

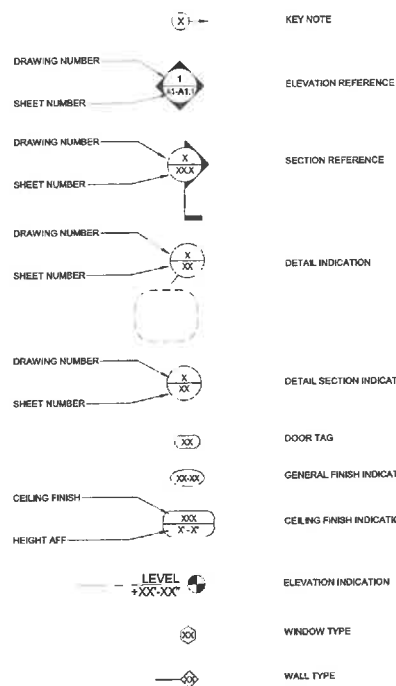
5-UNIT CONDOMINIUM

3906 HURON AVE
CULVER CITY, CA 90232

PROJECT DATA

- PROJECT ADDRESS: 3906 HURON AVE, CULVER CITY, CA 90232
- ZONE: RMD
- ASSESSOR PARCEL NUMBER: 4213-002-001
- NET LOT AREA: 7,501 SQFT
- MAX HEIGHT: 30'-0"
- NUMBER OF STORIES: 2 STORES TYPE V-3 RESIDENTIAL OVER 1-STORY TYPE I-A SUBTERRANEAN PARKING GARAGE
- NUMBER OF UNITS: 5
- EXISTING BUILDING FOOTPRINT: 2,095 SQFT
- EXISTING LOT COVERAGE: 2,695 / 7,501 = 35%
- FIRE DEPARTMENT NOTE:
 - FIRE SPRINKLERS ARE PROVIDED PER NFPA 13 IN THE PARKING AREA AND NFPA 13 R.
 - FIRE ALARM SYSTEM IS PROVIDED PER NFPA 72 WITH CENTRAL STATION MONITORING AND AUDIBLE(MIN-HORN) IN EACH DWELLING UNIT.
 - AN ADDRESS VIEWABLE IS PROVIDED FROM THE PUBLIC WAY.
 - A KNOX BOX WITH KEYS IS PROVIDED FOR ALL COMMON DOORS AND GATES.
 - A KNOX KEY SWITCH IS PROVIDED FOR ELECTRIC GATES AND ELECTRIC DOOR STRIKES.
 - SMOOTHER SURFACE IS PROVIDED FROM STREET TO UNITS AND PARKING AREA FOR USE OF GURNEY.

SYMBOLS



ABBREVIATIONS

(E), EX, EXIST	EXISTING
(N)	NEW
AB	ANCHOR BOLT
AFB	ABOVE FINISH FLOOR
ALT	ALTERNATING
ALUM	ALUMINIUM
B	BOTTOM
BDR	BEDROOM
BM	BEAM
BO	BOTTOM OF
CL	CLOSET
CL	CALIFORNIA BUILDING CODE
CF	COMPACT FLUORESCENT
CJ	CEILING JOIST
CL	CLOSET
CLG	CEILING
CLR	CLEAR
CONN	CONNECTION
D, DIA	DIAMETER
DEL	DOUBLE
DR	DOOR
EE	EACH END
EN	END PANEL
EQ	EQUAL
FB	FACE BLOCKING
FF	FINISH FLOOR
FJ	FLOOR JOIST
FN	FACE NAIL
FTG	FOOTING
GA	GARAGE
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSUM WALL BOARD
H	HORIZONTAL
HR	HOUR
HR	HOUR
MR	MASTER
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OPP	OPPOSITE
PL	PLATE
PT	PRESSURE TREATED
PTD	PAINTED
PW, PLWVD	PLYWOOD
R	REFLECTED CEILING PLAN
RCP	RIDGE
RO	ROUGH OPENING
RR	ROOF RAFTER
RTD	RATED
SB	SOLID BLOCKING
SC	SOLID CORE
SF	SQUARE FEET
SM	SIMILAR
SSD	SEE STRUCTURAL DRAWINGS
ST STL	STAINLESS STEEL
T&G	TONGUE AND GROOVE
T	TREAD
TBD	TO BE DETERMINED
THRESH	THRESHOLD
TO	TOP OF
TYP	TYPICAL
UNDERSIDE OF	UNLESS OTHERWISE NOTED
UN	VERIFY IN FIELD
VP	WITH
W	WOOD
WD	WALK-IN CLOSET
WIC	WALK-IN CLOSET

PROPOSED UNIT DENSITY

NET LOT SF = 7,501 SQ.FT.
1 UNIT PER 1,500 SF OF LOT ALLOWED
CALCULATION: 7,501 / 1,500 = 5
TOTAL UNITS ALLOWED: 5

PROPOSED SETBACKS

FRONT YARD (SOUTH)	15'-0"
SIDE YARD (WEST)	5'-0"
SIDE YARD (EAST)	0'-0"
REAR YARD (NORTH)	10'-0"

PROPOSED LOT COVERAGE

LOT AREA: 7,501 SQFT
BUILDING FOOTPRINT: 5,001
LOT COVERAGE AREA: 5,001 / 7,501 = 67%

PROPOSED HEIGHTS

UNIT	T.O. ROOF
#1	30'-0"
#2	30'-0"
#3	30'-0"
#4	30'-0"
#5	30'-0"

PROPOSED RESIDENTIAL HABITABLE AREAS PER UNIT

UNIT	NUMBER OF BEDROOMS	FIRST FLOOR	MEZZANINE FLOOR	SECOND FLOOR	UNIT TOTAL
1	3 BOR / 3.5 BATH	689 SF	233 SF	935 SF	1,627 SF
2	3 BOR / 3.5 BATH	686 SF	227 SF	905 SF	1,618 SF
3	3 BOR / 3.5 BATH	903 SF	301 SF	910 SF	2,114 SF
4	3 BOR / 3.5 BATH	858 SF	319 SF	910 SF	2,187 SF
5	3 BOR / 3.5 BATH	942 SF	314 SF	891 SF	2,147 SF
PROJECT TOTAL SF					11,123 SF

PROPOSED PARKING

UNIT	COVERED PARKING PROVIDED
#1	2-STANDARD PARKING SPACES
#2	2-STANDARD PARKING SPACES
#3	2-STANDARD PARKING SPACES
#4	2-STANDARD PARKING SPACES
#5	2-STANDARD PARKING SPACES
GUEST	1-STANDARD PARKING SPACE
ACCESSIBLE	1-STANDARD PARKING SPACE
TOTAL PARKING	12 PARKING SPACES
GARAGE SF:	4,624 SF

OPEN SPACE REQUIRED VS. PROVIDED

REQUIRED	PROVIDED PRIVATE OPEN SPACE	
	UNIT	DECKS
PRIVATE: 100 SF / UNIT x 5 = 500 SF	1	538
	2	499
COMMON: NONE	3	499
	4	482
	5	408
	TOTAL	2,466 SF

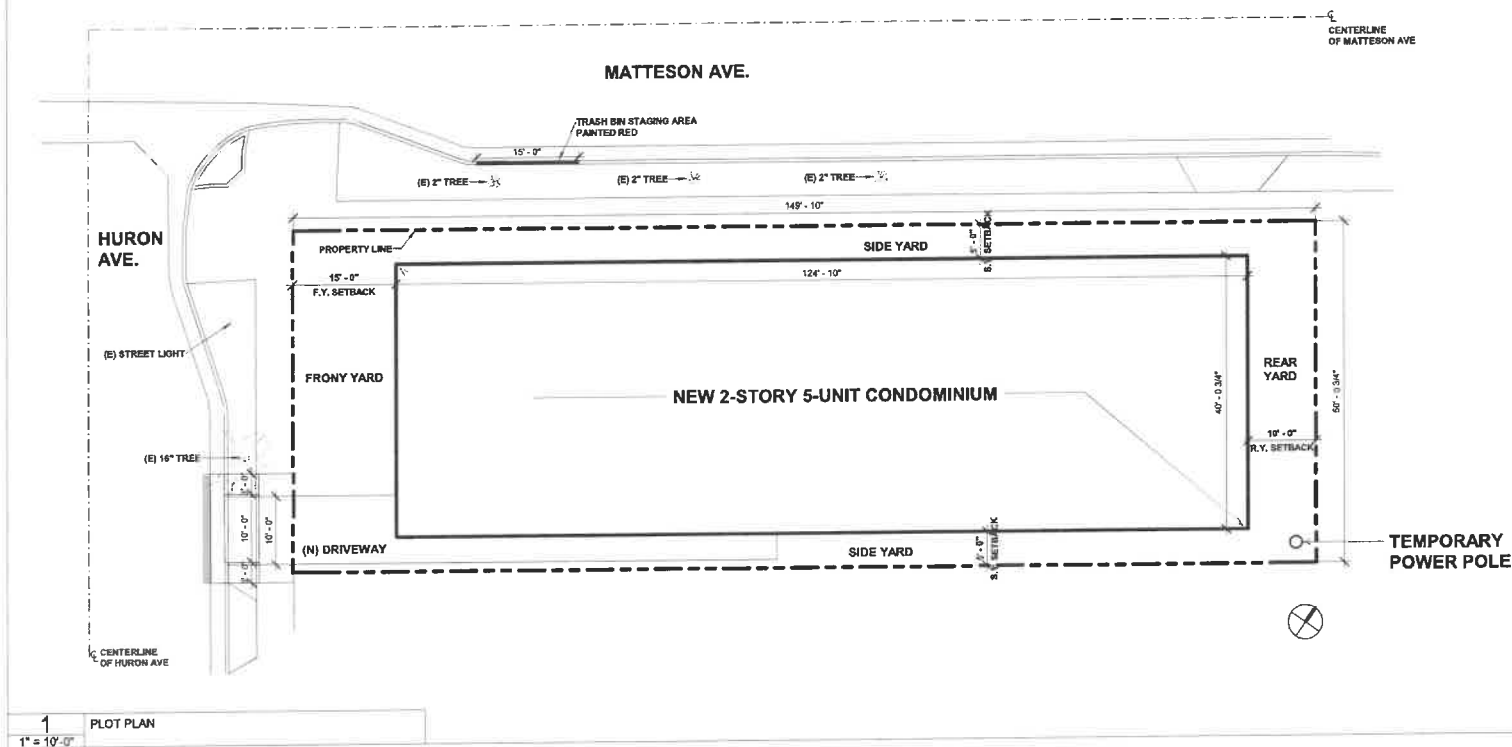
FRONT YARD AREA TABULATION PER CCMC 17.400.105

TOTAL F.Y. AREA	REQUIRED	PROVIDED	%
750 SF	HARDSCAPE: MAX 45% x 750 = 337.5 SF	337 SF	45%
	LANDSCAPE: MIN 55% x 750 = 412.5 SF	413 SF	55%

DRAWING INDEX

ARCHITECTURAL	CIVIL	LANDSCAPE
T-01	C0-01	L-1
T-02	C1-00	L-2
T-03	C1-10	L-3
T-04	C1-20	L-4
T-05	C1-30	L-5
T-06	C1-40	L-6
T-07	C1-50	L-7
T-08	C1-60	L-8
T-09	C2-00	
	C2-00	
A1-00		
A2-00		
A2-01		
A2-01.1		
A2-02		
A2-03		
A2-04		
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A3-01		
A3-02		
A3-03		
A4-01		
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A4-04		
A4-05		
A4-06		
A5-01		
A5-02		
A5-03		
A5-04		
A5-01		

VICINITY MAP



ARCHITECT:
Aaron Brumer & Assoc, Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aarbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-6589

CIVIL:
DK Engineer Corp.
6420 Wilshire Blvd, #1000
Los Angeles, CA 90048
(310) 526-0248

LANDSCAPE:
Yael Lir Landscape Architects
10110 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



DRAWING TITLE
COVER SHEET

T-01

3906 HURON AVE

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

TITLE INFORMATION (ORDER NO.: 072133152-30)

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO. 072133152-30, DATED JULY 9, 2021, AS PROVIDED BY USA NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

LEGAL DESCRIPTION

LOT ONE, BLOCK 6 OF CLARKDALE TRUST, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 178 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4213-002-001

TITLE EXCEPTIONS

TITLE REPORT PREPARED BY USA NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 072133152-30, EFFECTIVE DATE: JULY 9, 2021.

1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES, TO BE LEVIED FOR THE FISCAL YEAR 2021-2022 WHICH ARE A LIEN NOT YET PAYABLE. (NOT A SURVEY ITEM)

2. GENERAL AND SPECIAL CITY AND/OR COUNTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE FISCAL YEAR 2020-2021:

1ST INSTALLMENT: \$2,755.91 PAID

2ND INSTALLMENT: \$2,755.90 PAID

LAND VALUE: \$214,615.00

IMPROVEMENTS: \$90,578.00

EXEMPTION: \$0.00

CODE AREA: 0310

ASSESSMENT NO. 4213-002-001

(NOT A SURVEY ITEM)

3. SUPPLEMENTAL TAXES FOR THE FISCAL YEAR ISSUED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA:

CODE AREA: 0310

PARCEL NO.: 4213-002-001

FIRST INSTALLMENT: \$5,458.23 DELINQUENT

PENALTY: \$546.82 (IF NOT PAID BY MARCH 31, 2021)

SECOND INSTALLMENT: \$5,458.23 OPEN

PENALTY: \$556.82 (IF NOT PAID BY JULY 31, 2021)

YEAR/SEQUENCE: 2020-010

(NOT A SURVEY ITEM)

4. ASSESSMENTS, IF ANY, FOR COMMUNITY FACILITY DISTRICTS AFFECTING SAID LAND WHICH MAY EXIST BY VIRTUE OF ASSESSMENT MAPS OR NOTICES FILED BY SAID DISTRICTS, SAID ASSESSMENTS ARE COLLECTED WITH THE COUNTY TAXES. (NOT A SURVEY ITEM)

5. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION PRIOR TO DATE OF POLICY. (NOT A SURVEY ITEM)

6. WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT A SURVEY ITEM)

7. COVENANTS, CONDITIONS, AND RESTRICTIONS AS SET FORTH IN INSTRUMENT RECORDED IN BOOK 2815, PAGE 136 OF DEEDS, BUT OMITTING ANY COVENANT, CONDITION OR RESTRICTION, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT, CONDITION OR RESTRICTION (A) IS EXEMPT UNDER TITLE 42 OF THE UNITED STATES CODE, OR (B) RELATES TO HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS.

NOTE: SECTION 12866.1 OF THE GOVERNMENT CODE PROVIDES THE FOLLOWING: IF THIS DOCUMENT CONTAINS ANY RESTRICTIONS BASED ON RACE, COLOR, RELIGION, SEX, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, NATIONAL ORIGIN, OR ANCESTRY, THAT RESTRICTION VIOLATES STATE AND FEDERAL FAIR HOUSING LAWS AND IS VOID, AND MAY BE REMOVED PURSUANT TO SECTION 12866.1 OF THE GOVERNMENT CODE.

LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS.

SAID COVENANTS, CONDITIONS, AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. (NOT A SURVEY ITEM)

8. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY AN INSPECTION OR SURVEY: FOR POLES AND WIRES AFFECTS: SAID LAND (NOT A SURVEY ITEM)

9. AN OIL AND GAS LEASE FOR THE TERM THEREIN PROVIDED WITH CERTAIN COVENANTS, CONDITIONS AND PROVISIONS, TOGETHER WITH EASEMENTS, IF ANY, AS SET FORTH THEREIN.

DATED: MARCH 1, 1969
LESSOR: HELEN SALCIDO
LESSEE: SIGNAL OIL AND GAS COMPANY, A CORPORATION
RECORDED: MAY 12, 1969
INSTRUMENT/FILE NO.: 3002 OF OFFICIAL RECORDS.

SAID LEASE PROVIDES FOR NO RIGHT OF SURFACE ENTRY. NO ASSURANCE IS MADE AS TO THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE, NOR AS TO OTHER MATTERS AFFECTING THE RIGHTS OR INTERESTS OF THE LESSOR OR LESSEE IN SAID LEASE. (NOT A SURVEY ITEM)

10. AN OIL AND GAS LEASE FOR THE TERM THEREIN PROVIDED WITH CERTAIN COVENANTS, CONDITIONS AND PROVISIONS, TOGETHER WITH EASEMENTS, IF ANY, AS SET FORTH THEREIN.

DATED: MAY 31, 1968
LESSOR: FRANK SALCIDO AND GLORIA SALCIDO
LESSEE: SHELL OIL COMPANY, A CORPORATION
RECORDED: AUGUST 23, 1968
INSTRUMENT/FILE NO.: 2515 OF OFFICIAL RECORDS.

SAID LEASE PROVIDES FOR NO RIGHT OF SURFACE ENTRY. NO ASSURANCE IS MADE AS TO THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE, NOR AS TO OTHER MATTERS AFFECTING THE RIGHTS OR INTERESTS OF THE LESSOR OR LESSEE IN SAID LEASE. (NOT A SURVEY ITEM)

11. PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. THE COMPANY WILL REQUIRE THE ENCLOSED AFFIDAVIT BE SIGNED AND NOTARIZED IN ESCROW AND SUBMITTED TO USA NATIONAL TITLE PRIOR TO THE CLOSE OF ESCROW. IF THE AFFIDAVIT IS SIGNED AND NOTARIZED OUTSIDE OF THE ESCROW THE COMPANY WILL REQUIRE COPIES OF TWO FORMS OF VALID PHOTO ID.

12. RIGHTS OF PARTIES IN POSSESSION.

TO DETERMINE IF THE ABOVE REFERENCED ITEM CAN BE DELETED OR MODIFIED THE COMPANY WILL REQUIRE THAT THE ATTACHED OWNERS INFORMATION STATEMENT BE COMPLETED BY THE OWNER OF THE ESTATE DESCRIBED OR REFERRED TO IN SCHEDULE A AND BE RETURNED TO USA NATIONAL TITLE COMPANY, INC. AS SOON AS POSSIBLE PRIOR TO THE CLOSE OF ESCROW.

THE PURPOSES OF THE OWNER'S INFORMATION SHEET, IS TO PROVIDE THE COMPANY WITH CERTAIN INFORMATION THAT CANNOT NEARLY ASCERTAINED BY MAKING A PHYSICAL INSPECTION OF THE LAND.

13. PRIOR TO THE ISSUANCE OF ANY POLICY OF TITLE INSURANCE, THE COMPANY WILL REQUIRE THE FOLLOWING WITH RESPECT TO PARTNERS INVEST LLC, A CALIFORNIA LIMITED LIABILITY COMPANY:

(1) EVIDENCE THAT THE LLC IS IN GOOD STANDING, AND ITS RIGHTS TO DO BUSINESS HAVE NOT BEEN SUSPENDED FOR ANY REASON.

(2) A COPY OF ITS OPERATING AGREEMENT AND ANY AMENDMENTS THERETO MUST BE SUBMITTED TO THE COMPANY FOR REVIEW.

(3) A CERTIFIED COPY OF ITS ARTICLES OF ORGANIZATION (LLC-1), ANY CERTIFICATE OF CORRECTION (LLC-11), CERTIFICATE OF AMENDMENT (LLC-2), OR RESTATEMENT OF ARTICLES OF ORGANIZATION (LLC-10) MUST BE SUBMITTED TO THE COMPANY FOR REVIEW.

(4) WITH RESPECT TO ANY DEED, DEED OF TRUST, LEASE, SUBORDINATION AGREEMENT OR OTHER DOCUMENT OR INSTRUMENT EXECUTED BY SUCH LIMITED LIABILITY COMPANY AND PRESENTED TO THE COMPANY FOR RECORDING OR UPON WHICH THE COMPANY IS ASKED TO RELY, SUCH DOCUMENT OR INSTRUMENT MUST BE EXECUTED IN ACCORDANCE WITH THE FOLLOWING:

(a) IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH OFFICERS APPOINTED OR ELECTED PURSUANT TO THE TERMS OF THE WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT OR INSTRUMENT MUST BE EXECUTED BY AT LEAST TWO DULY ELECTED OR APPOINTED OFFICERS AS FOLLOWS: THE CHAIRMAN OF THE BOARD, THE PRESIDENT, VICE PRESIDENT, AND ANY SECRETARY, ASSISTANT SECRETARY, THE CHIEF FINANCIAL OFFICER OR ANY ASSISTANT TREASURER.

(b) IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH A MANAGER OR MANAGERS IDENTIFIED IN THE ARTICLES OF ORGANIZATION AND/OR DULY ELECTED PURSUANT TO THE TERMS OF A WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT OR INSTRUMENT MUST BE EXECUTED BY AT LEAST TWO SUCH MANAGERS OR BY ONE MANAGER IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES WITH THE EXISTENCE OF ONLY ONE MANAGER.

(5) OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE.

14. THIS TRANSACTION MAY BE SUBJECT TO THE CURRENT FINEN GEOGRAPHIC TARGETING ORDER ISSUED BY THE DIRECTOR OF FINEN PURSUANT TO 31 U.S.C. § 5302(a); 31 C.F.R. § 1002.276; AND TREASURY ORDER 180-01. THE POLICY ISSUING AGENT MUST BE PROVIDED WITH CERTAIN INFORMATION PRIOR TO CLOSING PURSUANT TO THE GTO THIS TRANSACTION WILL NOT BE INSURED, AND THIS ISSUING AGENT AND/OR ITS UNDERWRITER WILL NOT BE INVOLVED IN THE CLOSING AND SETTLEMENT UNTIL THIS INFORMATION IS REVIEWED BY THE ISSUING AGENT AND SUBMITTED TO FINEN VIA THE BSA E-FILE THROUGH THE FINEN E-FILE PLATFORM.

15. IN THE EVENT THE CONTEMPLATED TRANSACTION INVOLVES A LOAN FROM A NON-FIN INSTITUTIONAL LENDER (IE, HARD MONEY OR PRIVATE PARTY, OTHER THAN A SELLER CARRY BACK LOAN), PLEASE REFER TO THE REQUIREMENTS SHOWN AS NOTE #6 IN THE PRELIMINARY REPORT. (NOT A SURVEY ITEM)

TITLE EXCEPTIONS CONT

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SURVEYOR'S NOTES

- NO OBSERVABLE EVIDENCE OF CEMETERY OR BURIAL GROUNDS ON PROJECT SITE.
- NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- NO OBSERVABLE EVIDENCE OF STREET CHANGES IN RIGHT OF WAY LINES FOR STREETS ADJOINING PROJECT AREA, UNLESS NOTED HEREON.
- NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, BUMP OR SANITARY LANDFILL.
- NO OBSERVABLE EVIDENCE OF FIELD DELINEATION OF WETLANDS.

ZONING INFORMATION

THE FOLLOWING INFORMATION WAS EXTRACTED FROM THE CULVER CITY ZONING MAP, ACCESS VIA CULVERCITY.ORG, FOR COMPLETE ZONING INFORMATION CONTAINED THEREIN PLEASE REFER TO SAID MAP:

NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

EXISTING ZONING DESIGNATION: RM2 RESIDENTIAL MEDIUM DENSITY MULTIPLE

COMMENTS

DATE OF SURVEY ... SEPTEMBER 2020

BOUNDARY LINES ... WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

② ... INDICATES ENCUMBRANCE SHOWN HEREON.

SITE ADDRESS ... 3806 HURON AVE, CULVER CITY

APN ... 4213-002-001

BASIS OF BEARINGS ... THE BEARING OF N33°W ALONG THE CENTERLINE OF HURON AVE AS SHOWN ON MAP OF CLARKDALE, BOOK 9, PAGE 178 OF MAPS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

LAND AREA ... 7,501 SQ. FT. / 0.172 ACRES MORE OR LESS

FLOOD INSURANCE RATE MAP ... ZONE "X", PER FLOOD INSURANCE RATE MAP (FIRM) MAP PANEL 1595 OF 2350, MAP NO. 06037C1595G EFFECTIVE DATE DECEMBER 18, 2019.

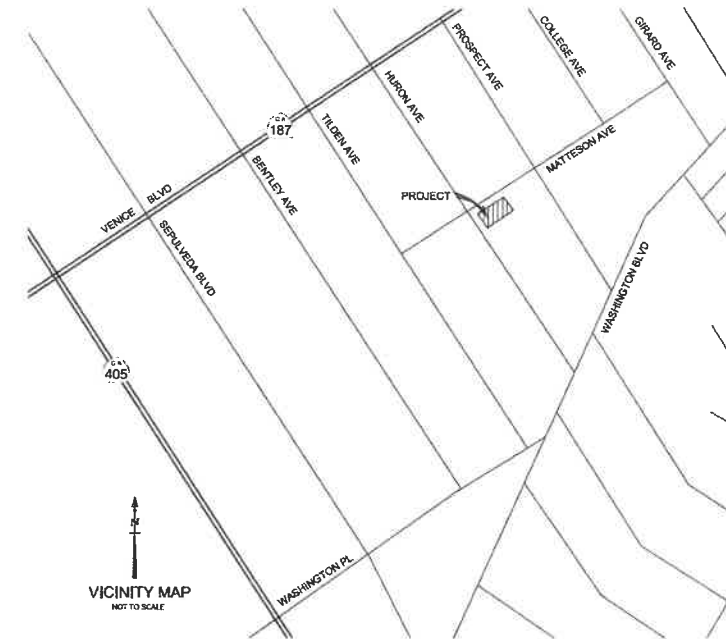
UTILITIES ... LOCATIONS OF UTILITIES SHOWN ON THIS MAP WERE OBTAINED FROM OBSERVED EVIDENCE DURING A FIELD SURVEY. THEY ARE FOR INFORMATION ONLY. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.

PUBLIC ACCESS ... HURON AVE & MATTESSON AVE

STATEMENT OF ENCROACHMENTS:

THIS SURVEY HAS FOUND EVIDENCE OF ENCROACHMENTS AS LISTED BELOW:

- THE SOUTHWEST CHAIN-LINK FENCE ENCROACHES OVER THE SOUTHWESTERLY PROPERTY LINE BY 0.08-0.45 FEET.
- THE NORTHEAST CHAIN-LINK FENCE ENCROACHES OVER THE NORTHWESTERLY PROPERTY LINE BY 0.26-0.50 FEET.
- THE SOUTHEAST CHAIN-LINK FENCE ENCROACHES OVER THE SOUTHEASTERLY PROPERTY LINE BY 0.11-1.19 FEET.
- THE SOUTHEAST WOOD FENCE ENCROACHES OVER THE SOUTHEASTERLY PROPERTY LINE BY 0.12 FEET.



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www.christensenandplouff.com



DATE: 07/29/2021
DRAWING PLOUFF, N. 15
PREPARED BY: KACIE PLOUFF
APPROVED BY: KACIE PLOUFF
FIELD MAP: 07/29/2021 15:00:00
PROJECT: 3906 HURON AVE, CULVER CITY, CA 90230

3906 HURON AVENUE, CULVER CITY
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA
APN: 4213-002-001

PROJECT:
A.L.T.A./N.S.P.S. LAND TITLE SURVEY

PROJECT NO.
SCA-20-129
SHEET NO.
1 OF 1

SURVEYOR'S CERTIFICATION
TO: PARTNERS INVEST LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND USA NATIONAL TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA AND NSPS SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5(A), 7(B)(1), 7(C), 8, 9, 11, 14, 18, 17, 19, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN THE MONTH OF SEPTEMBER 2020.



PAGE: A, PLOUFF, PLS 9013

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MEP:
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Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
1	08.03.2021	NEIGHBORHOOD OUTREACH MEETING #1			
2	08.09.2021	PPR SUBMITTAL #01			
3	09.10.2021	PPR SUBMITTAL #02			
4	11.30.2021	CITY PLANNING SUBMITTAL #01_V2			
5	02.22.2022	CITY PLANNING SUBMITTAL #02			
6	04.08.2022	CITY PLANNING SUBMITTAL #03			
7	05.19.2022	CITY PLANNING SUBMITTAL #04			
8	06.14.2022	CITY PLANNING SUBMITTAL #05			



DRAWING TITLE
SURVEY SHEET 1

T-02

3906 HURON AVE



1



2



3



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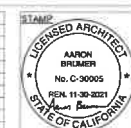
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PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.09.2021	PPR SUBMITTAL #01		
3 09.10.2021	PPR SUBMITTAL #02		
4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2		
5 02.22.2022	CITY PLANNING SUBMITTAL #02		
6 04.08.2022	CITY PLANNING SUBMITTAL #03		
7 05.19.2022	CITY PLANNING SUBMITTAL #04		
8 06.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
 EXISTING CONDITION
 PHOTOS

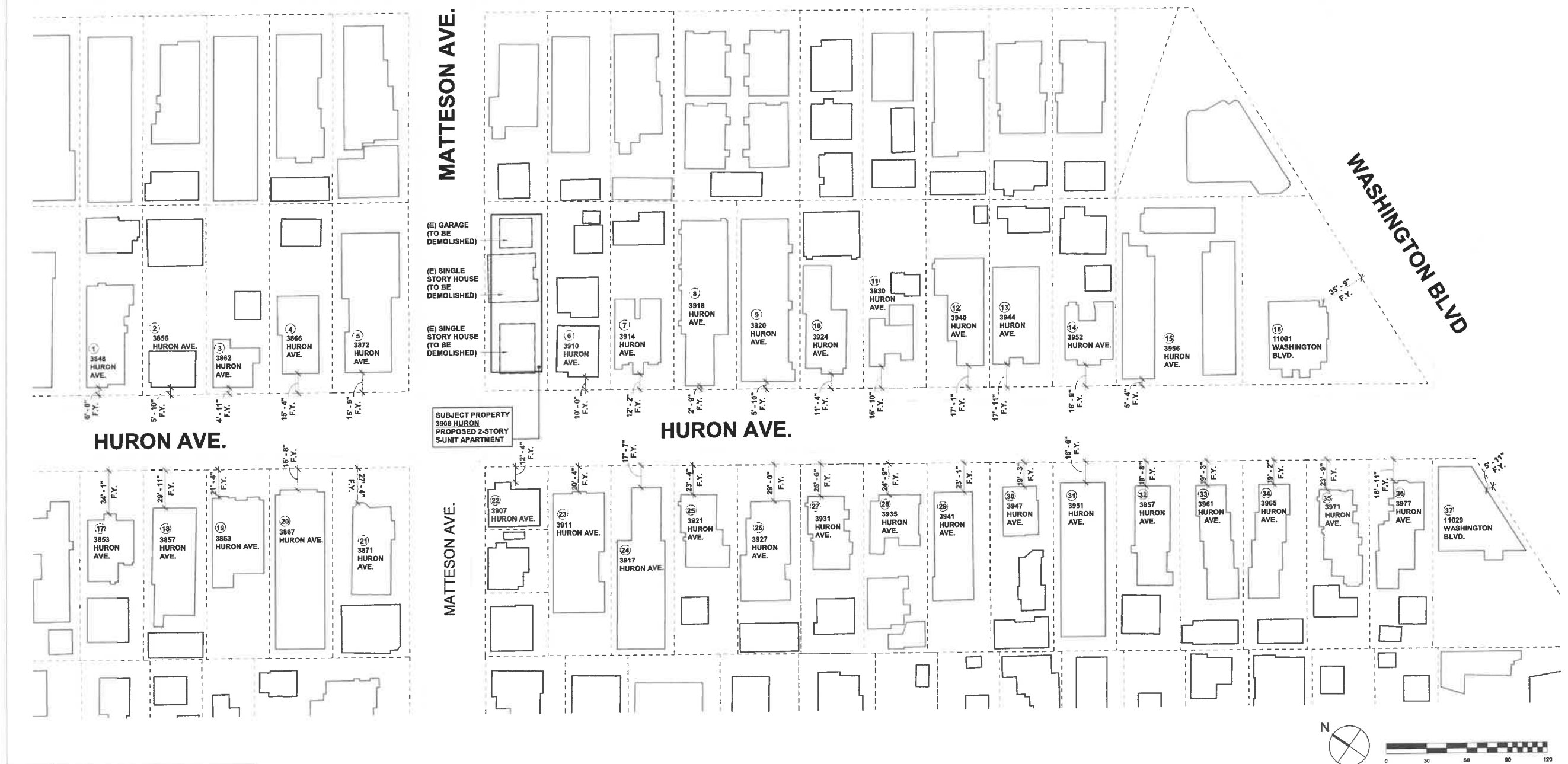
T-04

3906 HURON AVE

ADDRESS	SITE COVERAGE	HEIGHT	FRONT SETBACK
1 3848 HURON AVE.	49%	11'-0"	6'-0"
2 3856 HURON AVE.	35%	11'-0"	5'-10"
3 3862 HURON AVE.	31%	11'-0"	4'-11"
4 3866 HURON AVE.	35%	18'-0"	15'-4"
5 3872 HURON AVE.	49%	24'-0"	15'-9"
6 3910 HURON AVE.	39%	11'-0"	10'-0"
7 3914 HURON AVE.	38%	26'-0"	12'-2"
8 3918 HURON AVE.	38%	26'-0"	2'-9"
9 3920 HURON AVE.	36%	30'-0"	5'-10"
10 3924 HURON AVE.	33%	11'-0"	11'-4"
11 3930 HURON AVE.	33%	11'-0"	18'-10"
12 3940 HURON AVE.	37%	12'-0"	17'-1"
13 3944 HURON AVE.	47%	11'-0"	17'-11"
14 3952 HURON AVE.	43%	11'-0"	18'-9"
15 3956 HURON AVE.	44%	11'-0"	5'-4"

