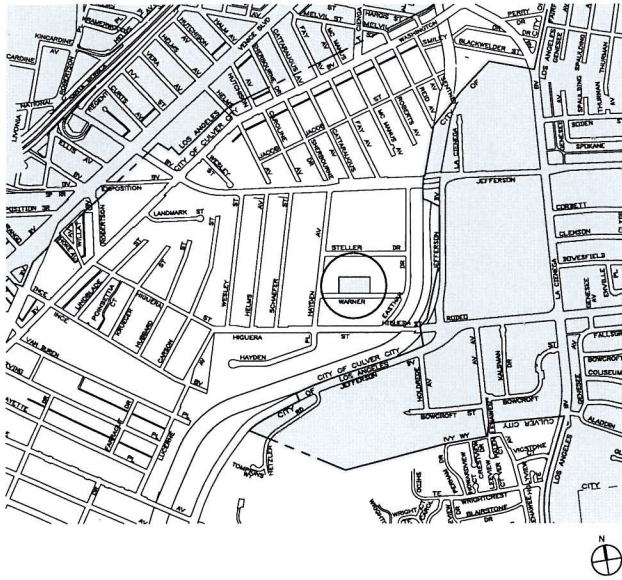
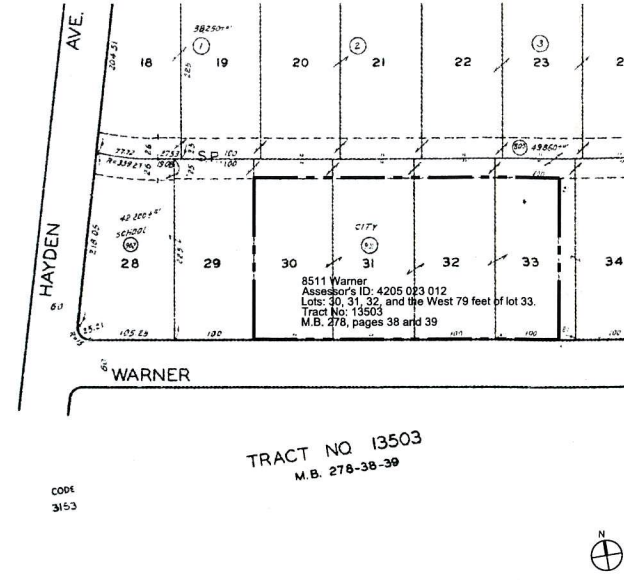


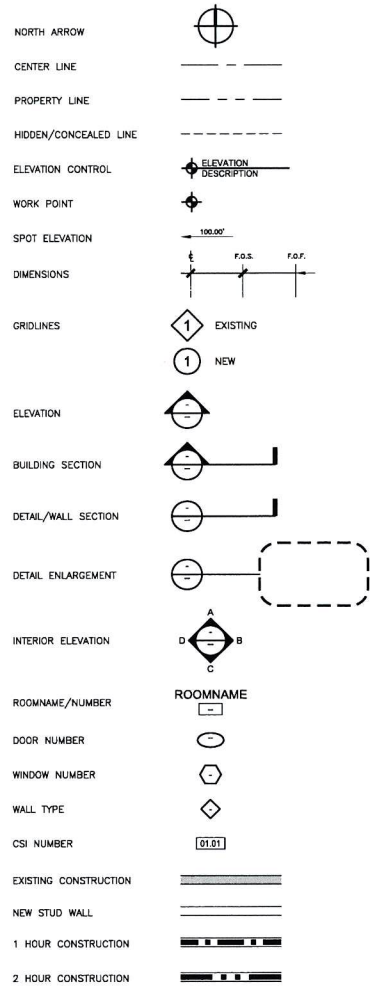
VICINITY MAP
SCALE: NTS



PARCEL MAP
SCALE: NTS



DRAWING SYMBOLS



ABBREVIATIONS

AT AND NUMBER / POUND	GA. GALV. GL. GALV. G.L.B. GLUE LAMINATED BEAM GM GAS METER GP GUARDPOST G.S.M. GALV. SHEET METAL GRD. GRADE GYP BD. GYPSUM BOARD GV GAS VALVE GVLT GAS VALVE	S. SOUTH S.A. SUPPLY AIR S.A.R. SUPPLY AIR REGISTER SCHD. SCHEDULE SDMH STORM DRAIN MANHOLE SECT. SECTION SPRM SPRAY FIRE RESISTIVE MATERIAL SHT. SHEET SHTG. SHEATHING SIM. SIMILAR SKYLT. SKYLIGHT SL STREET LIGHT SLB STREET LIGHT PULL BOX SLC. SOLID CORE SQ. SQUARE SP / SPRINK. SPRINKLER SPK&T SPIKE & TIN MONUMENT SPK&M SPIKE & WASHER MONUMENT S/P SHEAR PANEL S.S. STAINLESS STEEL SSCO SANITARY SEWER CLEAN OUT S.S.D. SEE STRUCTURAL DRAWINGS SSM STANDARD SURVEY MONUMENT SSMH SANITARY SEWER MANHOLE STD. STANDARD STL. STEEL STD. STORAGE STR. STRAIGHT STRUCT. STRUCTURAL SUPPT. SUPPORT SYM. SYMMETRICAL
BEL. BELOW BD. BOARD BIT. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING BM. BEAM BOT. BOTTOM B.O.C. BOTTOM OF COLUMN B.S. BOTH SIDES BEL. BETWEEN B/T BOTTOM OF TRUSS BW BACK OF WALK	H.B. HOSE BIB HD. HEAD HOR. HEADER H.M. HOLLOW METAL HORIZ. HORIZONTAL H.P. HIGH POINT HR. HOUR H.R. HAND RAIL H/C = HANDICAPPED ICV IRRIGATION CONTROL VALVE I.D. INSIDE DIAMETER INDIC. INDICATOR INSUL. INSULATION INT. INTERIOR IP IRON PIPE MONUMENT JST. JOIST JNT. JOINT J-BOX JUNCTION BOX	T. TREAD T & B TOP AND BOTTOM TC TOP OF CURB T.D. TOP OF DRAIN TEL. TELEPHONE TELC TELEPHONE CABINET TEMP. TEMPERED / TEMPORARY THK. THICK THRD. THREADED TMH TELEPHONE MANHOLE T.O.B. TOP OF BLOCK T.O.C. TOP OF CURB T.O.P. TOP OF PARAPET T.O.R. TOP OF ROOF T.O.W. TOP OF WINDOW / TOP OF WALL TP TELEPHONE POLE TS TRAFFIC SIGNAL TSB TRAFFIC SIGNAL PULL BOX T.V.T. TELEPHONE VAULT TW TOP OF WALL U.N.O. UNLESS OTHERWISE NOTED VERT. VERTICAL V.C.P. VITRIFIED CLAY PIPE V.I.F. VERIFY IN FIELD V.T. = UNKNOWN VAULT V.T.R. VENT THROUGH ROOF
DBL. DOUBLE DEMO. DEMOLISH DET. DETAIL DG DRAIN GRATE DIA. DIAMETER DIM. DIMENSION DN. DOWN DO. DITTO DR. DRIVE DWG. DRAWING D.W. DRYWALL DWY DRIVEWAY	LAM. LAMINATED LAT. SANITARY SEWER LATERAL LD. LONG LL. LANDSCAPE LIGHT LP LIGHT POLE LT.WT. LIGHT WEIGHT L&SPK LEAD & SPIKE MONUMENT L&T LEAD & TACK MONUMENT L&TAG LEAD & TAG MONUMENT M. MEN MAX. MAXIMUM M.B. MACHINE BOLT MBR. MEMBRANE MECH. MECHANICAL MEM. MEMBRANE MEZZ. MEZZANINE MFR. MANUFACTURER MU UTILITY MANHOLE MIN. MINIMUM MNT. MOUNTED MTL. METAL MW MONITORING WELL N. NORTH N.I.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE N&TAG NAIL & TAG MONUMENT	W. WEST / WOMEN WD. WOOD WIND. WINDOW W/ WITH W.F. WIDE FLANGE W.I. WROUGHT IRON FENCE WM WATER METER WMH WATER MANHOLE W.D. WITHOUT W.P. WORKING POINT W/P WATER PROOF / ING W.R. WATER RESISTANT W.S. WALL SECTION WW WATER VALVE WLT. WATER VAULT W.W.F. WELDED WIRE FABRIC YL YARDLIGHT

PROJECT INFORMATION

PROJECT NAME
PARKING GARAGE
PROJECT ADDRESS
8511 WARNER DRIVE
CULVER CITY, CA 90232
APPLICANT
SAMTAUR CONSTRUCTS
3528 Hayden Avenue
Culver City, California 90232
310 204 4464 TEL
310 838 4869 FAX
ARCHITECT
Eric Owen Moss Architects
8557 Higuera Street
Culver City, California 90232
310 839 1199 TEL
310 839 7922 FAX
CONTACT: Debra Baggett x104
PROJECT DESCRIPTION
Parking Structure providing 775 stalls on three below-grade and two above-grade levels (including grade-level) with 51,520 sq.ft. of specialty retail that may include 10,000 sq.ft. of restaurant.
APN
4205-023-012
LEGAL DESCRIPTION
Lots 30, 31, 32, and the West 79 feet of Lot 33.
Tract No. 13503
M.B. 278, pages 38 and 39
City of Culver City, County of Los Angeles, State of California
EXISTING USE OF SITE
Surface Parking Lot
PROPOSED USE OF SITE
Parking, Retail, Restaurant.
ZONING REQUIREMENTS
DISTRICT: IG
HEIGHT LIMIT: 43'-0"
SETBACKS:
STREET FACING: 5'-0"
SIDE AND REAR: NONE REQUIRED.

