



BUILDING FORM ⑨



BUILDING FORM ⑦



ROOF DECK ⑤



ROOF PITCH ③



PROJECT RENDERING



WINDOW COVERINGS ②



BUILDING FORM ⑧



BUILDING FORM ⑥



BUILDING FORM ④



LARGE WINDOWS ①



209 S. MARKET ST.
INGLEWOOD, CA. 90301
323.553.2376

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09.28.16
SITE PLAN
REVIEW

NO.	ISSUES / REVISIONS	DATE

CLIENT INFO:
4034 LA SALLE DEVELOPMENT
528 PALISADES DR. #530
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES
4034 LA SALLE AVE.
CULVER CITY, CA, 90232
PROJECT # 15037

CONCEPT
IMAGES

ISSUE DATE: 09.28.2016

G0.01

CONCEPT IMAGES ①



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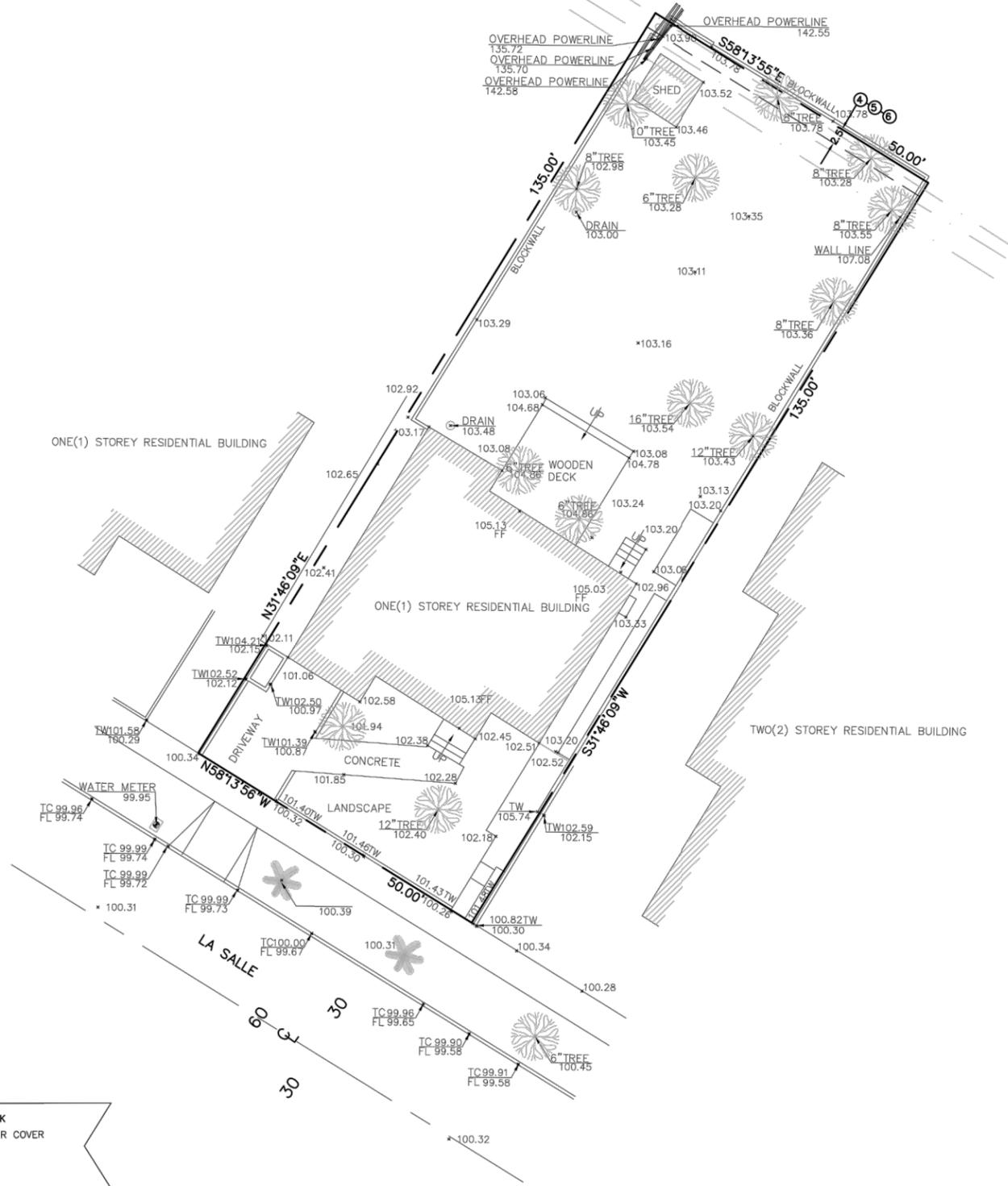
CLIENT INFO:
4034 LA SALLE DEVELOPMENT
528 PALISADES DR. #530
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES
4034 LA SALLE AVENUE
CULVER CITY, CA 90032
PROJECT # 150037