ADDRESS	SITE COVERAGE	HEIGHT	FRONT SETBACK
16 11001 WASHINGTON BLVD.	17%	12'-0"	38'-9"
17 3853 HURON AVE.	37%	12'-0"	54'-1"
18 3857 HURON AVE.	51%	12'-0"	29'-11"
19 3863 HURON AVE.	35%	21'-0"	21'-4"
20 3867 HURON AVE.	65%	22'-0"	16'-6"
21 3871 HURON AVE.	43%	21'-0"	27'-4"
22 3907 HURON AVE.	51%	11'-0"	12'-4"
23 3911 HURON AVE.	50%	21'-0"	20'-4"
24 3917 HURON AVE.	57%	22'-6"	17'-7"
25 3921 HURON AVE.	30%	11'-0"	25'-4"
26 3927 HURON AVE.	51%	21'-0"	29'-0"
27 3931 HURON AVE.	35%	11'-0"	29'-6"
28 3935 HURON AVE.	43%	11'-0"	24'-9"
29 3941 HURON AVE.	35%	21'-0"	23'-1"
30 3947 HURON AVE.	39%	11'-0"	19'-3"

ADDRESS	SITE COVERAGE	HEIGHT	FRONT SETBACK
31 3951 HURON AVE.	67%	21'-0"	16'-6"
32 3957 HURON AVE.	41%	20'-0"	19'-8"
33 3961 HURON AVE.	40%	11'-0"	19'-3"
34 3965 HURON AVE.	39%	11'-0"	19'-2"
35 3971 HURON AVE.	36%	11'-0"	23'-6"
36 3977 HURON AVE.	39%	21'-0"	16'-11"
37 11029 WASHINGTON BLVD.	27%	21'-0"	5'-11"
AVERAGE	42%	16'-1"	17'-4 1/2"
3906 HURON AVE	67%	30'-0"	19'-0"



1 VICINITY STUDY
1/32" = 1'-0"

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 08.13.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



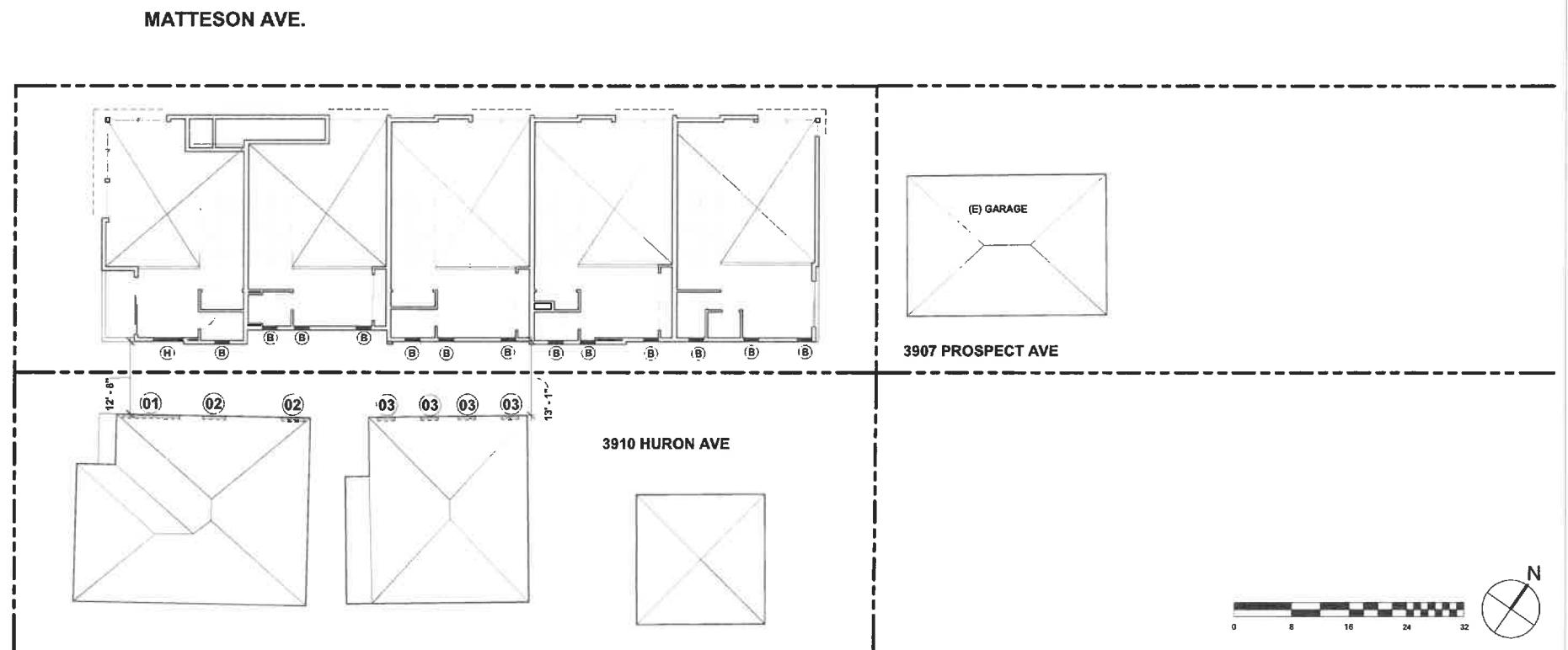
DRAWING TITLE
VICINITY STUDY

T-05

3906 HURON AVE

(N) WINDOWS & DOORS	
(N) WINDOW / DOOR NUMBER	DIMENSIONS (W x H)
(H)	5'-0" x 4'-6"
(B)	2'-6" x 4'-6"

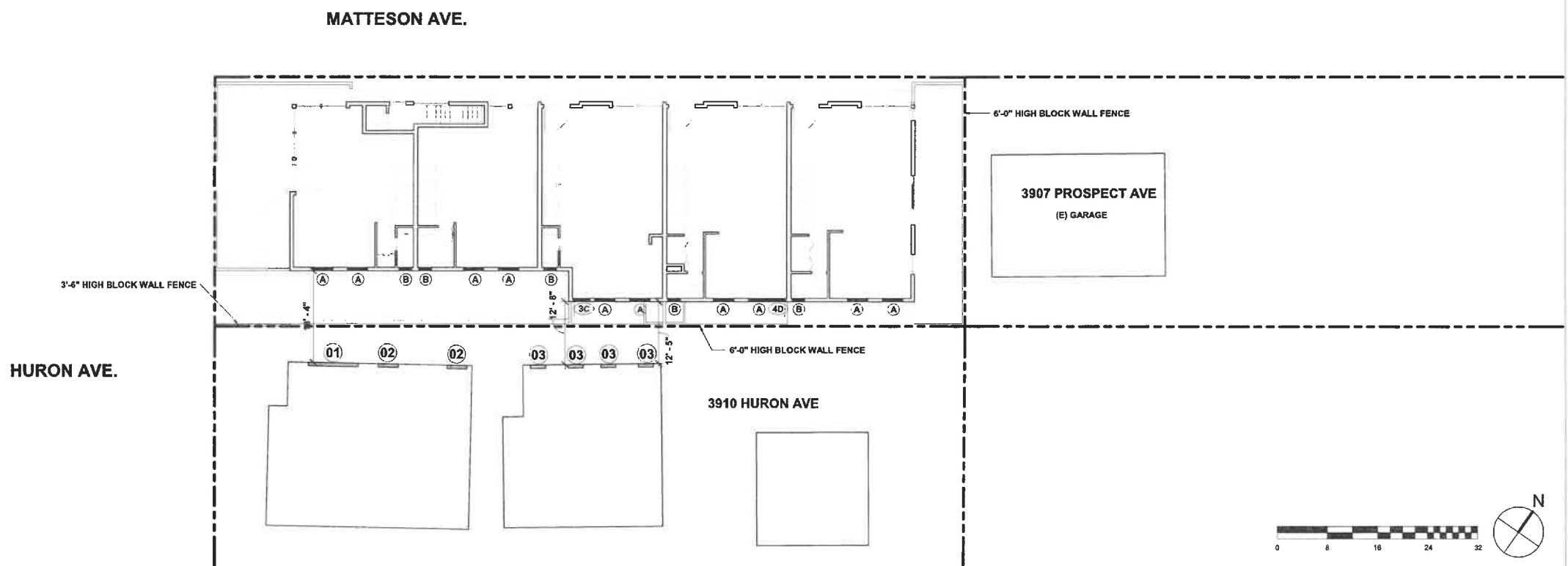
(E) WINDOWS RELATIONSHIP TO (N) WINDOWS		
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DIMENSIONS (W x H)
3910 HURON AVE.	(01)	10'-0" x 4'-6"
	(02)	4'-0" x 4'-6"
	(03)	3'-0" x 4'-6"



2 MEZZANINE FLOOR PLAN / WINDOW ADJACENCY STUDY
1" = 10'-0"

(N) WINDOWS & DOORS	
(N) WINDOW / DOOR NUMBER	DIMENSIONS (W x H)
(A)	4'-0" x 2'-0"
(B)	2'-6" x 4'-6"
(3C) (4D)	3'-0" x 8'-0"

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS		
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DIMENSIONS (W x H)
3910 HURON AVE.	(01)	10'-0" x 4'-6"
	(02)	4'-0" x 4'-6"
	(03)	3'-0" x 4'-6"



1 FIRST FLOOR PLAN / WINDOW ADJACENCY STUDY
1" = 10'-0"

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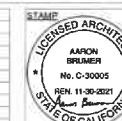
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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3908 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 06.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01 1/2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION

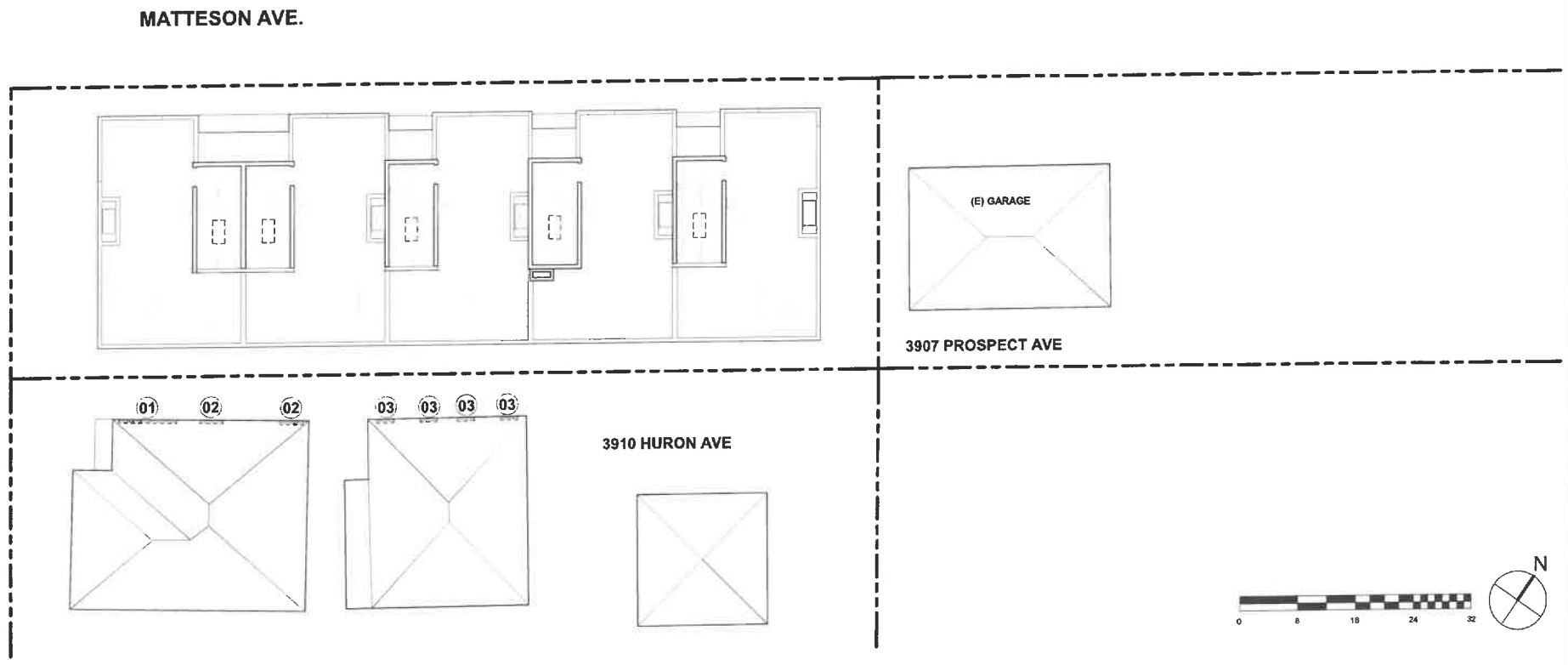


DRAWING TITLE
WINDOW ADJACENCY
STUDY / FIRST &
MEZZANINE FLOOR
PLANS

T-06

3908 HURON AVE

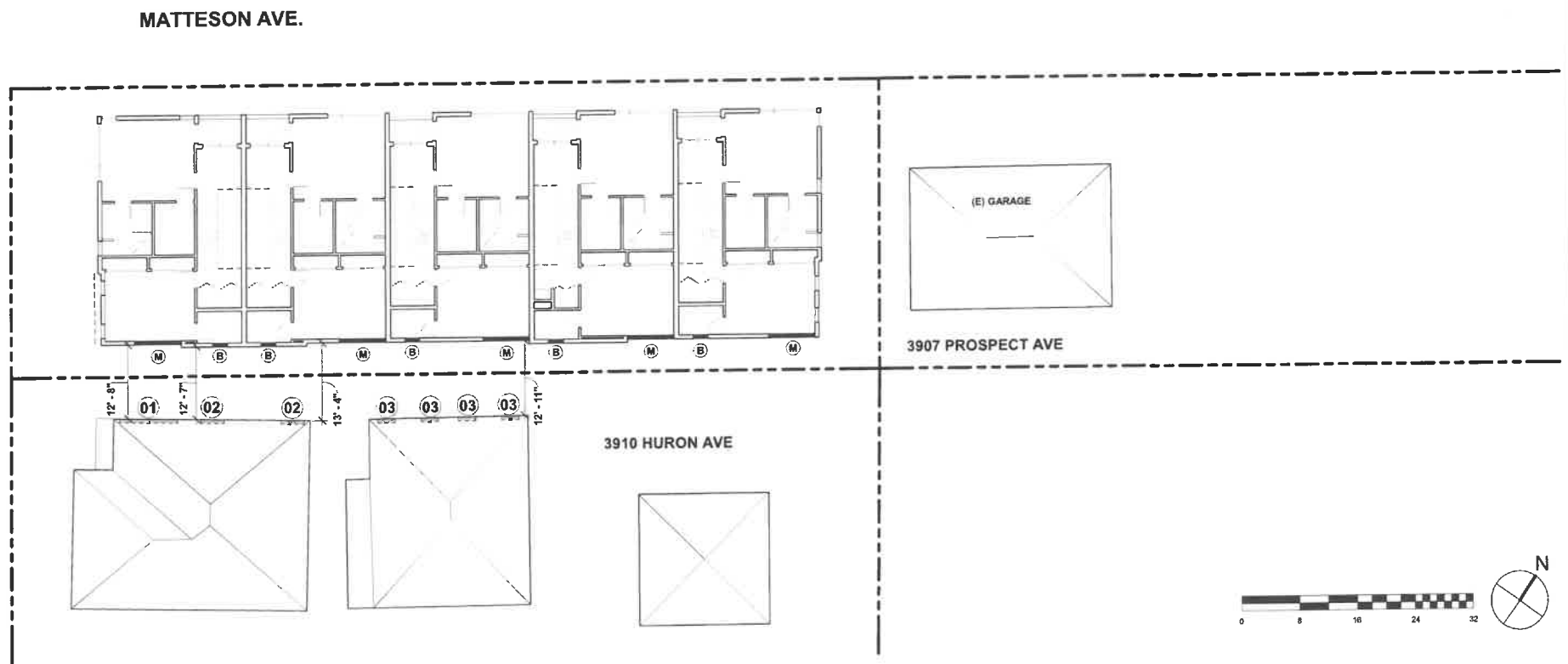
(E) WINDOWS		
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DIMENSIONS (W x H)
3910 HURON AVE.	01	10'-0" x 4'-6"
	02	4'-0" x 4'-6"
	03	3'-0" x 4'-6"



2 ROOF PLAN / WINDOW ADJACENCY STUDY
1" = 10'-0"

(N) WINDOWS & DOORS	
(N) WINDOW / DOOR NUMBER	DIMENSIONS (W x H)
M	8'-0" x 7'-0"
B	2'-6" x 4'-6"

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS		
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DIMENSIONS (W x H)
3910 HURON AVE.	01	10'-0" x 4'-6"
	02	4'-0" x 4'-6"
	03	3'-0" x 4'-6"



1 SECOND FLOOR PLAN / WINDOW ADJACENCY STUDY
1" = 10'-0"

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3908 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.09.2021	PPR SUBMITTAL #01		
3 09.15.2021	PPR SUBMITTAL #02		
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2		
5 02.22.2022	CITY PLANNING SUBMITTAL #02		
6 04.08.2022	CITY PLANNING SUBMITTAL #03		
7 05.19.2022	CITY PLANNING SUBMITTAL #04		
8 06.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
WINDOW ADJACENCY
STUDY / SECOND
FLOOR & ROOF PLAN

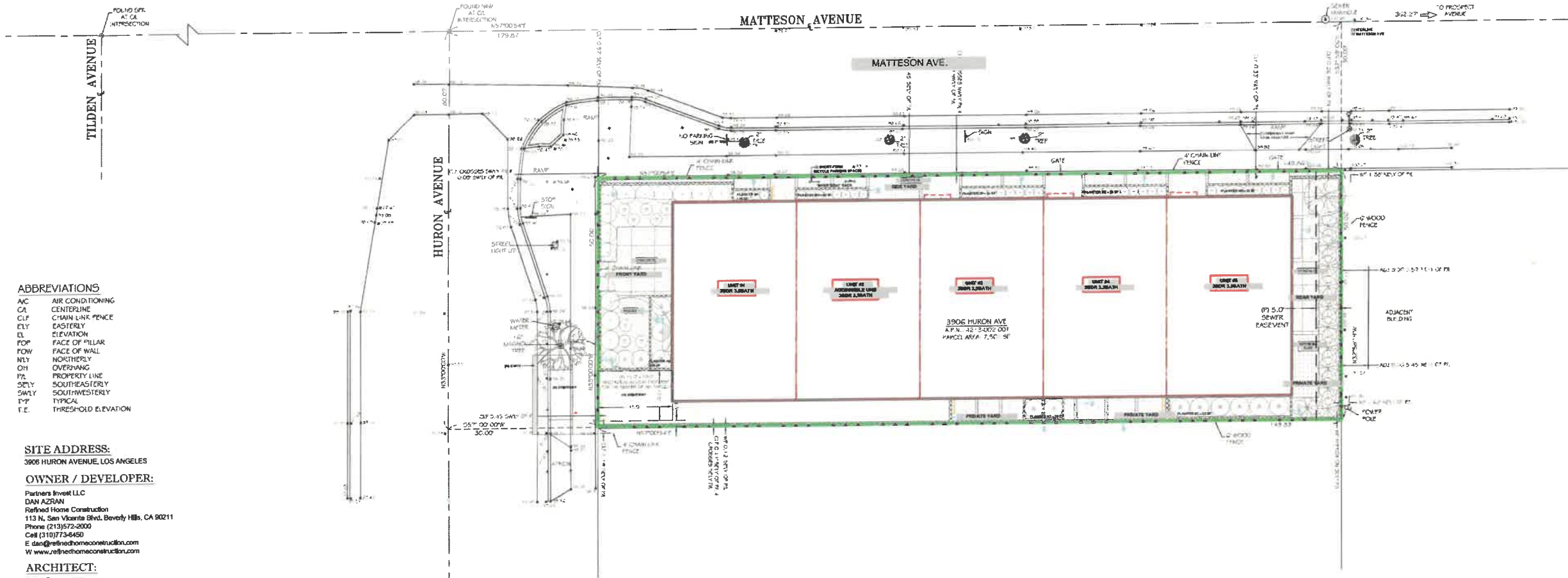
T-07

3908 HURON AVE

PRELIMINARY CONDOMINIUM TRACT

MAP NUMBER: 083810

IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
DATE OF SURVEY: AUGUST 2020



ABBREVIATIONS

- AC AIR CONDITIONING
- CA CENTERLINE
- CLF CHAIN LINK FENCE
- ELY EASTERLY
- EL ELEVATION
- FPV FACE OF PILLAR
- FWW FACE OF WALL
- NEV NORTHERLY
- OH OVERHANG
- PL PROPERTY LINE
- SELY SOUTHEASTERLY
- SWLY SOUTHWESTERLY
- TYP TYPICAL
- T.E. THRESHOLD ELEVATION

SITE ADDRESS:

3906 HURON AVENUE, LOS ANGELES

OWNER / DEVELOPER:

Partners Invest LLC
DAN AZRAN
Refined Home Construction
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Phone (213) 572-2000
Cell (310) 773-6450
E dan@refinedhomeconstruction.com
W www.refinedhomeconstruction.com

ARCHITECT:

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DATE OF PREPARATION:

NOVEMBER 2021

ASSESSOR'S PARCEL NUMBER:

A.P.N.: 4213-002-001

LEGAL DESCRIPTION:

LOT ONE, BLOCK 6 OF CLARDALE TRUST, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 176 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:

THE BEARING OF N33°W ALONG THE CENTERLINE OF HURON AVENUE AS SHOWN ON MAP OF CLARDALE, BOOK 9, PAGE 176 OF MAPS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

PROPOSED USE:

CONDOMINIUM- 5 UNITS

FLOOD ZONE:

ZONE X, OUTSIDE OF FLOOD ZONE, FRM MAP NO. 06037C1595G

ZONING INFORMATION:

RMD RESIDENTIAL MEDIUM DENSITY MULTIPLE

AREA SUMMARY:

TOTAL SQ. FT.: 7,501 SQ. FT. / 0.172 ACRES

NOTES:

1. EXISTING LAND USE: VACANT LAND
2. PROPOSED LAND USE: CONDOMINIUM (5 UNITS)
3. EXISTING ADDRESS: 3906 HURON AVE. LOS ANGELES
PROPOSED NEW ADDRESSES:
3906 HURON AVE. UNIT 101
3908 HURON AVE. UNIT 10 2
3906 HURON AVE. UNIT 10 3
3906 HURON AVE. UNIT 10 4
3906 HURON AVE. UNIT 10 5
4. EXISTING PROPERTY USE IMMEDIATELY SURROUNDING SUBDIVISION: SINGLE-FAMILY RESIDENCES
5. CLOSEST INTERSECTION: MATTESON AVENUE.
6. THERE ARE 2 PROPOSED EASEMENTS ON THE SUBJECT PROPERTY (AS SHOWN HEREON)
7. THERE ARE NO HAZARDOUS OR HAZARDOUS MATERIALS ON THE SUBJECT PROPERTY
8. THERE ARE NO PROTECTED TREES ON THE SUBJECT PROPERTY



LEGEND:

- PROPERTY LINE
- WOOD FENCE
- CHAINLINK FENCE
- METAL WIRE FENCE
- OVERHEAD WIRES
- BUILDING
- WALL
- CONCRETE
- PAVEMENT
- BRICK
- SLATE / STONE
- GRASS / NATURAL GROUND
- SPOT ELEVATION
- TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
- TREE DR PLINE

SURVEYOR'S CERTIFICATE

I, KACIE A. FLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 5013) I FURTHER CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



KACIE A. FLOUFF, PLS 5013

PLAN PREPARED BY:
CHRISTENSEN & FLOUFF
LAND SURVEYING
20011 LINDEN BLVD., SUITE 100
CULVER CITY, CA 90230
(310) 422-9234

DATE: 11/29/21
DRAWING SCALE: 1" = 10'
PREPARED BY: KACIE FLOUFF
APPROVED BY: KACIE FLOUFF
FILE NAME: 3906-HURON-HURON-AVE-1A.DWG

3906 HURON AVENUE, CULVER CITY
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA
APN: 4213-002-001

PRELIMINARY TRACT MAP
PROJECT NO. SC20-129
SHEET NO. 1 OF 1

ARCHITECT:
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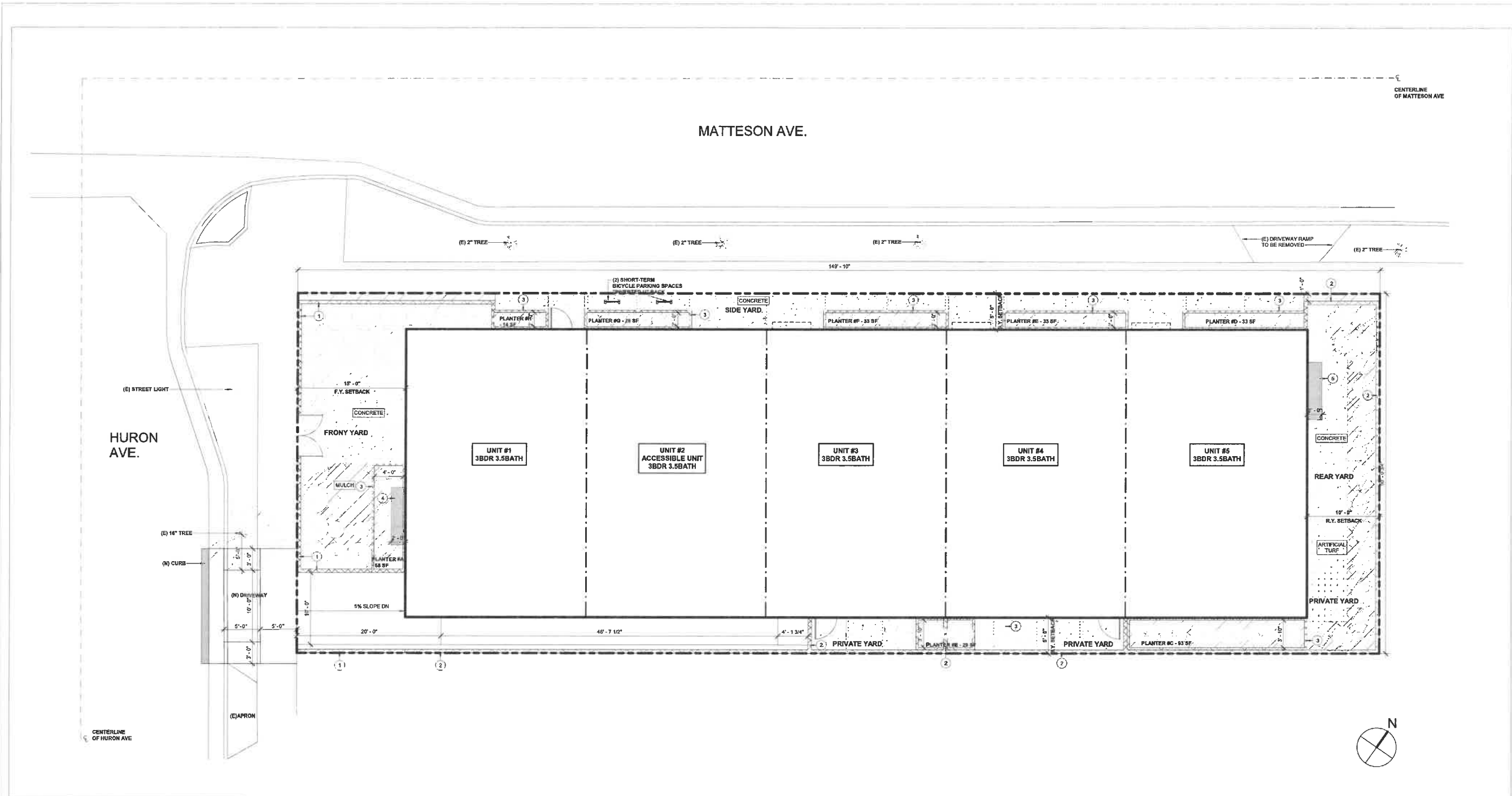
PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.06.2021	PPR SUBMITTAL #01		
3 06.10.2021	PPR SUBMITTAL #02		
4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2		
5 02.22.2022	CITY PLANNING SUBMITTAL #02		
6 04.08.2022	CITY PLANNING SUBMITTAL #03		
7 06.19.2022	CITY PLANNING SUBMITTAL #04		
8 06.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
TENTATIVE TRACT MAP

T-09
3906 HURON AVE



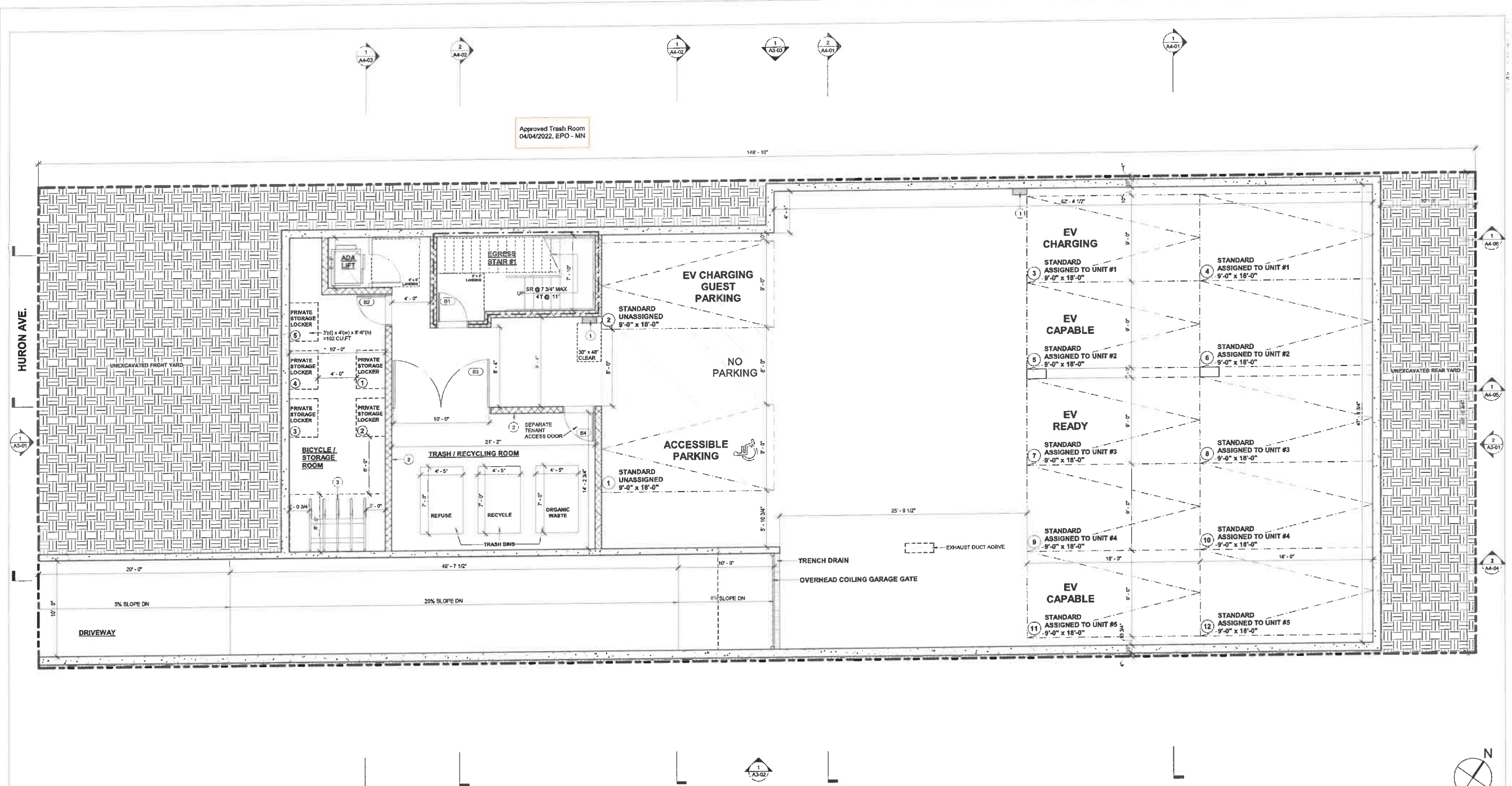
1 SITE PLAN
3/16" = 1'-0"

