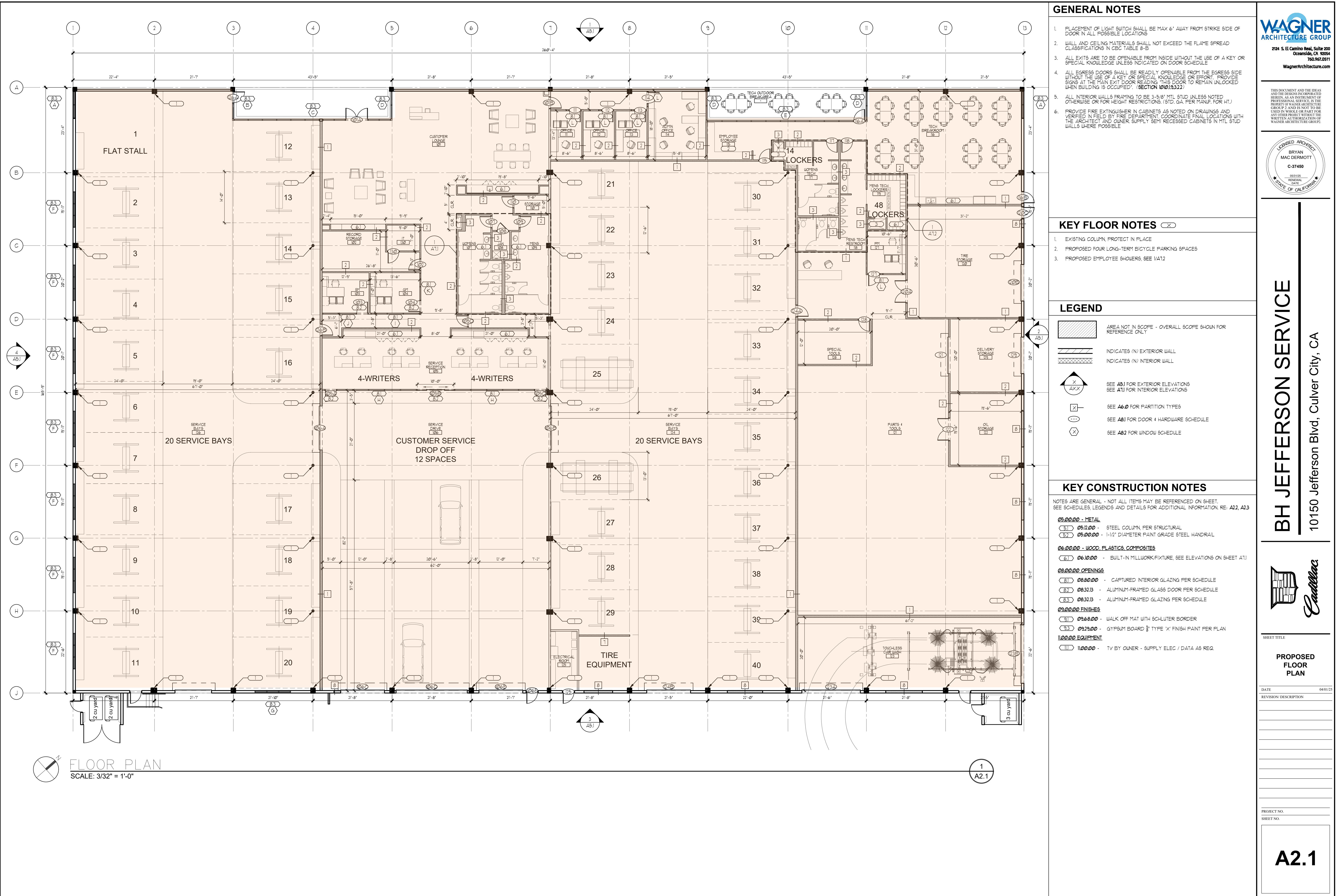
## LEGEND

CONTRACTOR TO REVIEW PROPOSED OVERALL CONSTRUCTION DOCUMENTS AND ADD ANY ADDITIONAL ITEMS NOT SHOWN ON THIS PLAN AND COORDINATE WITH SUB ALL ITEMS NOT SHOWN ON THIS DOCUMENTS SUB CONTRACTOR TO DO FINAL WALK THROUGH AT SITE WITH CONTRACTOR AND ANY ADDITIONAL ITEMS TO BE SENT TO ARCHITECT AND OWNER'S REP PRIOR TO FINAL BID