PROJECT CALCULATIONS

AREA
SITE AREA: 74,663 SF
SITE COVERAGE BY STRUCTURES:
EXISTING: N/A SURFACE PARKING LOT, A/C PAVING PROPOSED: 72,768 SF
LANDSCAPE AREA:
EXISTING: 0 GSF (0.0% of site)
PROPOSED: 14,410 GSF (19.3% of site)
GROSS FLOOR AREAS (in GSF):
Basement Level 3 (-34'-0"):
• Parking/Bldg. Services/Circulation: 69,922
Basement Level 2 (-24'-0"):
• Parking/Bldg. Services/Circulation: 72,768
Basement Level 1 (-14'-0"):
• Retail: 15,371
• Parking/Bldg. Services/Circulation: 57,021
Level 1 (Grade, +0'-0"):
• Retail: 5,715
• Restaurant: 10,000
• Parking/Bldg. Services/Circulation: 55,096
Level 2 and Mezzanine (+14'-0"):
• Retail: 15,434
• Parking/Bldg. Services/Circulation: 52,745
TOTAL AREAS (in GSF):
Retail: 41,520
Restaurant: 10,000
Parking/Bldg. Services/Circulation: 307,552
PARKING REQUIREMENTS BY USE:
Retail: Shops and stores (GSF) 41,520
TOTAL SPACES REQUIRED @ 1:350: 119
Restaurants: (GSF) 10,000
TOTAL SPACES REQUIRED @ 1:100: 100
TOTAL SPACES REQUIRED: 219
Bicycle Parking Required: 5% of 219 = 11
ADDITIONAL PARKING REQUIREMENT:
PARKING REQUIRED BY EXISTING COVENANT: 242
PROPOSED PARKING SPACES:
Standard: 759
Handicapped*: 14
Van Accessible**: 2
TOTAL PROVIDED SPACES: 775
TOTAL SURPLUS SPACES: 314
*Per CBC Table 11B-8
**Per CBC Section 1129B
PARKING SUMMARY PER FLOOR
Basement Level 3 (-34'-0"): 196
Basement Level 2 (-24'-0"): 206
Basement Level 1 (-14'-0"): 151
Level 1 (Grade, +0'-0"): 113
Level 2 (+14'-0"): 109
TOTAL: 775

SHEET INDEX

DATE REVISION	REVISION	GENERAL
06-30-08	1	G1 COVER SHEET
06-30-08	2	G2 PROJECT INFORMATION
ARCHITECTURAL		
06-30-08	1	D1 DEMO/EXISTING SITE PLAN
06-30-08	2	A0.01 GROUND FLOOR SITE PLAN
06-30-08	3	A0.02 ROOF SITE PLAN
06-30-08	4	A1.01 BASEMENT LEVEL B3 FLOOR PLAN
06-30-08	5	A1.02 BASEMENT LEVEL B2 FLOOR PLAN
06-30-08	6	A1.03 BASEMENT LEVEL B1 FLOOR PLAN
06-30-08	7	A1.04 GROUND FLOOR PLAN
06-30-08	8	A1.05 LEVEL 02 FLOOR PLAN
06-30-08	9	A1.06 ROOFLANDSCAPE PLAN
06-30-08	10	A2.01 SOUTH AND EAST ELEVATIONS
06-30-08	11	A2.02 NORTH AND WEST ELEVATIONS
06-30-08	12	A3.01 LONGITUDINAL SECTION
06-30-08	13	A3.02 TRANSVERSE SECTIONS

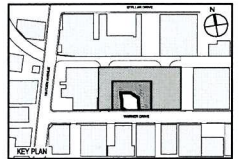
GENERAL NOTES

- SIGNAGE
- BUILDING AND PARKING GARAGE SIGNAGE PROGRAMS TO BE PER CODE. DESIGNS WILL BE SUBMITTED TO CULVER CITY FOR APPROVAL PRIOR TO INSTALLATION.
 - PROJECT WILL BE SUBMITTED TO CULTURAL AFFAIRS DIVISION UNDER ARCHITECTURE AS ART DESIGNATION.
 - ALL SITE DRAINAGE WILL BE CONTAINED ONSITE AND WILL BE DIRECTED TO CULVER CITY STORM WATER SYSTEM.
 - PROJECT WILL CONFORM TO CULVER CITY SUSMP REOTS.

PARKING STRUCTURE

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Sheet Title:
PROJECT INFORMATION

Scale: AS NOTED

Sheet No.
G2

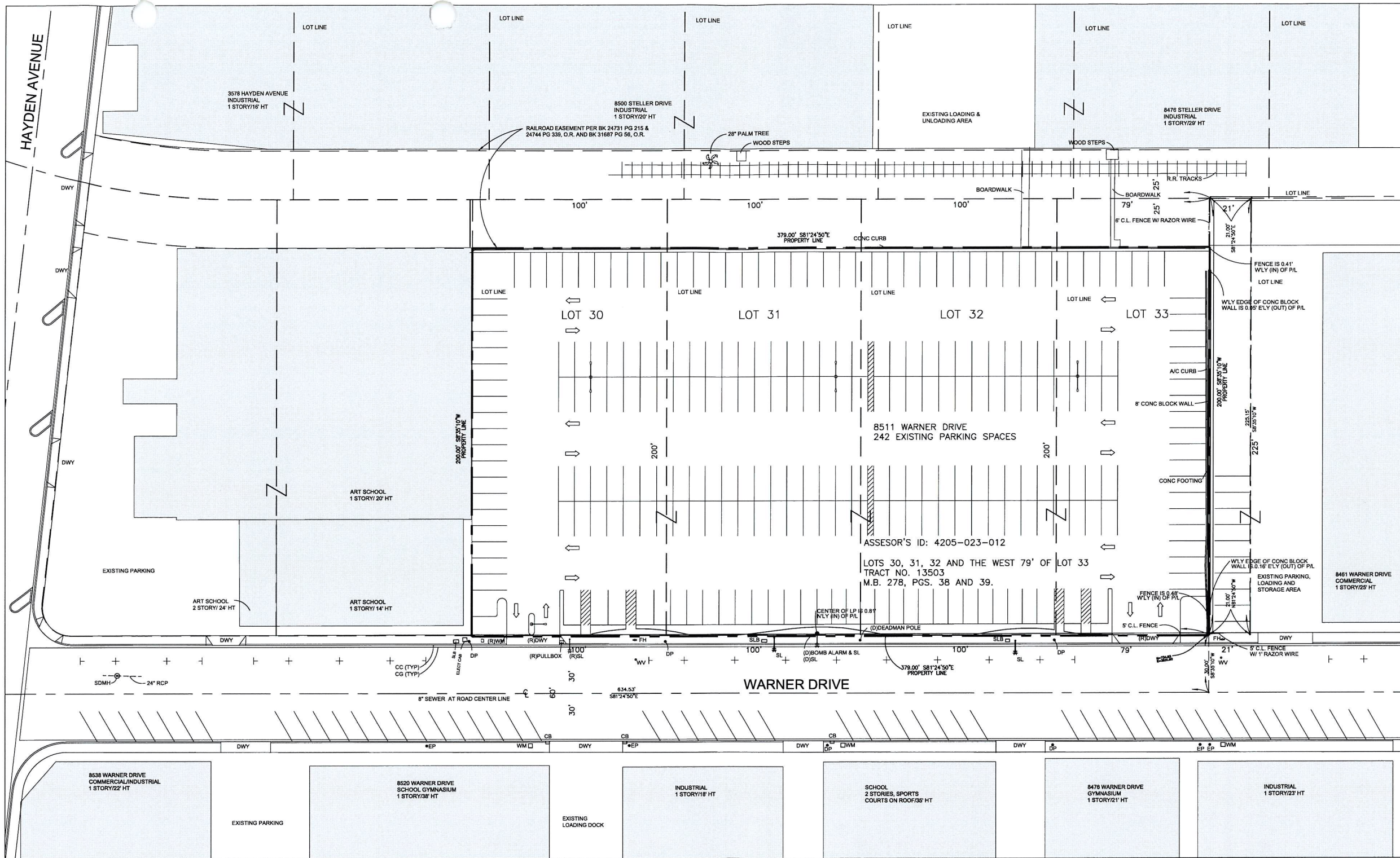
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JUN 30 2008

Culver City
Planning Division



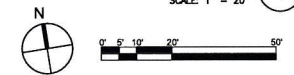
LEGEND

- CB CATCH BASIN
- CC CONCRETE CURB
- CG CONCRETE GUTTER
- CW CONCRETE WALKWAY
- DP DEADMAN POLE
- EC ELECTRICAL CABINET
- EP ELECTRICAL POLE
- FH FIRE HYDRANT
- RCP REINFORCED CONCRETE PIPE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT PULLBOX
- SP STREET PARKING
- WM WATER METER
- WV WATER VALVE

GENERAL NOTES

1. DEMO AND REMOVE EXISTING IMPROVEMENTS WITHIN PROPERTY LINES IN ITS ENTIRETY.
2. DEMO AND REMOVE EXISTING CURBS AND SIDEWALKS ALONG PROPERTY LINES.
3. COORDINATE RELOCATION OF ALL PUBLIC UTILITIES WITH ARCHITECT AND APPROPRIATE AGENCIES.
4. (R) DENOTES RELOCATE EXISTING PUBLIC IMPROVEMENTS OUTSIDE OF PROPERTY LINES
5. (D) DENOTES DEMO EXISTING PUBLIC IMPROVEMENTS OUTSIDE OF PROPERTY LINES

DEMO EXISTING SITE PLAN 1



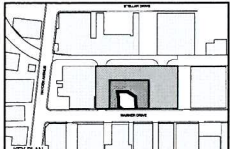
PARKING STRUCTURE

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05-17-08		APPLICATION FOR ENTITLEMENTS
06-30-08		APPLICATION FOR ENTITLEMENTS
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Sheet Title:
**DEMO/EXISTING
SITE PLAN**

Scale: AS NOTED

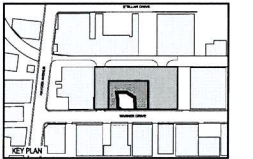
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D1.01

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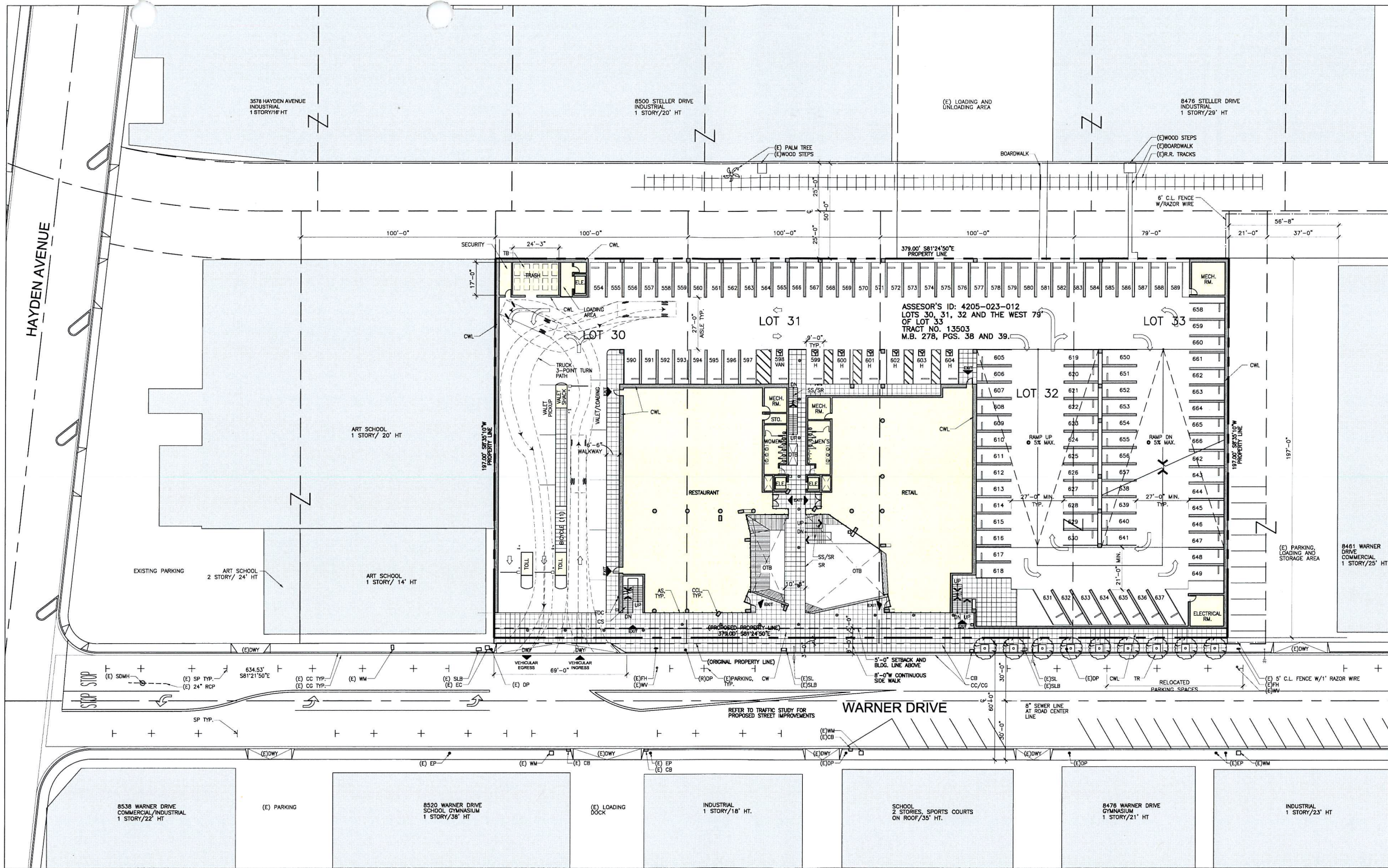
Rev# Date Description
02-17-08 APPLICATION FOR ENTITLEMENTS
06-30-08 APPLICATION FOR ENTITLEMENTS
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Sheet Title:
SITE PLAN