KEYNOTES
(01) (N) 6" CMU BLOCK WALL - 2'-0" HIGH
(02) (N) 6" CMU BLOCK WALL - 6'-0" HIGH
(03) (N) 4" CMU PLANTER WALL - 3'-6" HIGH
(04) PROPOSED GAS METER LOCATION ABOVE PLANTER - TO BE SHIELDED BY LANDSCAPE
(05) PROPOSED ELECTRICAL METER LOCATION

LEGEND

SHEET NOTES

<p>ARCHITECT: Aaron Brumer & Assoc, Architects 10599 Riverside Drive, Suite 300 North Hollywood, CA 91602 (310) 422-9234 Email - aaron@aarbrumer.com</p>	<p>STRUCTURAL: Berkoz & Associates, INC 5530 Corbin Ave, Suite 229 TARZANA, CA 91356 (818) 668-8589</p>	<p>CIVIL: DK Engineer Corp. 8420 Wilshire Blvd. #1000 Los Angeles, CA 90048 (310) 926-0248</p>	<p>LANDSCAPE: Yael Lir Landscape Architects 1010 Sycamore Ave, Suite 313 South Pasadena, CA 91030 (323) 258-5222</p>	<p>MEP: Creative Engineering Group 7123 Remmet Ave, Canoga Park, CA 91303 (818) 999-0415</p>	<p>PROJECT: 5-UNIT TOWNHOUSE DEVELOPMENT 3906 Huron Ave, Culver City, CA 90232</p>	<table border="1"> <thead> <tr> <th>ISSUE DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1 06.03.2021</td><td>NEIGHBORHOOD OUTREACH MEETING 01</td></tr> <tr><td>2 06.09.2021</td><td>PPR SUBMITTAL #01</td></tr> <tr><td>3 09.10.2021</td><td>PPR SUBMITTAL #02</td></tr> <tr><td>4 11.30.2021</td><td>CITY PLANNING SUBMITTAL #01 V2</td></tr> <tr><td>5 02.22.2022</td><td>CITY PLANNING SUBMITTAL #02</td></tr> <tr><td>6 04.08.2022</td><td>CITY PLANNING SUBMITTAL #03</td></tr> <tr><td>7 05.19.2022</td><td>CITY PLANNING SUBMITTAL #04</td></tr> <tr><td>8 06.14.2022</td><td>CITY PLANNING SUBMITTAL #05</td></tr> </tbody> </table>	ISSUE DATE	DESCRIPTION	1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01	2 06.09.2021	PPR SUBMITTAL #01	3 09.10.2021	PPR SUBMITTAL #02	4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2	5 02.22.2022	CITY PLANNING SUBMITTAL #02	6 04.08.2022	CITY PLANNING SUBMITTAL #03	7 05.19.2022	CITY PLANNING SUBMITTAL #04	8 06.14.2022	CITY PLANNING SUBMITTAL #05	<table border="1"> <thead> <tr> <th>ISSUE DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	ISSUE DATE	DESCRIPTION											<p>STAMP: AARON BRUMER No. C-36005 Exp. 11-30-2027 STATE OF CALIFORNIA</p>	<p>DRAWING TITLE: SITE PLAN</p>	<p>A1-00</p>	<p>3906 HURON AVE</p>
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1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01																																								
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Approved Trash Room
04/04/2022, EPO - MN

1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

- (01) MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 200/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
- (02) 6" WIDE X 8" HIGH CONCRETE CURB
- (03) (10) 2-TIER LONG-TERM BICYCLE PARKING SPACES

LEGEND

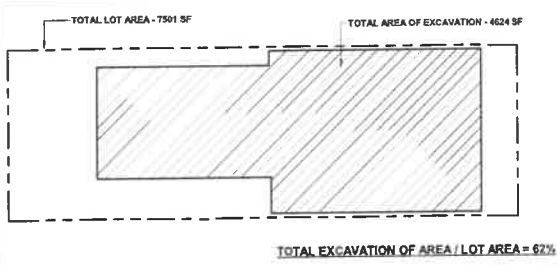
- CONCRETE WALL - SEE STRUCTURAL DRAWINGS
- 8" CMU WALL - SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE

SHEET NOTES

1. ALL DIMENSIONS ARE AS FOLLOWS:
A. FACE OF WALL @ CONCRETE WALLS
B. CENTERLINE OF FRAMING OR FACE OF FRAMING UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
3. WHERE NEW WALL IS IN PLANE WITH EXISTING WALL, ALIGN FINISH FACE OF NEW WALL WITH ADJACENT EXISTING FINISH FACE ON BOTH SIDES OF WALL, TYP.
4. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U/D/N
5. 1 LAYER 5/8" WATER RESISTANT GWB TO BE USED AT ALL WET LOCATIONS
6. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION
7. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING, DRAINAGE AND LANDSCAPE INFORMATION
8. CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO.
9. ALL NEW WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES: ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS
10. NOISE ATTENUATING GLAZING SYSTEMS SHALL BE INSTALLED IN ALL UNITS

ENVIRONMENTAL PROGRAMS AND OPERATIONS NOTES

- 1) SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING SHALL BE PERFORMED EXCLUSIVELY BY THE CITY OR ITS AUTHORIZED AGENTS. THE CITY COUNCIL MAY REGULATE BY ORDINANCE OR RESOLUTION ALL ASPECTS OF SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING, INCLUDING, BUT NOT LIMITED TO, FREQUENCY OF COLLECTION, MEANS OF COLLECTION AND TRANSPORTATION LEVEL OF SERVICES, CHARGES, FEES, AND NATURE, LOCATION AND EXTENT OF PROVIDING SOLID WASTE HANDLING SERVICES.
- 2) THE CITY OF CULVER CITY SHALL PROVIDE WASTE DISPOSAL AND RECYCLING SERVICES FOR ALL CONSTRUCTION & DEMOLITION PROJECTS WITHIN CITY LIMITS IN ACCORDANCE WITH CCMC § 01.010.



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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PRR SUBMITTAL #01
3 08.10.2021	PRR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
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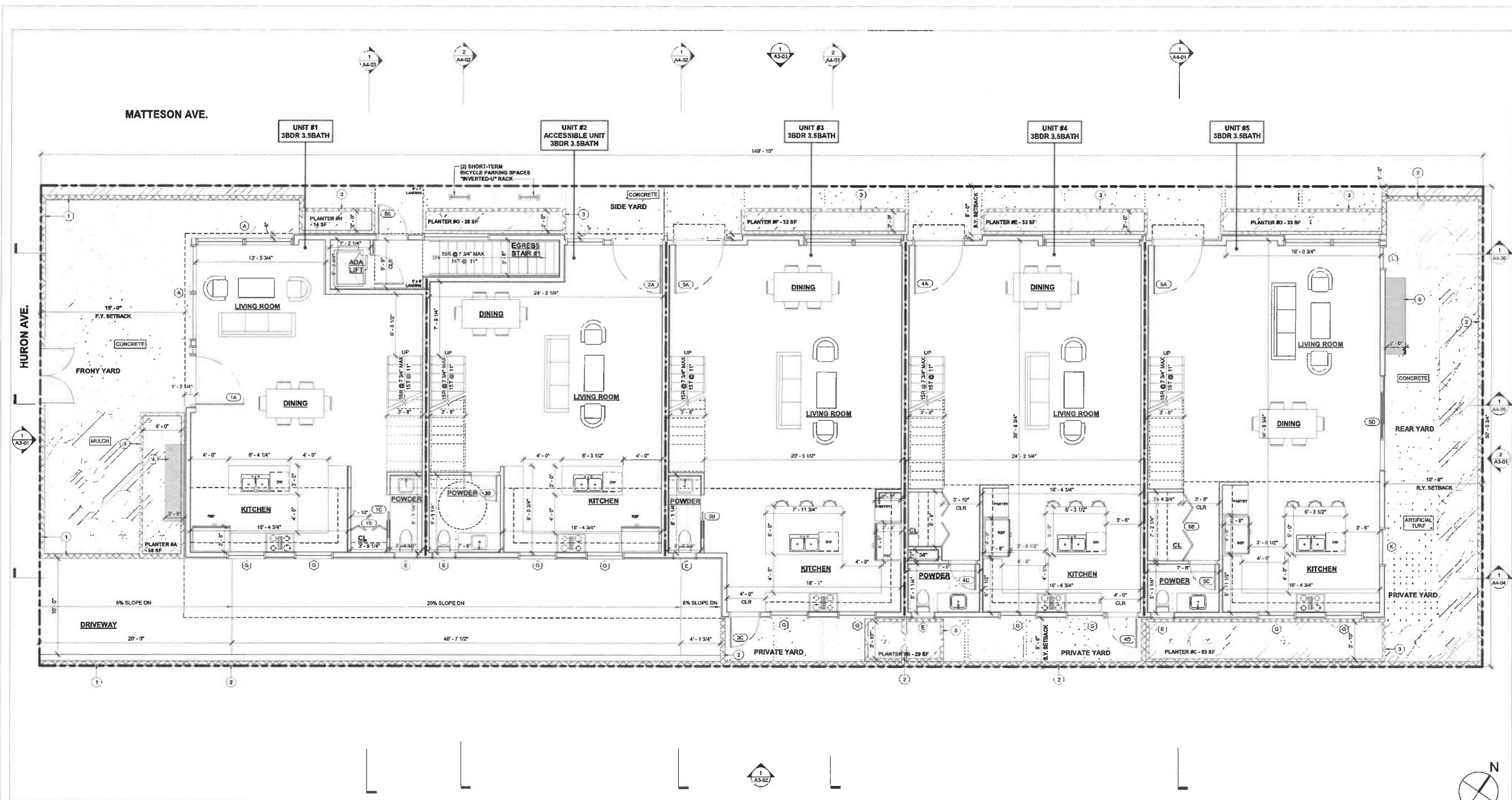
ISSUE DATE	DESCRIPTION



DRAWING TITLE
BASEMENT FLOOR PLAN

A2-00

3906 HURON AVE



2 FIRST FLOOR PLAN
1/4" = 1'-0"

- KEYNOTES**
- (01) (N) 6" CMU BLOCK WALL - 2'-0" HIGH
 - (02) (N) 6" CMU BLOCK WALL - 6'-0" HIGH
 - (03) (N) 4" CMU PLANTER WALL - 3'-0" HIGH
 - (04) PROPOSED GAS METER LOCATION ABOVE PLANTER - TO BE SHIELDED BY LANDSCAPE
 - (05) PROPOSED ELECTRICAL METER LOCATION

- LEGEND**
- 6" CMU WALL - SEE STRUCTURAL DRAWINGS
 - 2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS
 - 2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
 - 1 1/2" RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE
 - 2 1/2" RATED CONSTRUCTION

- SHEET NOTES**
1. ALL DIMENSIONS ARE AS FOLLOWS:
A. FACE OF WALL @ CONCRETE WALLS
B. CENTERLINE OF FRAMING OR FACE OF FRAMING UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 3. WHERE NEW WALL IS IN PLANE WITH EXISTING WALL, ALIGN FINISH FACE OF NEW WALL WITH ADJACENT EXISTING FINISH FACE ON BOTH SIDES OF WALL, TYP.
 4. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
 5. 1 LAYER 5/8" WATER RESISTANT GWB TO BE USED AT ALL WET LOCATIONS
 6. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION
 7. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING, DRAINAGE AND LANDSCAPE INFORMATION
 8. CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS, THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO.
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 10. NOISE ATTENUATING GLAZING SYSTEMS SHALL BE INSTALLED IN ALL UNITS.



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310.926.0248

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Cuvier City, CA 90222

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
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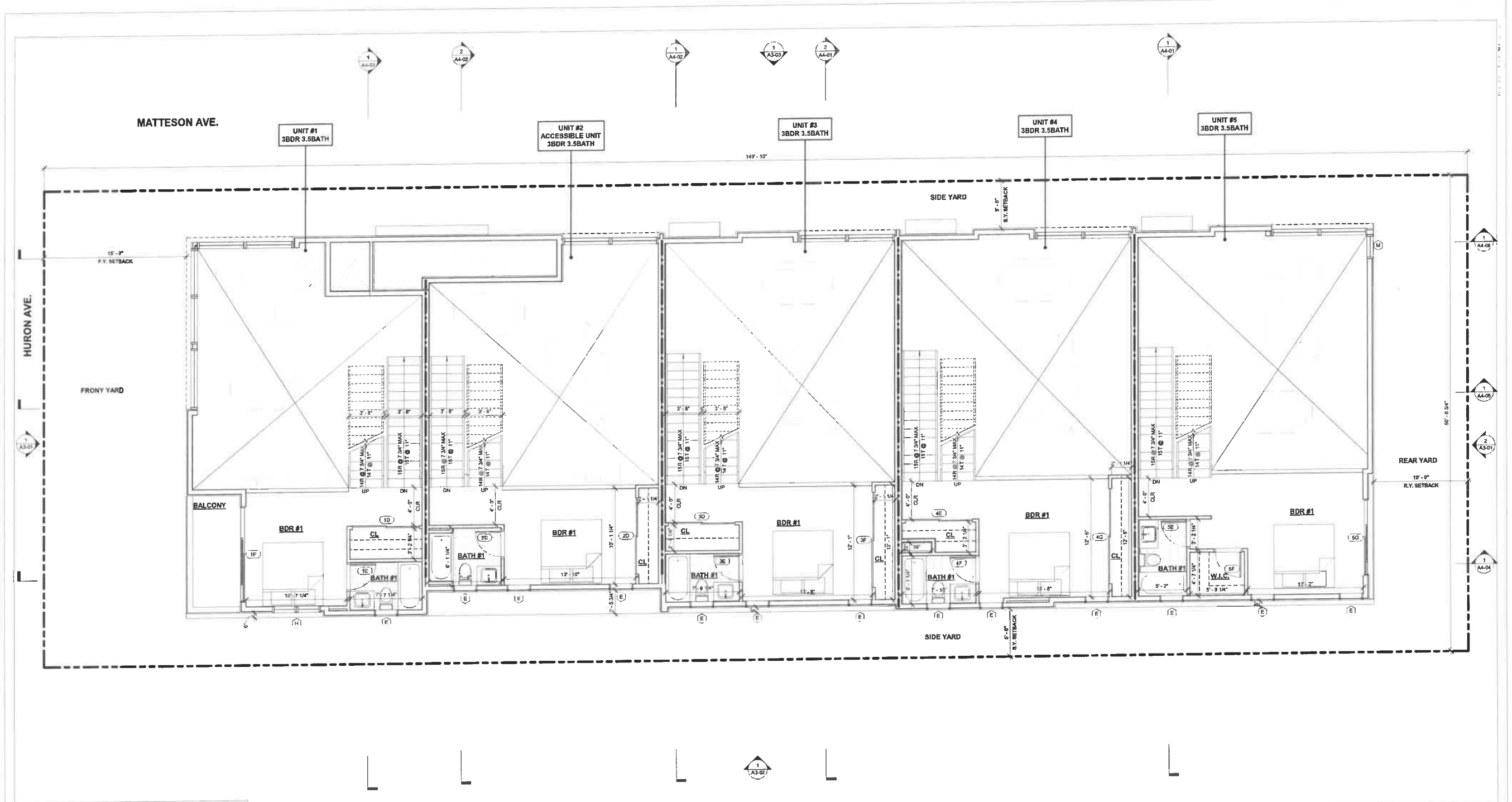
ISSUE DATE	DESCRIPTION



DRAWING TITLE
FIRST FLOOR PLAN

A2-01

3906 HURON AVE



1 MEZZANINE FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

LEGEND

- 8" CMU WALL - SEE STRUCTURAL DRAWINGS
- 2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE 'X' GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE
- 2-HR RATED CONSTRUCTION

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3. WHERE NEW WALL IS IN FLUSH WITH EXISTING WALL, ALIGN FINISH FACE OF NEW WALL WITH ADJACENT EXISTING FINISH FACE ON BOTH SIDES OF WALL. TYP.
4. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR. U O N
5. 1 LAYER 60" WATER RESISTANT GWB TO BE USED AT ALL WET LOCATIONS
6. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION
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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

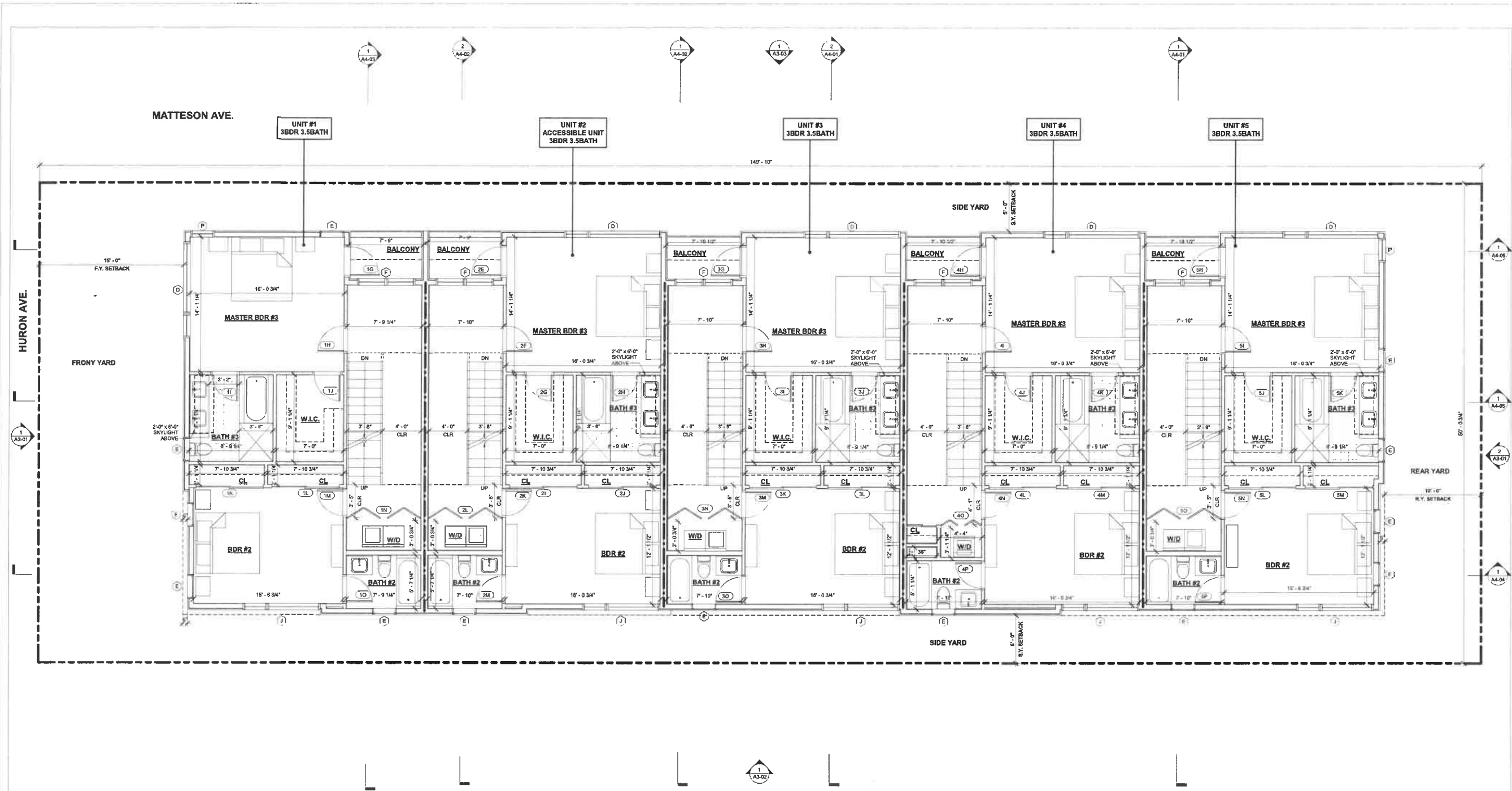
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7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



DRAWING TITLE
MEZZANINE FLOOR PLAN

A2-02
3906 HURON AVE



1 SECOND FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

	6" CMU WALL SEE STRUCTURAL DRAWINGS
	2 X 6 W/D STUD WALL SEE STRUCTURAL DRAWINGS
	2 X 4 W/D STUD WALL SEE STRUCTURAL DRAWINGS
	1-HR RATED CONSTRUCTION INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERBIDS OF STRUCTURE
	2-HR RATED CONSTRUCTION

LEGEND

	6" CMU WALL SEE STRUCTURAL DRAWINGS
	2 X 6 W/D STUD WALL SEE STRUCTURAL DRAWINGS
	2 X 4 W/D STUD WALL SEE STRUCTURAL DRAWINGS
	1-HR RATED CONSTRUCTION INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERBIDS OF STRUCTURE
	2-HR RATED CONSTRUCTION

SHEET NOTES

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B. CENTERLINE OF FRAMING ON FACE OF
FRAMING UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR
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DISCREPANCIES BETWEEN THESE PLANS AND
ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO
THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- WHERE NEW WALL IS IN PLANE WITH EXISTING
WALL, ALIGH FINISH FACE OF NEW WALL WITH
ADJACENT EXISTING FINISH FACE ON BOTH SIDES
OF WALL, TYP.
- ALL DOORS TO BE FRAMED 9" FROM THE
ADJACENT PERPENDICULAR WALL TO THE THROAT
OF THE HINGE SIDE OF THE DOOR, U.O.N.
- 1 LAYER 5/8" WATER RESISTANT GWS TO BE USED
AT ALL WET LOCATIONS
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING
AND FOUNDATION INFORMATION
- SEE CIVIL AND LANDSCAPE DRAWINGS FOR
ADDITIONAL GRADING, DRAINAGE AND LANDSCAPE
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- CLOTHES DRYER MOISTURE EXHAUST DUCT MUST
BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED
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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3908 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 08.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2
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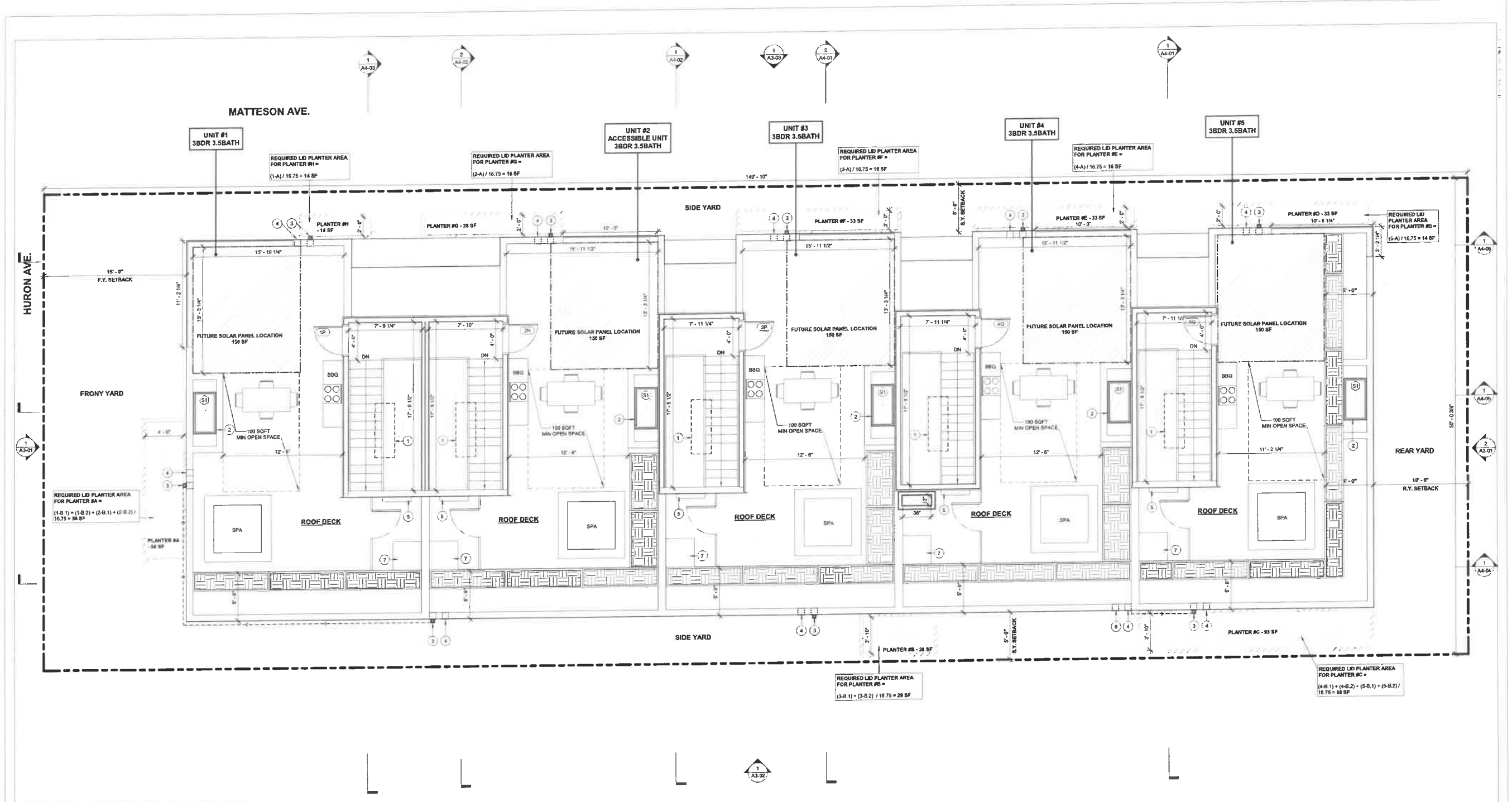
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DRAWING TITLE
SECOND FLOOR PLAN

A2-03

3908 HURON AVE



1 ROOF PLAN
1/4" = 1'-0"

- KEYNOTES**
- (01) DASHED LINES INDICATE 27 1/8" X 75 1/8" VELUX FIXED SKYLIGHT ABOVE - MODEL 2270 SEE SHEET FOR SPECIFICATION
 - (02) 27 1/8" X 51 1/8" VELUX FIXED SKYLIGHT - MODEL 2248 SEE SHEET FOR SPECIFICATION
 - (03) THROUGHWALL SCUPPER & DOWNSPOUT
 - (04) OVERFLOW SCUPPER
 - (05) TANKLESS WATER HEATER
 - (06) THROUGH WALL SCUPPER
 - (07) 3" x 3" CONDENSER

- LEGEND**
- 6" CMU WALL - SEE STRUCTURAL DRAWINGS
 - 2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS
 - 2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
 - 1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWS ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE
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KEY PLAN

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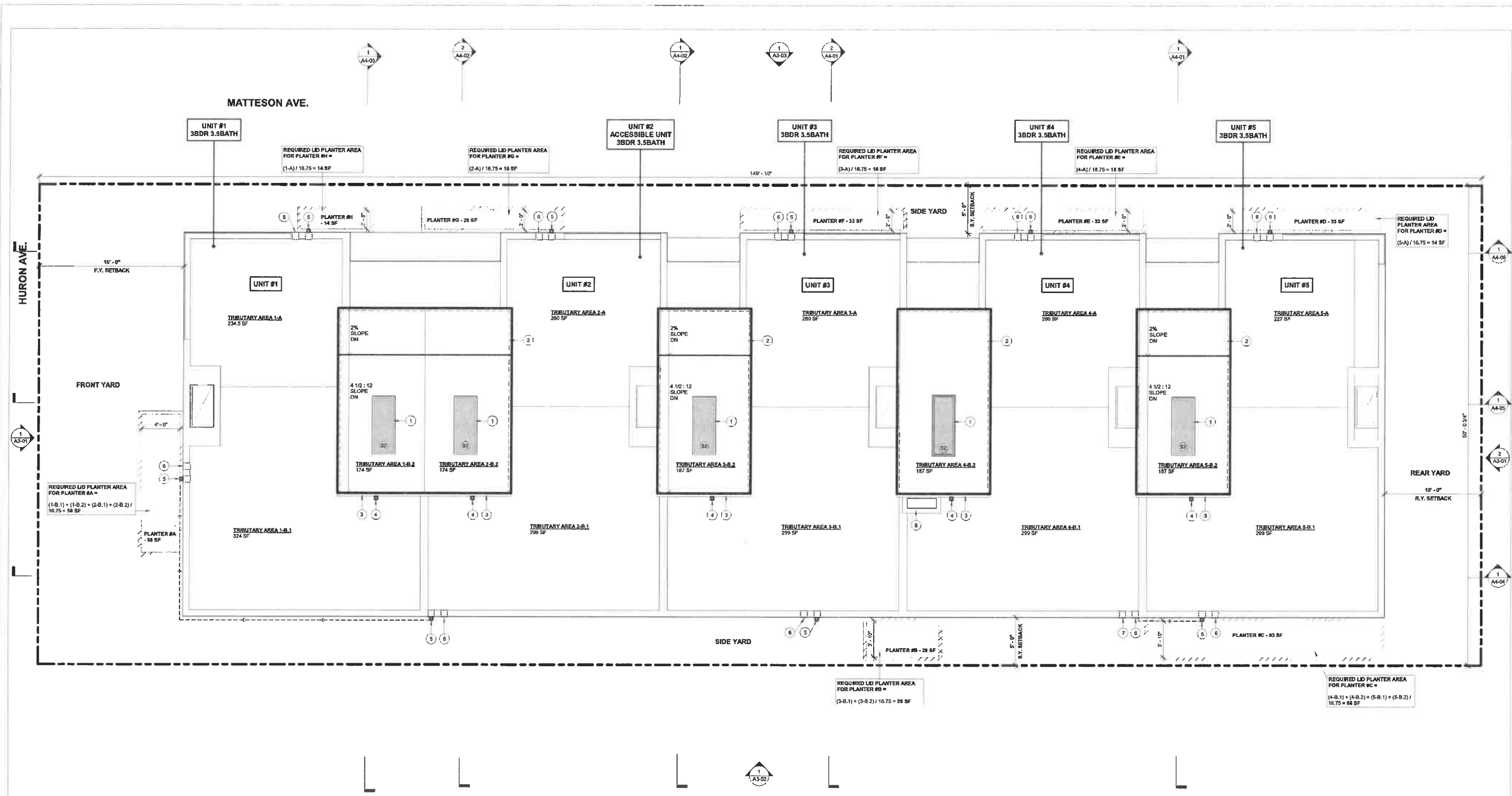
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7 05.19.2022	CITY PLANNING SUBMITTAL #04		
8 06.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
ROOF DECK PLAN

A2-04
3906 HURON AVE



1 UPPER ROOF PLAN
1/4" = 1'-0"

KEYNOTES
(01) 27 1/8" X 75 1/8" VELUX FIXED SKYLIGHT - MOORE 2270 SEE SHEET FOR SPECIFICATION
(02) DASHED LINE INDICATES FACE OF WALL BELOW
(03) GUTTER
(04) DOWNSPOUT
(05) THROUGHWALL SCUPPER & DOWNSPOUT BELOW
(06) OVERFLOW SCUPPER BELOW
(07) THROUGH WALL SCUPPER BELOW
(08) EXHAUST DUCT

LEGEND

SHEET NOTES

KEY PLAN

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 06.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.09.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