SURVEY, FOR
REFERENCE

ISSUE DATE: 09.28.2016

G0.02



SITE ADDRESS:

4034 LA SALLE
CULVER CITY, CA 90232

LEGAL DESCRIPTION:

LOT 22 IN BLOCK "11" OF TRACT NO. 1775, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 21 PAGES 190 THROUGH 191 INCLUSIVE OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY.

EASEMENT NOTES:

PER FIDELITY NATIONAL TITLE COMPANY; ORDER NO.: 00106720-995-LBO-VE, DATED: AUGUST 21, 2015.

- 4. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED: AS PROVIDED THEREIN PURPOSE: PUBLIC UTILITIES RECORDING NO. IN BOOK 6284, PAGE 261, DEEDS AFFECTS: THE REAR 2.5 FEET OF SAID LAND.
- 5. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED: AS PROVIDED THEREIN PURPOSE: PUBLIC UTILITIES RECORDED DATE: JULY 24, 1929 RECORDING NO. IN BOOK 8228, PAGE 135, OFFICIAL RECORDS AFFECTS: THE REAR 2.5 FEET OF SAID LAND.
- 6. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT GRANTED: AS PROVIDED THEREIN PURPOSE: PUBLIC UTILITIES RECORDING NO. IN BOOK 3941, PAGE 228, OFFICIAL RECORDS AFFECTS: THE REAR 2.5 FEET OF SAID LAND.

NOTE:
THIS SURVEY AND MAP ARE THE PROPERTY OF TALA ASSOCIATES, INC. AND MAY NOT BE MODIFIED, ALTERED OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY TALA ASSOCIATES, INC. AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROWISO EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK OR E-MAIL THAT MAP BE PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROWISO WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED BY TALA ASSOCIATES, INC. AS TO SUCH CHANGED MATERIAL.

NOTE:
THIS SURVEY IS INTENDED FOR DESIGN PURPOSES ONLY AND NOT FOR CONSTRUCTION. BOUNDARY STAKING MUST BE CONDUCTED PRIOR TO ANY CONSTRUCTION IN ORDER TO JUSTIFY THE PROPER LEGAL SET BACKS, IF ANY, OF THE NEWLY PLANNED CONSTRUCTION. "EYE-BALLING" OR GUESSING THE BOUNDARY LOCATIONS HAS NO JUSTIFICATION AND IF PERFORMED CANCEL THE VALIDITY AND ACCURACY OF THIS SURVEY.

ASSUMED BENCHMARK
TOP OF WATER METER COVER
AS SHOWN ON PLAN
ELEV. 99.95

TOPOGRAPHY SURVEY		DATE: 10-07-2015	REVISIONS
TALA ASSOCIATES 1916 COLBY AVENUE LOS ANGELES, CA. 90025 (424) 832-3455		SCALE: AS SHOWN	
DESIGNED: KK		DRAWN: KK	
CHECKED: RDR		SHEET: 1 OF 1	
REYNALDO T. DE RAMA R.C.E. 28108 EXP. 3-31-17		JOB NO. 3304	