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LEGEND

AS ALUM. STOREFRONT SYSTEM
W/ CLEAR GLAZING
CB CATCH BASIN
CC CONCRETE CURB
CCL C.P. CONCRETE COLUMN
CG CONCRETE GUTTER
CS C.P. CONCRETE STAIR
CW CONCRETE WALKWAY
CWL C.P. CONCRETE WALL
DP DEADMAN POLE
EC ELECTRICAL CABINET
EP ELECTRICAL POLE
FMC FIRE DEPARTMENT CONNECTION
FH FIRE HYDRANT
SDMH STORM DRAIN MANHOLE
SL STREET LIGHT
SLB STREET LIGHT PULLBOX
SP STREET PARKING
SR STREET ROD RAILING
SS STEEL STAIR
TB 3 YARD TRASH BIN
WM WATER METER
WV WATER VALVE

GENERAL NOTES

- ALL NEW CATCH BASINS, STORM DRAINS, STREET LIGHT PULL BOXES, ELECTRICAL CABINETS, FIRE HYDRANTS, STORM DRAIN MANHOLES, WATER VALVES, WATER METERS, STREET LIGHTS, AND VAULTS TO BE LOCATED AS CLOSE AS POSSIBLE TO EXISTING LOCATIONS UNLESS ALL WORK TO BE COORDINATED WITH ARCHITECT AND APPROPRIATE AGENCIES AND UTILITY COMPANIES.
- DEADMAN POLES ALONG THE WARNER DRIVE PROPERTY EDGE TO BE REMOVED; ASSOCIATED POWER AND/OR TELEPHONE SERVICE TO BE REROUTED BELOW GRADE; ALL WORK TO BE COORDINATED WITH ARCHITECT AND APPROPRIATE AGENCIES AND UTILITY COMPANIES.
- ALL SITE DRAINAGE TO BE ROUTED TO CITY STORM DRAIN SYSTEM.
- LIGHTING TO PROVIDE FOR SAFETY AND SECURITY TO BE PROVIDED. ADDITIONAL ARCHITECTURAL LIGHTING TO BE PROVIDED AS NOTED.
- NEW STREET LIGHTS TO MATCH EXISTING STREET LIGHTS UNDO.
- PROJECT TO CONFORM WITH CDMC SIGNAGE STANDARDS
- ALL STANDARD PARKING 8'-6" X 18'-0", ACCESSIBLE 9'-0" X 18'-0" WITH 5' AISLE, VAN WITH 8' AISLE, TYP.
- A TOTAL OF (755) STANDARD, (14) ACCESSIBLE AND (2) VAN PARKING SPACES
- VERTICAL CLEARANCE AT GROUND LEVEL PARKING IS MIN. 8'-6", ALL OTHER LEVELS MIN. 7'-0".
- ALL TURNING RADIUS TO CONFORM WITH CULVER CITY STANDARDS
- (E) DENOTES EXISTING CONDITION
- ALL TREES SPECIFICATION TO CONFORM WITH CULVER CITY MASTER TREE PROGRAM

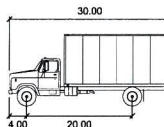
COLOR KEY

□ BUILDING AREA
▨ PEDESTRIAN AREA
▩ EXISTING BUILDING
▤ ALUM. STOREFRONT SYSTEM
W/ CLEAR GLAZING

SYMBOLS

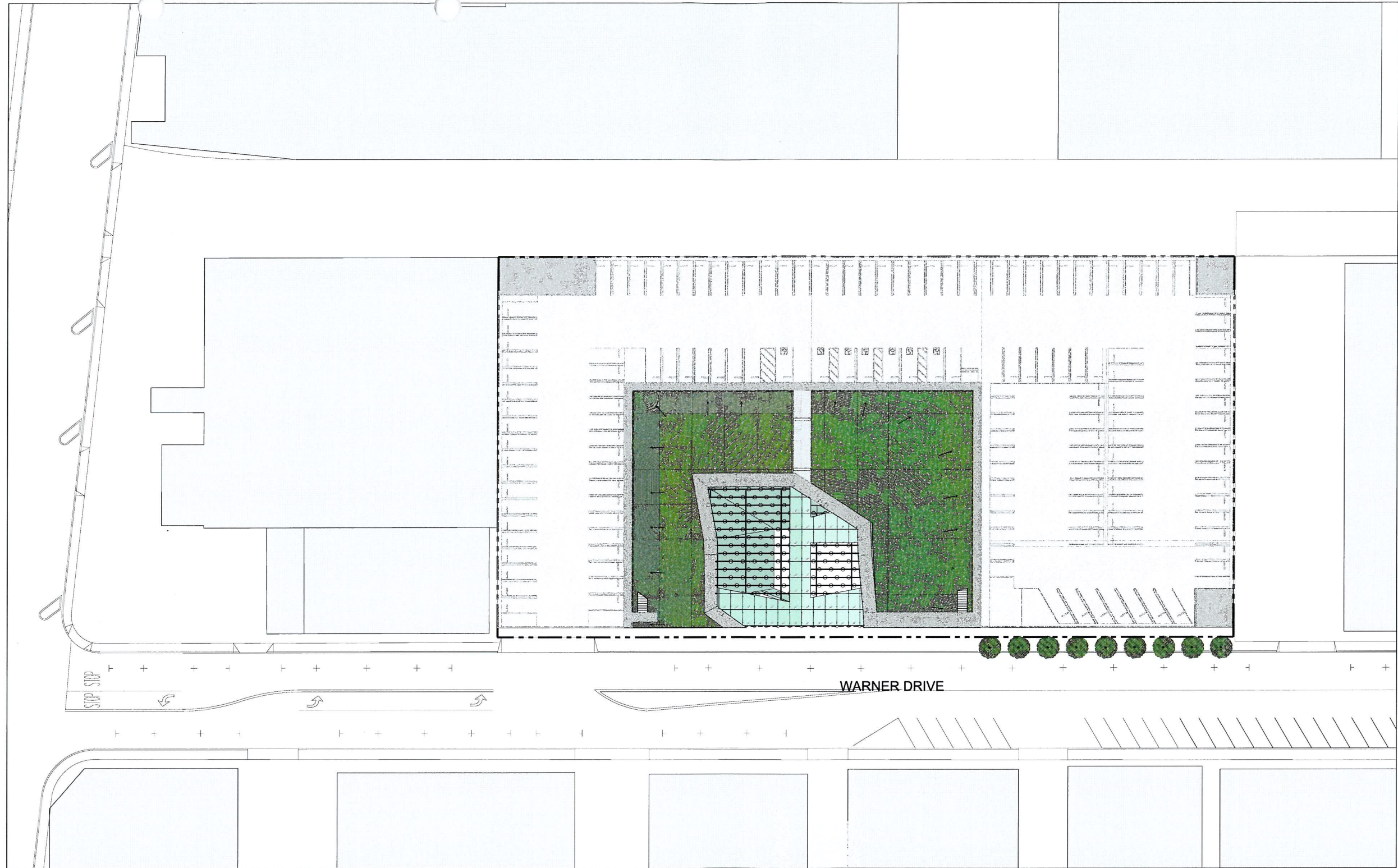
▲ EXIT
● EXTERIOR UPLIGHT FIXTURE
■ PEDESTRIAN RECEPTACLES

SITE PLAN 1
SCALE: 1" = 20'



Width : 8.00
Track : 8.00
Lock to Lock Time : 6.00
Steering Angle : 31.80

TRUCK DIMENSION

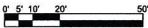


GENERAL NOTES

1. SEE DWG. A1.06 FOR ALL ROOF PLAN NOTES CONCERNING MATERIAL IDENTIFICATION, LANDSCAPE, LIGHTING, AND DRAINAGE.

ROOF SITE PLAN

SCALE: 1" = 20'

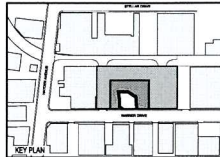


PARKING STRUCTURE

8511 WARNER DRIVE
CULVER CITY, CA 90232

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3528 HAYDEN AVENUE
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Sheet Title:

ROOF
SITE PLAN

Scale: AS NOTED

Sheet No.