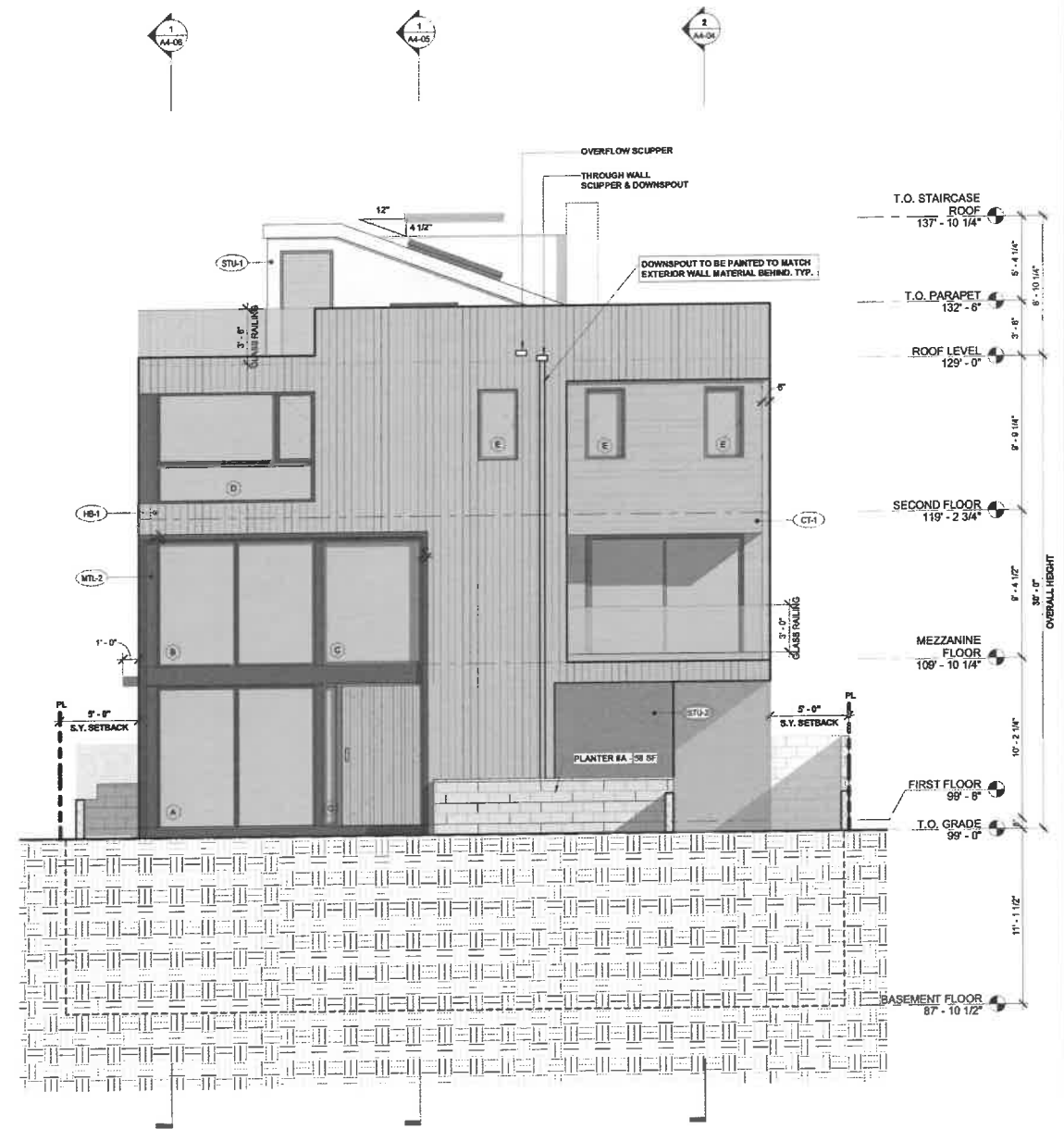
DRAWING TITLE
UPPER ROOF PLAN

A2-05

3906 HURON AVE



2
1/4" = 1'-0"
NORTHEAST EXTERIOR ELEVATION



1
1/4" = 1'-0"
SOUTHWEST EXTERIOR ELEVATION

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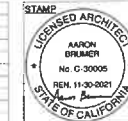
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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3808 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 08.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.09.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

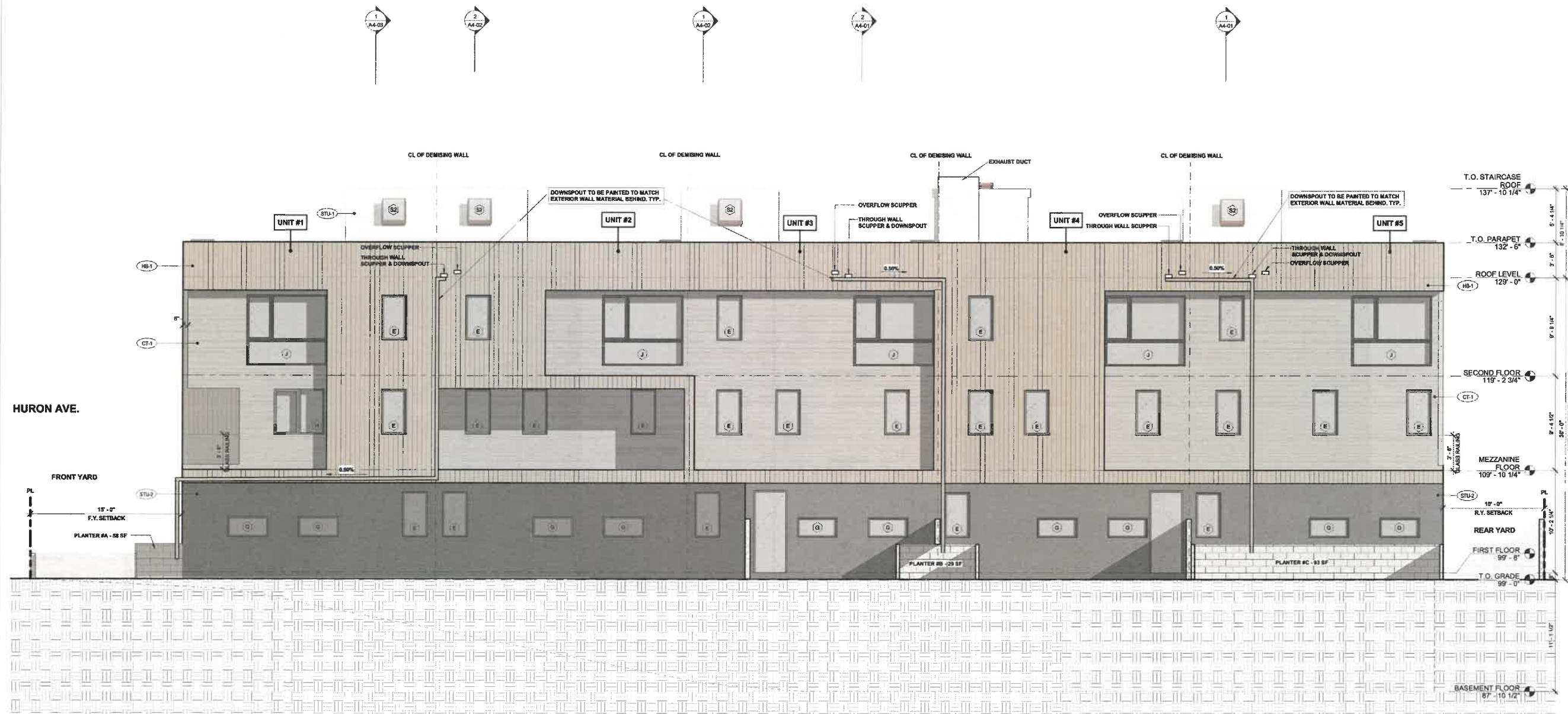
ISSUE DATE	DESCRIPTION



DRAWING TITLE
SOUTHWEST &
NORTHEAST
EXTERIOR
ELEVATIONS

A3-01

3808 HURON AVE



1
1/4" = 1'-0"
SOUTHEAST EXTERIOR ELEVATION

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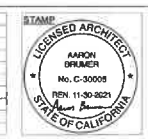
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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 08.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 08.09.2021	PPR SUBMITTAL #01		
3 09.10.2021	PPR SUBMITTAL #02		
4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2		
5 02.22.2022	CITY PLANNING SUBMITTAL #02		
6 04.09.2022	CITY PLANNING SUBMITTAL #03		
7 05.19.2022	CITY PLANNING SUBMITTAL #04		
8 06.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
SOUTHEAST EXTERIOR ELEVATION

A3-02

3906 HURON AVE



1 NORTHWEST EXTERIOR ELEVATION
1/4" = 1'-0"

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3808 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 06.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

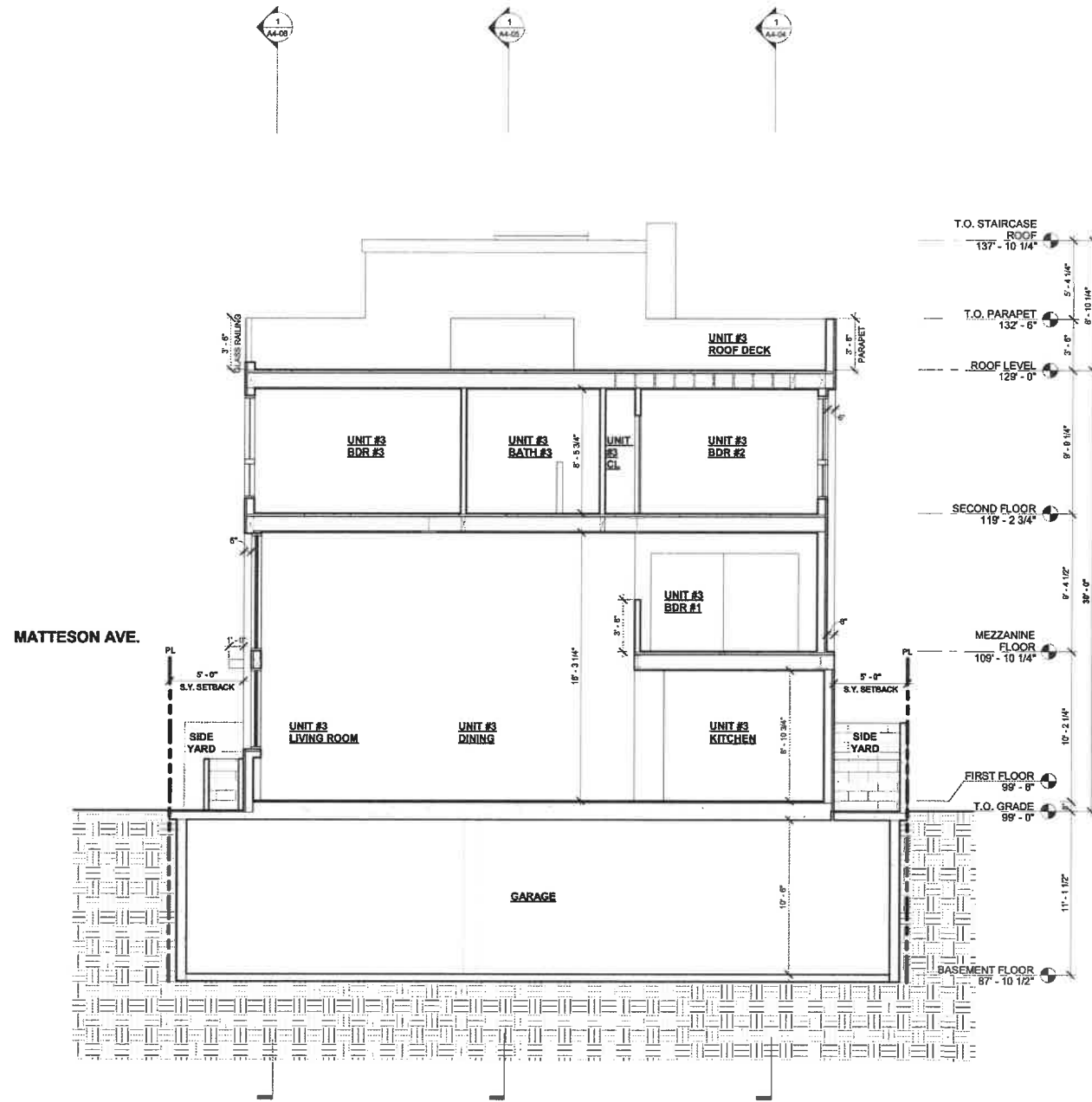
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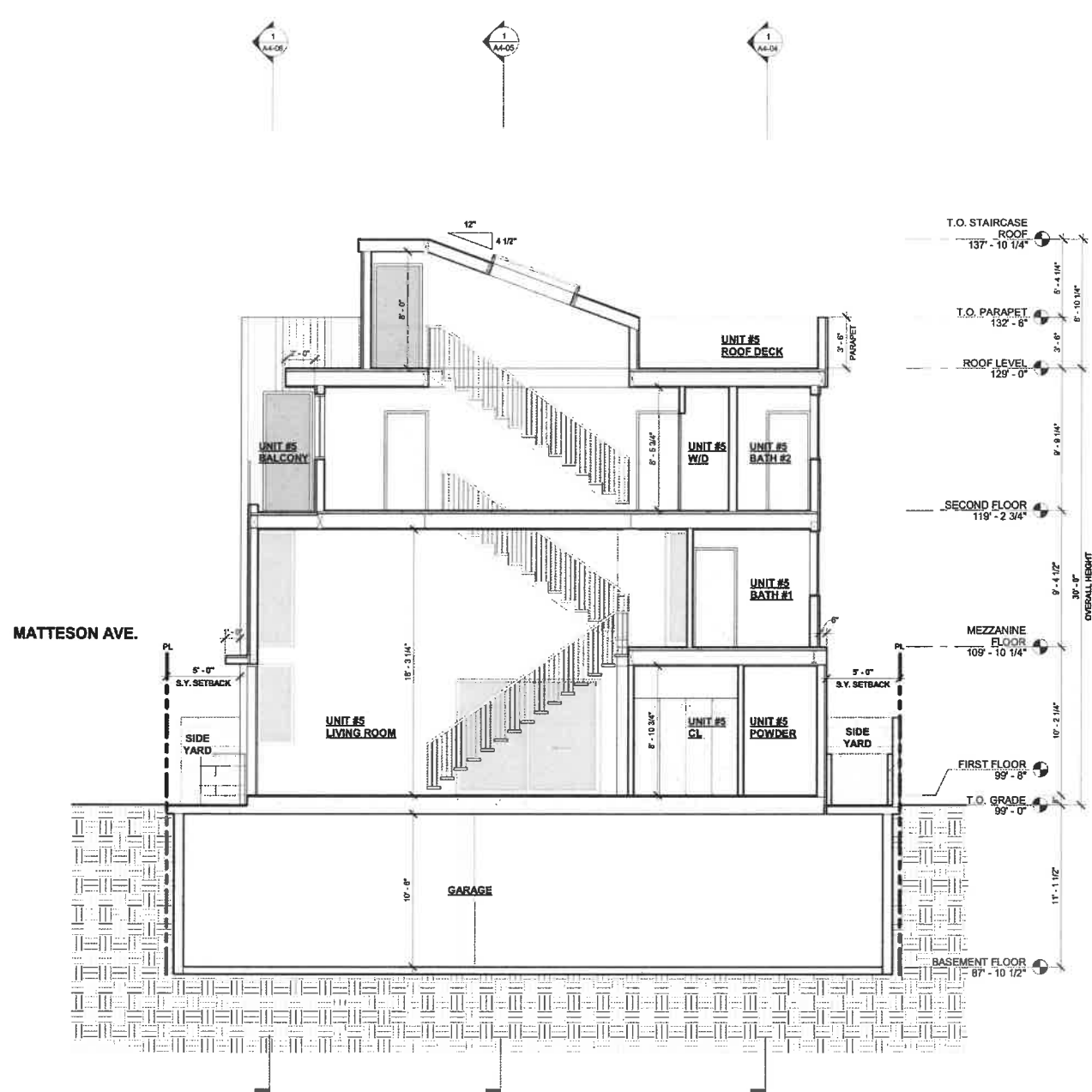
DRAWING TITLE
NORTHWEST EXTERIOR ELEVATION

A3-03

3808 HURON AVE



2 Section 2
1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3808 Huron Ave, Culver City, CA 90232

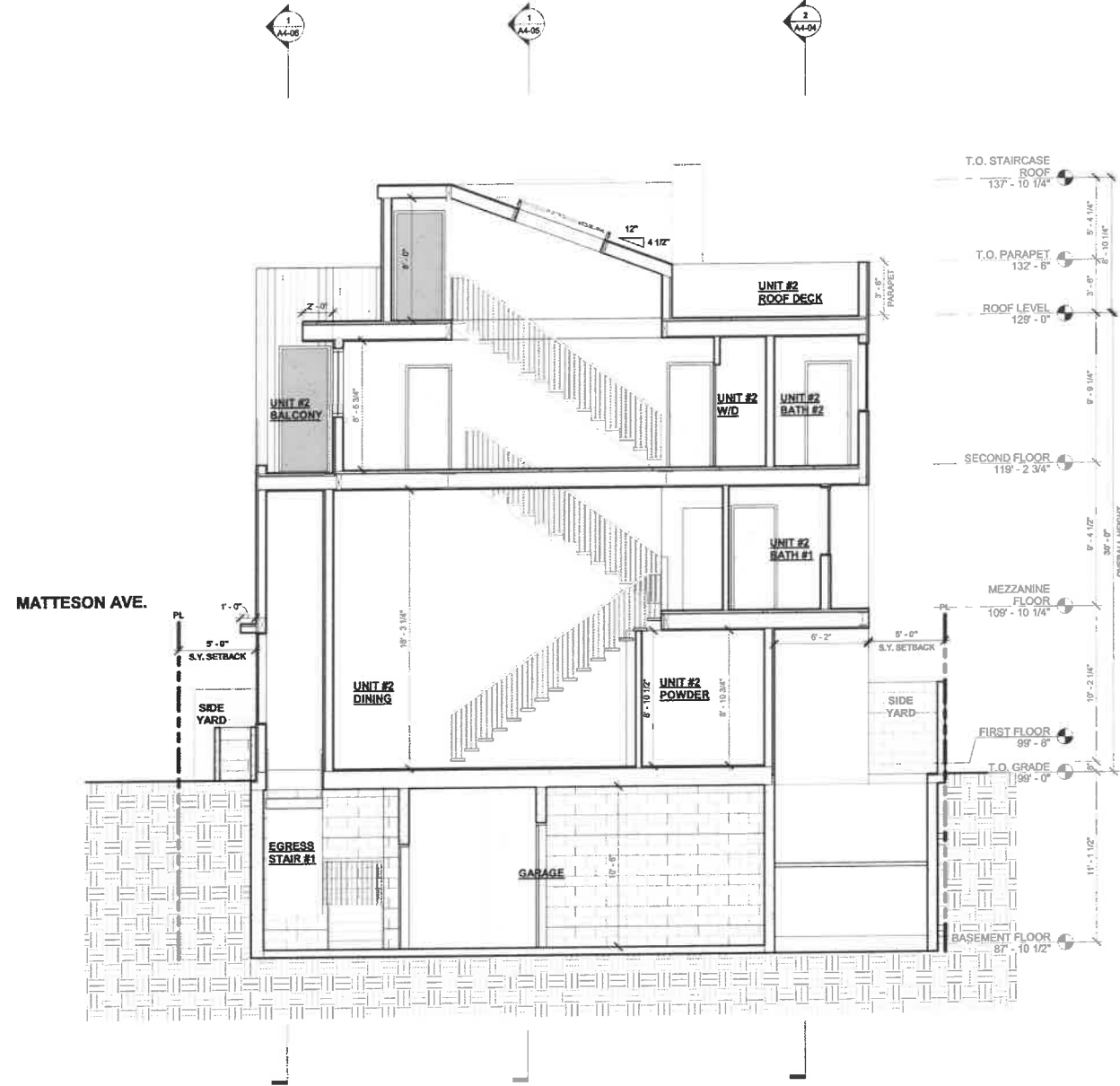
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1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.29.2021	PRR SUBMITTAL #01		
3 08.10.2021	PRR SUBMITTAL #02		
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2		
5 02.22.2022	CITY PLANNING SUBMITTAL #02		
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7 05.19.2022	CITY PLANNING SUBMITTAL #04		
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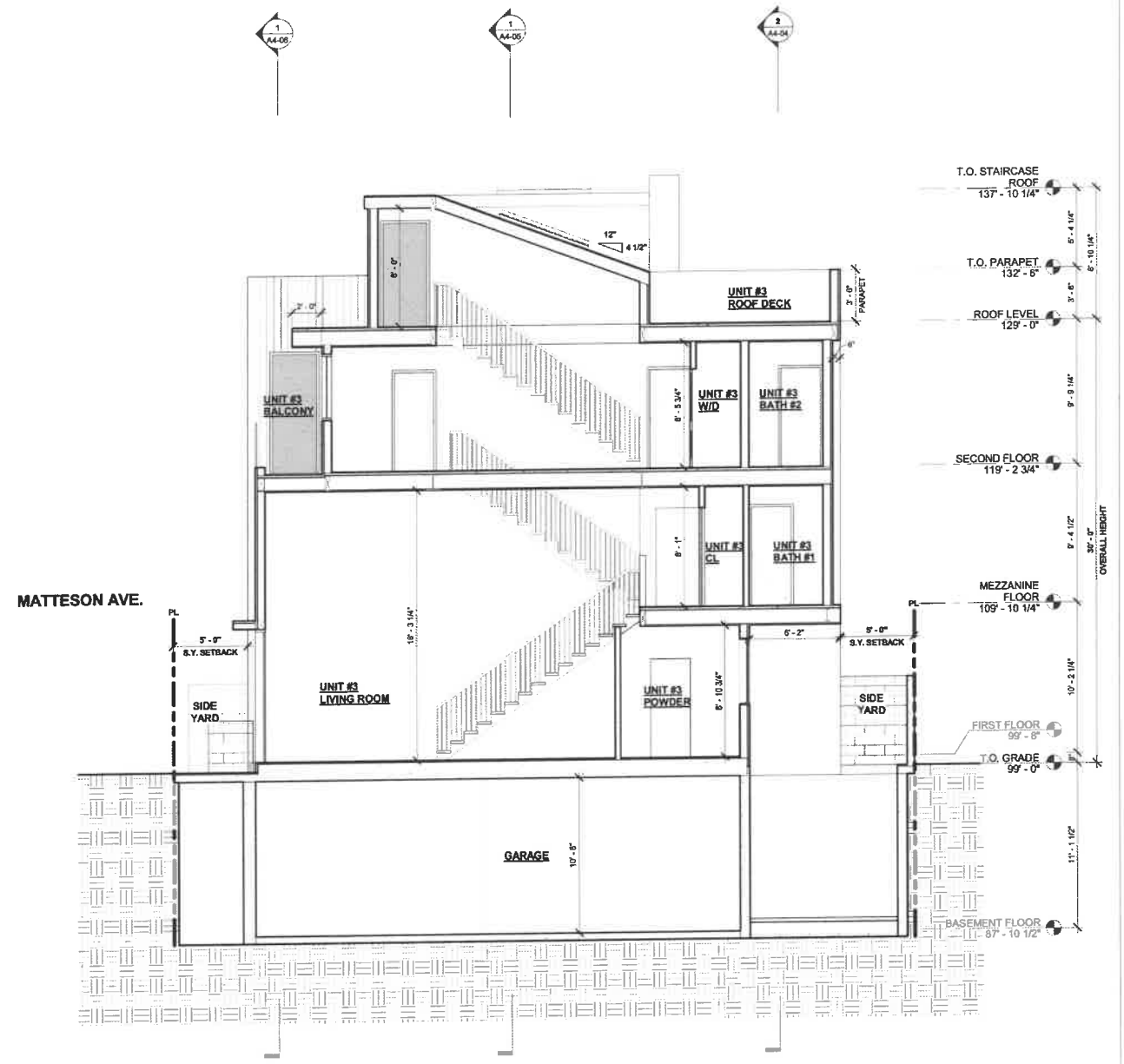
DRAWING TITLE
SECTIONS

A4-01

3808 HURON AVE



2 Section 4
1/4" = 1'-0"



1 Section 3
1/4" = 1'-0"

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3908 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 08.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 06.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
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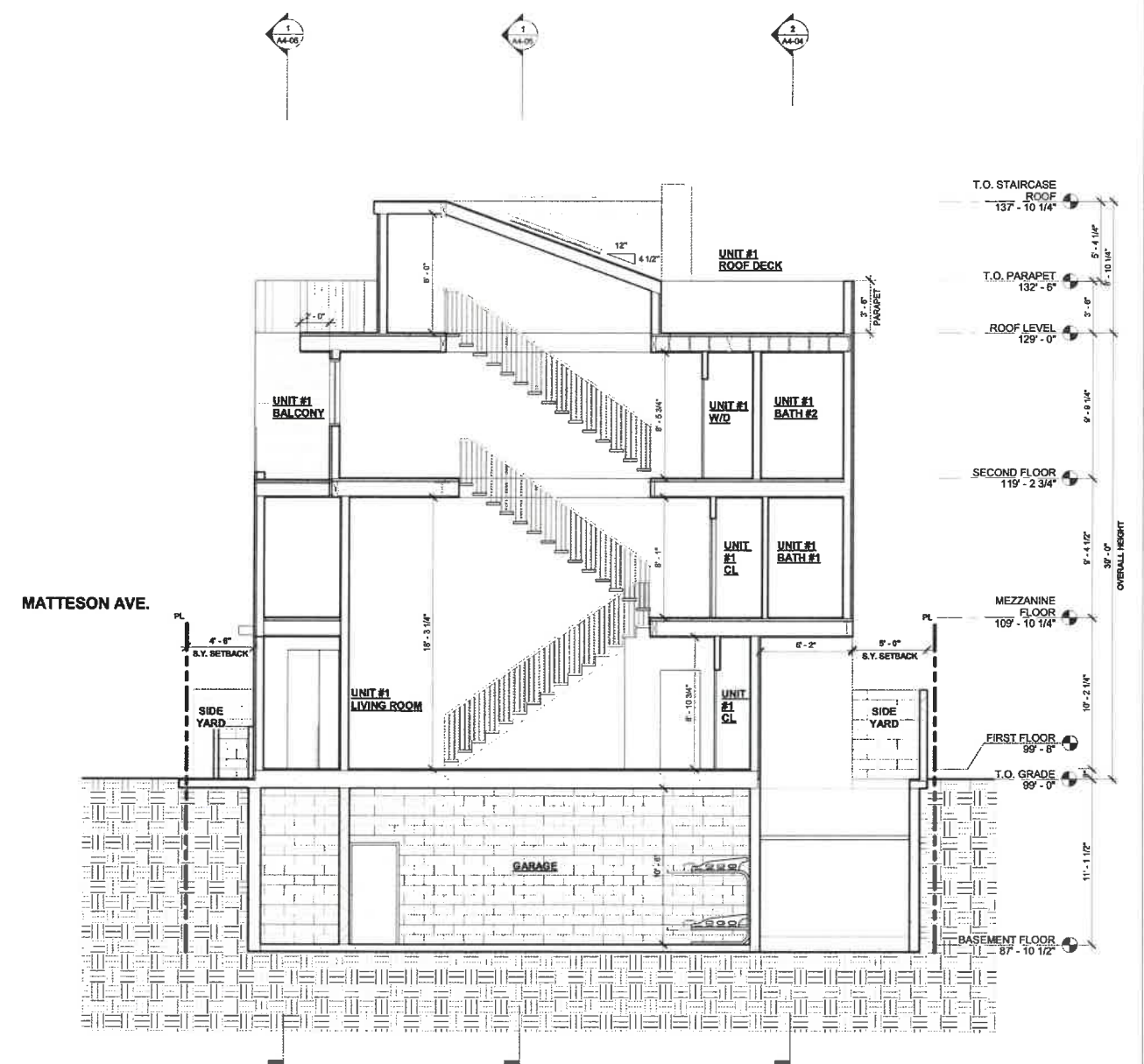
ISSUE DATE	DESCRIPTION



DRAWING TITLE
SECTIONS

A4-02

3908 HURON AVE



1 Section 5
1/4" = 1'-0"

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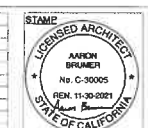
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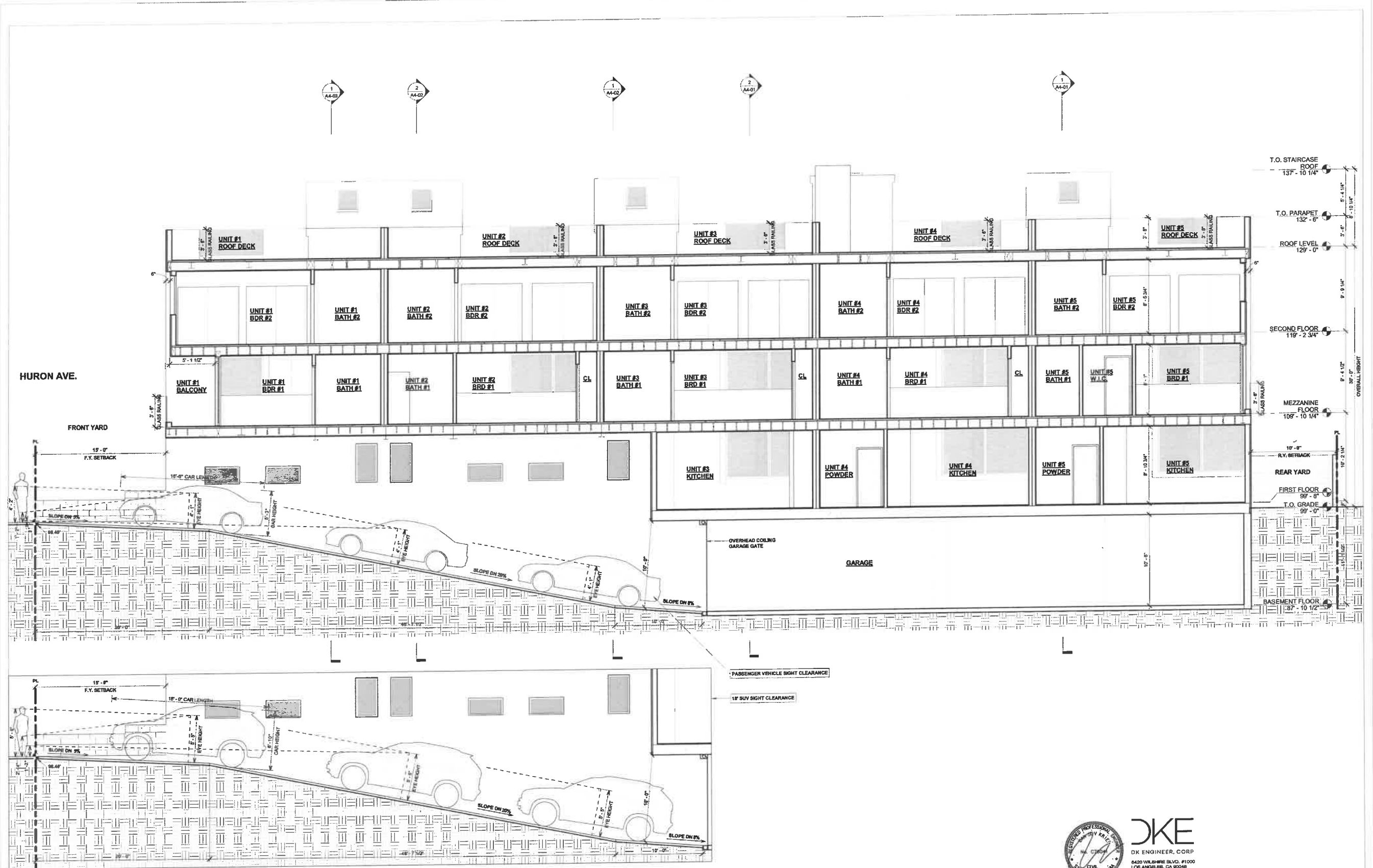
PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3908 Huron Ave, Calver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
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2. 09.09.2021	PPR SUBMITTAL #01		
3. 09.10.2021	PPR SUBMITTAL #02		
4. 11.30.2021	CITY PLANNING SUBMITTAL #01_V2		
5. 02.22.2022	CITY PLANNING SUBMITTAL #02		
6. 04.06.2022	CITY PLANNING SUBMITTAL #03		
7. 05.19.2022	CITY PLANNING SUBMITTAL #04		
8. 06.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
SECTIONS

A4-03
3908 HURON AVE



1 SECTION WITH VEHICLE SIGHT CLEARANCE
1/4" = 1'-0"



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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3808 Huron Ave, Culver City, CA 90232