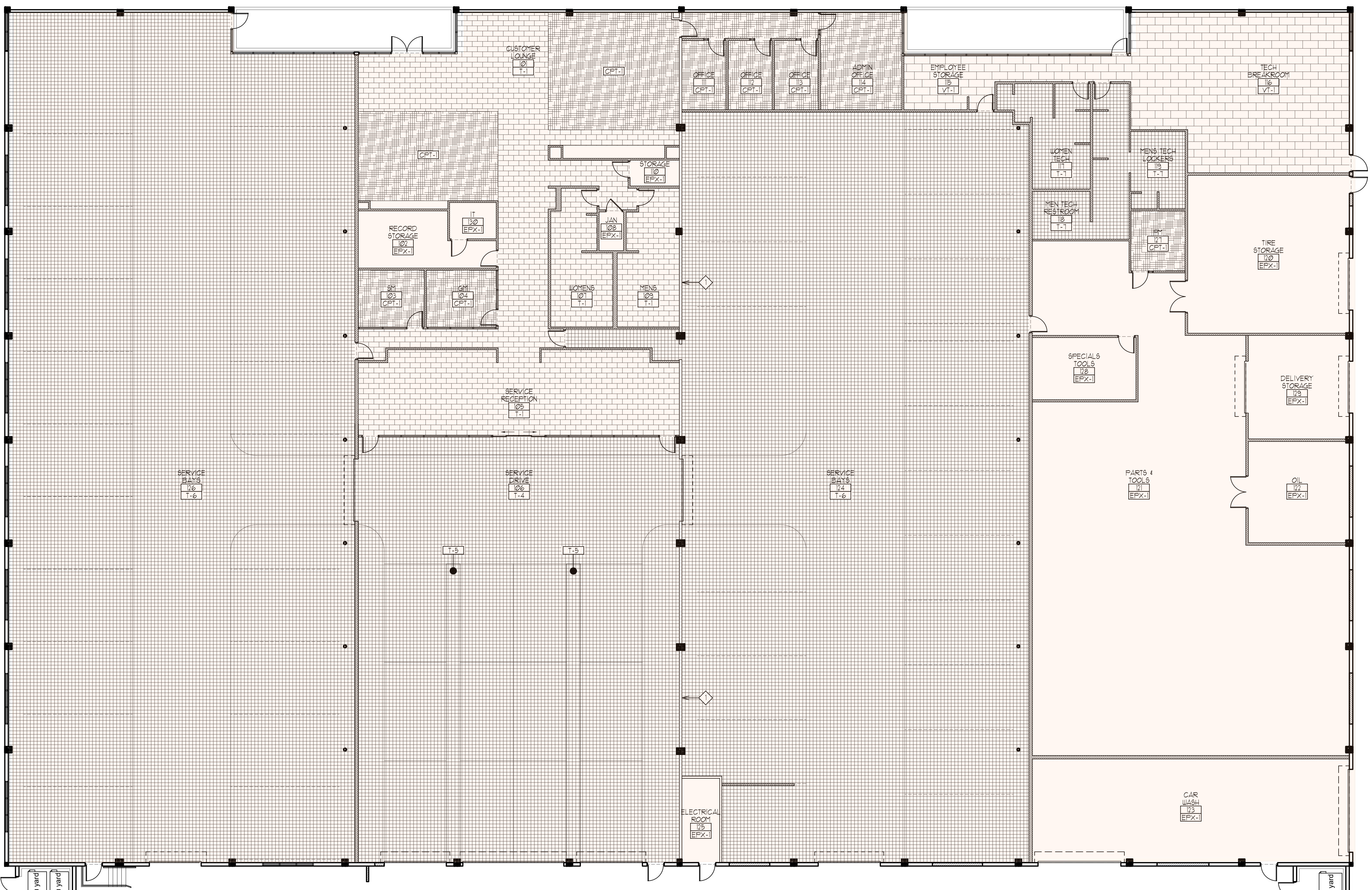
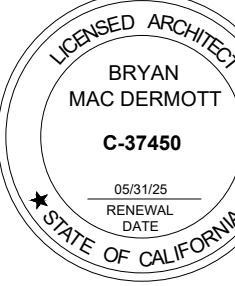
- |  |                              |
|--|------------------------------|
|  | AREA NOT IN DEMOLITION SCOPE |
|  | WALL DEMOLITION SCOPE        |
|  | CEILING DEMOLITION SCOPE     |



1 A2.0



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WAGNER ARCHITECTURE GROUP.