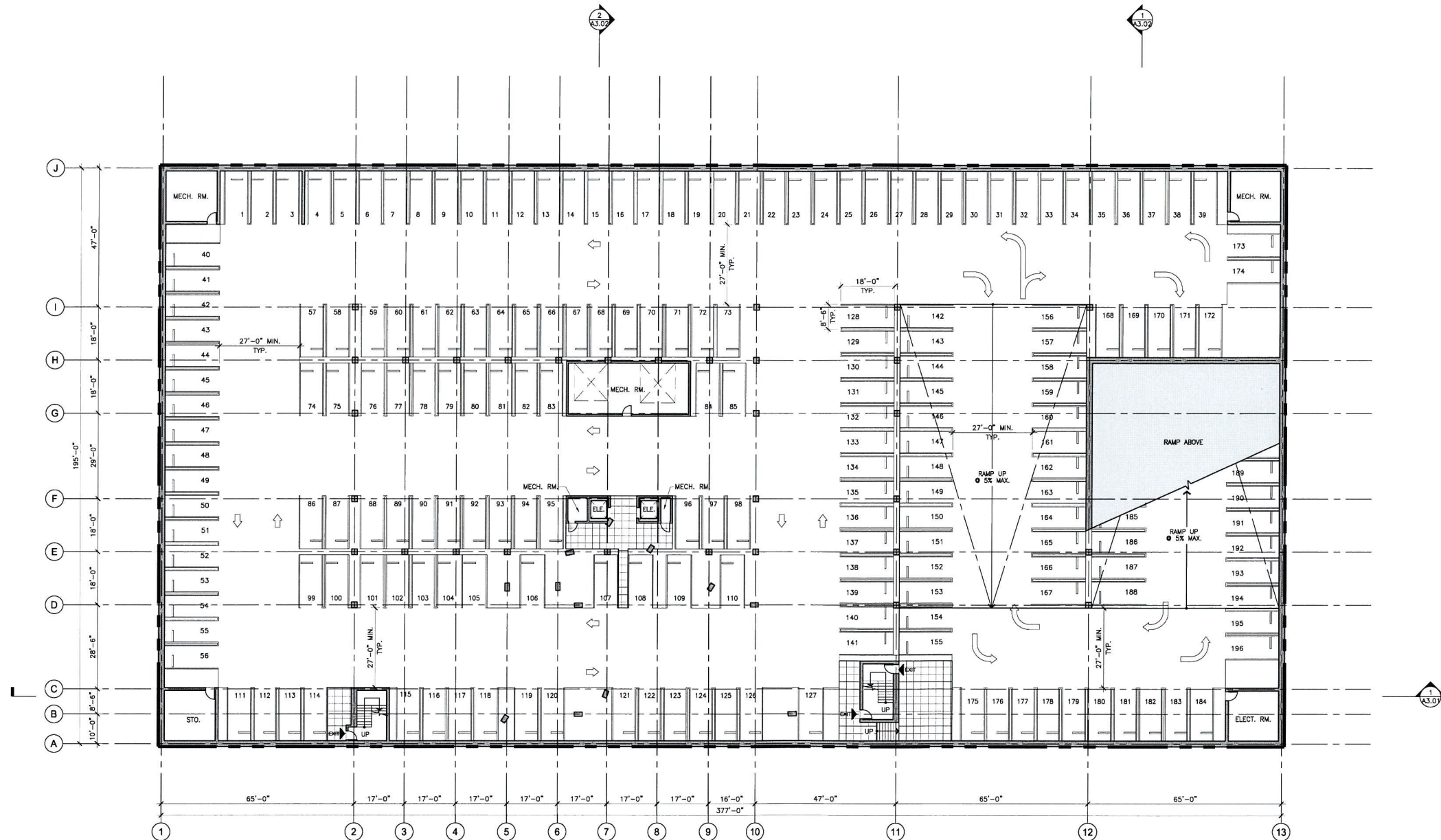
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KEY

PEDESTRIAN AREA

SYMBOLS

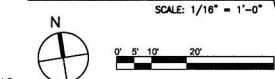
EXIT EMERGENCY EXIT

PARKING NOTES:

- ALL PARKING SPACES ARE SIZED AS FOLLOWS UNO
STANDARD 90 DEGREE: 8'-6"x18'-0"
STANDARD 60 DEGREE: 8'-0"x21'-0"
ACCESSIBLE: 9'-0"x18'-0" WITH A 5'-0"x18'-0" AISLE
VAN: 9'-0"x18'-0" WITH A 8'-0"x18'-0" AISLE
- MIN. 27'-0" AISLE ADJACENT TO ALL 90 DEGREE PARKING STALLS
MIN. 21'-0" AISLE ADJACENT TO ALL ANGLED (60 DEGREE) PARKING STALLS
- NUMBERED PARKING SPACES
SECOND LEVEL: 196
GROUND LEVEL: 206
BASEMENT B1: 151
BASEMENT B2: 113
BASEMENT B3: 109

BASEMENT B3 FLOOR PLAN

SCALE: 1/16" = 1'-0"



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		REVISION #1

Sheet Title:
**BASEMENT
LEVEL B3
FLOOR PLAN**

Scale: 1/16" = 1'-0"

Sheet No.

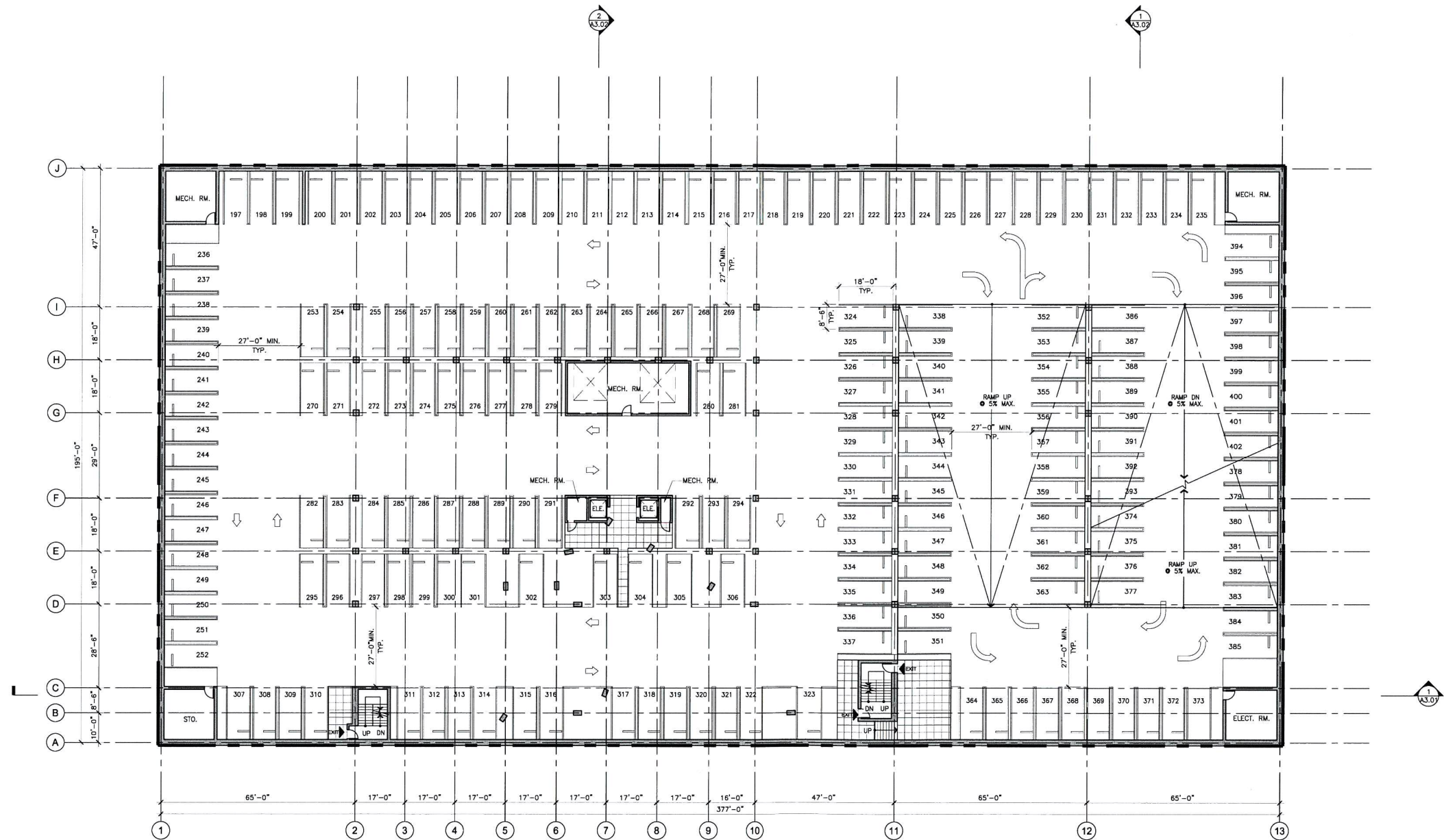
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PARKING
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8511 WARNER DRIVE
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KEY

PEDESTRIAN AREA

SYMBOLS

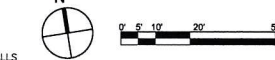
EMERGENCY EXIT

PARKING NOTES:

- ALL PARKING SPACES ARE SIZED AS FOLLOWS UNO
STANDARD 90 DEGREE: 8'-6"x18'-0"
STANDARD 60 DEGREE: 8'-6"x21'-0"
ACCESSIBLE: 9'-0"x18'-0" WITH A 5'-0"x18'-0" AISLE
VAN: 9'-0"x18'-0" WITH A 8'-0"x18'-0" AISLE
- MIN. 27'-0" AISLE ADJACENT TO ALL 90 DEGREE PARKING STALLS
MIN. 21'-0" AISLE ADJACENT TO ALL ANGLED (60 DEGREE)
PARKING STALLS
- NUMBERED PARKING SPACES
SECOND LEVEL: 196
GROUND LEVEL: 206
BASEMENT B1: 151
BASEMENT B2: 113
BASEMENT B3: 109

BASEMENT B2 FLOOR PLAN

SCALE: 1/16" = 1'-0"



SIGNATURE

Signature: _____
Registration # _____

Issue Date: _____ Project No.: _____
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Rev# Date Description
03-17-08 APPLICATION FOR ENTITLEMENTS
06-30-08 APPLICATION FOR ENTITLEMENTS
REVISION #1

Sheet Title:
**BASEMENT
LEVEL B2
FLOOR PLAN**

Scale: 1/16" = 1'-0"

Sheet No.

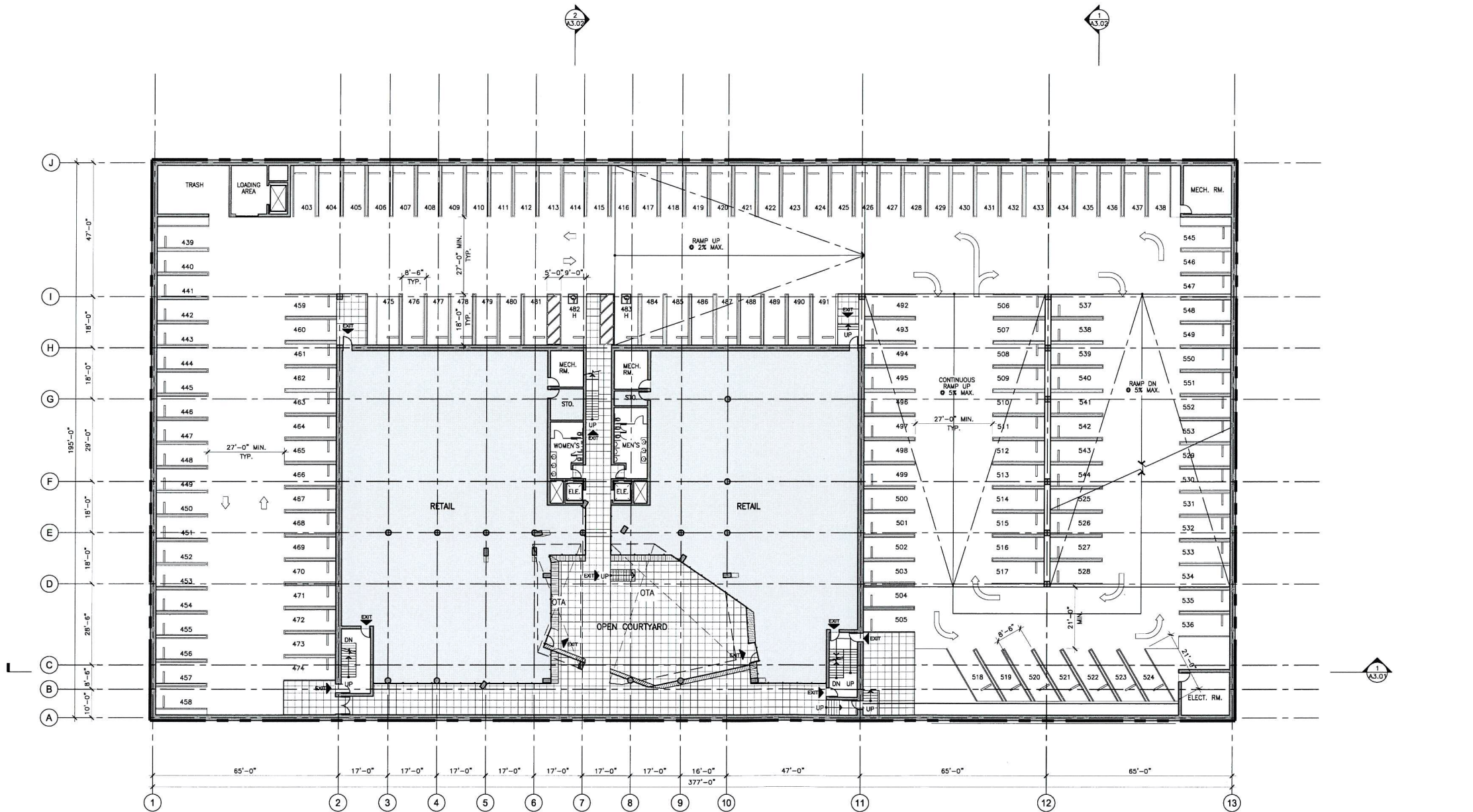
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TEL: 310.839.1199 FAX: 310.839.7822