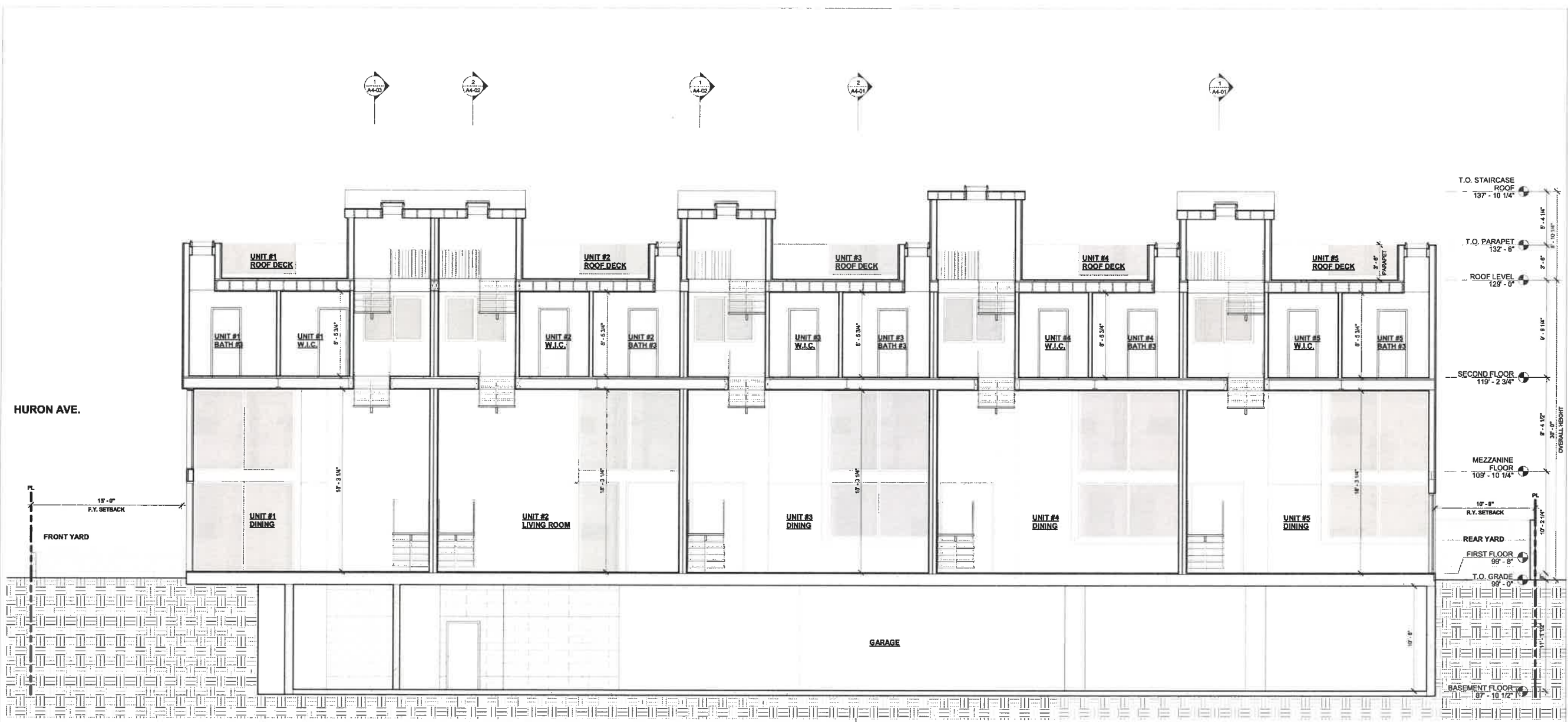
ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 08.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 08.06.2021	PPR SUBMITTAL #01		
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5 02.22.2022	CITY PLANNING SUBMITTAL #02		
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7 05.19.2022	CITY PLANNING SUBMITTAL #04		
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DRAWING TITLE
SECTION WITH VEHICLE SIGHT CLEARANCE

A4-04

3808 HURON AVE



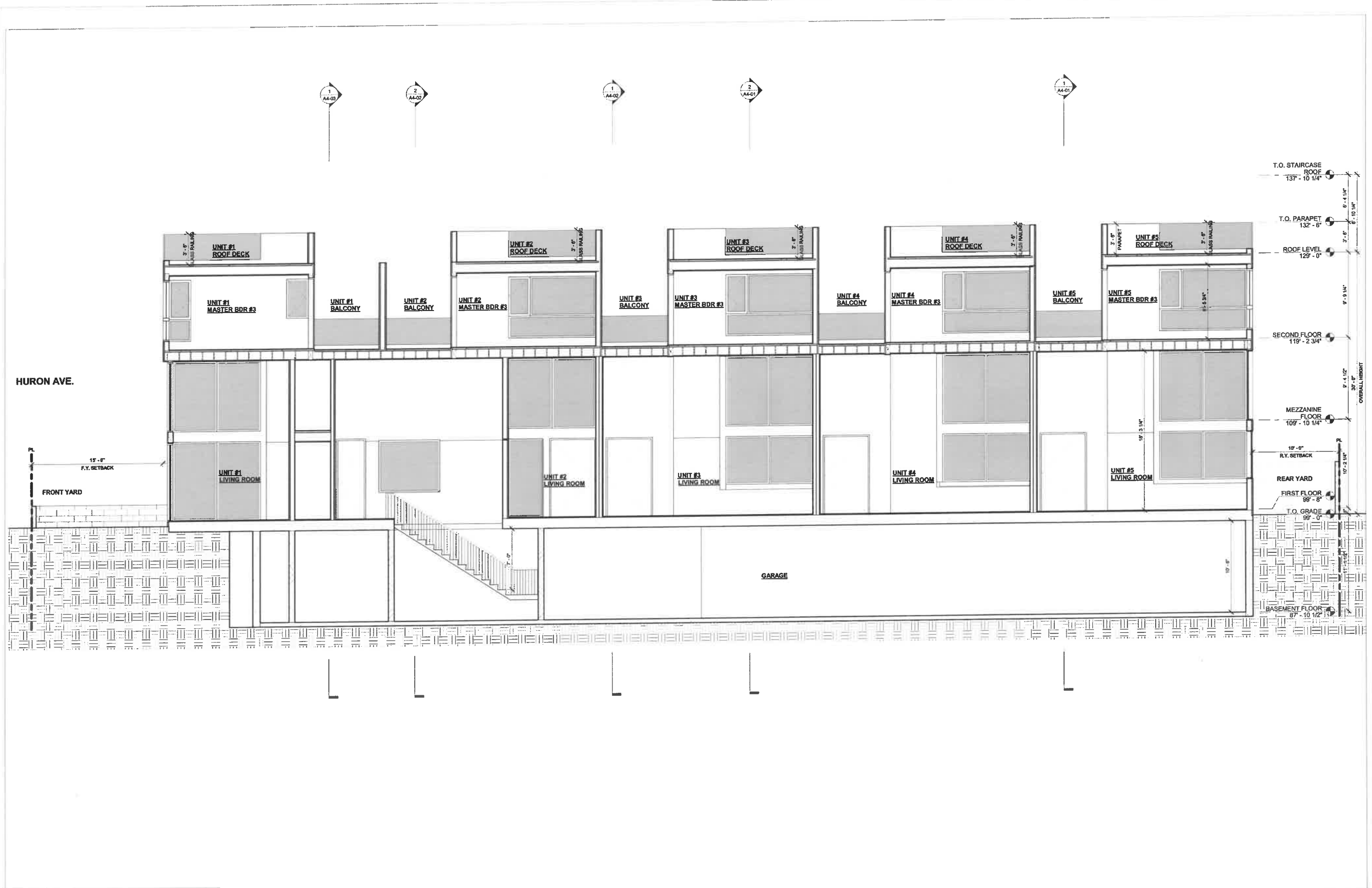
HURON AVE.

FRONT YARD
15'-0" F.Y. SETBACK

T.O. STAIRCASE ROOF 137' - 10 1/4"
T.O. PARAPET 132' - 6"
ROOF LEVEL 129' - 0"
SECOND FLOOR 119' - 2 3/4"
MEZZANINE FLOOR 109' - 10 1/4"
10' - 0" R.Y. SETBACK
REAR YARD
FIRST FLOOR 99' - 6"
T.O. GRADE 99' - 0"
BASEMENT FLOOR 11' - 10 1/2"
OVERALL HEIGHT 36' - 0"

Section 7
1/4" = 1'-0"

ARCHITECT: Aaron Brumer & Assoc, Architects 10999 Riverside Drive, Suite 300 North Hollywood, CA 91602 (310) 422-9234 Email - aaron@aaronbrumer.com	STRUCTURAL: Berkov & Associates, INC 5530 Carlin Ave, Suite 229 TARZANA, CA 91358 (818) 668-8589	CIVIL: DK Engineer Corp. 6420 Wilshire BLVD, #1000 Los Angeles, CA 90048 (310) 826-0248	LANDSCAPE: Yael Lir Landscape Architects 1010 Sycamore Ave, Suite 313 South Pasadena, CA 91030 (323) 258-5222	MEP: Creative Engineering Group 7123 Remmet Ave, Canoga Park, CA 91303 (818) 999-0415	PROJECT: 5-UNIT TOWNHOUSE DEVELOPMENT 3906 Huron Ave, Culver City, CA 90232	<table border="1"> <thead> <tr> <th>ISSUE DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>08.03.2021 NEIGHBORHOOD OUTREACH MEETING 01</td></tr> <tr><td>2</td><td>08.09.2021 PRR SUBMITTAL #01</td></tr> <tr><td>3</td><td>09.10.2021 PRR SUBMITTAL #02</td></tr> <tr><td>4</td><td>11.30.2021 CITY PLANNING SUBMITTAL #01_V2</td></tr> <tr><td>5</td><td>02.22.2022 CITY PLANNING SUBMITTAL #02</td></tr> <tr><td>6</td><td>04.08.2022 CITY PLANNING SUBMITTAL #03</td></tr> <tr><td>7</td><td>05.19.2022 CITY PLANNING SUBMITTAL #04</td></tr> <tr><td>8</td><td>06.14.2022 CITY PLANNING SUBMITTAL #05</td></tr> </tbody> </table>	ISSUE DATE	DESCRIPTION	1	08.03.2021 NEIGHBORHOOD OUTREACH MEETING 01	2	08.09.2021 PRR SUBMITTAL #01	3	09.10.2021 PRR SUBMITTAL #02	4	11.30.2021 CITY PLANNING SUBMITTAL #01_V2	5	02.22.2022 CITY PLANNING SUBMITTAL #02	6	04.08.2022 CITY PLANNING SUBMITTAL #03	7	05.19.2022 CITY PLANNING SUBMITTAL #04	8	06.14.2022 CITY PLANNING SUBMITTAL #05	<table border="1"> <thead> <tr> <th>ISSUE DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	ISSUE DATE	DESCRIPTION																	STAMP LICENSED ARCHITECT AARON BRUMER No. C-30909 Exp. 11-30-2025 Aaron Brumer STATE OF CALIFORNIA	DRAWING TITLE SECTION	A4-05 3906 HURON AVE
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1 Section 8
1/4" = 1'-0"

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PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3908 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 08.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 08.08.2021	PPR SUBMITTAL #01		
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DRAWING TITLE
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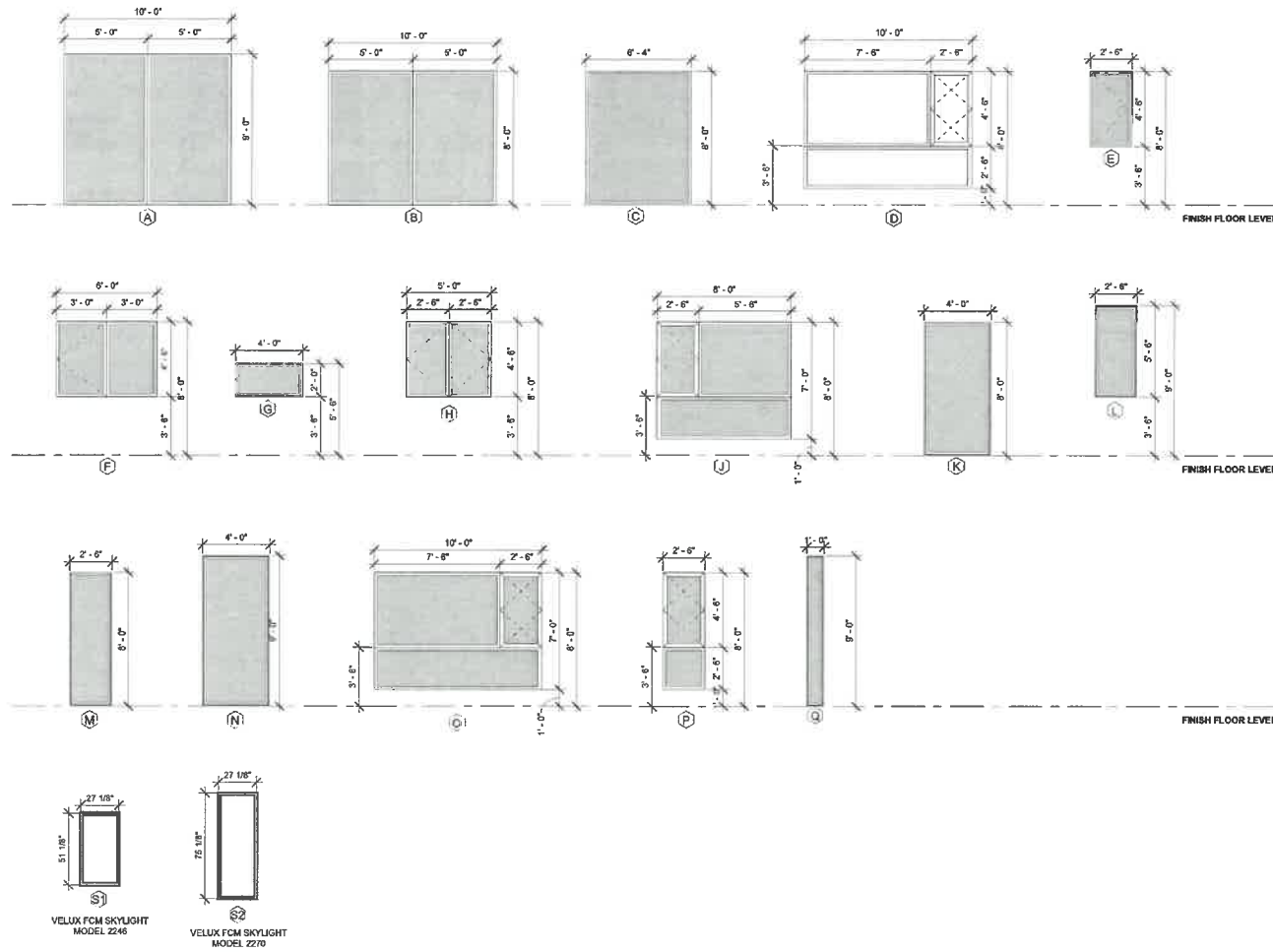
A4-06
 3908 HURON AVE

WINDOW SCHEDULE

TYPE	MATERIAL	COMPANY	PRODUCT NO.	SIZE		DETAILS			QTY	RATING	REMARKS
				WIDTH	HEIGHT	HEAD	SILL	JAMB			
A	ALUMINUM			10'-0"	8'-0"				2		
B	ALUMINUM			10'-0"	8'-0"				6		
C	ALUMINUM			6'-4"	8'-0"				1		
D	ALUMINUM			10'-0"	7'-0"				5		
E	ALUMINUM			2'-6"	4'-6"				31		
F	ALUMINUM			6'-0"	4'-6"				5		
G	ALUMINUM			4'-0"	2'-0"				10		
H	ALUMINUM			5'-0"	4'-6"				1		
J	ALUMINUM			8'-0"	7'-0"				5		
K	ALUMINUM			4'-0"	8'-0"				1		
L	ALUMINUM			2'-6"	5'-6"				1		
M	ALUMINUM			2'-6"	8'-0"				1		
N	ALUMINUM			4'-0"	9'-0"				1		
O	ALUMINUM			10'-0"	5'-6"				3		
P	ALUMINUM			2'-6"	7'-0"				2		
Q	ALUMINUM			1'-0"	9'-0"				1		
S1	ALUMINUM			2'-3 1/8"	4'-3 1/8"				5	SKYLIGHT	
S2	ALUMINUM			2'-3 1/8"	6'-3 1/8"				5	SKYLIGHT	





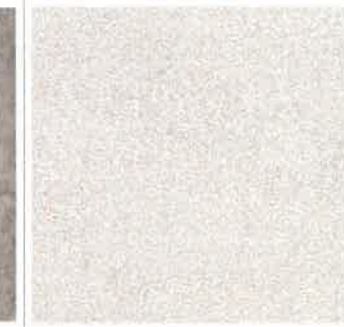
- ALL DIMENSIONS ARE NOMINAL AND SHOWN TO OUTSIDE OF FRAME. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO PLACING WINDOW ORDER.
- ALL WINDOW AND EXTERIOR DOORS TO HAVE THERMALLY BROKEN FRAMES, AND ALL GLASS TO BE CLEAR LOW-E DOUBLE-PANED INSULATED GLASS UNLESS OTHERWISE NOTED.
- BEDROOMS SHALL HAVE AT LEAST ONE OPENABLE ESCAPE WINDOW. THESE WINDOWS MUST HAVE A MIN. OPENABLE AREA OF 5.7 SF, A MIN. CLEAR OPENABLE HEIGHT OF 24", A MIN. NET CLEAR OPENABLE WIDTH OF 20", AND A SILL HEIGHT NOT OVER 44" AFF. (SECTION 310.4 2001 CBC)
- WINDOW MANUFACTURER SUBSTITUTION WILL BE PERMITTED UPON REVIEW BY ARCHITECT OF CUT SHEETS, SPECS, AND DETAILS OF PROPOSED MANUFACTURER.
- ALUMINUM WINDOWS TO BE CLEAR ANODIZED ALUMINUM FINISH WITH INTERIOR INSECT SCREEN (AT OPERABLE WINDOWS), THERMALLY IMPROVED CLEAR GLASS, AND CLEAR OPERATING HARDWARE.
- SEE T-24 SHEETS FOR U-FACTOR AND SHGC FACTOR FOR ALL WINDOWS AND SKYLIGHTS.
- PROVIDE CUT SHEETS, SPECS, AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING.

WINDOW TYPES AND ASSEMBLIES



FINISH SCHEDULE

TYPE	MATERIAL	MANUFACTURER	NAME/NUMBER	DISTRIBUTOR/ CONTACT INFO	REMARKS
CON-1	CONCRETE	TBD			
CT-1	TILE	ECOCRETE			
CT-2	TILE	TBD			
MTL-1	PAINTED GUARD RAILING	TBD			
MTL-2	CLR ANODIZED ALUMINUM	TBD			
HB-1	ARTISAN TRIM BOARDS	JAMES HARDI			
STU-1	WHITE - HARD-TROWELLED STUCCO	TBD			
STU-2	GREY - HARD-TROWELLED STUCCO	TBD			

							
				5 MTL-2 STAINLESS STEEL DARK BRONZE ANODIZED ALUMINUM EXTERIOR WINDOWS & DOORS			
							
4	CT-1 ECOCRETE CONCRETE TILE	3	HB-1 ARTISAN TRIM BOARDS	2	STU-2 GRAY - HARD TROWELLED STUCCO	1	STU-1 WHITE - HARD TROWELLED STUCCO

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 (818) 668-8589

CIVIL:
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 Los Angeles, CA 90048
 (310) 826-0248

LANDSCAPE:
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 South Pasadena, CA 91030
 (323) 258-5222

MEP:
 Creative Engineering Group
 7123 Remmel Ave,
 Canoga Park, CA 91303
 (818) 999-0415

PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE	DATE	DESCRIPTION
1	06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2	06.09.2021	PPR SUBMITTAL #01
3	09.10.2021	PPR SUBMITTAL #02
4	11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5	02.22.2022	CITY PLANNING SUBMITTAL #02
6	04.08.2022	CITY PLANNING SUBMITTAL #03
7	05.19.2022	CITY PLANNING SUBMITTAL #04
8	06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
 WINDOW & FINISH SCHEDULES

A6-01
 3906 HURON AVE



1 RENDERING FROM FRONT STREET VIEW 01

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
 3908 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 09.13.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



DRAWING TITLE
 RENDERING

A5-01

3908 HURON AVE



2 RENDERING FROM FRONT STREET VIEW 02

ARCHITECT:
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PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 08.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 08.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01 1/2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.28.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



DRAWING TITLE
 RENDERING

A5-02

3906 HURON AVE



11/17/2022 11:57:00 AM

3

RENDERING FROM REAR STREET VIEW 01

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PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3908 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 08.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



DRAWING TITLE
 RENDERING

A5-03

3908 HURON AVE



4 RENDERING FROM REAR STREET VIEW 02

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PROJECT:
S-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01 V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



DRAWING TITLE
 RENDERING

A5-04

3906 HURON AVE

CULVER CITY GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), AND ANY AMENDMENTS THERETO, THE LATEST EDITION OF THE STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK STANDARD PLANS), OTHER CITY STANDARDS, AND TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR/CITY ENGINEER, OR HIS/HER DESIGNEE.
- TRAFFIC CONTROL SHALL BE PERMITTED AND TO THE SATISFACTION OF THE PUBLIC WORKS INSPECTOR.
- CONTRACTOR SHALL CALL FOR INSPECTION FOR ANY WORK PROPOSED AT 310.253.5600 AT LEAST 48 HOURS IN ADVANCE. FAILURE TO PROPERLY NOTIFY THE PUBLIC WORKS INSPECTOR IS CAUSE FOR REVOCATION OF PERMIT.
- THE APPLICANT SHALL BE RESPONSIBLE FOR THE EXPENSE AND TO REPAIR OR REPLACE ANY DAMAGED TO THE PUBLIC RIGHT-OF-WAY, TO INCLUDE EXISTING TRAFFIC LIGHTS, SIGNAL, LIGHTING, ELECTRICAL SYSTEMS, AND UNDERGROUND INSTALLATIONS (WHETHER OR NOT PHYSICALLY MARKED OR SHOWN ON THE CONTRACT PLANS), DAMAGED CAUSED BY THE CONSTRUCTION OF THE PROPOSED WORK OR PROJECT. SUCH REPAIRS OR REPLACEMENT SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.
- WORKING HOURS FOR LANE CLOSURES SHALL BE FROM 9:00 AM TO 3:00 PM WEEKDAYS ON PUBLIC RIGHT OF WAY UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER; ALL CONSTRUCTION ACTIVITY ON PRIVATE PROPERTY SHALL BE PROHIBITED, EXCEPT BETWEEN THE HOURS OF: 8:00 A.M. AND 5:00 P.M. MONDAYS THROUGH FRIDAYS; 9:00 A.M. AND 7:00 P.M. SATURDAYS; 10:00 A.M. AND 7:00 P.M. SUNDAYS.
- TO MINIMIZE INCONVENIENCE TO TRAFFIC AND THE PUBLIC IN GENERAL, THE CONTRACTOR SHALL SCHEDULE THE CONCRETE PLACEMENT AND/OR ROADWAY PAVEMENT TO BE COMPLETED NO LATER THAN TWO (2) DAYS AFTER THE REMOVAL OPERATIONS UNLESS APPROVED BY PUBLIC WORKS INSPECTOR. SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR MOVEMENT AT AND AROUND ALL CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES. APPROVED SIGNAGES AND SIGNS (TRAFFIC FLAGGING PERSONNEL, IF NECESSARY), SHALL BE PROVIDED AND UTILIZED BY THE CONTRACTOR TO ENSURE PUBLIC SAFETY AT ALL TIMES.
- THE CONTRACTOR SHALL NOT DISCHARGE OR PERMIT TO BE DISCHARGED TO ANY STREET, STORM DRAIN, OF ANY APPURTENANCE THEREOF, ANY NON-HAZARDOUS WATER OR OTHER LIQUID FROM THE PROJECT SITE OF FROM OPERATIONS PERTAINING TO THE PROJECT SITE, PER HOUSING REGULATIONS AND CITY'S STORM WATER POLLUTION ORDINANCE SECTION 5.02.500 ET SEQ.
- CATCH BASINS WITHIN 50 FEET OF WORK AREA SHALL BE PROTECTED WITH PERMEABLE FABRIC AND SANDBAGS PRIOR TO COMMENCING WORK AND MAINTAINED DURING DURATION OF OPERATION. FAILURE TO PROVIDE PROTECTION TO THE CATCH BASINS AND STORM DRAIN INLETS IS CAUSE FOR REVOCATION OF PERMIT.
- STOCKPILING OF MATERIAL OR EQUIPMENT IN THE PUBLIC RIGHT OF WAY IS PROHIBITED UNLESS AUTHORIZED BY THE PUBLIC WORKS DIRECTOR/CITY ENGINEER OR HIS/HER DESIGNEE.
- THE PROJECT WORK AREA SHALL BE KEPT CLEAN, SAFE, AND SANITARY CONDITION AT THE END OF EACH WORK DAY, THE PROJECT WORK AREA SHALL BE SWEEP BY MANUAL OR MECHANICAL MEANS TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR/CITY ENGINEER, OR HIS/HER DESIGNEE.
- NO STAGING OF CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES ALONG PUBLIC RIGHT OF WAY UNLESS AUTHORIZED BY THE PUBLIC WORKS DIRECTOR/CITY ENGINEER OR HIS/HER DESIGNEE.
- CONSTRUCTION VEHICLES SHALL NOT BE PARKED OVER NIGHT OR DURING NON-OPERATIONAL HOURS ON PUBLIC RIGHT OF WAY.
- CALL PUBLIC WORKS INSPECTOR BEFORE STARTING PROJECT. 310-253-5600.

ABBREVIATIONS:

Q ₂₅	25 YEAR PEAK FLOW RATE	OH	OVERHEAD WIRES
Q ₁₀	10 YEAR PEAK FLOW RATE	PCL	PARCEL
ADA	AMERICANS WITH DISABILITIES ACT	PEB	PEDESTAL
AC	ASPHALTIC CONCRETE	PVC	POLYVINYL CHLORIDE
BW	BACK OF WALK	POC	PORTLAND CEMENT CONCRETE
BCR	BEGIN CURVE RETURN	PP	POWER POLE
BH	BENCHMARK	PL	PROPERTY LINE
BMP(S)	BEST MANAGEMENT PRACTICE(S)	PROP.	PROPOSED
BX	BOX	REF	REFERENCE
CB	CATCH BASIN	R/W	RIGHT-OF-WAY LINE
CL	CENTER LINE	RG	ROUGH GRADE
CLF	CHAIN LINK FENCE	SS	SANITARY SEWER
CF	CURB FACE	SSM/ SPM	SANITARY SEWER MANHOLE
CFS	CUBIC FEET PER SECOND	SGN	SIGN
CONC	CONCRETE	S=	SLOPE EQUALS
DS	DOWNSPOUT	S	SOUTH
DW	DOMESTIC WATER	SF	SOUTH OF
DWY	DRAINWAY	SQ	SQUARE FEET
E	EAST	STD	STANDARD
ELY	EASTERLY	SPPWC	STANDARD PLAN FOR PUBLIC WORKS CONSTRUCTION
EG	EDGE OF GUTTER	STA	STATION
ELEC	ELECTRIC	ST	STREET
EL OR ELEV.	ELEVATION	SD	STORM DRAIN
ECR	END CURVE RETURN	SMH	STORM MANHOLE
(E) OR EX.	EXISTING	SL	STREET LIGHT
FF	FINISHED FLOOR	SLB	STREET LIGHT BOX
FG	FINISHED GRADE (LANDSCAPE)	TEL	TELEPHONE
FS	FINISHED SURFACE (HARDSCAPE)	TC	TOP OF CURB
FH	FIRE HYDRANT	TG	TOP OF GRATE
FW	FIRE WATER	TW	TOP OF WALL
FL	FLOW LINE	TS	TRAFFIC SIGNAL
GPM	GALLONS PER MINUTE	TSD	TRAFFIC SIGNAL BOX
G	GAS	TSL	TRAFFIC SIGNAL LIGHT
GV	GAS VALVE	TSB	TRAFFIC SIGNAL PULL BOX
GB	GRADE BREAK	TYP	TYPICAL
DHP	IMPERVIOUSNESS	UG	UNDER GROUND CONDUIT
DW	INVERT	ULT	VALVE
LL	LOT LINE	VCP	VITRIFIED CLAY PIPE
MH	MANHOLE	WHR	WASHER
HSC	MISCELLANEOUS	WH	WATER METER
(N)	NEW	WV	WATER VALVE
N	NORTH	W	WEST
NTS	NOT TO SCALE	WLY	WESTERLY
OS	OFFSET	WC, ADA RMP	WHEELCHAIR RAMP
O.C.	ON CENTER	W	WITH

STORM WATER POLLUTION CONTROL

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/errata/revision plans and supersede the minimum standards of soil loss/erosion which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure landfills (depositions). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CA5004901 - Part 5, Definitions)

- Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- Stockpiles of earth and other construction-related materials shall be covered and protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their labeling and shall not contaminate the soil nor the surface waters. All approved in-use storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and disposal by wind.
- Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

GENERAL NOTES:

- WORK ON PLANS SHALL BE COMPLETED PER LOCAL BUILDING CODE AND DETAILS AND LATEST 'GREENBOOK' STANDARDS.
- GRADING SHALL BE PER LA CITY SOILS APPROVAL LETTER AND PROJECT GEOTECHNICAL REPORT BY AGE GEOTECHNICAL, INC. SEPTEMBER 16, 2020.
- PROJECT TOPOGRAPHY IS PER SURVEY BY CHRISTENSEN & PLOUFF LAND SURVEYING DATED 07/24/2021.
- PRIOR TO ANY CONTRACTOR CHANGES TO APPROVED CIVIL PLANS, CONTRACTOR SHALL OBTAIN APPROVAL IN WRITING FROM PROJECT ENGINEER OF RECORD.
- EXISTING UTILITY INFORMATION OBTAINED FROM PROJECT SURVEY AND/OR PUBLIC UTILITY RECORDS. CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS, SIZES, AND INVERTS.
- CONTRACTOR SHALL NOTIFY PROJECT GEOTECHNICAL ENGINEER IF UNFAVORABLE GEOTECHNICAL CONDITIONS ARE DISCOVERED.
- GRADES SHOWN ON THE FINE GRADING PLAN REPRESENT THE FINAL CONDITIONS. CONTRACTOR TO SUBTRACT PAVEMENT AND BASE THICKNESS TO OBTAIN ROUGH GRADE ELEVATIONS.
- WATER LINES SHALL BE INSTALLED A MIN 36" BELOW FINISH GRADE PER LOCAL CODES.