## FLOOR PLAN GENERAL NOTES

- SEE DEMO PLANS FOR AREAS OF EXISTING WALL COVERINGS TO BE REMOVED.
- ALL FINISHES TO BE COORDINATED IN A TIMELY MANNER PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR MUST REVIEW ALL DRAWINGS TO DETERMINE THE EXTENT OF THE WORK REQUIRED WHICH MAY OR MAY NOT BE SHOWN ON THIS SHEET.
- SEE ACCESSIBILITY NOTES AND DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS.
- REFER TO ANSI REQUIREMENTS FOR CERAMIC TILE INSTALLATIONS ANSI A108.02 SECTION 4.3.8 REGARDING GROUT JOINT SIZE PARTICULARLY IN RELATION TO THE TILE SIZE, DIMENSIONAL PRECISION & OFF-SET PATTERN. SEE SECTION 4.3.8.2 FOR RUNNING BOND/BRICK JOINT OFFSET.
- COORDINATE TILE LAYOUT WITH OWNER/ARCHITECT. CENTER TILE OR GROUT JOINTS AT MAIN DOORS AND HALLWAYS. JOINTS AT BORDER TILE TO ALIGN W/ JOINTS AT FIELD TILE AS INDICATED. CONTRACTOR TO NOTIFY ARCHITECT/OWNER OF DEVIATIONS IN TILE LAYOUT THAT PROHIBITS ALIGNING OF JOINTS.
- ALL EXPOSED PIPELINE TO BE PAINTED PER SCHEDULE & TOUCHED UP @ END OF PROJECT FOR FINAL APPROVAL.
- ALL HVAC AND ELECTRICAL CONDUIT IN EXPOSED CEILING TO BE PAINTED TO MATCH CEILING PAINT PER FINISH SCHEDULE-TOUCHED UP @ END OF PROJECT FOR FINAL APPROVAL.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL BASE PER SCHEDULE AT ALL OWNER SUPPLIED MILLWORK.
- USE 1/8" GROUT LINES UNLESS NOTED OTHERWISE.
- PROVIDE REGULAR SANDED GROUT PER PLAN-AVOID THE USE OF EPOXY GROUT. GROUT SHOULD BE SEALED AT INSTALLATION WITH A NON-OIL PRODUCT. CONTRACTOR TO PROVIDED GROUT SAMPLES FOR APPROVAL.
- PROVIDE SCHLUTER TRANSITION STRIPS AT CHANGES OF FLOOR MATERIALS UNO - COORDINATE WITH ARCHITECT PRIOR TO INSTALLATION. REFER TO FINISH SCHEDULE FOR APPROPRIATE SELECTION AT ALL FLOORING CHANGES.
- WALL TILE TO BE PLACED PRIOR TO CEILING INSTALLATION IN RESTROOMS.
- PROVIDE ACOUSTICAL BATT INSULATION AT PARTITION WALLS FOR RESTROOMS, LOCKER ROOMS, CONFERENCE ROOM AND GENERAL MANAGER OFFICES, TYP.
- CONFIRM ADDITIONAL LOCATIONS W/ OWNER.
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD BEHIND WALL TILES.
- ALL PERIMETER WALLS AND FRONT OF HOUSE AREAS TO BE LEVEL 5 FINISH (NON-CUSTOMER CONTACT AREAS (BACK OF HOUSE) TO BE LEVEL 4 FINISH).
- PROTECT DRYWALL CORNERS WITH THIN 125" X 125" CORNER GUARDS THAT ADHERE WITH PROVIDED DOUBLE SIDED TAPE. CORNER GUARDS ARE TO GO FROM TOP OF BASE TO CEILING BULKHEAD OR CHAIR RAIL. CORNER GUARD TO BE W3 SERIES BY 'WALLPROTEX'. COLOR TO BE WHITE (OR WHERE COLOR OF WALL IS NOT WHITE, THEN PAINT TO MATCH COLOR OF WALL).
- PROVIDE TWO COATS OF PAINT MIN. FOR A SMOOTH CONTIGUOUS COLOR - ADDITIONAL COATS MAYBE REQUIRED TO MEET REQUIRED PAINT COLOR.
- PREPARE WALLS AS APPROPRIATE TO ENSURE A SMOOTH FINISHED SURFACE.

## KEY FINISH NOTES

- ◊ EXISTING INTERIOR WALLS, COLUMNS AND BEAMS TO BE PAINTED P-I, TYP. UNO
- ◊ REFER TO A2.4 FOR INTERIOR WALL FINISHES

## FINISH LEGEND

	AREA NOT IN SCOPE - SHOWN FOR REFERENCE ONLY
	WALL FINISH CALL OUT. REFER TO A2.1 & A1.
	FLOOR FINISH CALL OUT. REFER TO FINISH SCHEDULES A2.1