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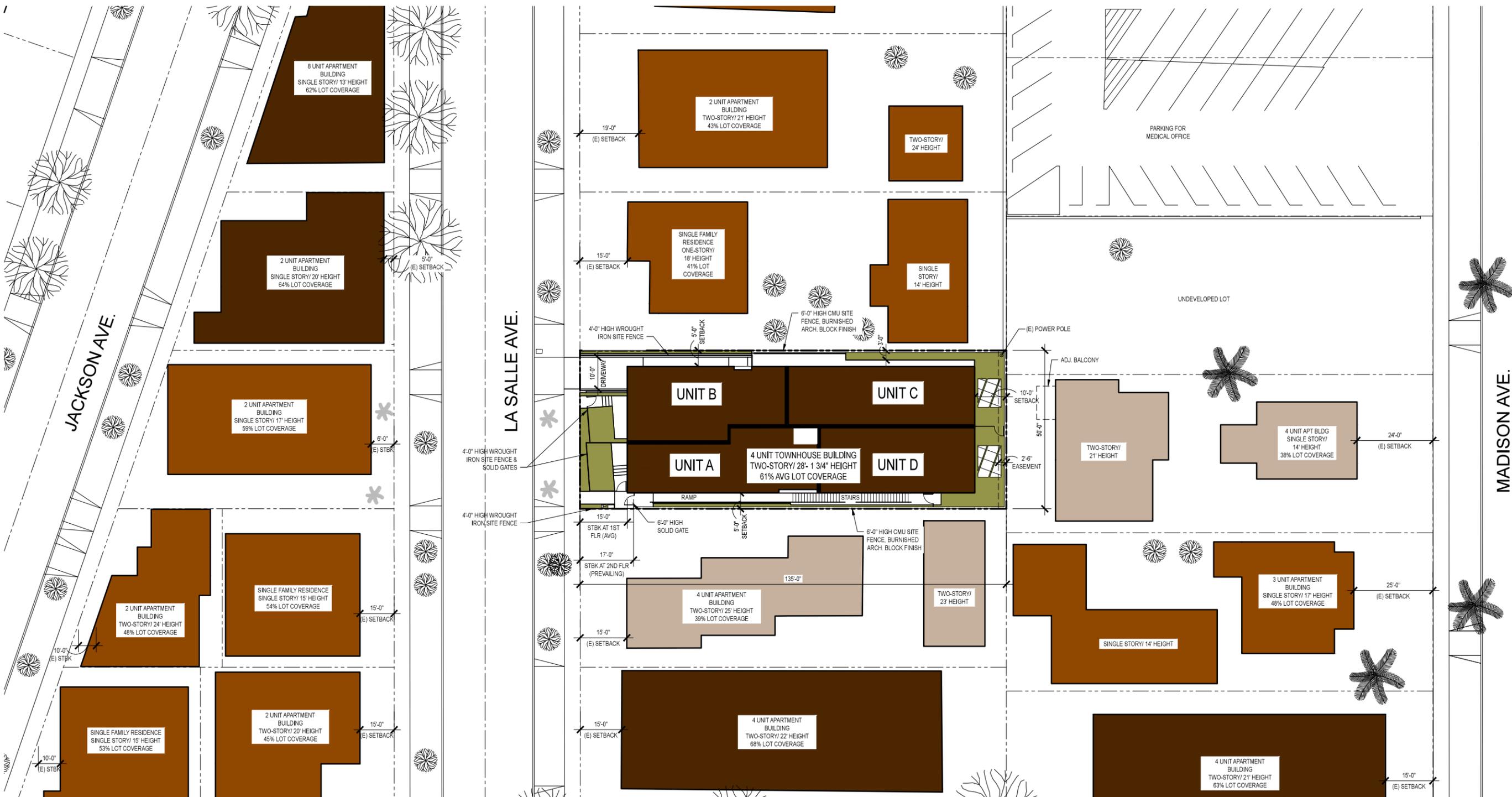
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09.28.16
SITE PLAN
REVIEW

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LA SALLE TOWNHOMES
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CULVER CITY, CA, 90232
PROJECT # 15037



NOTE: LOT COVERAGE INFORMATION, BUILDING SETBACK, AND BUILDING HEIGHT ARE ALL TAKEN FROM GATEWAY ADJACENT NEIGHBORHOOD PLANNING STUDY.