PROJECT INFORMATION:

LEGAL DESCRIPTION:
LOT 1, BLOCK 6, MAP OF CLAREDALE RECORDED IN BOOK 9 PAGE 176
OF LOS ANGELES COUNTY RECORDS

OWNER:
STEPHANIE CHAYAN
42 AVENUE MONTAGNE
75008 PARIS

CIVIL ENGINEER:
DK ENGINEER CORP.
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310.526.0248

GEOTECHNICAL ENGINEER:
AGE GEOTECHNICAL, INC.
15555 SHERMAN WAY, SUITE A
VAN NUYS, CA 91406
818.785.5344

CIVIL SHEET INDEX:

C0.01	TITLE SHEET
CL.00	SURVEY (FOR REFERENCE ONLY)
CL.10	EROSION CONTROL AND DEMOLITION PLAN
CL.20	ROUGH GRADING PLAN
CL.30	GRADING PLAN
CL.40	UTILITY AND LID PLAN
CL.50	HORIZONTAL CONTROL AND PAVING PLAN
CL.00	DETAILS



VICINITY MAP
NOT TO SCALE



IMPORTANT NOTICE
SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIGALERT ID NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG

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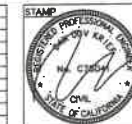
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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
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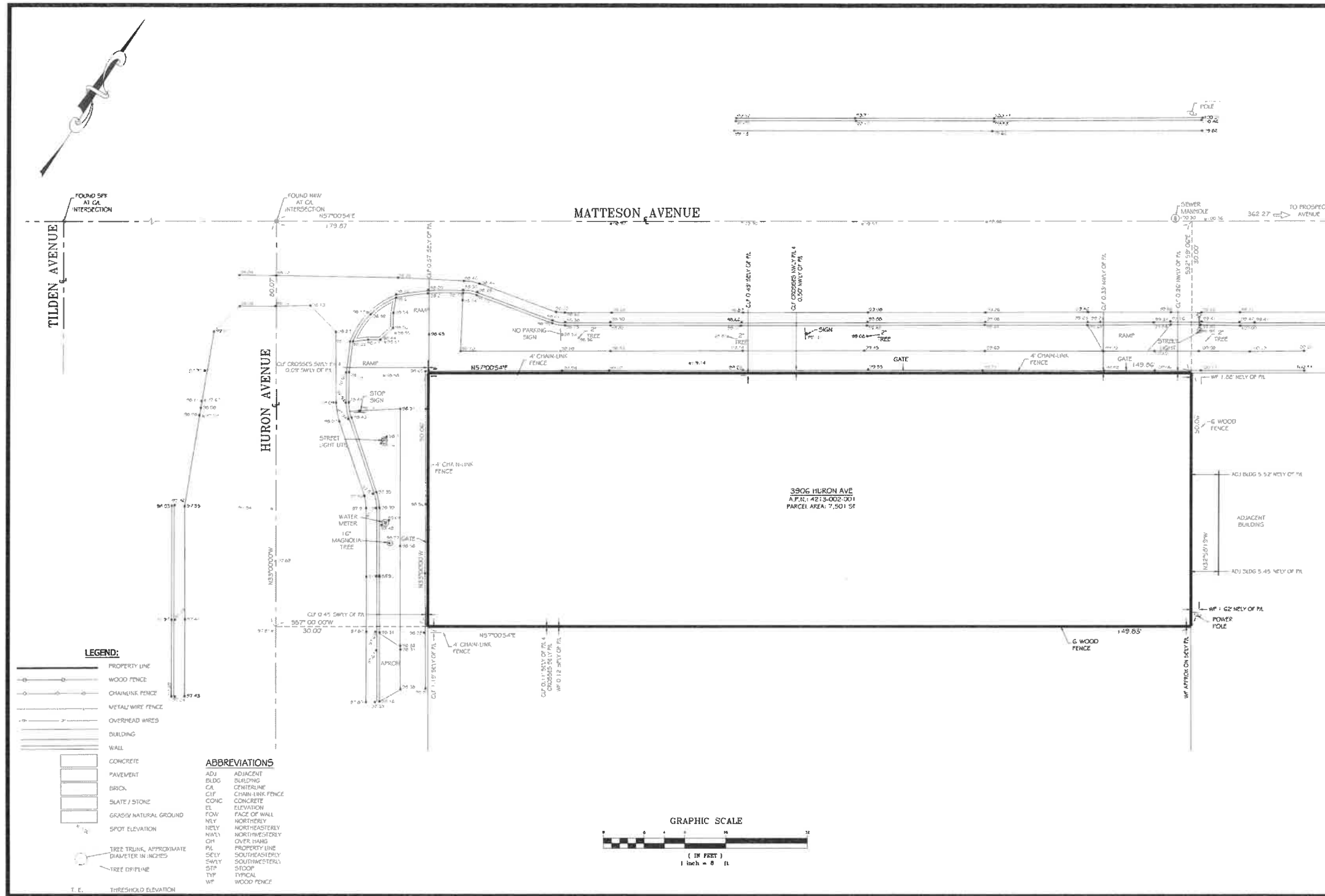
ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 08.09.2021	PH#1 SUBMITTAL #01
3 09.08.2021	PH#1 SUBMITTAL #02
4 08.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION



DRAWING TITLE
TITLE SHEET

C0.01
3608 HURON AVE



- LEGEND:**
- PROPERTY LINE
 - WOOD FENCE
 - CHAIN-LINK FENCE
 - METAL WIRE FENCE
 - OVERHEAD WIRES
 - BUILDING
 - WALL
 - CONCRETE
 - PAVEMENT
 - BRICK
 - SLATE / STONE
 - GRASSY NATURAL GROUND
 - SPOT ELEVATION
 - TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
 - TREE DRYLINE
 - T.E. THRESHOLD ELEVATION
- ABBREVIATIONS**
- ADJ ADJACENT BUILDING
 - BLDG BUILDING
 - CA CENTERLINE
 - CLF CHAIN-LINK FENCE
 - CONC CONCRETE
 - EL ELEVATION
 - FACE OF WALL
 - ELY NORTHERLY
 - NELY NORTHEASTERLY
 - NWLY NORTHWESTERLY
 - OH OVER HANG
 - PL PROPERTY LINE
 - SELY SOUTHEASTERLY
 - SWLY SOUTHWESTERLY
 - STP STEEP
 - TYP TYPICAL
 - WF WOOD FENCE

CHRISTENSEN & PLOUFF
 LAND SURVEYING
 11515 WILSHIRE BLVD., SUITE 100
 LOS ANGELES, CA 90025
 (310) 440-1100
 www.christensenandplouff.com

DATE: 07/20/21
 DRAWING NO.: 17
 PREPARED BY: KYLE PLOUFF
 APPROVED BY: KYLE PLOUFF
 3906 HURON AVENUE, CULVER CITY, CALIFORNIA

3906 HURON AVENUE, CULVER CITY
 COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA
 APN: 4213-002-001

PROJECT:
A.L.T.A./N.S.P.S. LAND TITLE SURVEY

PROJECT NO:
SCA-20-129

SHEET NO:
2 OF 2

FOR REFERENCE ONLY

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DKE
 DK ENGINEER, CORP
 6420 WILSHIRE BLVD., #1000
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 310-588-3348

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.23.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PIPH SUBMITTAL #01
3 09.09.2021	PIPH SUBMITTAL #02
8 06.14.2022	CITY PLANNING SUBMITTAL #05

ISSUE DATE	DESCRIPTION

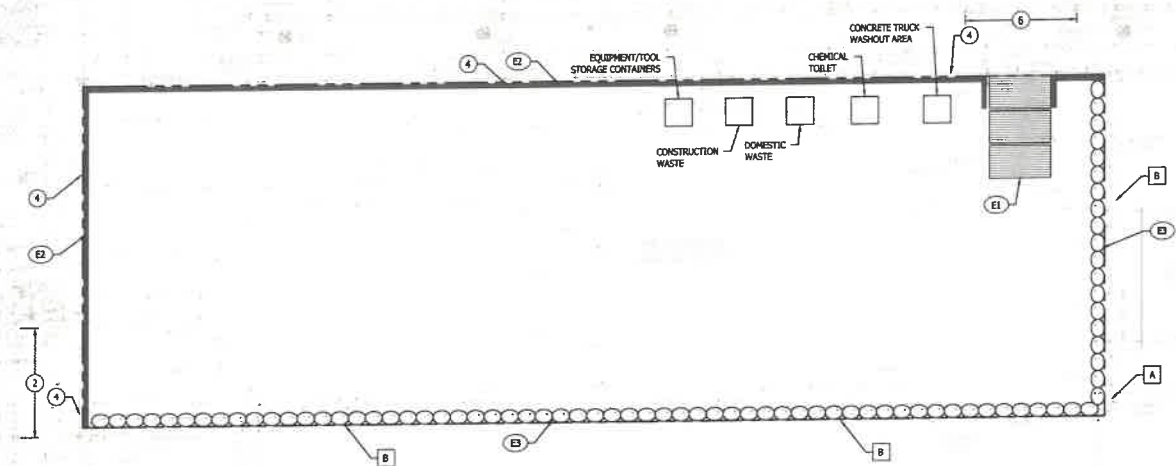
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DRAWING TITLE
 SURVEY (FOR REFERENCE ONLY)

C1.00
 3906 HURON AVE

MATTESON AVENUE

HURON AVENUE



BMP NOTES:

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JULY 2012, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS):

- | | |
|-------------------------------------------|-----------------------------------------------------------|
| EROSION CONTROL | NON-STEMWATER MANAGEMENT |
| EC1-SCHEDULING OF EXISTING VEGETATION | NS1-WATER CONSERVATION PRACTICES |
| EC2-PRESERVATION OF EXISTING VEGETATION | NS3-PLANNING AND GRADING OPERATIONS |
| TEMPORARY SEDIMENT CONTROL | NS12-CONCRETE CURING |
| SE7-STREET SWEEPING AND VACUUMING | NS13-CONCRETE FINISHING |
| SE8-SANDBAG BARRIER | WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL |
| EQUIPMENT TRACKING CONTROL | WM1-MATERIAL DELIVERY AND STORAGE |
| TC1-STABILIZED CONSTRUCTION ENTRANCE/EXIT | WM2-MATERIAL USE |
| TC3-ENTRANCE/EXIT TIRE WASH | WM3-STOCKPILE MANAGEMENT |
| WIND EROSION CONTROL | WM4-SPILL PREVENTION AND CONTROL |
| WE1-WIND EROSION CONTROL | WM5-SOLID WASTE MANAGEMENT |
| | WM6-HAZARDOUS WASTE MANAGEMENT |
| | WM7-CONTAMINATED SOIL MANAGEMENT |
| | WM8-CONCRETE WASTE MANAGEMENT |
| | WM9-SANITARY/SEPTIC WASTE MANAGEMENT |
| | WM10-LIQUID WASTE MANAGEMENT |

DUST CONTROL NOTES:

- DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALLIATIVE. THE DUST PALLIATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS DIRECTED BY THE ENGINEER.
- WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE DISTRIBUTORS OR PIPE LINES EQUIPPED WITH A SPRAY SYSTEM OR HOSES WITH NOZZLES THAT WILL INSURE A UNIFORM APPLICATION OF WATER.
- UNLESS WATER IS APPLIED BY MEANS OF PIPE LINES, AT LEAST ONE PORTABLE UNIT WITH A HOLDING CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR APPLYING WATER.
- ALL SOIL MATERIALS OR DEBRIS TILDED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.
- PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZING OF DEPOSITED SOILS.
- PROVIDE FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.
- LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEANING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

DEMOLITION NOTES:

- DEMOLISH & REMOVE STRUCTURE
- DEMOLISH & REMOVE CONCRETE WALK
- REMOVE TREE
- DEMOLISH & REMOVE FENCE/GATE
- REMOVE GAS METERS
- DEMOLISH EXISTING DRIVEWAY.

PROTECTION NOTES:

- PROTECT IN PLACE POWER POLE.
- PROTECT-IN PLACE FENCE.

EROSION CONTROL NOTES:

- STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 1, HEREON. CONSTRUCTION ENTRANCE TO BE RELOCATED AS NEEDED BY CONTRACTOR.
- FIBER ROLLS PER DETAIL 2, HEREON. FIBER ROLLS TO BE RELOCATED AS NEEDED BY CONTRACTOR.
- PLACE 2 ROWS, 3 BAGS HIGH OF SANDBAGS PER DETAIL 3, HEREON.

PROJECT INFORMATION

JOB ADDRESS: 3906 HURON AVE
CULVER CITY, CA 90232

APN: 4213-002-001

OWNER: STEPHANIE CHAYAN
42 AVENUE MONTAIGNE
75008 PARIS

24-HR EMERGENCY CONTACT:

TOTAL DISTURBANCE: 7,501 SF (17 ACRES)

LEGEND:

- PROPERTY LINE
- LIMIT OF WORK
- SANDBAGS
- ← DIRECTION OF FLOW
- FIBER ROLLS

TEMPORARY EROSION CONTROL MEASURES EFFECTIVE DURING RAINY SEASON (OCTOBER-APRIL):

- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE WMECP WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- WHEN DIRECTED BY THE INSPECTOR, A 12-INCH HIGH SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
- PROVIDE VELOCITY CHECK DAMS ACROSS THE OUTLET OF ALL LOTS DRAINING INTO THE STREET.
- ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGES OF THE FILL.
- ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. STORM AND SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING UPWARD, TO WITHIN TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEDGES AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT TO EXCEED THE FOLLOWING:

GRADE OF STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

- PROVIDE STANDARD "VELOCITY CHECK DAMS" AT ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED IN PARAGRAPH 6 ABOVE. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, TREES, OR OTHER EROSION RESISTANT MATERIAL APPROVED BY THE INSPECTOR AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DAMS MAY NOT BE USED AS "VELOCITY CHECK DAMS".
- PROVIDE STANDARD "VELOCITY CHECK DAMS" IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW.

GRADE OF CHANNEL CHECK DAMS	INTERVALS BETWEEN
LESS THAN 2%	100 FEET
2% TO 6%	50 FEET
OVER 6%	25 FEET

- THE STANDARD "VELOCITY CHECK DAM" SHALL HAVE A MINIMUM HEIGHT OF 12-INCHES. VELOCITY CHECK DAMS ACROSS OUTLETS OF ALL LOTS SHALL HAVE A MINIMUM HEIGHT OF 18-INCHES. VELOCITY CHECK DAMS CONSTRUCTED WITH SANDBAGS THAT ARE 18-INCHES HIGH SHALL BE BUILT WITH A DOUBLE ROW.
- AFTER SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHEN TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
- EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY EXCEEDS 40% AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
- AFTER EACH STORM, ALL "DESILTING BASINS" AND "VELOCITY CHECK DAMS" SHALL BE PUMPED DRY AND REMOVED OF ALL DEBRIS AND SILT WITH IN 24 HOURS AND RESTORED TO THEIR ORIGINAL CAPACITY.
- EROSION CONTROL DEVICES SHALL BE STOCKPILED IN PARKWAYS AT INTERVALS SHOWN ON THE WMECP, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST OR WHEN DIRECTED BY THE INSPECTOR.
- ALL CUT AND FILL SLOPES GREATER THAN 1 VERTICAL TO 3 HORIZONTAL SHALL BE COVERED WITH 10 MIL PLASTIC SHEETING HELD IN PLACE WITH SANDBAGS (UNLESS PLANTED OR HYDRO-SEEDS).
- BUSH AND VEGETATIVE GROUND COVER MAY NOT BE REMOVED MORE THAN 10-FEET ABOVE FILLS DURING THE RAINY SEASON WHICH OCCURS BETWEEN OCTOBER 1 AND APRIL 15.

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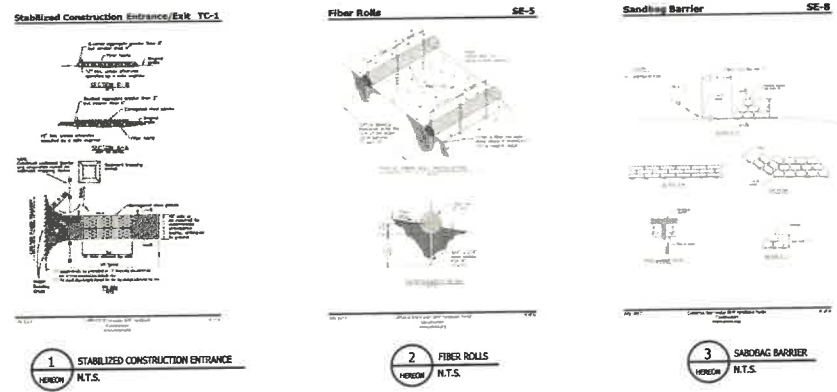
FOR DESILTING BASINS:

- ALL "DESILTING BASINS" BUILT ON LOTS ADJACENT TO DWELLINGS MUST BE COMPLETELY LINED WITH AC-2 OR GRANITE.
- SIZES OF "DESILTING BASINS" AND "WEIRS" SHALL BE SHOWN ON THE PLANS AND HAVE THE CAPACITY TO SERVICE THE AFFECTED WATERCOURSE.
- ALL SPILLWAYS FROM BASINS SHALL BE PAVED TO EXISTING PAVED STREETS, EXISTING STORM DRAIN CATCH BASINS OR OTHER APPROVED WATERCOURSES.
- RETENTION OR DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE PUBLIC WORKS ENGINEER UNTIL ALL SURFACE IMPROVEMENTS HAVE BEEN COMPLETED.
- SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIVES OR BASIN INLET DIVES SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIVE. SEWER LINES SHALL FIRST BE ENCASED IN CONCRETE BEFORE SANDBAGS ARE PLACED.
- "DESILTING" AND "RETENTION" BASINS SHALL BE CONSTRUCTED AS FOLLOWS:
 - OUTLET AND APRON - (AS DESCRIBED ON BMP ESD34, "TEMPORARY SEDIMENT BASIN").
 - DIVES:
 - SHALL BE COMPACTED TO 95% COMPACTION AND SHALL BE CONSTRUCTED UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS EROSION CONTROL INSPECTOR
 - THE PLACEMENT OF SPILLWAYS AND OUTLET PIPES SHALL BE AS FAR AS PRACTICABLE FROM DIVES.
 - BASIN WALLS SHALL NOT EXCEED 2:1 SLOPE.

(DRAINLET TO BASINS):

- WALLS SHALL BE PAVED WITH AC-3 OR CONSTRUCTED SANDBAG BERRS WHEN APPROVED BY THE PUBLIC WORKS EROSION CONTROL INSPECTOR.
- SLOPE OF INLETS SHALL BE EQUAL TO OR MORE THAN THE SLOPE OF THE CARRYING SURFACE IMMEDIATELY ABOVE THE INLET TO AVOID "SLIDING UP" OF THE INLETS. (IF A GRAVITY PIPE IS PRACTICABLE, A STAND-BY PUMP SHALL BE PROVIDED FOR EACH DESILTING BASIN. A GUARD IS TO BE ON CONTINUOUS DUTY WHILE THE BASIN CONTAINS WATER. (EXISTING BASINS REQUIRED FOR TEMPORARY EROSION CONTROL SHALL NOT BE PERMITTED IN THE STREET AREAS UNLESS SPECIFICALLY AUTHORIZED BY THE PUBLIC WORKS ENGINEER.
- A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE DEVELOPER OR CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS:

NAME:
TELEPHONE:



1 STABILIZED CONSTRUCTION ENTRANCE N.T.S.
2 FIBER ROLLS N.T.S.
3 SANDBAG BARRIER N.T.S.



VICINITY MAP
SCALE: 1" = 800'



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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3908 Huron Ave, Culver City, CA 90232

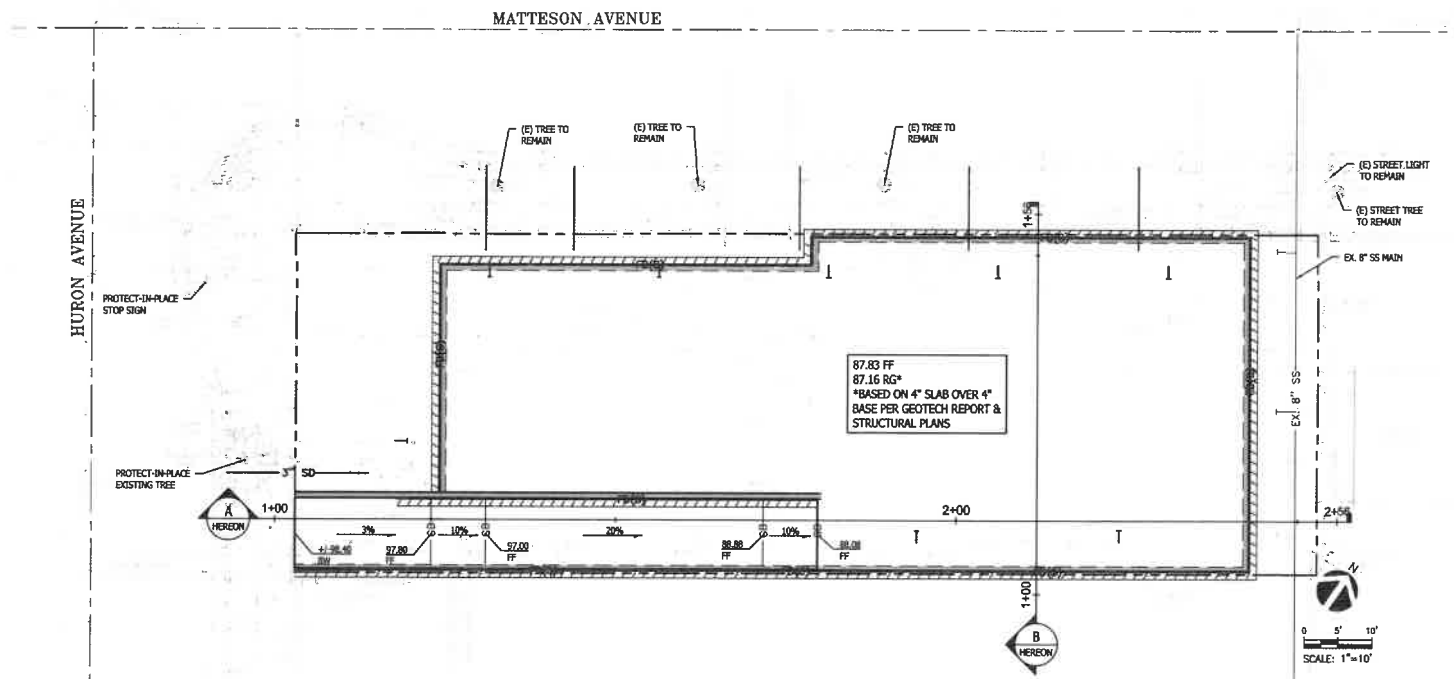
ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.08.2021	PER SUBMITTAL #01		
3 06.09.2021	PER SUBMITTAL #02		
8 06.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
EROSION CONTROL AND
DEMOLITION PLAN

C1.10

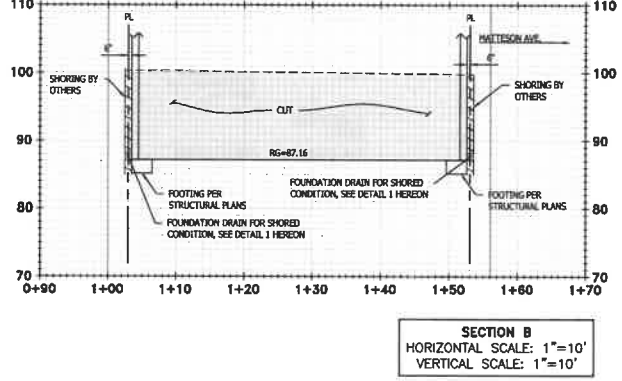
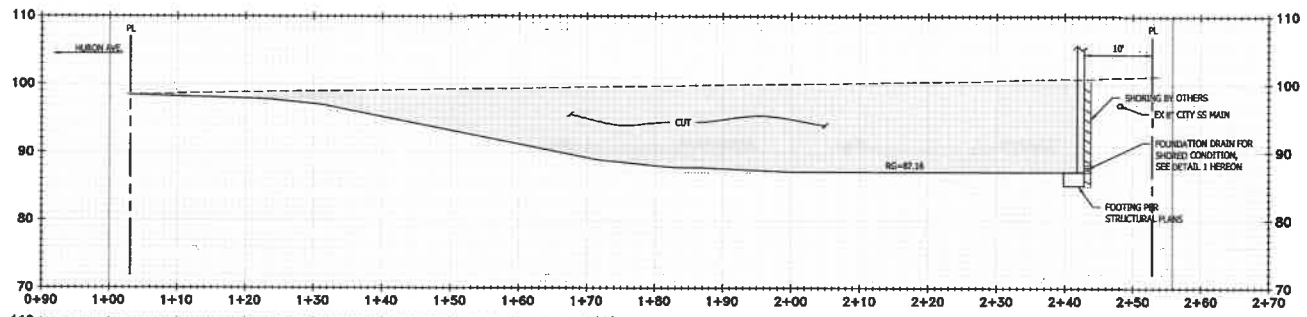
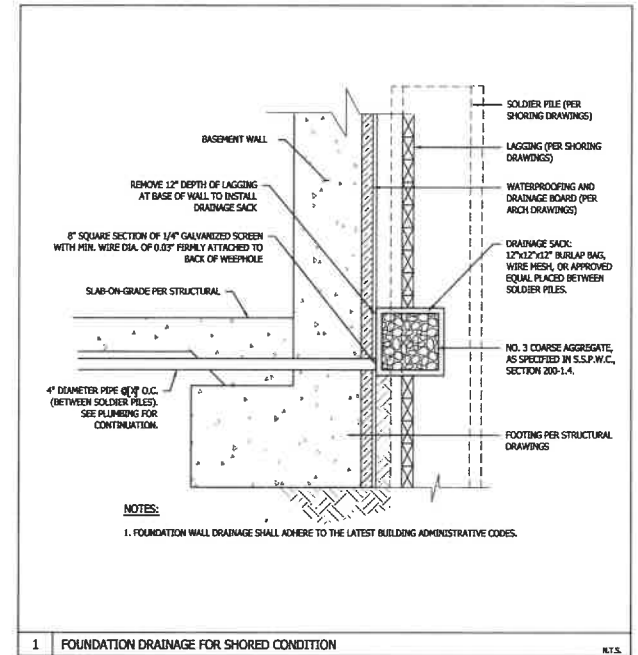
3908 HURON AVE



ESTIMATED EARTHWORK QUANTITIES	
CUT:	2,330 CUBIC YARDS
FILL:	0 CUBIC YARDS
REMOVAL AND RECOMPACTION: SHRINKAGE 10%:	0 CUBIC YARDS
NET (CUT):	2,330 CUBIC YARDS

NOTES:
 1. QUANTITIES SHOWN ON HERE ARE FOR PLAN CHECK PURPOSES ONLY. CONTRACTOR TO GENERATE OWN QUANTITIES FOR BIDDING PURPOSES.

- LEGEND:
- BASEMENT BUILDING WALL PER STRUCTURAL
 - TOP/TOP OF SLOPE
 - SHORING BY OTHERS
 - FD(S) FOUNDATION DRAINAGE FOR SHORED CONDITION PER DETAIL 1, HEREON. SEE PLUMBING DRAWINGS FOR CONNECTION TO BASEMENT SLUMP PUMP.



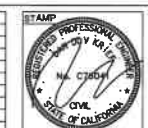
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PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3806 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.09.2021	PPR SUBMITTAL #01		
3 09.09.2021	PPR SUBMITTAL #02		
8 08.14.2022	CITY PLANNING SUBMITTAL #05		



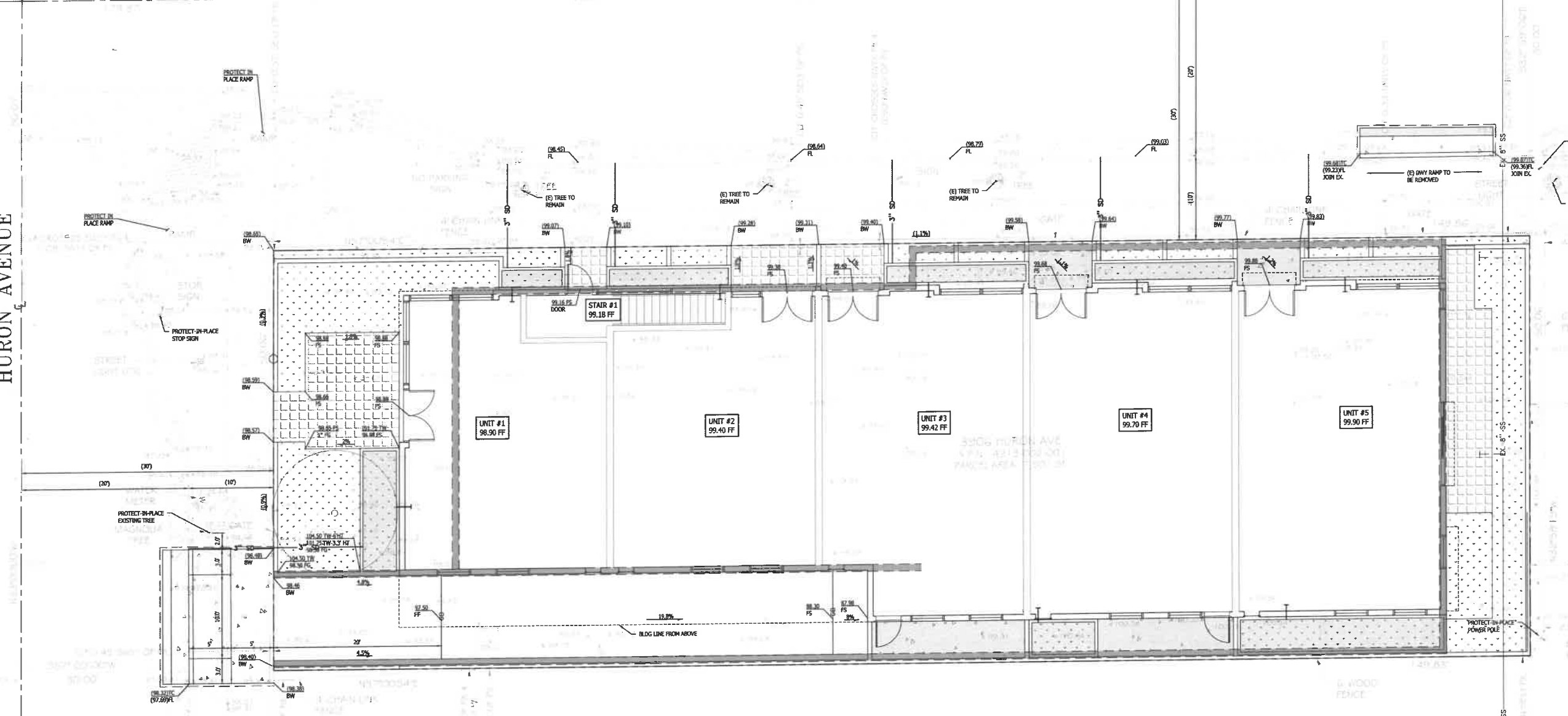
DRAWING TITLE
 ROUGH GRADING PLAN
 AND SECTIONS

C1.20

3806 HURON AVE

MATTESON AVENUE

HURON AVENUE



- LEGEND:**
- — — — — PROPERTY LINE
 - [Pattern] CONCRETE PAVING ON GRADE PER DETAIL 3, C2.00.
 - [Pattern] PERMEABLE PAVES PER DETAIL 4, C2.00. SEE ARCHITECT PLANS FOR PRODUCT MANUFACTURE.
 - [Pattern] CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN. FINISH COLOR AND SCORING PATTERN PER LANDSCAPE ARCH.
 - [Pattern] PLANTER AREA PER LANDSCAPE
 - [Pattern] ASPHALT PAVING
 - [Pattern] PERMEABLE LID PLANTER PER DETAIL 6, C2.00.



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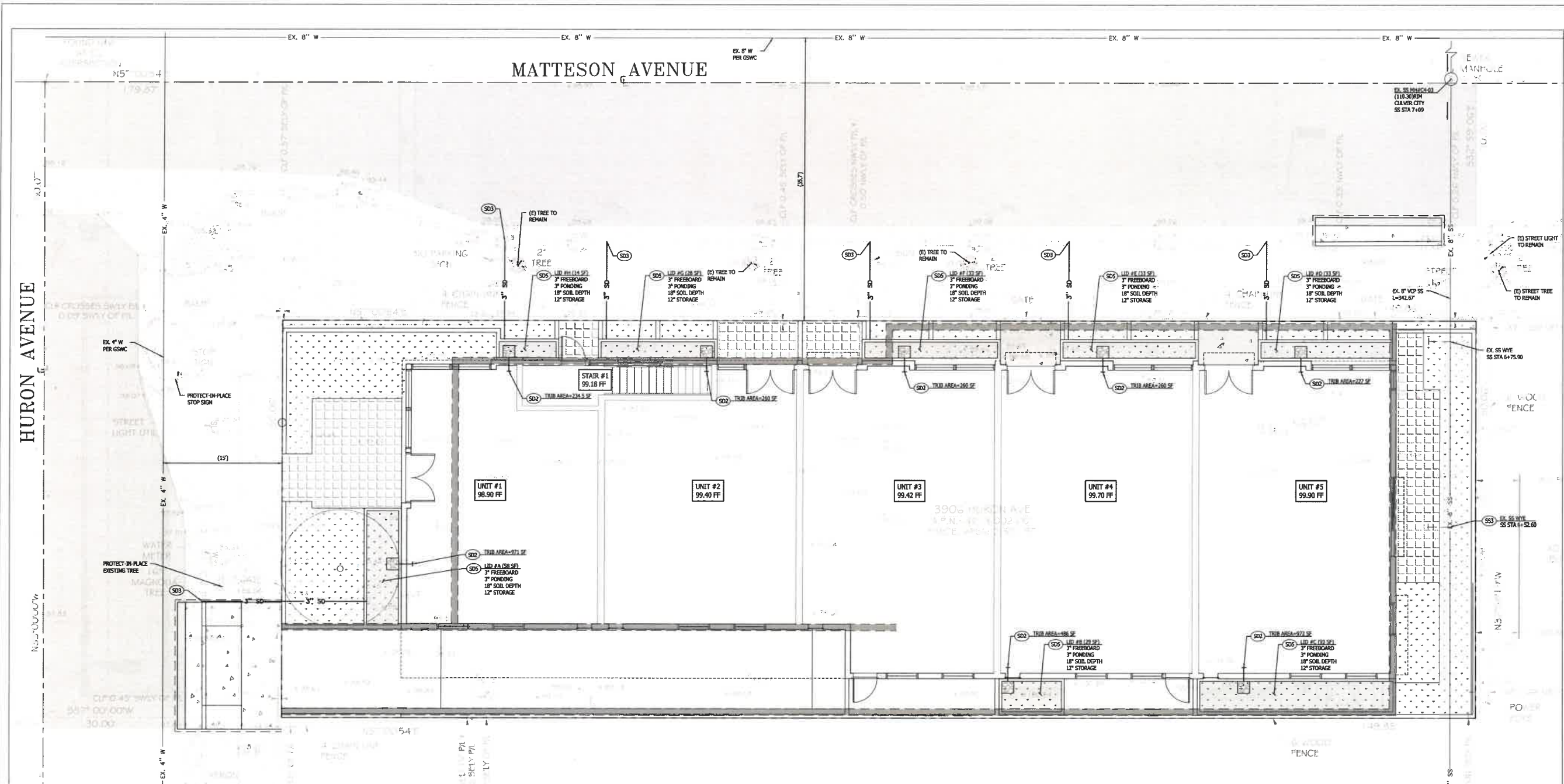
PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3608 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.06.2021	PPH SUBMITTAL #01		
3 09.06.2021	PPH SUBMITTAL #02		
8 08.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
 GRADING PLAN

C1.30
 3608 HURON AVE



LID TABLE

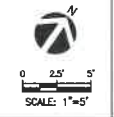
PLANTER AREA	
PLANTER A	58 SF
PLANTER B	29 SF
PLANTER C	93 SF
PLANTER D	33 SF
PLANTER E	33 SF
PLANTER F	33 SF
PLANTER G	28 SF
PLANTER H	14 SF

CONSTRUCTION NOTES:

- STORM DRAIN**
- (SD1) PVC, SDR-35 STORM DRAIN PIPE PER DETAIL 1, C2.00, SIZE AND SLOPE PER PLAN.
 - (SD2) POINT OF CONNECTION TO BUILDING. SEE ARCHITECT PLANS FOR CONTINUATION.
 - (SD3) PLANTER OVERFLOW CURB DRAIN, 3" PVC PIPE.
 - (SD4) 4" DIA. FLOOR DRAIN BY ZURN OR APPROVED EQUAL.
 - (SD5) INSTALL PERMAVOID PLANTER PER DETAIL 6, C2.00, SIZE AND DIMENSIONS PER PLAN.
- SANITARY SEWER**
- (SS1) PVC, SDR-35 SANITARY SEWER PIPE PER DETAIL 1, C2.00, SIZE AND SLOPE PER PLAN.
 - (SS2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
 - (SS3) CONTRACTOR TO VERIFY CONDITION AND DIBERT OF EXISTING SEWER HOUSE CONNECTION LATERAL AND COORDINATE WITH CIVIL ENGINEER. EXISTING LATERAL TO BE REUSED IF FEASIBLE. IF LATERAL CANNOT BE REUSED, MAKE NEW SEWER HOUSE CONNECTION PER CITY OF CLIVER STANDARD PLAN OR APWA STD 222-2. SEE DETAIL 5, SHEET C2.00.
- DOMESTIC WATER**
- (WD1) PVC C-900 DOMESTIC WATER PIPE PER DETAIL 1, SHEET C2.00, SIZE PER PLAN.
 - (WD2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
 - (WD3) CONTRACTOR TO ORDER NEW DOMESTIC WATER SERVICE FROM LACWP. CONTRACTOR TO VERIFY DOMESTIC WATER DEMANDS PRIOR TO INSTALLATION.