## BH JEFFERSON SERVICE

10150 Jefferson Blvd, Culver City, CA



SHEET TITLE

## FLOOR FINISH PLAN

DATE 04/01/25

REVISION / DESCRIPTION

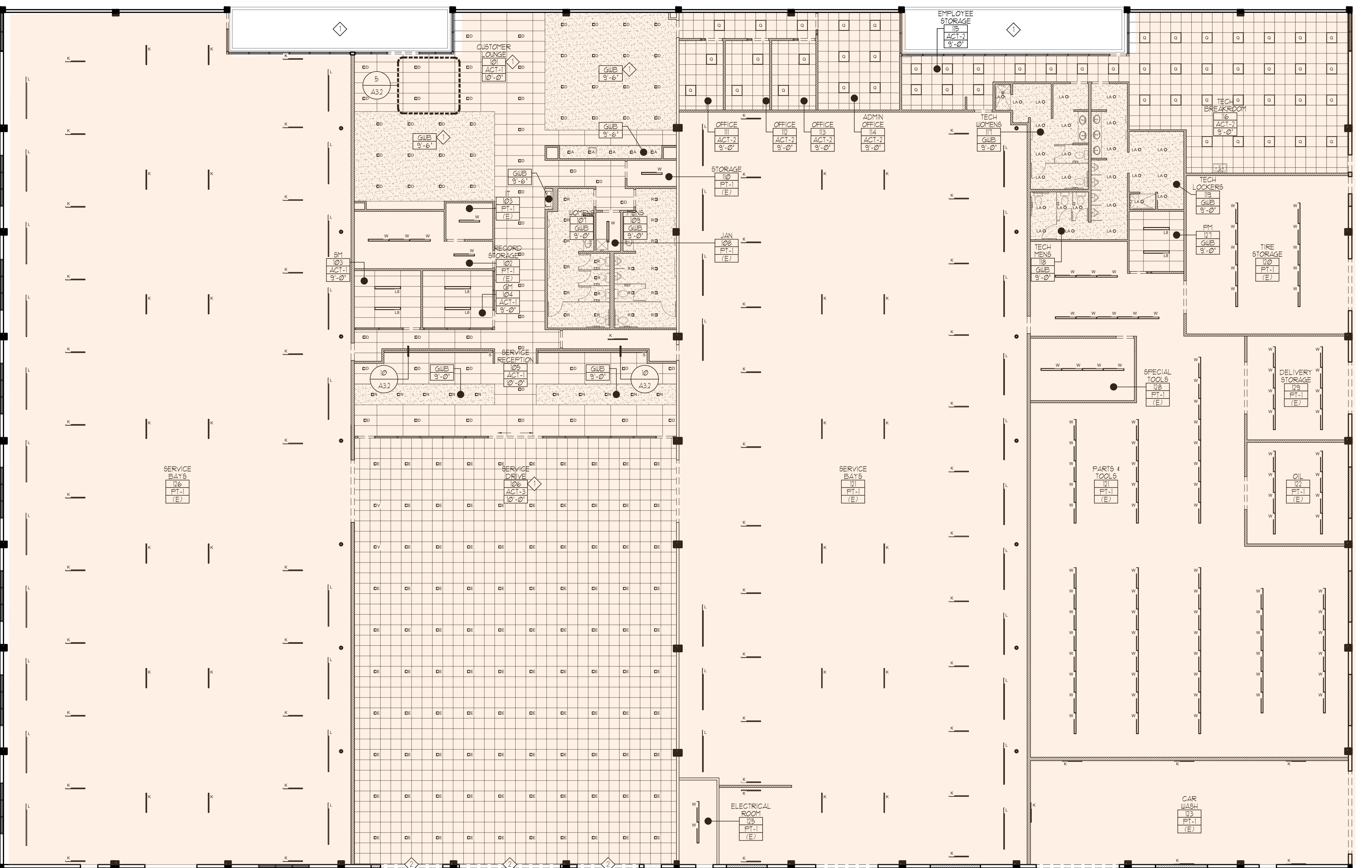
PROJECT NO.

Sheet No.

A2.3

# BH JEFFERSON SERVICE

10150 Jefferson Blvd, Culver City, CA



REFLECTED CEILING PLAN  
SCALE: 3/32" = 1'-0"

## GENERAL NOTES

1. REFER TO A24 FOR CEILING FINISH SCHEDULE
2. PLACEMENT OF LIGHT SWITCH SHALL BE MAX 6' AWAY FROM STRIKE SIDE OF DOOR IN ALL POSSIBLE LOCATIONS
3. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE B-8-B
4. ALL EXITS ARE TO BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE UNLESS INDICATED ON DOOR SCHEDULE
5. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. PROVIDE SIGNS AT THE MAIN EXIT DOOR READING THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING OCCUPIED. (SECTION 02019.32)
6. ALL INTERIOR WALLS FRAMING TO BE 3-5/8" MTL STUD UNLESS NOTED OTHERWISE OR FOR HEIGHT RESTRICTIONS (STD. GA PER MANUF. FOR HT.)
7. PROVIDE FIRE EXTINGUISHER IN CABINETS AS NOTED ON DRAWINGS AND VERIFIED IN FIELD BY FIRE DEPARTMENT. COORDINATE FINAL LOCATIONS WITH THE ARCHITECT AND OWNER. SUPPLY SEMI RECESSED CABINETS IN MTL STUD WALLS WHERE POSSIBLE
8. SITE POWER TO BE UPGRADED BASED ON ELEC EV UPGRADE REQUIREMENTS
9. CONTRACTOR TO SUPPLY COST FOR RE-ROOFING BUILDING W/ SINGLE PLY ROOFING