SITE PLAN
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)
1

KEYNOTES

LEGEND

- AVERAGE PERCENTAGE OF LOT COVERAGE PER BLOCK
- (21-40)
 - (41-60)
 - (61-80)

SITE PLAN

ISSUE DATE: 09.28.2016

A0.00



SITE FROM THE SOUTH WEST
SCALE: NTS
(ON 24" X 36" SHEET SIZE)



SITE FROM THE SOUTH
SCALE: NTS
(ON 24" X 36" SHEET SIZE)



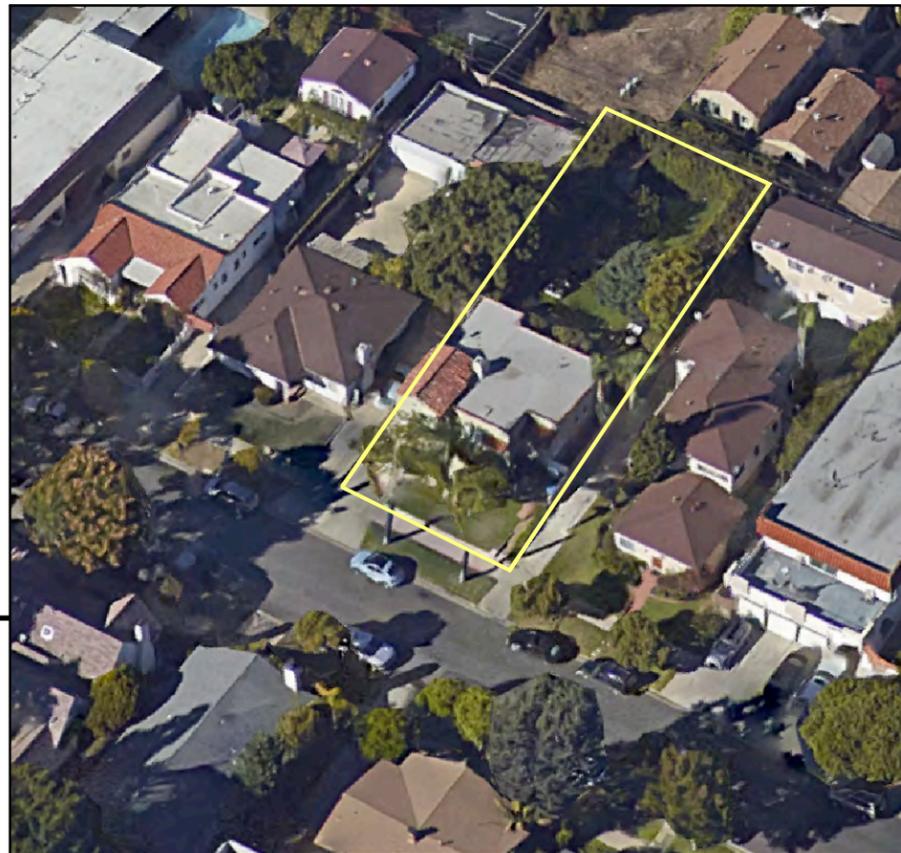
SITE FROM THE SOUTH EAST
SCALE: NTS
(ON 24" X 36" SHEET SIZE)



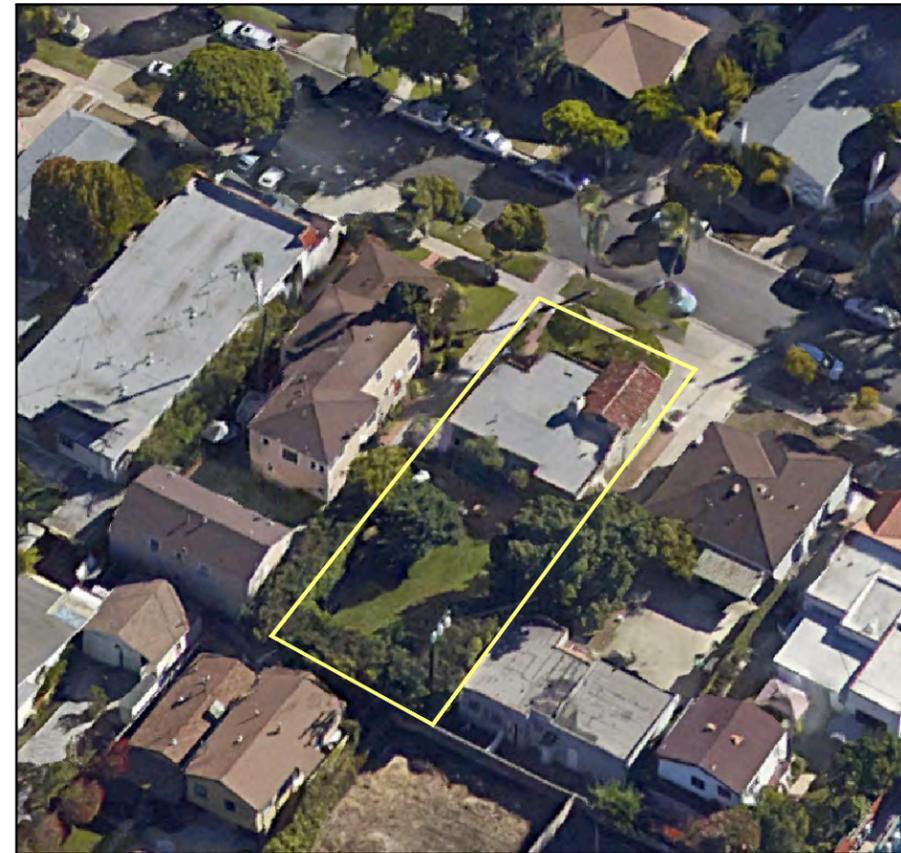
NEIGHBOR ACROSS THE SITE
SCALE: NTS
(ON 24" X 36" SHEET SIZE)