KEY

- TENANT AREA
- PEDESTRIAN AREA
- ALUM. STOREFRONT SYSTEM W/ CLEAR GLAZING

SYMBOLS

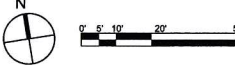
- EMERGENCY EXIT

PARKING NOTES:

- ALL PARKING SPACES ARE SIZED AS FOLLOWS UNO
STANDARD 90 DEGREE: 8'-0"x18'-0"
STANDARD 60 DEGREE: 8'-0"x21'-0"
ACCESSIBLE: 9'-0"x18'-0" WITH A 5'-0"x18'-0" AISLE
VAN: 9'-0"x18'-0" WITH A 8'-0"x18'-0" AISLE
- MIN. 27'-0" AISLE ADJACENT TO ALL 90 DEGREE PARKING STALLS
MIN. 21'-0" AISLE ADJACENT TO ALL ANGLED (60 DEGREE) PARKING STALLS
- NUMBERED PARKING SPACES
SECOND LEVEL: 198
GROUND LEVEL: 206
BASEMENT B1: 151
BASEMENT B2: 113
BASEMENT B3: 109

BASEMENT B1 FLOOR PLAN

SCALE: 1/16" = 1'-0"



SIGNATURE

Signature: _____
Registration # _____

Issue Date: _____ Project No.: _____
Drawn by: _____ Approved by: _____

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06-30-08		APPLICATION FOR ENTITLEMENTS
		REVISION #1

Sheet Title:

BASEMENT
LEVEL B1
FLOOR PLAN

Scale: 1/16" = 1'-0"

Sheet No.

A1.03

1511 WARNER DRIVE
CULVER CITY, CA 90232

OWNER: CONJUNCTIVE POINTS
WARNER DEVELOPMENT, LLLP
3528 HAYDEN AVENUE
CULVER CITY, CA 90232-2535
P: 310.204.4464 FAX: 310.204.4465

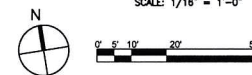
ARCHITECT: ERIC OWEN MOSS
ARCHITECTS
8567 HIGUERA STREET
CULVER CITY, CA 90232-2535
P: 310.839.1199 FAX: 310.839.7922



 EXIT
 EXTERIOR UPLIGHT
FIXTURE

1. ALL PARKING SPACES ARE SIZED AS FOLLOWS UNO
STANDARD 90 DEGREE: 8'-6"x18'-0"
STANDARD 60 DEGREE: 8'-6"x21'-0"
ACCESSIBLE: 9'-0"x18'-0" WITH A 5'-0"x18'-0" AISLE
VAN: 9'-0"x18'-0" WITH A 8'-0"x18'-0" AISLE
2. MIN. 27'-0" AISLE ADJACENT TO ALL 90 DEGREE PARKING STALLS
MIN. 21'-0" AISLE ADJACENT TO ALL ANGLED (60 DEGREE)
PARKING STALLS
3. NUMBERED PARKING SPACES
SECOND LEVEL: 196
GROUND LEVEL: 206
BASEMENT B1: 151
BASEMENT B2: 113
BASEMENT B3: 109

SCALE: 1/16" = 1'-0"



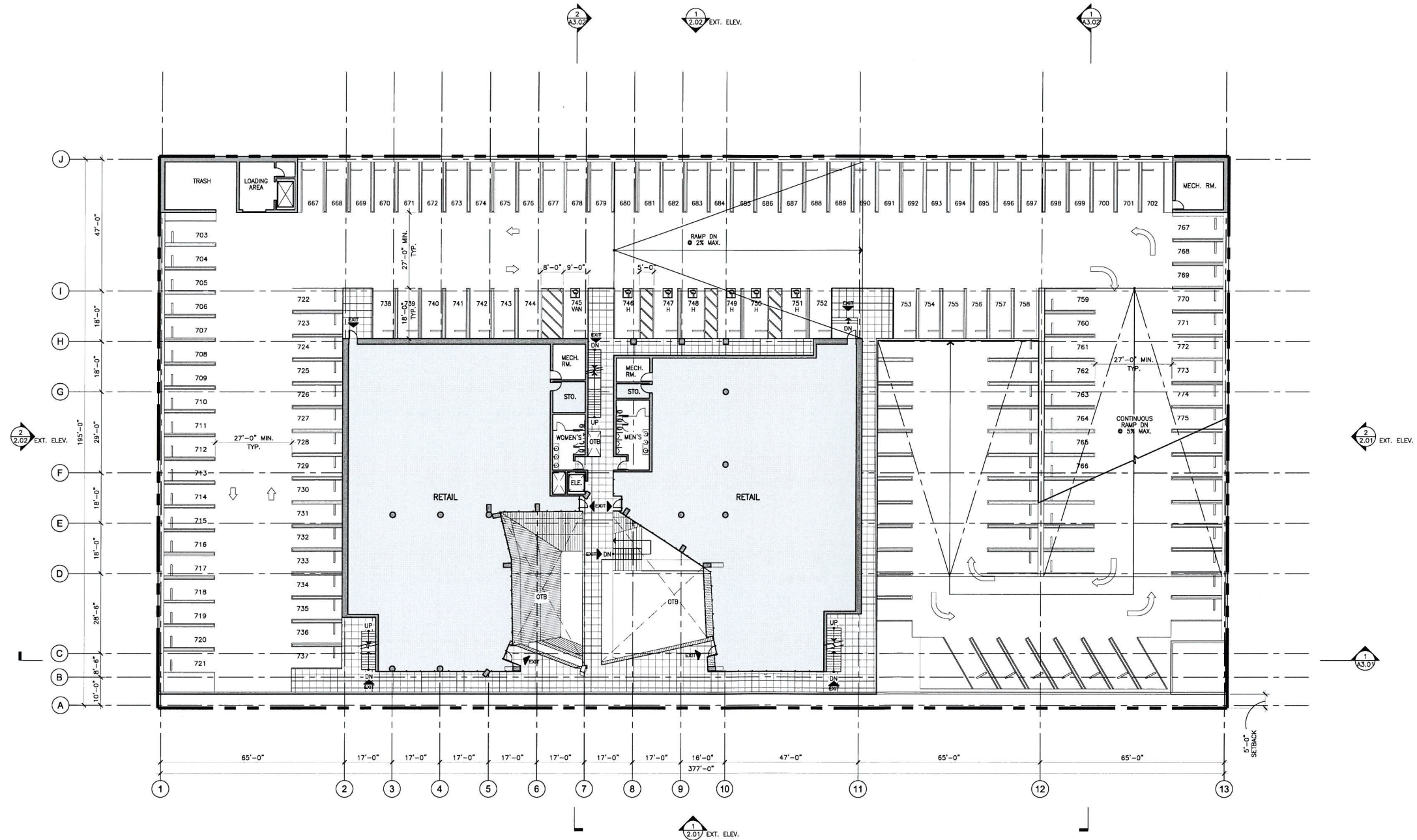
Scale: 1/16" = 1'-0"

A1.04

PARKING
STRUCTURE

8511 WARNER DRIVE
CULVER CITY, CA 90232

OWNER: CONJUNCTIVE POINTS
WARNER DEVELOPMENT, L.L.P.
3028 HAYDEN AVENUE
CULVER CITY, CA 90232-2535
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TEL: 310.839.1199 FAX: 310.839.7922



KEY

- TENANT AREA
- PEDESTRIAN AREA
- ALUM. STOREFRONT SYSTEM W/ CLEAR GLAZING

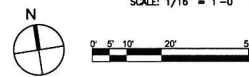
SYMBOLS

- EMERGENCY EXIT

PARKING NOTES:

- ALL PARKING SPACES ARE SIZED AS FOLLOWS UNO
STANDARD 90 DEGREE: 8'-6"x18'-0"
STANDARD 60 DEGREE: 8'-0"x21'-0"
ACCESSIBLE: 9'-0"x18'-0" WITH A 5'-0"x18'-0" AISLE
VAN: 9'-0"x18'-0" WITH A 8'-0"x18'-0" AISLE
- MIN. 27'-0" AISLE ADJACENT TO ALL 90 DEGREE PARKING STALLS
MIN. 21'-0" AISLE ADJACENT TO ALL ANGLED (60 DEGREE)
PARKING STALLS
- NUMBERED PARKING SPACES
SECOND LEVEL: 196
GROUND LEVEL: 206
BASEMENT B1: 151
BASEMENT B2: 113
BASEMENT B3: 109

SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



SEAL/SIGNATURE

Signature:
Registration #

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REVISION #1

Sheet Title:

**SECOND FLOOR
PLAN**

Scale: 1/16" = 1'-0"

Sheet No.