## CEILING NOTES

1. THE LIGHTING LAYOUT SHOWN IS BASED ON CADILLAC'S DESIGN INTENT DOCUMENT. LIGHTING QUANTITY AND FINAL LAYOUT SHALL BE PER ELECTRICAL DESIGN CONSULTANT AND COORDINATED WITH ARCHITECT AND OWNER TO VERIFY APPROPRIATE LIGHTING LEVELS AND ENERGY CODES REQUIREMENTS ELECTRICAL TO PROVIDE PHOTOMETRIC FOR OWNER APPROVAL.
2. THE LIGHTING FIXTURE SCHEDULE IS BASED ON CADILLAC'S DESIGN INTENT DOCUMENT. CONTRACTOR TO CONFIRM LIGHTING FIXTURES AND SUBSTITUTIONS TO BE SUBMITTED TO CADILLAC BRAND ARCHITECT FOR APPROVAL. CONTRACTOR TO SUPPLY INFORMATION AS REQUIRED TO SUB-CONTRACTOR FOR USE.
3. REFER TO ARCHITECTURAL FOR LOCATION OF LIGHTING. SEE ELECTRICAL PLAN FOR SPECIFICATION.
4. REFER TO ARCHITECTURAL FOR LOCATION OF REGISTER. SEE MECHANICAL PLAN FOR SPECIFICATION. (WHEN SHOWN)
5. SPECIALTY LIGHTING COORD. ELECTRICAL AND ATTACHMENT PER MANUF. SPECIFICATIONS
6. ALL CEILING GRID CENTERED IN ROOM UNO-MUST BE COORD. WITH OWNER'S REP PRIOR TO INSTALLATION.
7. ALL LIGHTS CENTERED IN CEILING TILE UNO - MUST BE COORD. WITH OWNERS REP PRIOR TO INSTALLATION.
8. WHEN REQUIRED TO INSTALL STROBE LIGHTS - LOCATE BETWEEN 20'-96" AFF. OR 6' MIN. BELOW THE CEILING, WHICHEVER IS LOWER.
9. CEILING HEIGHT VARIES TO UNDERIDE OF ROOF STRUT. RE: SECTIONS
10. SUSPENDED CEILINGS SHALL COMPLY WITH ASTM C635 AND ASTM C636 PER CBC SECTION 2023.3.1
11. CONTRACTOR TO PROVIDE FIRE SPRINKLER SHOP DRAWINGS FOR REVIEW BY ARCHITECT PRIOR TO FINAL APPROVAL.
12. SPRINKLER HEADS AND SPRINKLER LINES MUST WORK WITHIN THE DESIGNED CEILING AND CEILING HEIGHTS AND MUST BE COORDINATED WITH MECHANICAL, ELECTRICAL, STRUCTURAL, AND GLAZING NOT TO CONFLICT WITH SAID SYSTEMS AND NOT TO HINDER THE ABILITY OF CONTRACTOR TO ERECT. CONTRACTOR TO CALL OUT THE SPRINKLER PLACEMENT PRIOR TO INSTALLATION. ADDITIONAL HEADS MAY BE REQUIRED FOR ALIGNMENT BEYOND CODE MINIMUMS. CONTRACTOR TO WORK WITH OWNER/ARCHITECT ON FINAL DESIGN PRIOR TO SUBMITTAL TO CITY.
13. FRONT OF HOUSE/CUSTOMER CONTACT AREAS TO HAVE CONCEALED ESCUTCHEON COVER PLATE THAT MATCH CEILING FINISH-ARCHITECT OR OWNER'S REP TO REVIEW PRIOR TO INSTALLATION-BACK OF HOUSE TO BE CONFIRMED WITH OWNER/ARCHITECT ON ESCUTCHEON PRIOR TO BID.
14. EXTERIOR EXPOSED SOFFITS TO RECEIVE 5/8" DENGlass SHEATHING EXTERIOR GYP OR APPROVED EQUAL WHERE SHOWN.
15. RIGID HVAC DUCTS IN OPEN AREAS TO BE PAINTED TO MATCH CEILING REGISTERS IN THE SAME AREA TO MATCH WALL FINISH OR AT A MIN FINISHED WHITE.
16. CONTRACTOR TO INCLUDE ADDITIONAL WALL FRAMING AND FINISHES AS REQUIRED TO MEET NEW CEILING HEIGHTS.
17. CONTRACTOR TO NOTIFY ARCHITECT OF ANY MODIFICATIONS TO CEILING HEIGHTS ADJUSTED DUE TO EXISTING FRAMING ABOVE AND/OR UTILITIES THAT CAN'T BE RELOCATED.