SITE FROM THE EAST
SCALE: NTS
(ON 24" X 36" SHEET SIZE)



SITE FROM THE SOUTH
SCALE: NTS
(ON 24" X 36" SHEET SIZE)



SITE FROM THE NORTH
SCALE: NTS
(ON 24" X 36" SHEET SIZE)



SITE FROM THE WEST
SCALE: NTS
(ON 24" X 36" SHEET SIZE)



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LA SALLE TOWNHOMES
4034 LA SALLE AVE.
CULVER CITY, CA, 90232
PROJECT # 15037

SITE PHOTOS

ISSUE DATE: 09.28.2016

A0.00B

09.28.16
SITE PLAN
REVIEW

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PROJECT # 15037

EXISTING SITE
TREE PHOTOS

ISSUE DATE: 09.28.2016

A0.01



1 PERIMETER BUSHES



2 SMALL CENTER TREE



3 PERIMETER BUSHES



4 LARGE TREE, MID PROPERTY



5 SMALL TREES ON DECK



6 LARGE TREE, MID PROPERTY. &
LARGE TREE, @ SIDE YARD



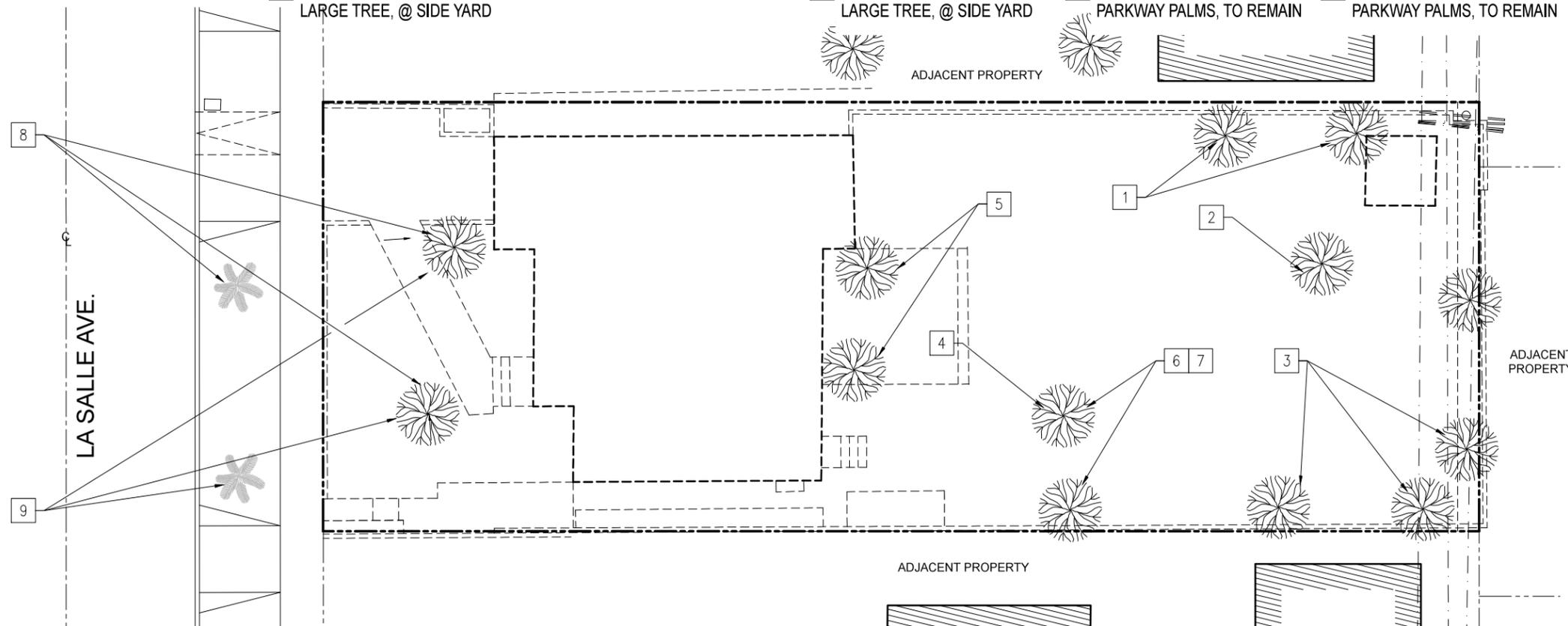
7 LARGE TREE, MID PROP. &
LARGE TREE, @ SIDE YARD