A1.05

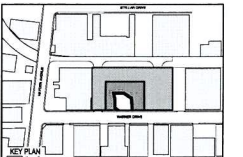
EDM ARCHITECTS © 2008

PARKING
STRUCTURE

8511 WARNER DRIVE
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Drawn by: Approved by:

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03-17-08 APPLICATION FOR ENTITLEMENTS
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REVISION #1

Sheet Title:

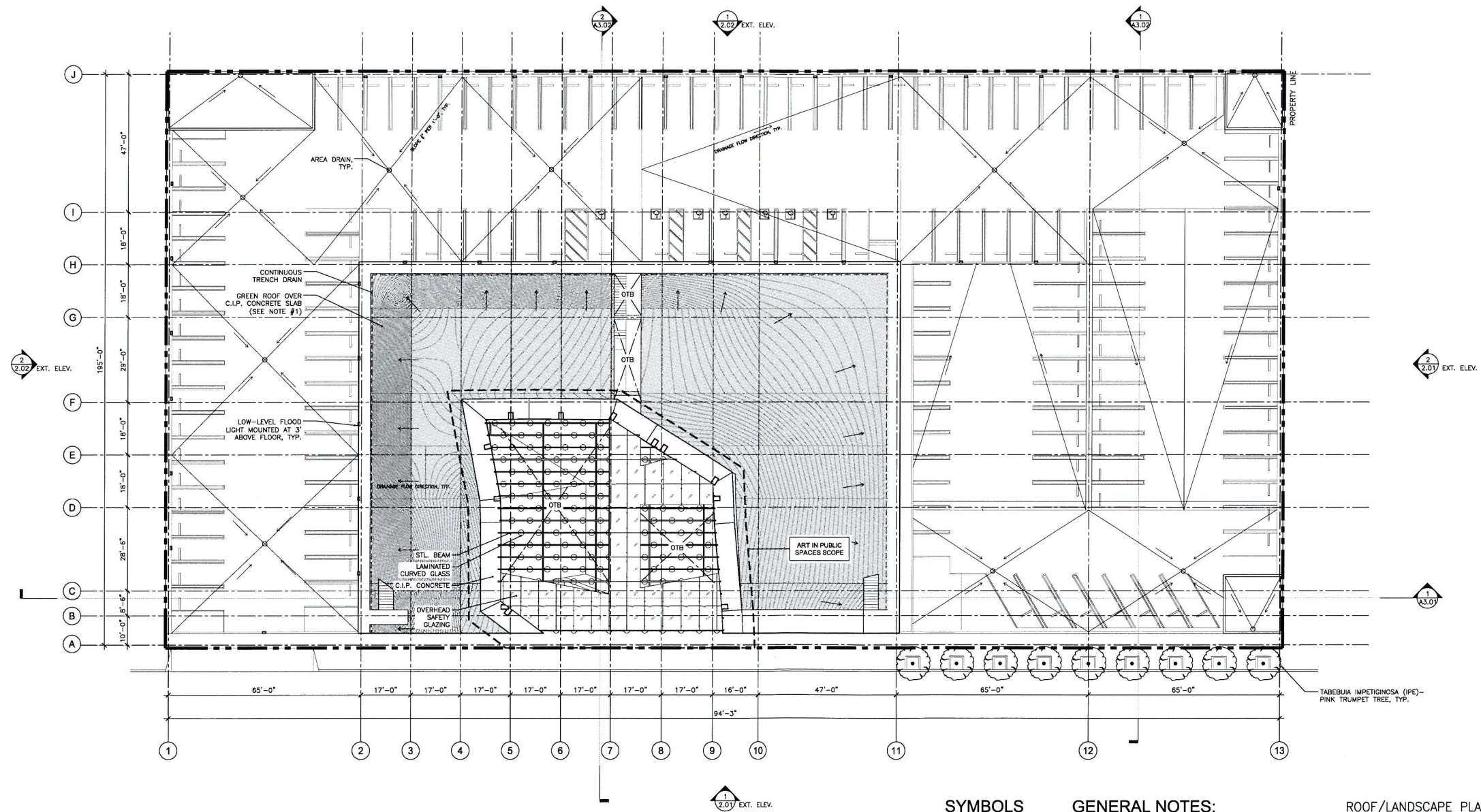
ROOF/
LANDSCAPE PLAN

Scale: AS NOTED

Sheet No.

A1.06

EDW ARCHITECTS © 2008



SYMBOLS

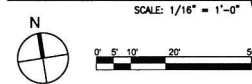
- DRAIN
- EXTERIOR LIGHT FIXTURE

GENERAL NOTES:

- EXTENSIVE-STYLE IRRIGATED GREEN ROOF WITH LOW PROFILE PLANTING (MEDIUM AND LOW), SPREADING, DROUGHT AND SUN TOLERANT PLANT SPECIES. PLANT SPECIES INCLUDE:
 - ECHIVERIA SP.
 - ERIGERON KARVINSKIANUS- SANTA BARBARA DAISY
 - DELOSPERMA SP.
 - GERANIUM SP. - LOW, SPREADING CRANESBILL
 - SEDUM SP. - STONECROP
 - STACHYS BYZANTINA- LAMB'S EARS
 - THYMUS SP. - THYME
- ALL SITE DRAINAGE TO BE ROUTED TO CITY STORM DRAIN SYSTEM.
- ALL TREE SPECIFICATIONS TO CONFORM WITH CULVER CITY MASTER TREE PROGRAM.

ROOF/LANDSCAPE PLAN 1

SCALE: 1/16" = 1'-0"



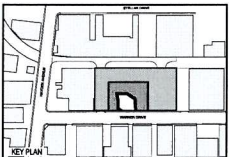
PARKING
STRUCTURE

8511 WARNER DRIVE
CULVER CITY, CA 90232

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		REVISION #1

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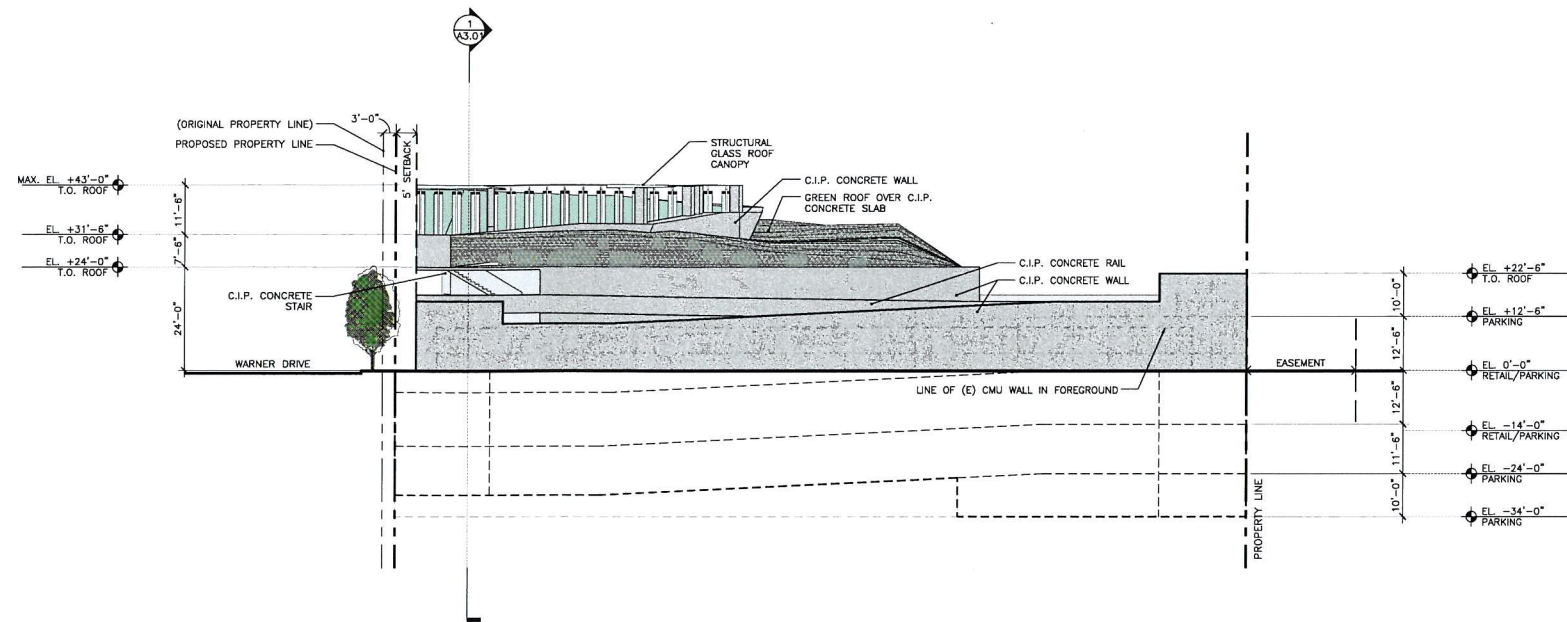
ELEVATIONS

Scale: AS NOTED

Sheet No.

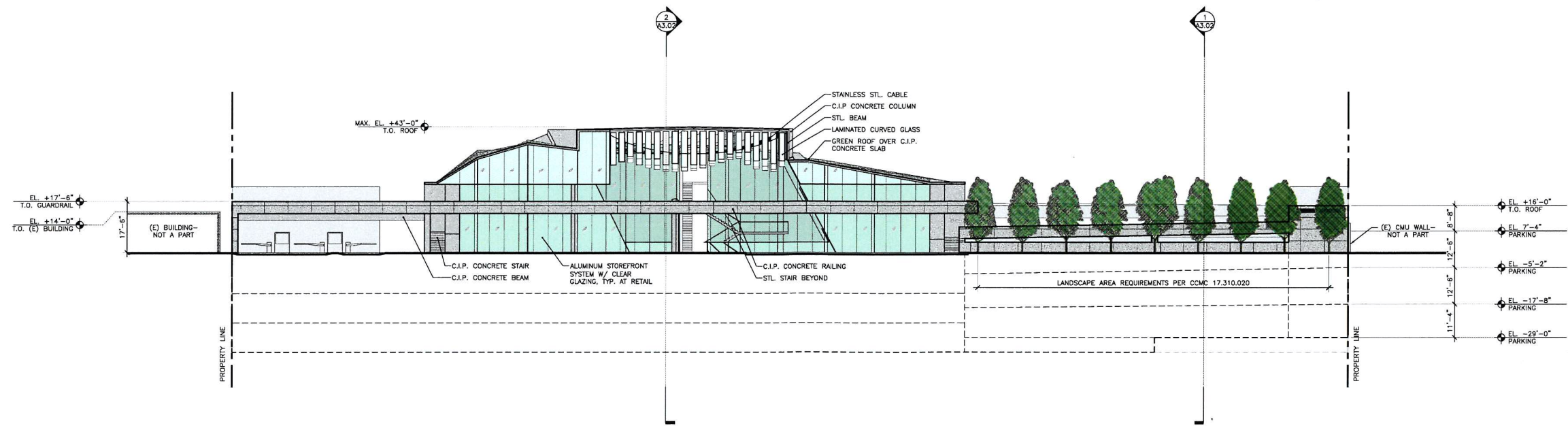
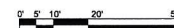
A2.01

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EAST ELEVATION 2

SCALE: 1/16" = 1'-0"

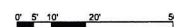


GENERAL NOTES:

1. ALL GUARDRAILS AND ARCH. FEATURES SHALL SUPPORT A WEIGHT OF 250LBS./SQ.FT.
2. RAILING ELEVATION ABOVE GRADE IS MAX. 42".