## BRAND NOTES

1. EXISTING STRUCTURE AND UTILITIES LIMITED BRAND REQUIRED CEILING HEIGHTS. CONTRACTOR TO VERIFY ABOVE CEILING SYSTEM DURING CONSTRUCTION AND COORDINATE WITH OWNER/ARCHITECT IF ADDITIONAL HEIGHTS CAN BE ACHIEVED.

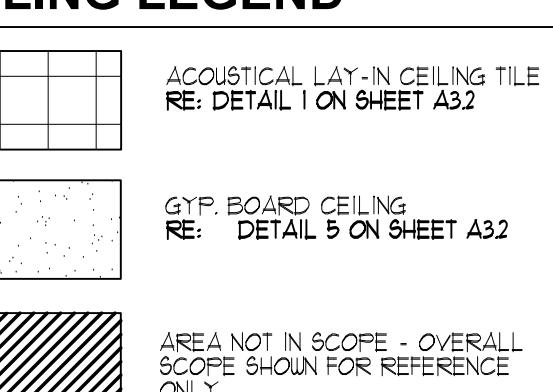
## KEY NOTES

- ◆ CONTRACTOR TO CONFIRM EXISTING STRUCTURE ABOVE AND COORDINATE WITH ARCHITECT FINAL CEILING HEIGHTS.  
◆ CONTRACTOR TO CONFIRM WITH OWNER AND VENDER FOR ENTRY PORTAL SOFFIT FINISH

SHEET TITLE

## REFLECTED CEILING PLAN

DATE 04/01/25  
REVISION/DESCRIPTION



ACOUSTICAL LAY-IN CEILING TILE  
RE: DETAIL 5 ON SHEET A32

GYP. BOARD CEILING  
RE: DETAIL 5 ON SHEET A32

AREA NOT IN SCOPE - OVERALL  
SCOPE SHOWN FOR REFERENCE  
ONLY

A3.1





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## GENERAL DEMO NOTES

1. DEMO NOTES ARE GENERAL CONTRACTOR TO REVIEW WITH OWNER FOR FINAL DEMOLITION EVALUATION. ADDITIONAL DEMOLITION MAY BE REQUIRED TO REMOVE EXISTING CONCRETE. CONTRACTOR TO REVIEW PRIOR TO START. RE: IPE, CIVIL AND STRUCTURAL FOR COORDINATION.
2. NEITHER OWNER OR DESIGN TEAM HAVE HAD TESTING OF HAZARDOUS MATERIALS ON SITE. OWNER IS RESPONSIBLE FOR THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PERFORM SUCH TESTING AND TO PERFORM ALL DEMOLITION ACTIVITIES IN ACCORDANCE WITH LOCAL REQUIREMENTS ESPECIALLY WHEN HAZARDOUS MATERIALS ARE KNOWN TO EXIST.
3. REMOVE ADDITIONAL AREAS AS REQUIRED BY ARCHITECTURAL, STRUCTURAL AND MPE CONSTRUCTION DRAWINGS. COORDINATE REQUIRED CLEANING OF EXISTING FINISH MATERIALS.
4. REFER TO ALL SITE PLAN FOR ADDITIONAL INFORMATION ON EXTERIOR AND SITE DEMOLITION WORK, IF ANY.