8 2 SMALL FRONT YARD TREES.
PARKWAY PALMS, TO REMAIN



9 2 SMALL FRONT YARD TREES.
PARKWAY PALMS, TO REMAIN



EXISTING SITE TREES
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



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SITE PLAN
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4034 LA SALLE AVE.
CULVER CITY, CA. 90232
PROJECT # 15037

ADJ. PROPERTY
PHOTOS

ISSUE DATE: 09.28.2016

A0.02



12



11



10



9



8



7



6



5



4



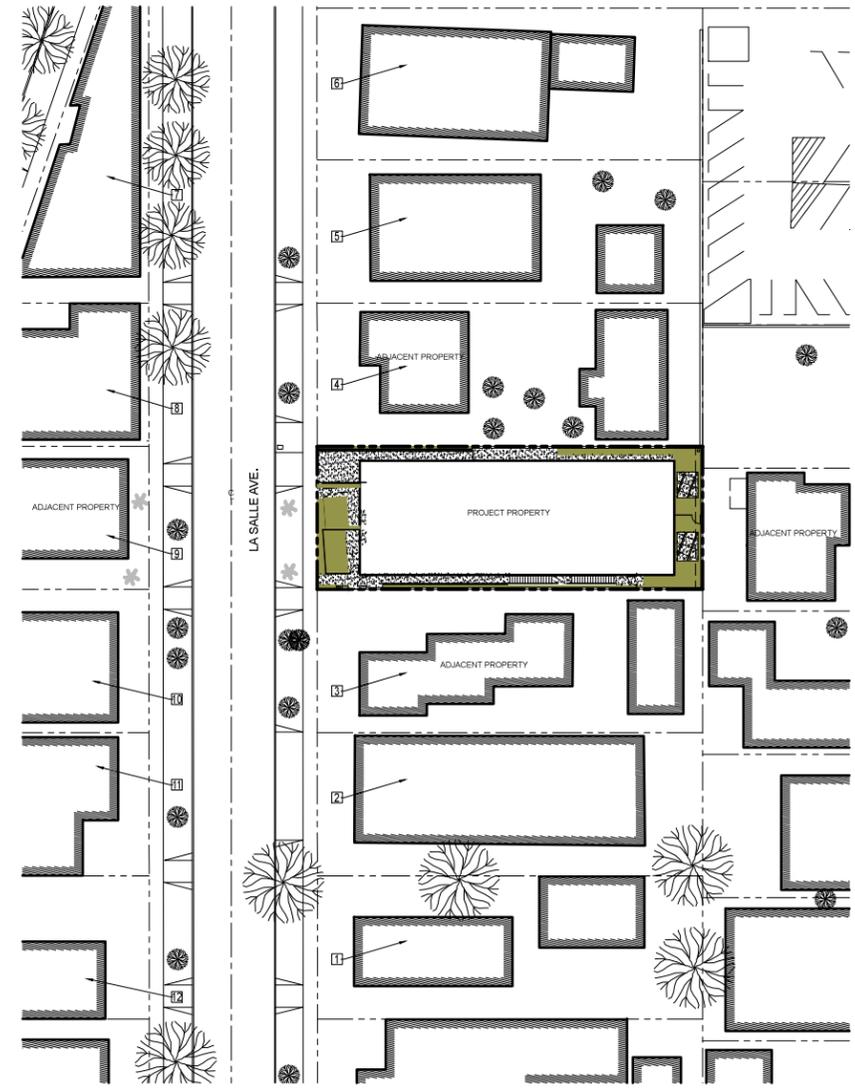
3



2



1



SITE PLAN