LEGEND:

- PROPERTY LINE
- [Pattern] CONCRETE PAVING ON GRADE PER DETAIL 3, C2.00.
- [Pattern] PERMEABLE PAVEMENT PER DETAIL 4, C2.00. SEE ARCHITECT PLANS FOR PRODUCT MANUFACTURE.
- [Pattern] CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN. FINISH, COLOR AND SCORING PATTERN PER LANDSCAPE ARCH.
- [Pattern] PLANTER AREA PER LANDSCAPE.
- [Pattern] ASPHALT PAVING
- [Pattern] PERMAVOID LID PLANTER PER DETAIL 6, SHEET C2.00



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PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3905 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 08.03.2021	INITIAL NEIGHBORHOOD OUTREACH MEETING 01		
2 08.09.2021	PPH SUBMITTAL #01		
3 08.09.2021	PPH SUBMITTAL #02		
8 06.14.2022	CITY PLANNING SUBMITTAL #05		



DRAWING TITLE
 UTILITY AND LID PLAN

C1.40
 3905 HURON AVE

MATTESON AVENUE

HURON AVENUE

STOP

STREET LIGHT LTR

WATER METER
16" MAGNOLIA TREE

STREET LIGHT LTR

STREET LIGHT LTR

STREET LIGHT LTR

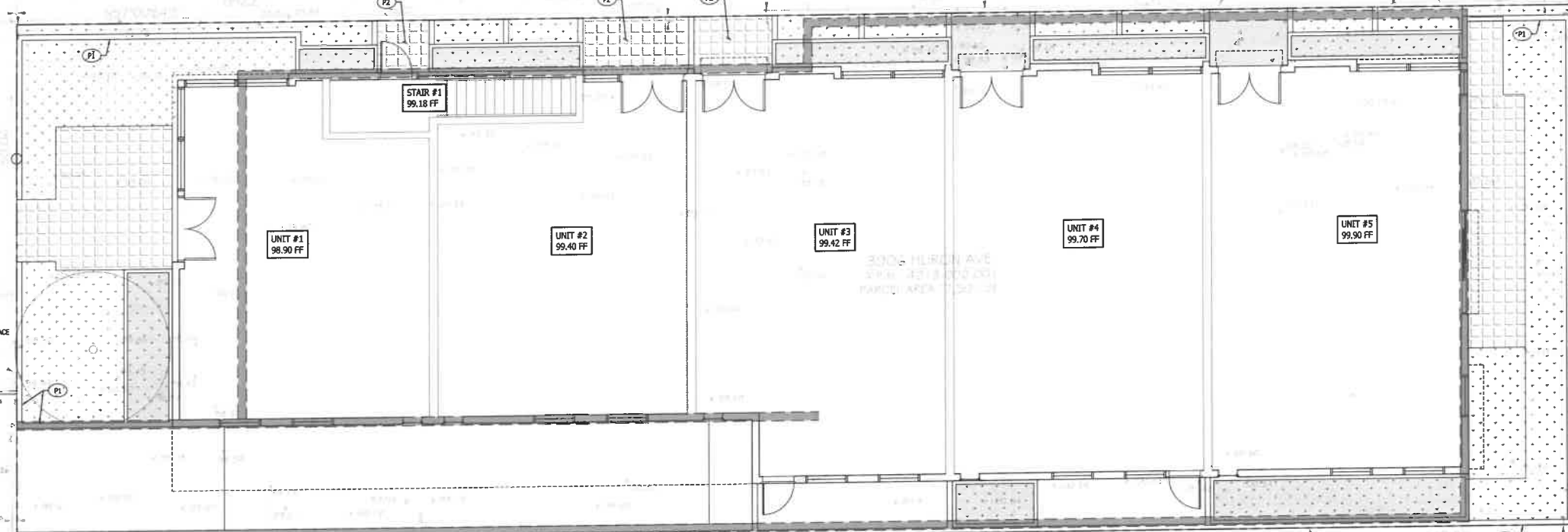
STREET LIGHT LTR

STREET LIGHT LTR

STREET LIGHT LTR

STREET LIGHT LTR

STREET LIGHT LTR



- OFF-SITE CONSTRUCTION NOTES:**
- 1 PARKWAY PLANTING IMPROVEMENTS PER LANDSCAPE DWGS.
 - 2 REMOVE EXISTING DRIVEWAY RAMP AND RECONSTRUCT SIDEWALK PER APWA 113-2. SEE DETAIL 3, SHEET C2.01.
 - 3 INSTALL NEW DRIVEWAY APPROACH PER APWA STANDARD PLAN 110-2, TYPE A W=10', X=3', Y=5'. SEE DETAIL 1, SHEET C2.01.
 - 4 INSTALL NEW CURB & GUTTER WITH 2FT WIDTH OF FULL DEPTH OF AC REPLACEMENT PER APWA STANDARD PLAN 120-1. DIMENSIONS PER PLAN. SEE DETAIL 2, SHEET C2.01.
 - 5 2" GRIND AND OVERLAY THE STREET HALF RIGHT-OF-WAY ALONG PROJECT FRONTAGE. ASPHALT PAVEMENT SHALL BE RUBBERIZED.
 - 6 STOP BAR AND STOP LEGEND TO BE RESTORED. LIGHT LINE SHALL BE 12" WHITE THERMOPLASTIC AND STOP LEGEND SHALL BE WHITE THERMOPLASTIC PER CALTRANS STANDARD PLAN 124D.
 - 7 PROTECT IN PLACE EXISTING CONCRETE PAVING.

- ON-SITE CONSTRUCTION NOTES:**
- P1 SITE WALL/FENCE PER ARCHITECTURAL PLANS.
 - P2 PERMEABLE PAVERS PER DETAIL 4, C2.00.

- LEGEND:**
- PROPERTY LINE
 - CONCRETE PAVING ON GRADE PER DETAIL 3, C2.00.
 - PERMEABLE PAVES PER DETAIL 4, C2.00. SEE ARCHITECT PLANS FOR PRODUCT MANUFACTURE.
 - CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN. FINISH, COLOR AND SCORING PATTERN PER LANDSCAPE ARCH.
 - PLANTER AREA PER LANDSCAPE
 - ASPHALT PAVING
 - PERMAVOID LID PLANTER PER DETAIL X, SHEET XXX



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5-UNIT TOWNHOUSE DEVELOPMENT
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ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.06.2021	PP10 SUBMITTAL #01		
3 06.09.2021	PP10 SUBMITTAL #02		
8 06.14.2022	CITY PLANNING SUBMITTAL #05		



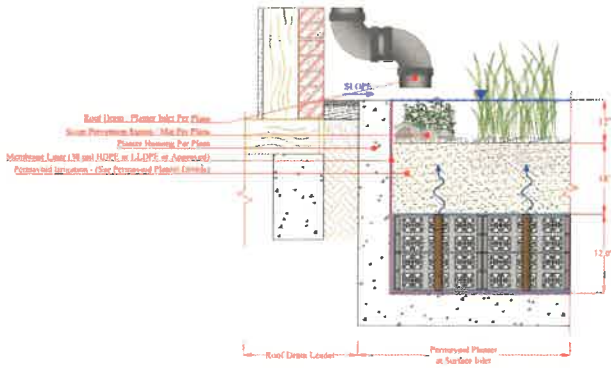
DRAWING TITLE
HORIZONTAL CONTROL AND PAVING PLAN

C1.50

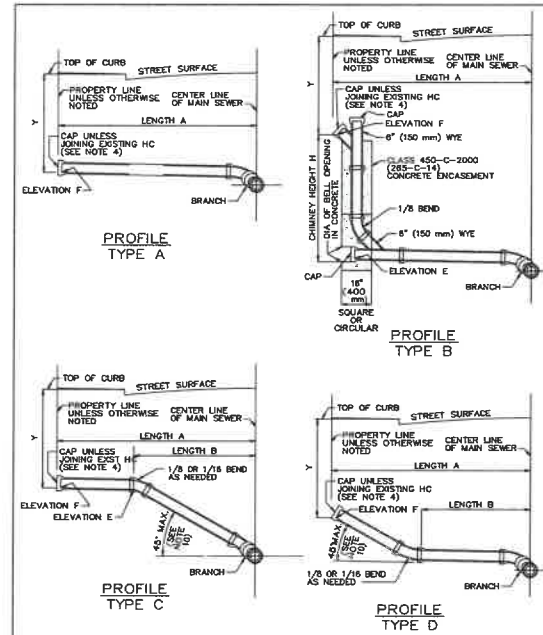
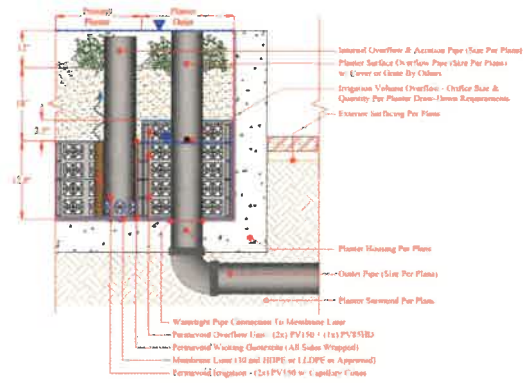
3608 HURON AVE



PERMAVOID INLET DETAIL - PVI0C-109



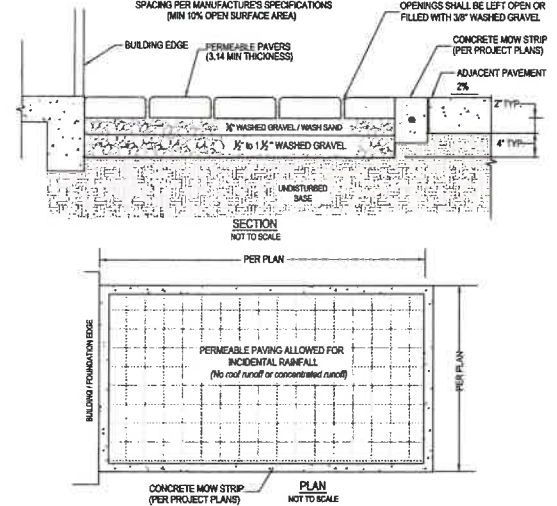
PERMAVOID OUTLET DETAIL - PVI0C-201



STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
HOUSE CONNECTION SEWER
222-2
SHEET 1 OF 2

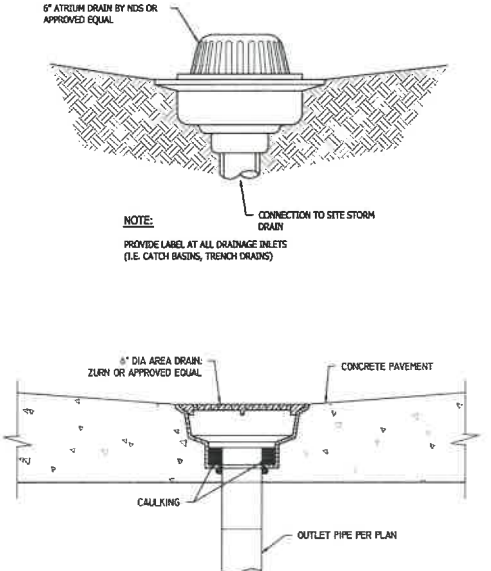
NOTES:
1. EXCEPT AS OTHERWISE INDICATED ON THE PLANS, ALL HOUSE CONNECTION SEWERS SHALL BE TYPE "A" AND SHALL BE CONSTRUCTED ON STRAIGHT LINES AND GRADES BETWEEN CONTROL POINTS AND ELEVATIONS.
2. DIMENSIONS:
A. T = 8" (1,905 mm)
B. LENGTH "A" AND "B" - SEE PLANS
C. HEIGHT "H" - SEE PLANS
D. ELEVATIONS "E" AND "F" - SEE PLANS
3. ALL HOUSE CONNECTION SEWER PIPE SHALL BE 150 mm (6") UNLESS OTHERWISE INDICATED AND MAY BE ANY OF THE FOLLOWING:
A. HC PIPE
B. ABS SOLID WALL PIPE
C. ABS COMPOSITE PIPE
D. PVC PLASTIC PIPE
PROVIDED THAT CHANGES FROM ONE TYPE OF MATERIAL OR SIZE TO ANOTHER SHALL BE MADE ONLY BY MEANS OF SUITABLE ADAPTERS APPROVED BY THE ENGINEER.
4. THE UPPER END OF THE HOUSE CONNECTION SHALL BE SEALED BY INSTALLING A CAP AND SEALING THE CAP WITH 1" (25 mm) THICK TYPE "M" MORTAR AROUND THE CIRCUMFERENCE OF THE CAP.
5. EXCEPT AS CONTROLLED BY ELEVATIONS INDICATED ON THE PROJECT PLANS, THE MINIMUM SLOPE FOR ALL PIPE SHALL BE 2% (3-INCHES MINIMUM).
6. THE FIGURE IN A CIRCLE ON THE PLANS ADJACENT TO A HOUSE CONNECTION SEWER STATION INDICATES THE DEPTH IN METERS (FEET) BELOW THE EXISTING TOP OF CURB TO WHICH THE INVERT OF THE UPPER END OF THE HOUSE CONNECTION SEWER SHALL BE CONSTRUCTED. IF NO DEPTH IS INDICATED, THE INVERT OF THE UPPER END SHALL BE THE ELEVATION SHOWN ON THE PROFILE. WHERE NEITHER DEPTH NOR ELEVATION IS INDICATED, THE INVERT SHALL BE 6" (152 mm) BELOW THE TOP OF THE EXISTING CURB.
7. BRANCHES SHALL BE EITHER TEES OR WYES AND SHALL BE INSTALLED UPWARD FROM THE HORIZONTAL TO AN ANGLE OF 22-1/2° TO 45° WHEN TEES ARE USED. BENDS ARE NOT REQUIRED BUT MAY BE USED AT THE OPTION OF THE CONTRACTOR. WHEN THE BRANCH ROTATION DOES NOT CONFORM TO THE SLOPE OF THE HOUSE CONNECTION SEWER, PULLED JOINTS MAY BE USED FOR ADJUSTMENTS.
8. THE MAXIMUM DEFLECTION AT EACH JOINT FOR 4" (100 mm) AND 6" (150 mm) VITRIFIED CLAY PIPE HOUSE CONNECTION SEWERS SHALL BE 4", WHICH IS EQUAL TO A FULL OF BUILT (14 mm) FOR A 4" (100 mm) PIPE AND 7.0 (10 mm) FOR A 6" (150 mm) PIPE. (CALL IS DEFINED AS THE SEPARATION OF THE ADJUTING PIPE ENDS ON THE CONVEX SIDE OF THE CURVE MEASURED AT THE OUTSIDE PIPE BARRREL).
9. CONNECTION OF A BUILDING SEWER SMALLER THAN 6" (150 mm) TO A 6" (150 mm) HOUSE CONNECTION SEWER SHALL BE MADE USING AN APPROVED INCREASER TEK OR AN INCREASER FOLLOWED BY A TEE.
10. ALL HOUSE CONNECTION SEWERS OR PORTIONS THEREOF CONSTRUCTED ON A SLOPE EXCEEDING 4% SHALL BE ANCHORED PER SPRING 221.
11. HOUSE CONNECTION SEWERS CONSTRUCTED PURSUANT TO A HOUSE CONNECTION PERMIT SHALL CONFORM TO ALL APPLICABLE STATUTES AND ORDINANCES.

STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
HOUSE CONNECTION SEWER
222-2
SHEET 2 OF 2

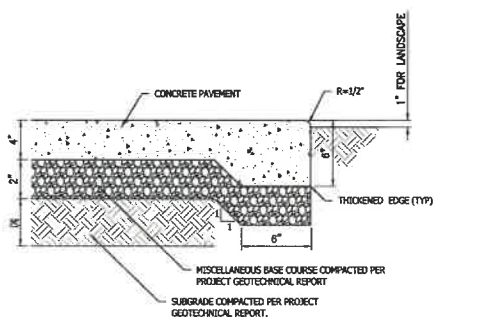


NOTES:
1. SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 0.5 INCHES PER HOUR).
2. INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT, TUNNEL EROSION, OR SLOPE STABILITY.
3. IF INFILTRATION HAZARDS ARE A CONCERN, AN UNDERDRAIN SHALL BE INSTALLED TO DRAIN WATER INTO STORM DRAIN INLET OR CONCRETE BMP.
4. ANY OVERFLOW SHALL BE DISCHARGED PER BUREAU OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS.
5. SLOPE IS NOT GREATER THAN 5% PERCENT.
6. FLOW DIRECTED TO PERMEABLE PAVEMENT SHALL BE COMPRESSED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT.
7. PRE-FABRICATED PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURERS SPECIFICATIONS. IF REQUIRED, SUB-GRADE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION.
8. SEE ARCHITECT PLANS FOR PERMEABLE PAVERS FACT SHEET FOR MORE INFORMATION.

4 PERMEABLE PAVEMENT N.T.S.

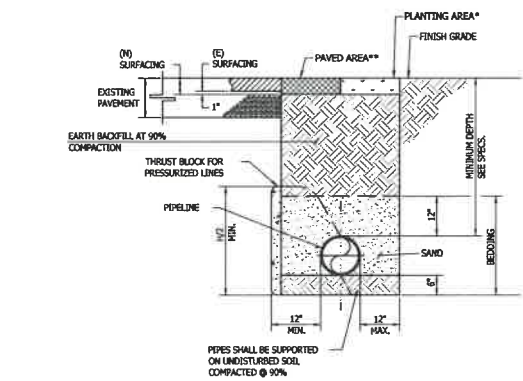


2 AREA DRAINS N.T.S.



NOTES:
1. ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
2. REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
3. SEE PLAN FOR LOCATION OF CONTROL JOINTS.

3 CONCRETE WALK SECTION N.T.S.



NOTE:
1. PAVEMENT FINISH SURFACE SHALL BE A SMOOTH CONTINUATION OF ADJOINING PAVED SURFACE.
2. ALL DUCTILE IRON PIPE INSTALLED UNDERGROUND SHALL BE WRAPPED WITH A 6 MIL POLYSULFIDE TO PREVENT CORROSION FROM SURROUNDING SOIL.
3. UTILITY TRENCH SECTION BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORTS.

NARROW UNSUPPORTED VERTICAL WALLED TRENCH WIDTH

HORIZONTAL PIPE DIAMETER (INCHES)	NARROW TRENCH WIDTH MIN. (INCHES)
4	18
6	18
8	24
12	30

1 TRENCH SECTION N.T.S.

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LOS ANGELES, CA 90048
310.896.0248

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE DESCRIPTION

1	06.03.2021	NEIGHBORHOOD OUTRREACH MEETING #1
2	06.08.2021	PPH SUBMITTAL #01
3	06.08.2021	PPH SUBMITTAL #02
6	06.14.2022	CITY PLANNING SUBMITTAL #05

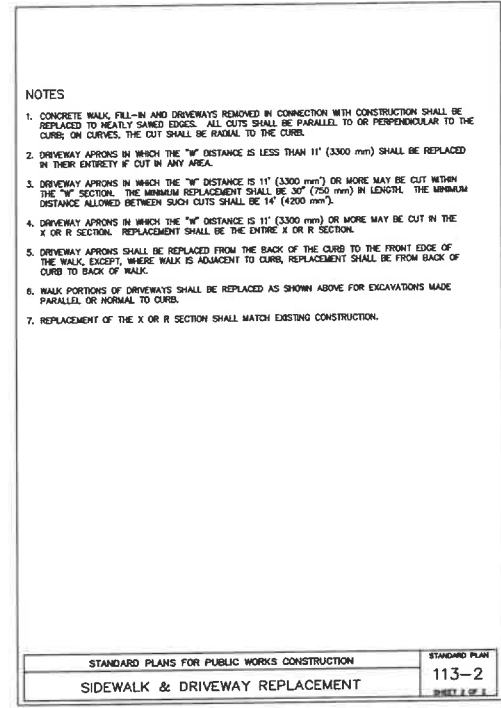
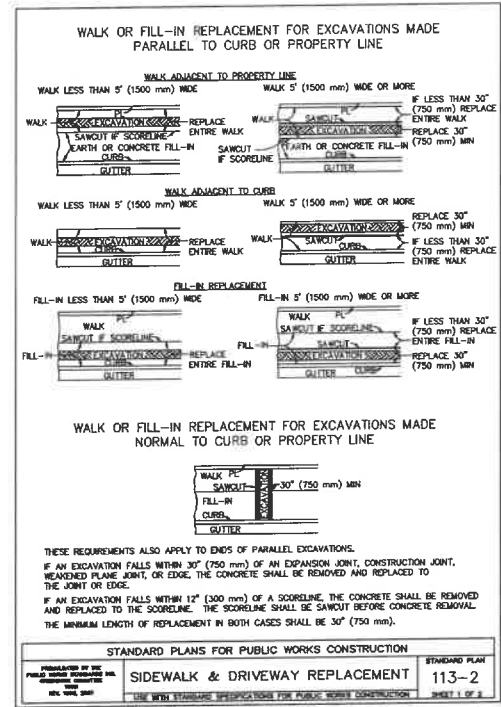
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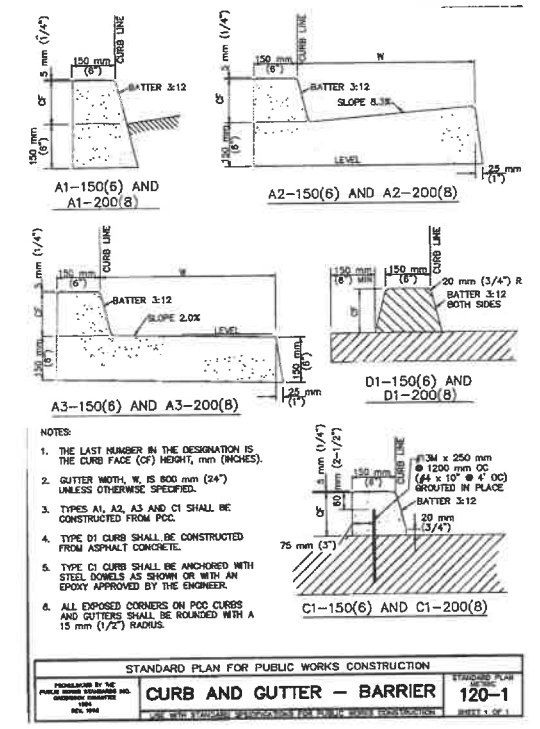
DRAWING TITLE
DETAILS

C2.00

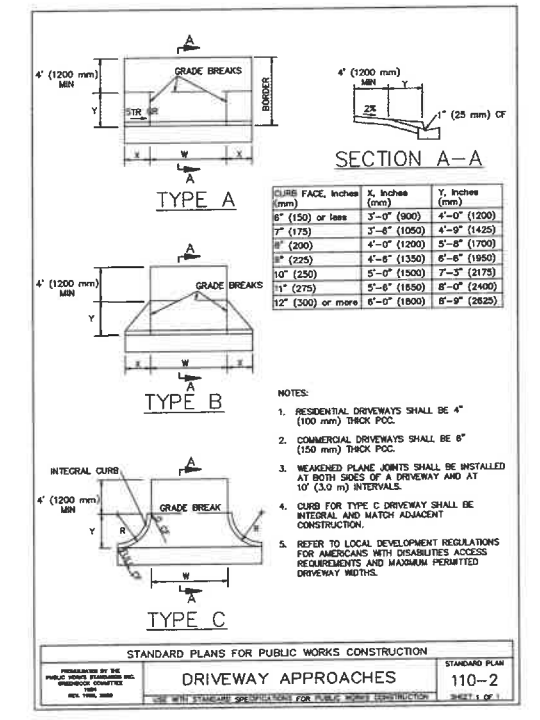
3906 HURON AVE



3 APWA 113-2 SIDEWALK AND DRIVEWAY REPLACEMENT



2 APWA 120-1 CURB AND GUTTER - BARRIER



1 APWA 110-2 DRIVEWAY APPROACHES

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310.898.0288

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3806 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	THE HIGHBOROUGH OUTFERREACH MEETING 01		
2 06.08.2021	PHS SUBMITTAL #01		
3 09.06.2021	PHS SUBMITTAL #02		
8 05.14.2022	CITY PLANNING SUBMITTAL #05		



STAMP
DETAILS

C2.00

3806 HURON AVE

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	*Geijera parviflora	Australian Willow	36"box	1		low 0.3
⊗	*Heteromeles arbutifolia	Toyon	36"box	1		low 0.3
⊙	*Laurus nobilis	Sweet Bay	36"box	1	hedge	low 0.3
⊙	*Laurus nobilis	Sweet Bay	24"box	10	hedge	low 0.3
⊙	Street tree	Per City req.	24"box	1		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
▼	*Aeonium 'Kiwi'		5-gal	2		low 0.3
●	*Aeonium a. 'Tip Top'		5-gal	3		low 0.3
⊙	*Agave 'Blue Flame'		5-gal	10		low 0.3
⊙	*Aloe striata		5-gal	25		low 0.3
⊙	*Diets bicolor	Fortnight Lily	5-gal	16		low 0.3
⊙	*Diets iridioides 'Variegata'	Variegated Fortnight Lily	5-gal	14		low 0.3
⊙	Festuca	Marathon Sod	sod	-		high 0.9
⊙	*Juncus patens	Ca. Grey Rush	5-gal	39		low 0.3
⊙	*Parthenocissus tricuspidata	Boston Ivy	5-gal	10	train to wall	low 0.3
⊙	*Senecio radicans	String of Bananas	1-gal	34		low 0.3
⊙	Senecio serpens	Blue Chalks Sticks	1-gal	10*oc		low 0.3
⊙	*Westringia f. 'Blue Gem'	Coast Rosemary	5-gal	14		low 0.3

* Points claimed for low water plants

LANDSCAPE AREA: 2,013 SF/2X TURF
 IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY
 REDISTRIBUTING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES
 A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED
 FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 4" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 8" INTO SOIL.

Total On site landscape area 1,467 s.f.
 Total number of required trees 3 (1 per 500 s.f.)

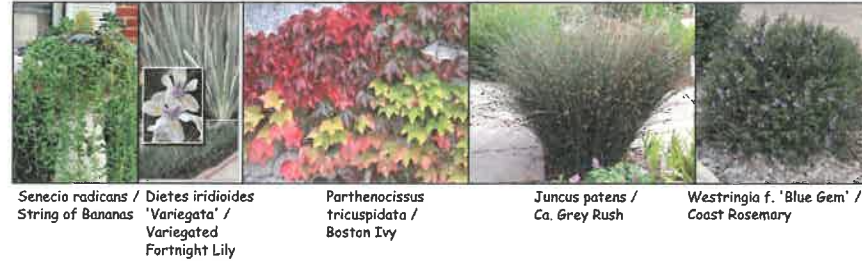
NOTES:

All groundcover areas where plants are 3" or greater to have 1 layers of geotextile fabric installed 3" below finished grade to ensure weeds will not germinate w/ 3" shredded bark above to eliminate weed growth.

Waterproofing and drains in planters by others.

All trees to be planted with commercial root barriers.