### BUILDING DEMOLITION NOTES

1. THIS DRAWING HAS BEEN DEVELOPED FROM ARCHIVE DRAWINGS PROVIDED BY THE OWNER AND MAY NOT REFLECT EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE EXISTENCE OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY WORK DEEMED BY THE CONTRACTOR AS UNSAFE WHICH CANNOT BE PERFORMED DUE TO EXISTING BUILDING CONDITIONS.
3. THE CONTRACTOR SHALL MEET WITH THE OWNER'S AUTHORIZED REPRESENTATIVE DURING THE DEMOLITION COMMENCEMENT TO SCHEDULE SEQUENCE AND COORDINATE ALL WORK BY MAINTAIN EXITS AND EGREGS AND TO REQUIRED BY CODES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL SHORE AND BRACE EXISTING STRUCTURE AS REQUIRED. THE DESIGN ADEQUACY AND SAFETY OF ERECTION OF THIS SHORING AND BRACING AND ANY OTHER TEMPORARY STRUCTURE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
5. JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. IF EXISTING FIREPROOFING OR FIRE ASSEMBLIES TO REMAIN ARE DAMAGED DURING DEMOLITION, THEY SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.
7. REMOVE EXISTING CONSTRUCTION AS SHOWN TYPICAL ENTRY CURTAIN WALLS REMOVAL INCLUDES FINISHES, DOORS, DOOR FRAMES, WINDOWS AND WINDOW REAR CASEWORK AND FIXTURES AS REQUIRED. REPAIR HOLES IN FLOORS OR EXISTING WALLS.
8. DEMOLITION OF THE WORK SHALL BE EXECUTED IN CONFORMANCE WITH APPLICABLE BUILDING CODES AND REGULATIONS.
9. CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY. NOTIFY STRUCTURAL ENGINEER OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION.
10. THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERINGS FOR MATERIAL AND FINISHES.
11. IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS OR ANY SUBCONTRACTOR'S WORK.
12. USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC TO CUSTOMERS AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
13. IN THE EVENT OF DEMOLITION OF ITEMS NOT SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
14. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK.
15. DEMOLISHED MATERIAL NOT OTHERWISE DESIGNATED BY THE OWNER'S REQUIREMENT SHALL BE CONSIDERED PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE AND DISPOSED OF IN A LAWFUL MANNER.
16. ALL SHEETS TO BE REVIEWED TO COMPLETE FINAL DESIGN SCOPE. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL DEMO AS IT RELATES TO THE COMPLETE FINISHED PRODUCT.
17. PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING, AND DEMOLITION ACTIVITIES AS REQUIRED BY THIS CHAPTER. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC. CBC 3306 WHERE OCCURS. PEDESTRIAN PROTECTION CONSTRUCTED WITH A PUBLIC RIGHT OF WAY SHALL REQUIRE A BUILDING PERMIT ISSUED BY THE BUILDING SAFETY DIVISION AND A SEPARATE APPROVAL FROM THE CITY'S PUBLIC WORKS AGENCY. CONTRACTOR SHALL PROVIDE.

## SELECTIVE DEMOLITION KEYNOTES

NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET.

### GENERAL:

1. REMOVE EXISTING BRAND SIGNAGE - COORD. W/ SIGNAGE COMPANY ON FINAL INSTALLATION.
2. WALLS & FLOORS:
  - 2.1 REMOVE EXISTING WALL
  - 2.2 REMOVE EXISTING AWNING
  - 2.3 REMOVE CMU FOR DOOR OPENING
3. DOORS & WINDOWS:
  - 3.1 REMOVE EXISTING GLAZING
  - 3.2 REMOVE EXISTING DOOR
6. ROOF:
  - 6.1 REMOVE INDICATED AWNING AND ATTACHMENTS. PATCH REPAIR ADJACENT EXTERIOR WALL FINISH. CONTRACTOR TO COORDINATE WITH OWNER WHICH ARE REMOVED AND STAY

## KEY DEMO ELEVATION NOTES

SHEET TITLE

### EXISTING ELEVATIONS

DATE 04/01/25

REVISION/ DESCRIPTION

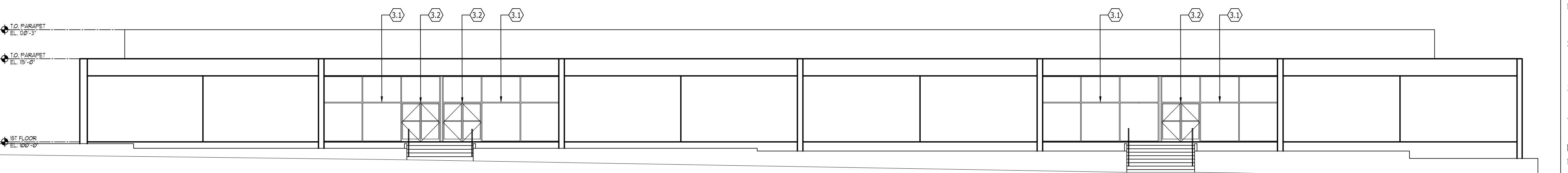
PROJECT NO.

SHEET NO.

**A5.0**

## LEGEND

CONTRACTOR TO REVIEW PROPOSED OVERALL CONSTRUCTION DOCUMENTS AND ADD ANY ADDITIONAL ITEMS NOT SHOWN ON THIS PLAN AND COORDINATE WITH SUB-ALL ITEMS NOT SHOWN ON THIS DOCUMENT. CONTRACTOR TO DO FINAL BID THROUGH AT SITE WITH CONTRACTOR AND ADD CONCERNED ITEMS TO BE SENT TO ARCHITECT AND OWNER'S REP PRIOR TO FINAL BID.