SOUTH ELEVATION 1

SCALE: 1/16" = 1'-0"



8511 WARNER DRIVE
CULVER CITY, CA 90232

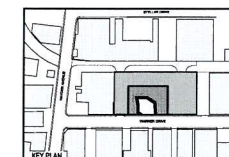
OWNER: CONJUNCTIVE POINTS
WARNER DEVELOPMENT, LLLP
3528 HAYDEN AVENUE
CULVER CITY, CA 90232-2535

TEL: 310.204.4464 **FAX:** 310.204.4465

ARCHITECT: **ERIC OWEN MOSS**
ARCHITECTS
8557 HIGUERA STREET
CULVER CITY, CA 90232-2535

TEL: 310.839.1199 **FAX:** 310.839.7922

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Rev#	Date	Description
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03-17-08 APPLICATION FOR ENTITLEMENT

REVISION #1

Sheet Title

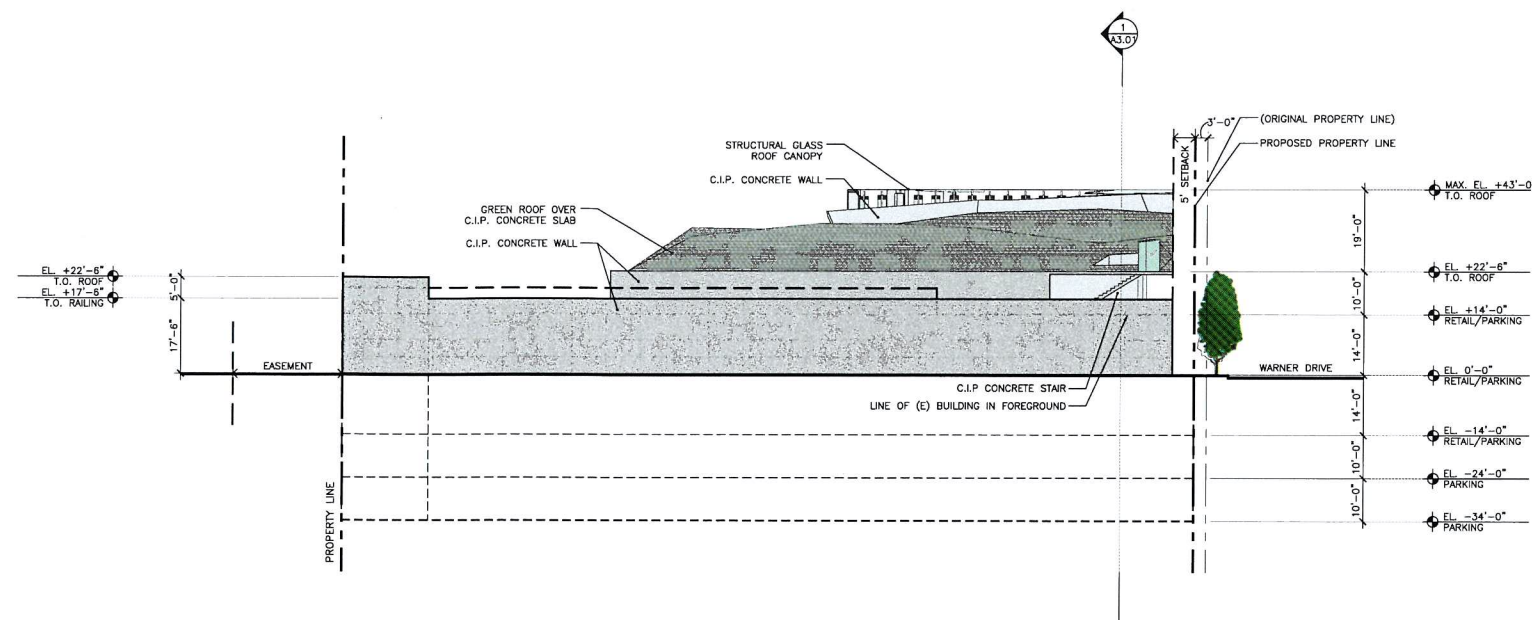
ELEVATIONS

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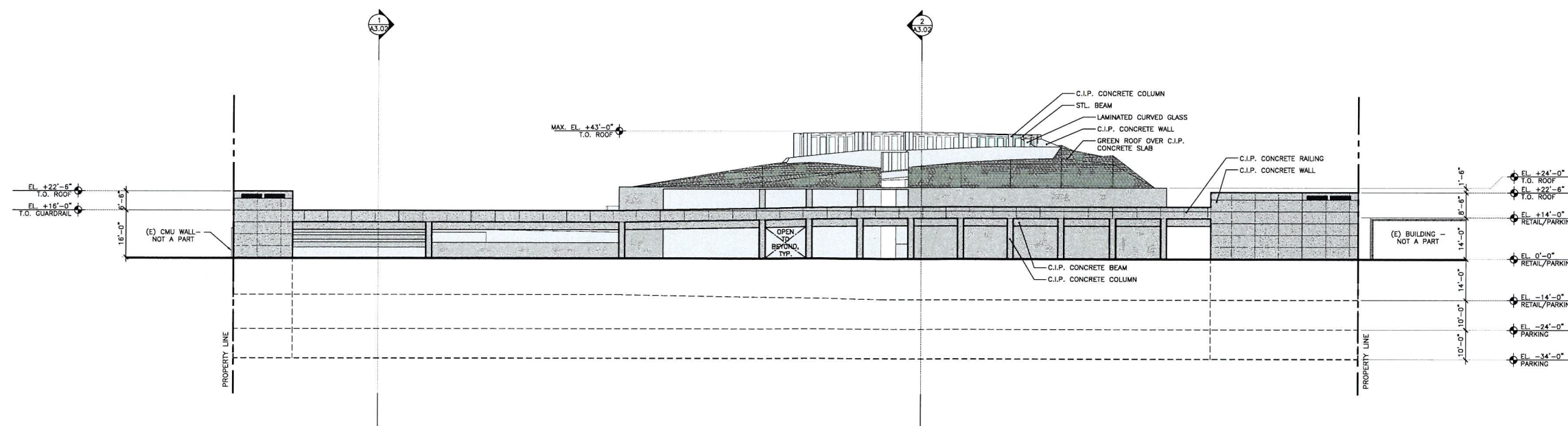
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EDM ARCHITECTS © 2008



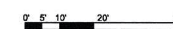
WEST ELEVATION (2)



NORTH ELEVATION

SCALE: 1/16" = 1'-0"

1



GENERAL NOTES:

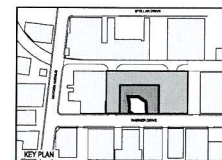
1. ALL GUARDRAILS AND ARCH. FEATURES SHALL SUPPORT A WEIGHT OF 250LBS./SQ.FT.
2. RAILING ELEVATION ABOVE GRADE IS MAX. 42".

PARKING
STRUCTURE

8511 WARNER DRIVE
CULVER CITY, CA 90232

OWNER: CONJUNCTIVE POINTS
WARNER DEVELOPMENT, L.L.P.
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CULVER CITY, CA 90232-2585
TEL: 310.204.4464 FAX: 310.204.4465
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8557 HIGUERA STREET
CULVER CITY, CA 90232-2536
TEL: 310.839.1199 FAX: 310.839.7922

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REVISION #1		

Sheet Title:

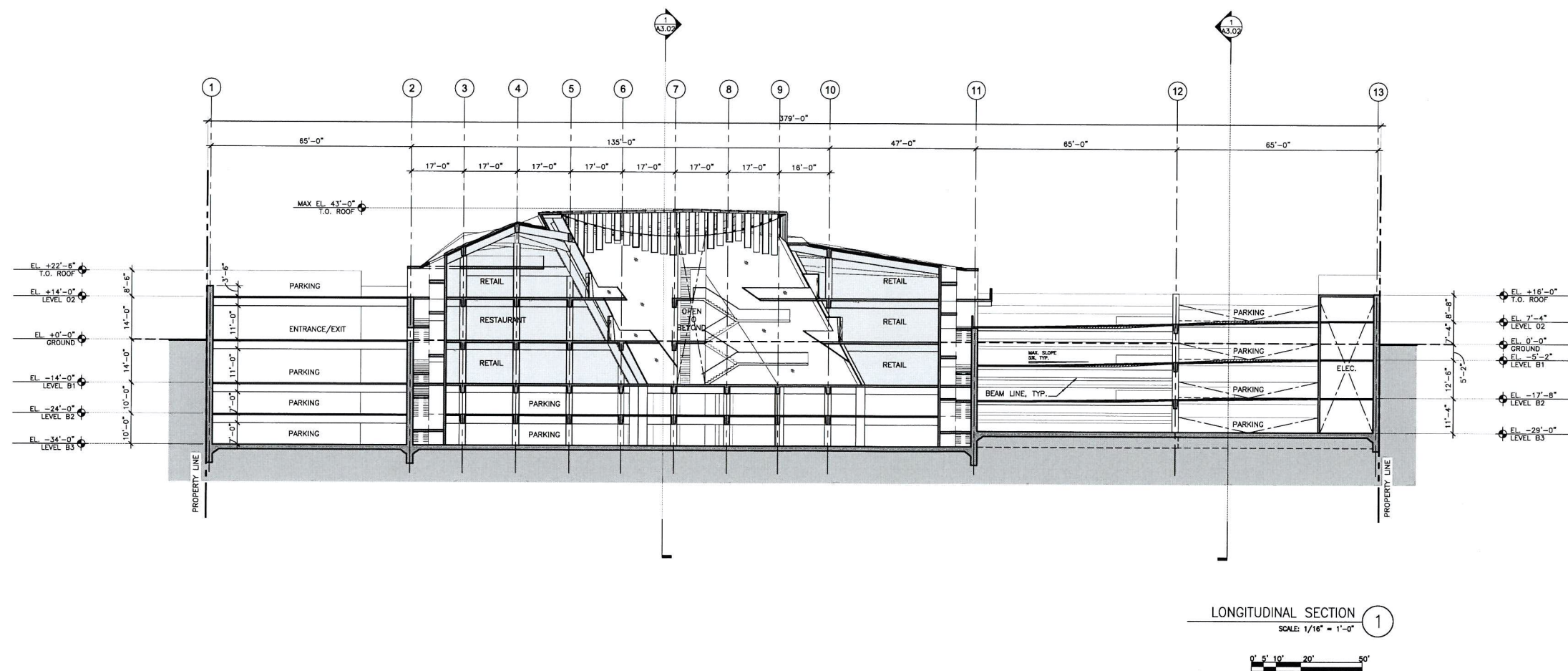
BUILDING
SECTION

Scale: AS NOTED

Sheet No.