3" deep shredded Cedar bark to spread between plants. Mulch is not to touch the tree trunk as it will cause root rot and the death of the tree



PLANTING NOTES

- DRAWING IS DIAGRAMMATIC; CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - 150 LBS. GRO-POWER
 - 3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80 % SOIL OF SITE AND 20 % FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	5-9
24" box	14-16

 PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.
- USE OF CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGROB IN A MAJORITY OF LANDSCAPED AREAS)

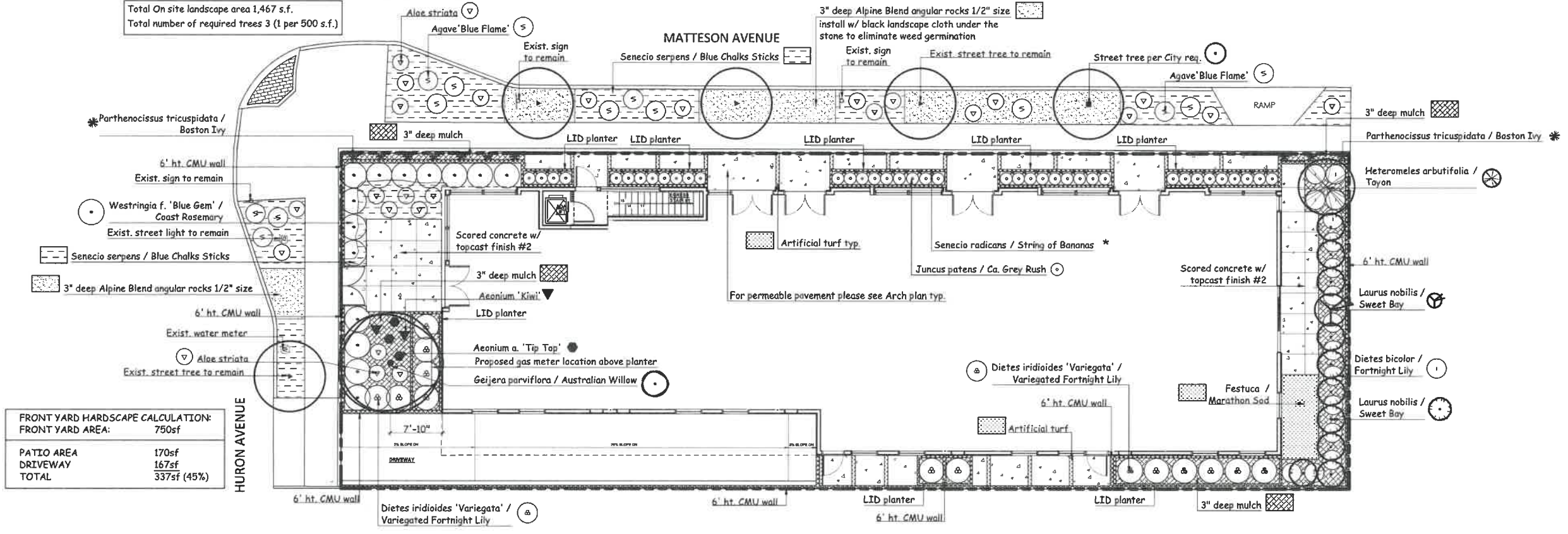
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 CULVER CITY, CA 90232

FIRST FLOOR PLANTING PLAN



DATE: MARCH 2, 2021
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 222021
 DRAWN BY:



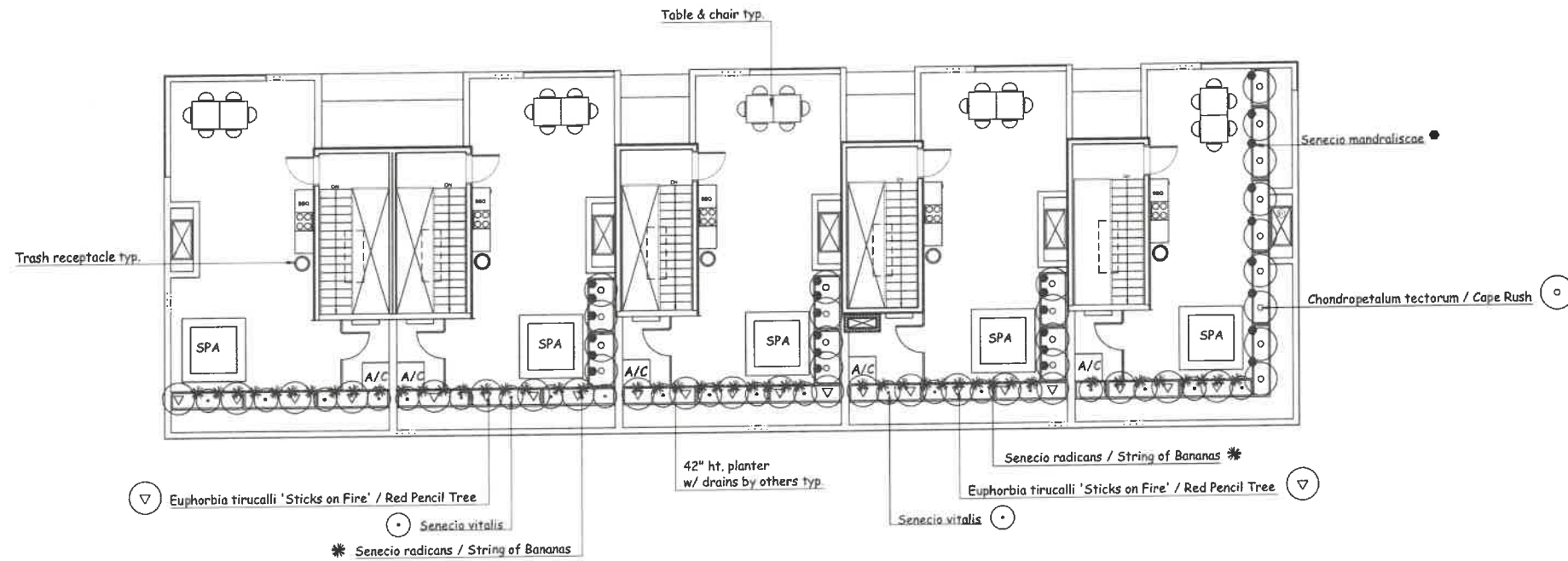
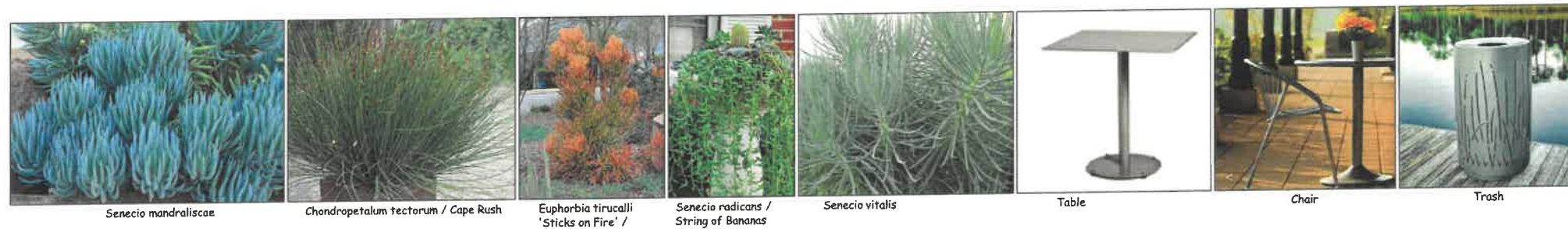
FRONT YARD HARDSCAPE CALCULATION:

FRONT YARD AREA:	750sf
PATIO AREA	170sf
DRIVEWAY	167sf
TOTAL	337sf (45%)

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
○	*Chondropetalum tectorum	Cape Rush	5-gal	21		low 0.3
▽	*Euphorbia tirucalli 'Sticks on Fire'	Red Pencil Tree	5-gal	21		low 0.3
*	*Senecio radicans	String of Bananas	5-gal	27		low 0.3
●	*Senecio mandraliscae		5-gal	47		low 0.3
○	*Senecio vitalis		5-gal	21		low 0.3

*Points claimed for low water use plants Waterproofing and drains in planters by others.



REVISIONS	DATE
1.	4.5.21
2.	6.14.21
3.	9.8.21
4.	2.16.22
5.	2.22.22
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7.	
8.	
9.	

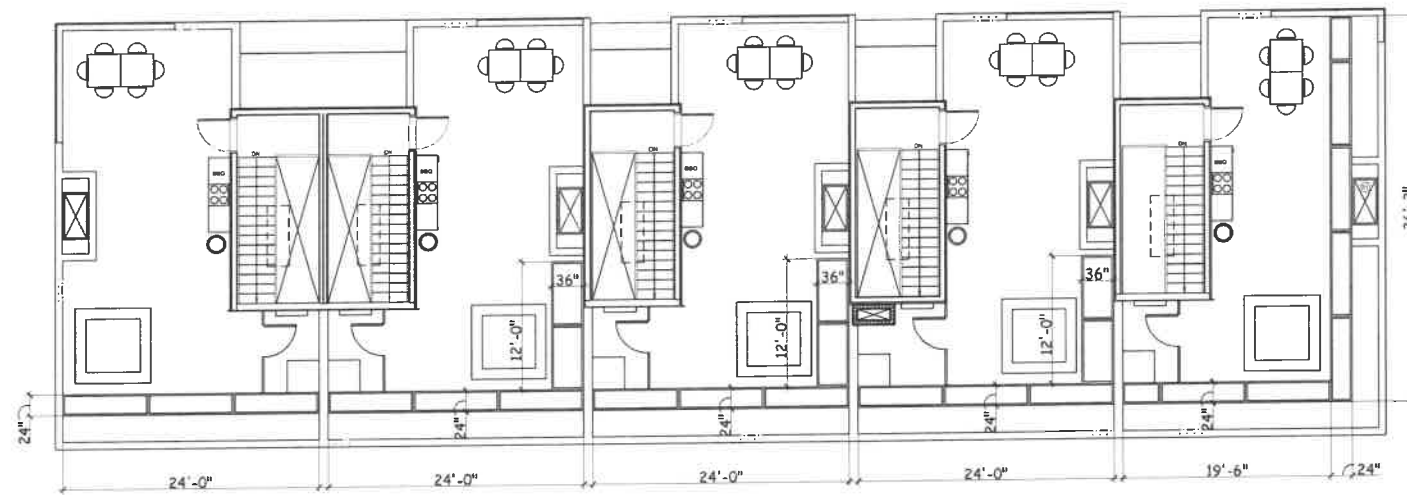
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ROOF PLANTING PLAN



DATE: MARCH 2, 2021
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 222021
 DRAWN BY:



REVISIONS	DATE
1.	4.5.21
2.	6.14.21
3.	9.8.21
4.	2.16.22
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ROOF
 PLANTER DIMENSION

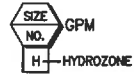


DATE: MARCH 2, 2021
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 222021
 DRAWN BY:



ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.
'RAINBIRD' RWS-B-1402		10	-	.50
'SUPERIOR' BRASS CONTROL VALVES, #050				
'NIBCO' GATE VALVE T-113				
'CHRISTY' CONCRETE VALVE BOX				
'RAINBIRD' QUICK COUPLER 44 LRC 1"				
'SUPERIOR' 3100 series MASTER VALVE		1.5"		
'HUNTER' FLOW SENSOR FCT-150 FLOW		1.5"		
'WILKINS' REGULATOR MODEL 500		1.5"		
'WILKINS' BACKFLOW PREVENTER 375				
'HUNTER' ACC2				
'HUNTER' SOLAR SYNC WIRELESS SLEEVING SCH. 40 P.V.C.				
PRESSURE LINE SCH. 40 P.V.C.				
NON-PRESSURE LINE SCH. 40 P.V.C.				
IRRIGATION SUB-METER				
POINT OF CONNECTION				
NETAFIM LEGEND				
'NETAFIM' LVCZ10075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.		
'NETAFIM' LINE FLUSH VALVE				
'NETAFIM' IN LINE CV CHECK VALVE				
'NETAFIM' TECHLINE CV TLCV4-18025				
NON-PRESSURE 1" SCH. 40 PVC HEADER		BURIED 3" BELOW GRADE		



LANDSCAPE AREA: 2,013 SF
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"

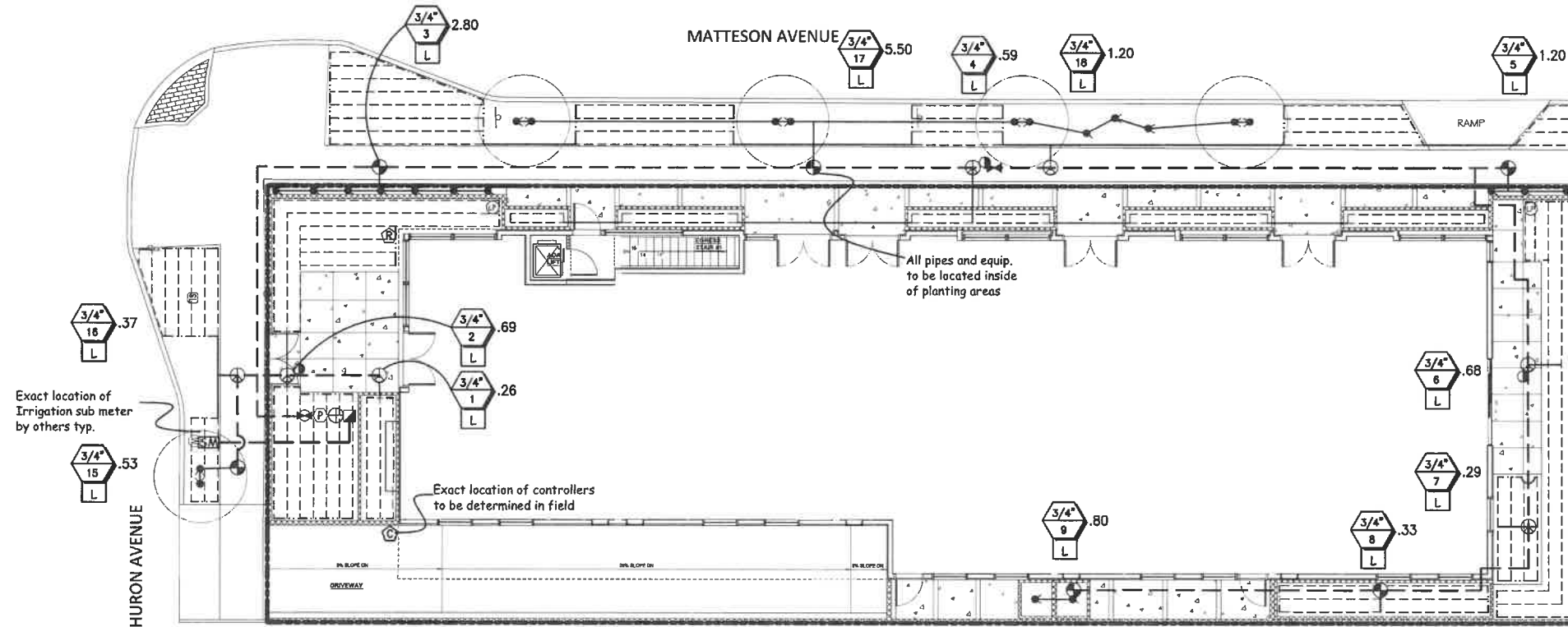
A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.



REVISIONS	DATE
1.	4.5.21
2.	6.14.21
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6.	
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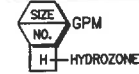
FIRST FLOOR
IRRIGATION PLAN



DATE: MARCH 2, 2021
SCALE: 1/8" = 1'-0"
JOB NUMBER: 222021
DRAWN BY:



IRRIGATION LEGEND	SYM.	P.S.L.	RAD.	G.P.M.
DESCRIPTION				
'RAINBIRD' XS-360TS-SPIK	⊗	30	-	.40
'SUPERIOR' BRASS CONTROL VALVES, #950	⊕			
'NIBCO' GATE VALVE T-113	⊕			
'CHRISTY' CONCRETE VALVE BOX	⊕			
TYPE 'K' COPPER TUBING	---	1.5"		
'RAINBIRD' XBS BLACK STRIPE TUBING	---	1/2"		



WATER EFFICIENT LANDSCAPE WORKSHEET

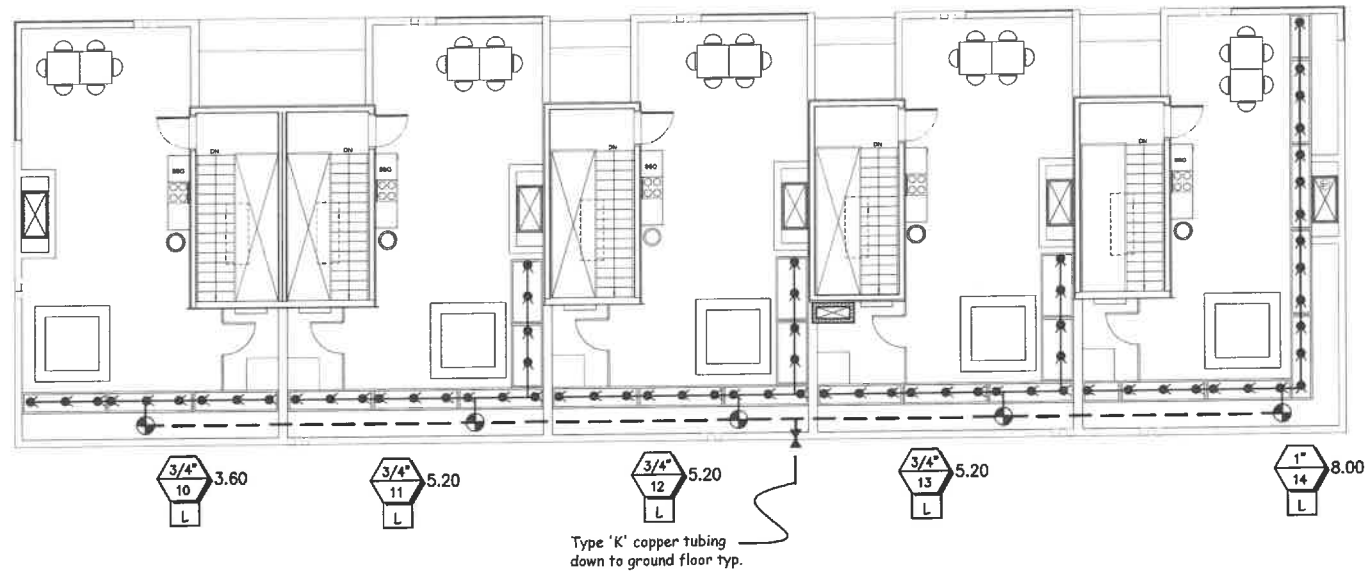
REFERENCE EVAPOTRANSPIRATION (ET₀): 50.1

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	70	25.9	804
2 / water use plants	.3	DRIP	.81	.37	232	85.84	2666
3 / water use plants	.3	DRIP	.81	.37	30	11.1	344
4 / water use plants	.3	DRIP	.81	.37	198	73.26	2286
5 / water use plants	.3	DRIP	.81	.37	10	3.7	1149
6 / water use plants	.3	DRIP	.81	.37	230	85.1	2643
7 / water use plants	.3	DRIP	.81	.37	70	25.9	804
8 / water use plants	.3	DRIP	.81	.37	112	41.44	1287
9 / water use plants	.3	DRIP	.81	.37	36	13.32	413
10 / water use plants	.3	DRIP	.81	.37	80	29.6	919
11 / water use plants	.3	DRIP	.81	.37	80	29.6	919
12 / water use plants	.3	DRIP	.81	.37	80	29.6	919
13 / water use plants	.3	DRIP	.81	.37	106	39.22	1281
14 / water use plants	.3	DRIP	.81	.37	10	3.7	114
15 / water use plants	.3	DRIP	.81	.37	127	46.99	1459
16 / water use plants	.3	DRIP	.81	.37	55	20.35	632
17 / water use plants	.3	DRIP	.81	.37	407	150.59	4677
18 / water use plants	.3	DRIP	.81	.37			
SUM					2,013	744.81	

ETAF CALCULATION

ETAF x AREA	744.81
TOTAL AREA	2,013
AVERAGE ETAF	.37

ESTIMATED TOTAL WATER USE (ETWU)	24,265
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	34,390



REVISIONS	DATE
1.	4.5.21
2.	6.14.21
3.	9.8.21
4.	2.16.22
5.	2.22.22
6.	
7.	
8.	
9.	



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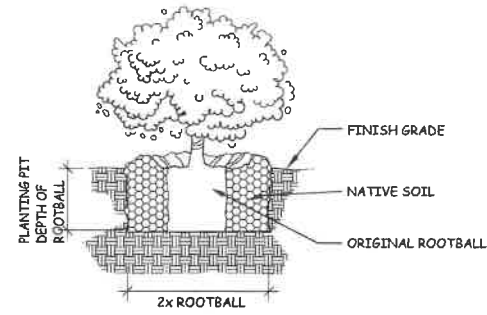
5 UNITS
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CULVER CITY, CA 90232

ROOF
IRRIGATION PLAN

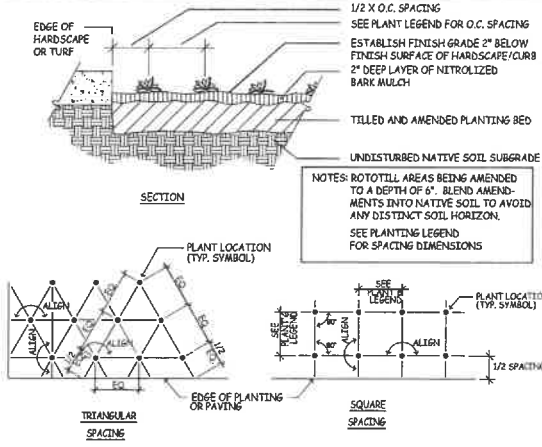


DATE: MARCH 2, 2021
SCALE: 1/8" = 1'-0"
JOB NUMBER: 222021
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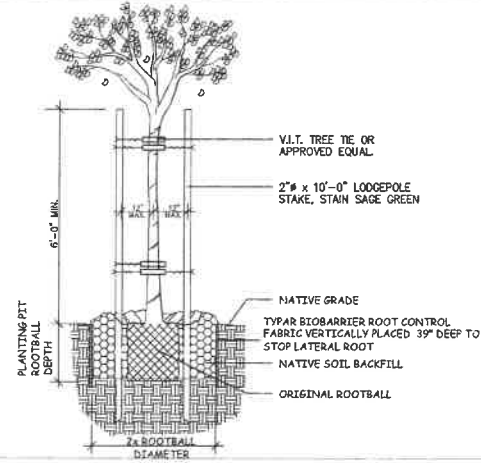




SHRUB PLANTING
 SCALE: N.T.S.
 FILE: D_PLA001



GROUNDCOVER PLANTING
 SCALE: N.T.S.
 FILE: D_PLA002



TREE PLANTING & STAKING
 SCALE: N.T.S.
 FILE: PLA_003

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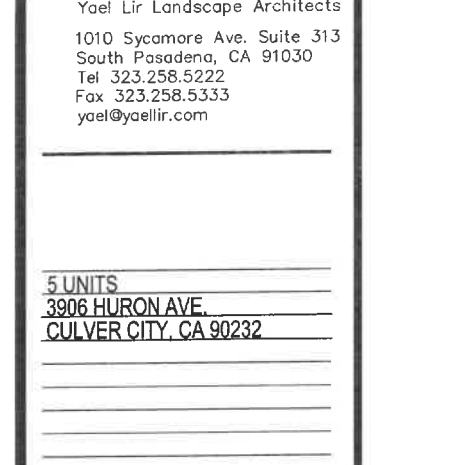
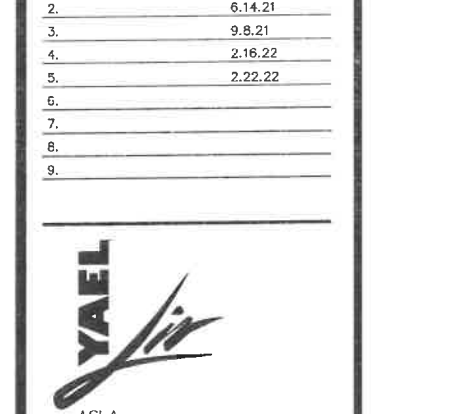
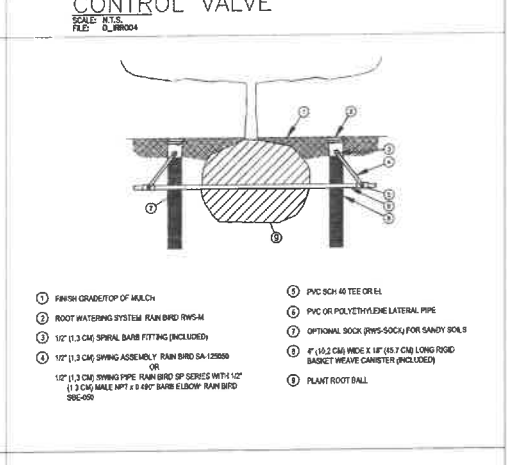
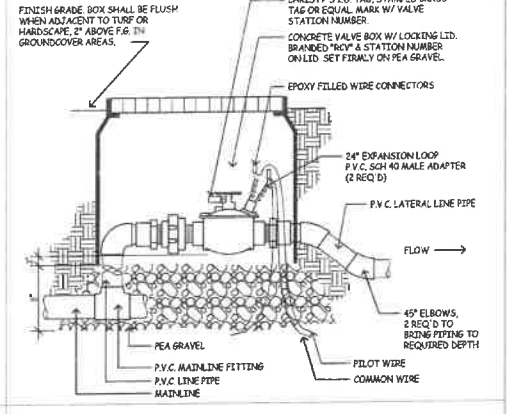
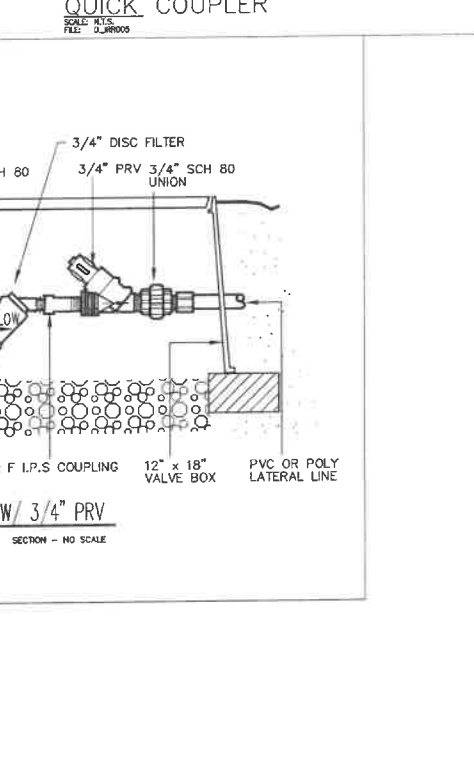
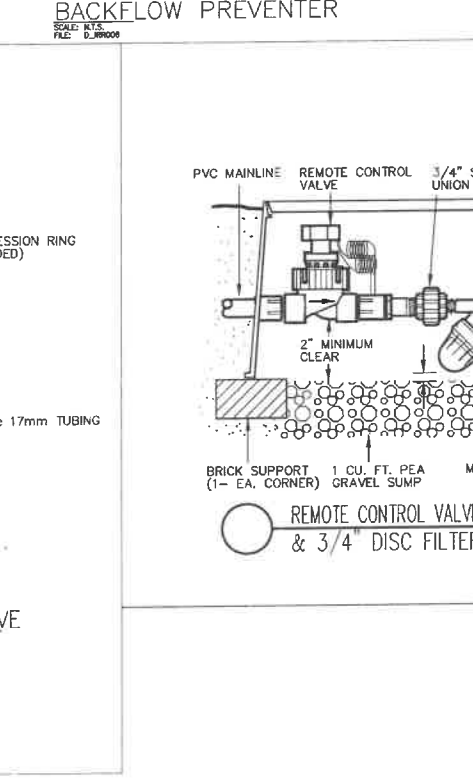
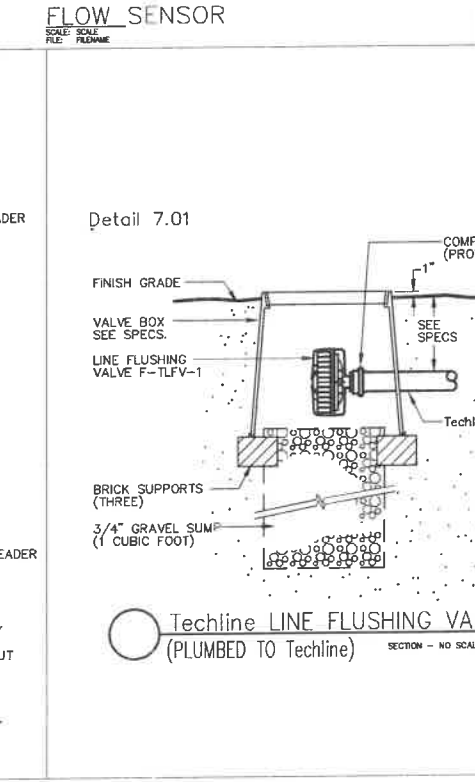
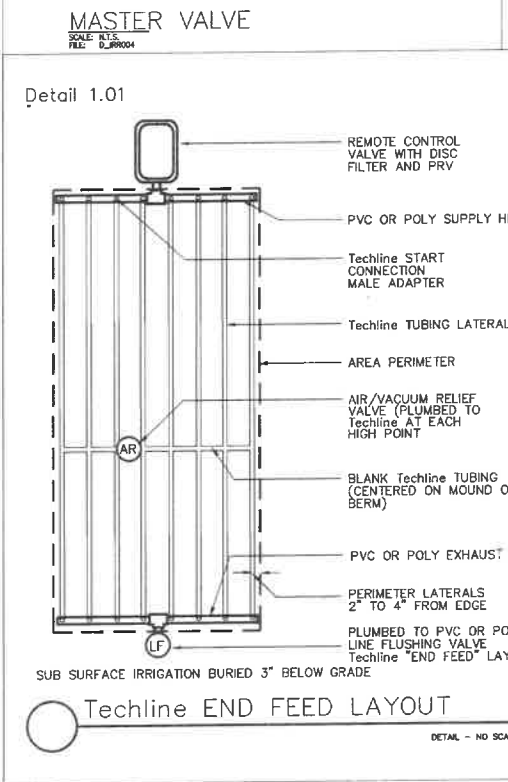
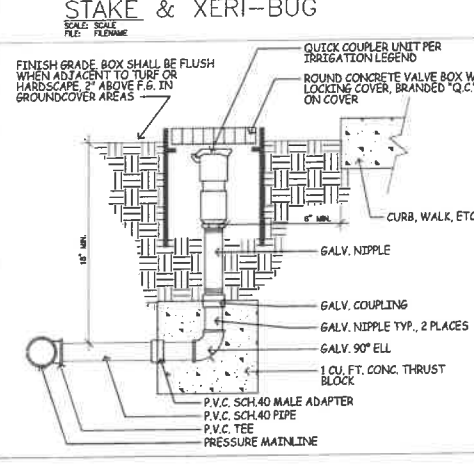
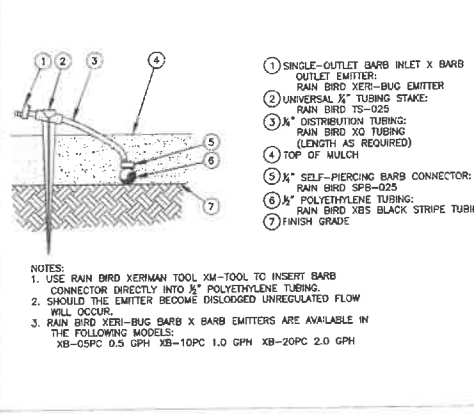
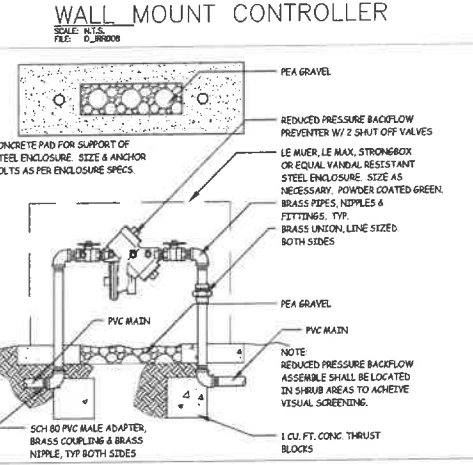
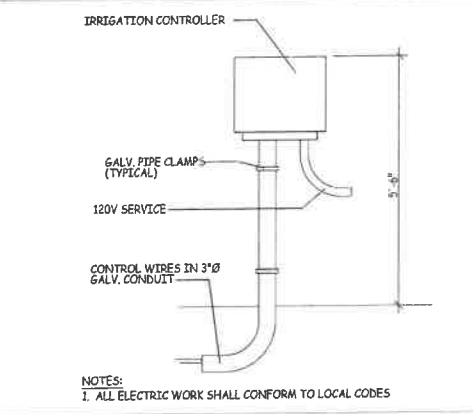
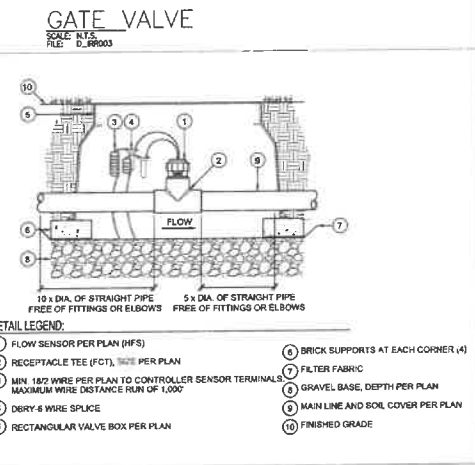
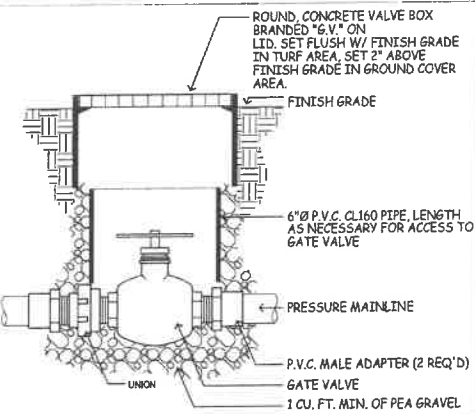
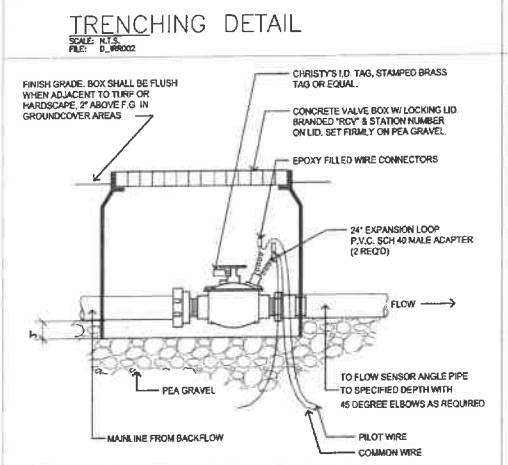
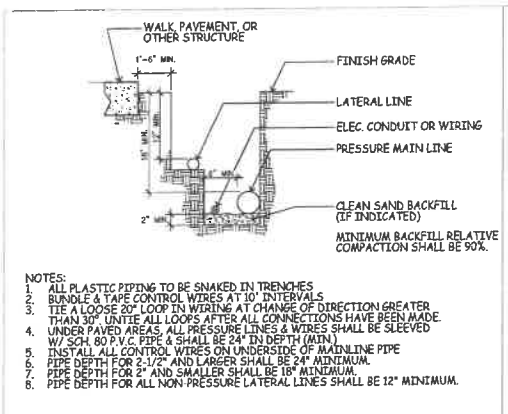
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PLANTING DETAIL SHEET



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IRRIGATION DETAIL SHEET



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