## BH JEFFERSON SERVICE

10150 Jefferson Blvd, Culver City, CA

### WEST ELEVATION

SCALE: 3/32" = 1'-0"



### NORTH ELEVATION

SCALE: 3/32" = 1'-0"



### EAST ELEVATION

SCALE: 3/32" = 1'-0"



### SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



## GENERAL NOTES

- NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET
- A. ALL SIGNAGE IS SHOWN FOR DESIGN INTENT ONLY. ALL SIGNAGE PROVIDED BY APPROVED VENDOR/DEALER TO CONTACT THEIR REGIONAL DEALER DEVELOPMENT DEPARTMENT TO SCHEDULE SIGN SURVEY WITH A APPROVED SIGN VENDOR.
  - B. ALL GRAPHICS AND WALL PANELS MAY REQUIRE BLOCKING OR OTHER POSITIVE FORM OF ANCHORAGE COORDINATE WITH THE GRAPHICS VENDOR PRIOR TO CLOSING ANY WALL CAVITIES. SELECT SIGNS ARE ELECTRIFIED.
  - C. ALL GUTTERS AND DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT SURFACE.
  - D. SIGNAGE UNDER SEPARATE PERMIT.
  - E. CONTRACTOR TO VERIFY ALL PROPOSED ROOF EQUIPMENT TO BE NON-VISIBLE FROM PUBLIC VIEW.
  - F. PLASTER CEMENT AND EIFS OPTIONS ARE APPROVED BY BRAND AND AVAILABLE TO GC. EIFS+1 AND PAINT INDICATED ON DRAWINGS GO TO EVALUATE EXISTING CONDITIONS AND CHOOSE MOST SUITABLE OPTION TO MATCH EXISTING FINISH. CONTRACTOR TO CONTACT CITY FOR SPECIAL INSPECTION.
  - G. EIFS/STUCCO SCORING AND JOINT LAYOUT PER MANUFACTURER REQUIREMENTS.

## KEY ELEVATIONS NOTES

1. ACM PANELS
2. BUILDING SIGNAGE (NOT A PART, UNDER SEPARATE PERMIT).
3. DEALER NAME TO BE ALL UPPERCASE
4. ACM PANEL JOINT, TYP, ALIGN WITH ADJACENT JOINTS
5. NEW GLAZING, FINISH PER SCHEDULE
6. NEW DOOR, FINISH PER SCHEDULE
7. EXISTING DOOR TO REMAIN, FINISH PER SCHEDULE
8. CENTERLINE OF MULLIONS CURTAIN WALL SYSTEM SHALL BE EQUAL FRAME SPACING AS ALLOWABLE
9. EXISTING CMU TRASH ENCLOSURE TO REMAIN
10. EXISTING BIKE RACK TO REMAIN
11. PROPOSED 3' WIDE ACCESS GATES, SEE DETAIL 10/A12
12. EXISTING PARAPET MOUNTED LIGHT TO REMAIN

## EXTERIOR BUILDING SIGNAGE NOTES

1. ALL SIGNAGE IS SHOWN FOR DESIGN INTENT ONLY. ALL SIGNAGE PROVIDED BY CADILLAC IS APPROVED BY CADILLAC. CONTRACTOR TO CONTACT CADILLAC DEVELOPMENT DEPARTMENT TO SCHEDULE SIGN SURVEY WITH CADILLAC APPROVED SIGN VENDOR. SIGNAGE UNDER SEPARATE PERMIT.
2. ALL GRAPHICS AND WALL PANELS MAY REQUIRE BLOCKING OR OTHER POSITIVE FORM OF ANCHORAGE COORDINATE WITH THE GRAPHICS VENDOR PRIOR TO CLOSING ANY WALL CAVITIES. SELECT SIGNS ARE ELECTRIFIED.
3. SIGNAGE UNDER SEPARATE PERMIT.
4. COORDINATE WITH SIGN COMPANY ON EXACT LOCATION OF BACKING AND ELEC.
5. APPROXIMATE LOCATION OF ADDRESS IDENTIFICATION NUMBERS PLACED ON BUILDING. SEE FIRE DEPARTMENT NOTES FOR ADDITIONAL INFORMATION

## LEGEND

- NOTE DESIGNATOR - REFER TO DRAWING NOTES ON THIS SHEET  
EG-1 GRAPHICS DESIGNATOR - REFER TO CADILLAC DESIGN INTENT DOCUMENTS BY CHANGEUP  
X-1 FINISH DESIGNATOR - REFER TO EXTERIOR FINISH SCHEDULE THIS SHEET AND ON A2.1

SHEET TITLE

EXTERIOR ELEVATIONS

DATE 04/01/25

REVISION/ DESCRIPTION

PROJECT NO.

SHEET NO.

A5.1