A3.01

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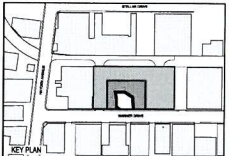


PARKING STRUCTURE

8511 WARNER DRIVE
CULVER CITY, CA 90232

OWNER: CONJUNCTIVE POINTS
WARNER DEVELOPMENT, L.L.P.
3028 HAYDEN AVENUE
CULVER CITY, CA 90232-2535
TEL: 310.204.4464 FAX: 310.204.4465
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8557 HIGUERA STREET
CULVER CITY, CA 90232-2935
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Issue Date: _____ Project No.: _____
Drawn by: _____ Approved by: _____

Rev# Date Description
03-17-08 APPLICATION FOR ENTITLEMENTS
06-30-08 APPLICATION FOR ENTITLEMENTS
REVISION #1

Sheet Title:

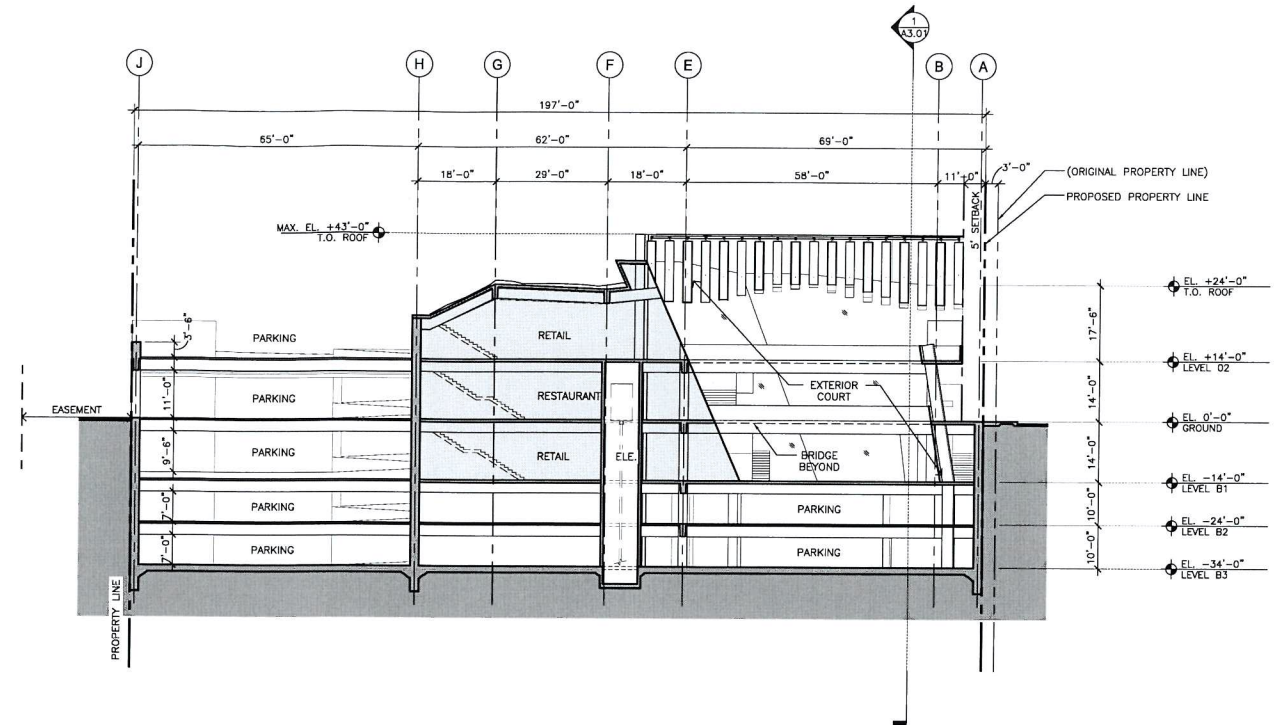
BUILDING SECTIONS

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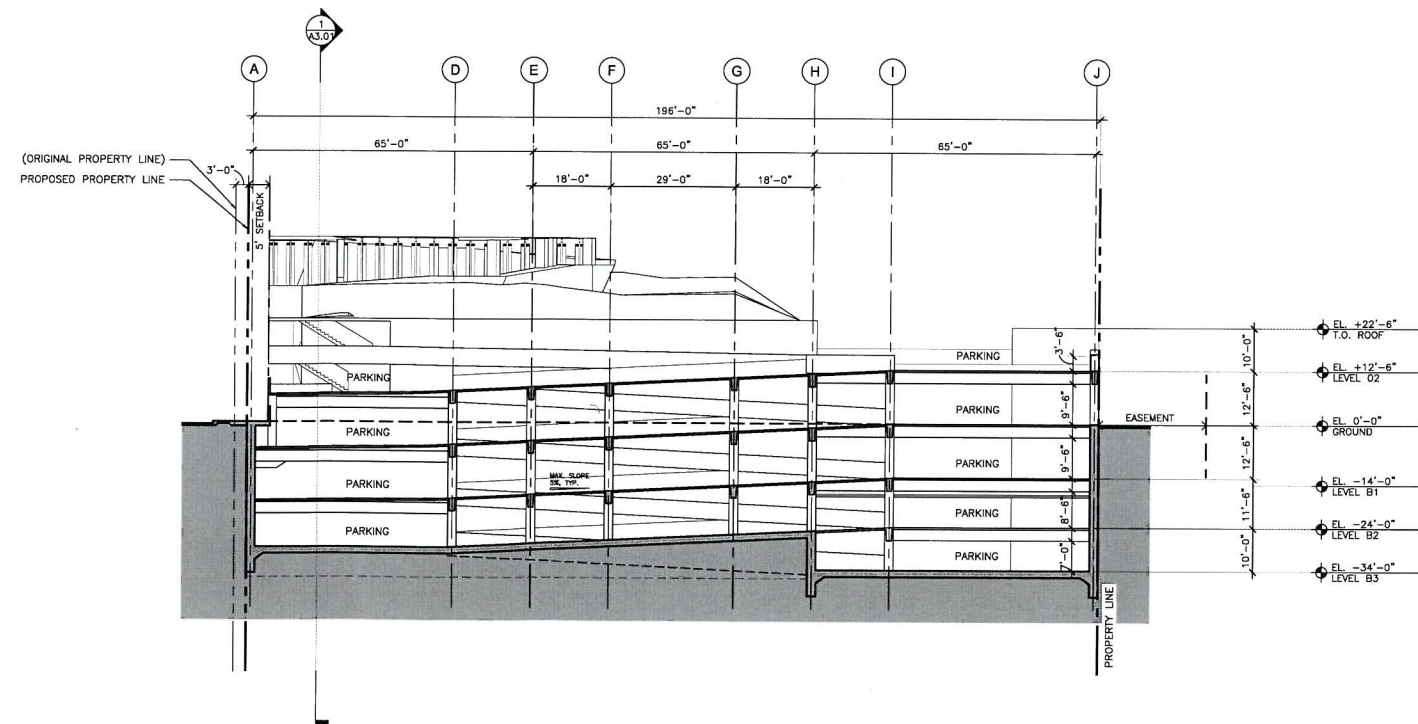
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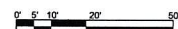
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TRANSVERSE SECTION 2
SCALE: 1/16" = 1'-0"



TRANSVERSE SECTION 1
SCALE: 1/16" = 1'-0"



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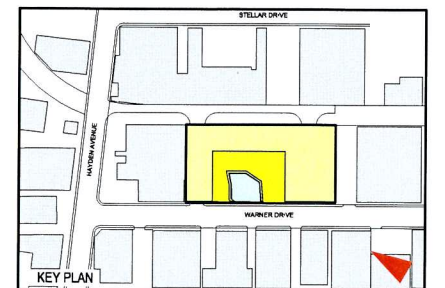
JUN 30 2008

Culver City
Planning Division



8511 WARNER DRIVE
PARKING STRUCTURE

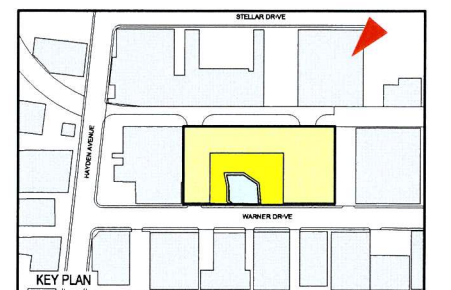
PHOTO SIMULATION
SOUTH EAST AERIAL VIEW





8511 WARNER DRIVE
PARKING STRUCTURE

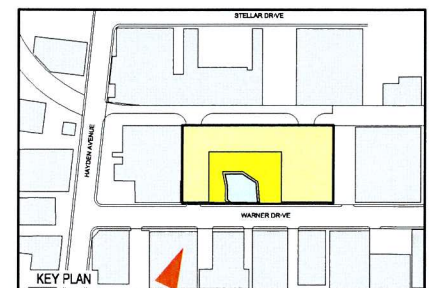
PHOTO SIMULATION
NORTH EAST AERIAL VIEW





8511 WARNER DRIVE
PARKING STRUCTURE

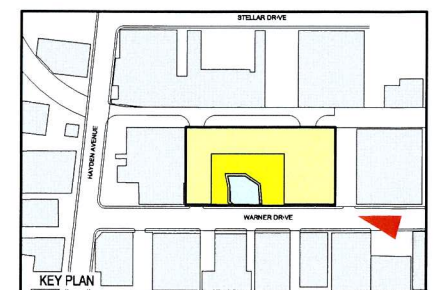
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SOUTH AERIAL VIEW

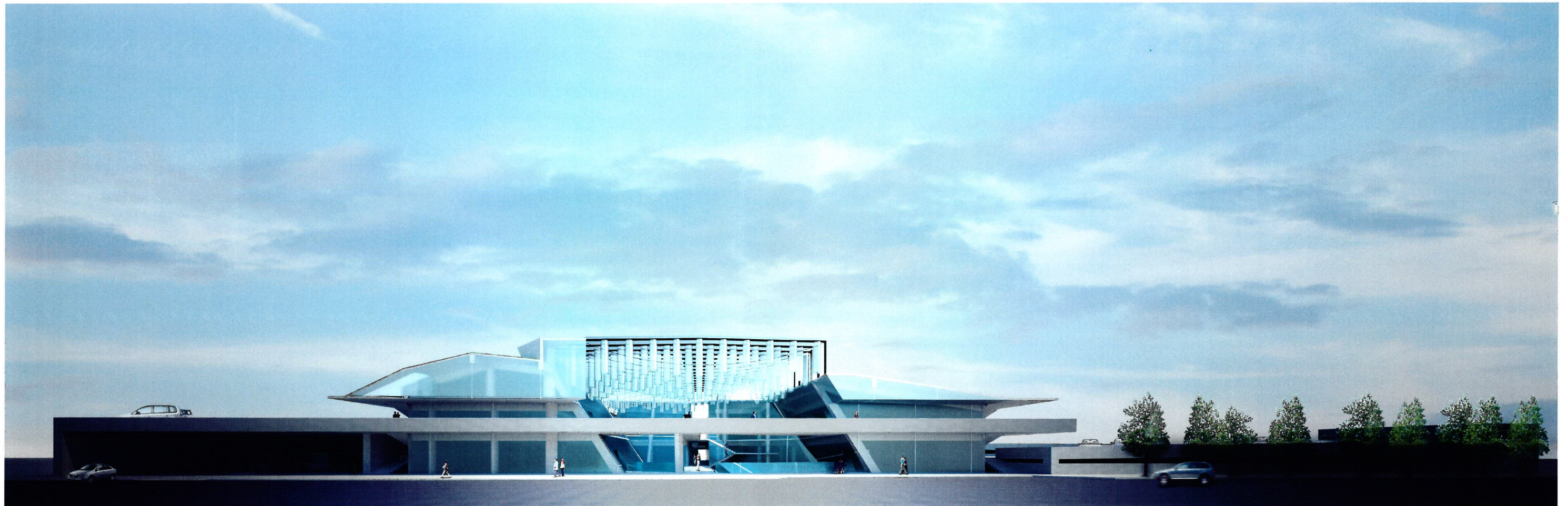




8511 WARNER DRIVE PARKING STRUCTURE

PHOTO SIMULATION
WARNER DRIVE VIEW





8511 WARNER DRIVE
PARKING STRUCTURE

PHOTO SIMULATION
WARNER DRIVE SOUTH VIEW