SCALE: 1/32" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1



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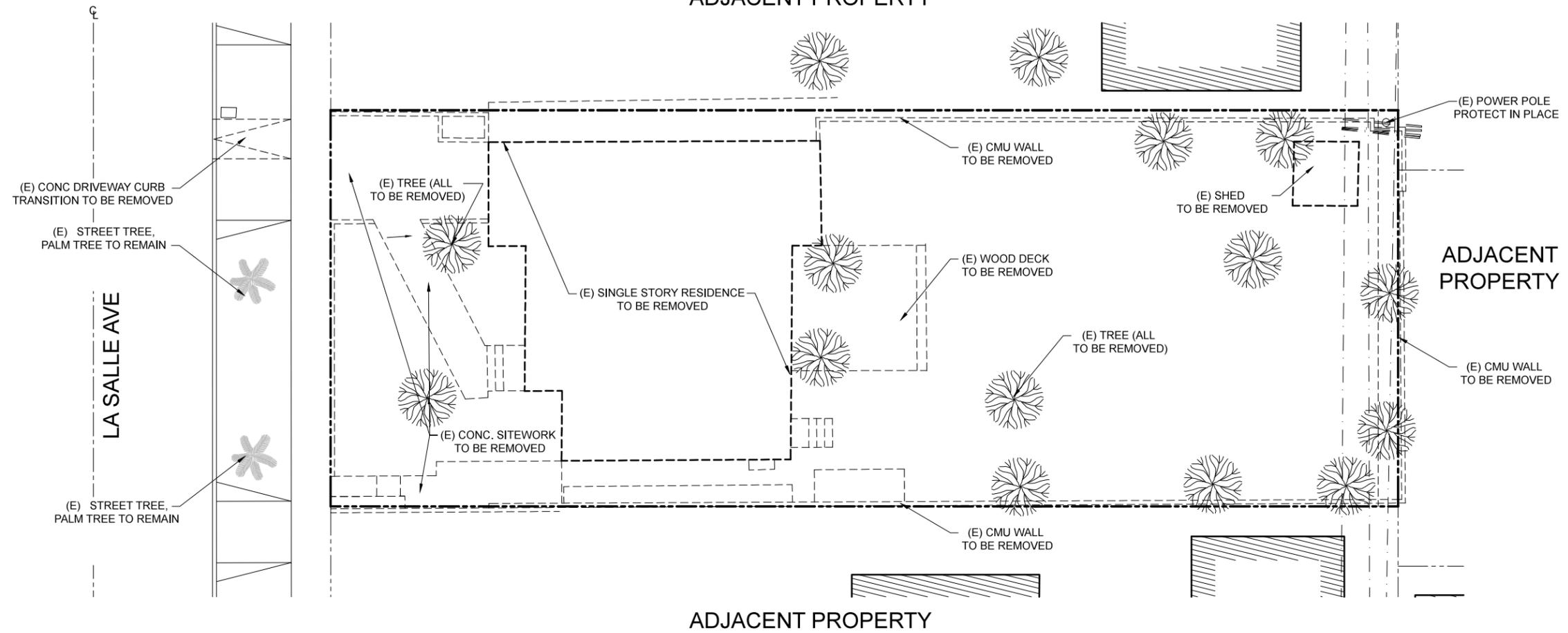
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SITE PLAN
REVIEW

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LA SALLE TOWNHOMES
4034 LA SALLE AVE.
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PROJECT # 15037



KEYNOTES

LEGEND

SITE DEMOLITION
PLAN

ISSUE DATE: 09.28.2016

A0.10



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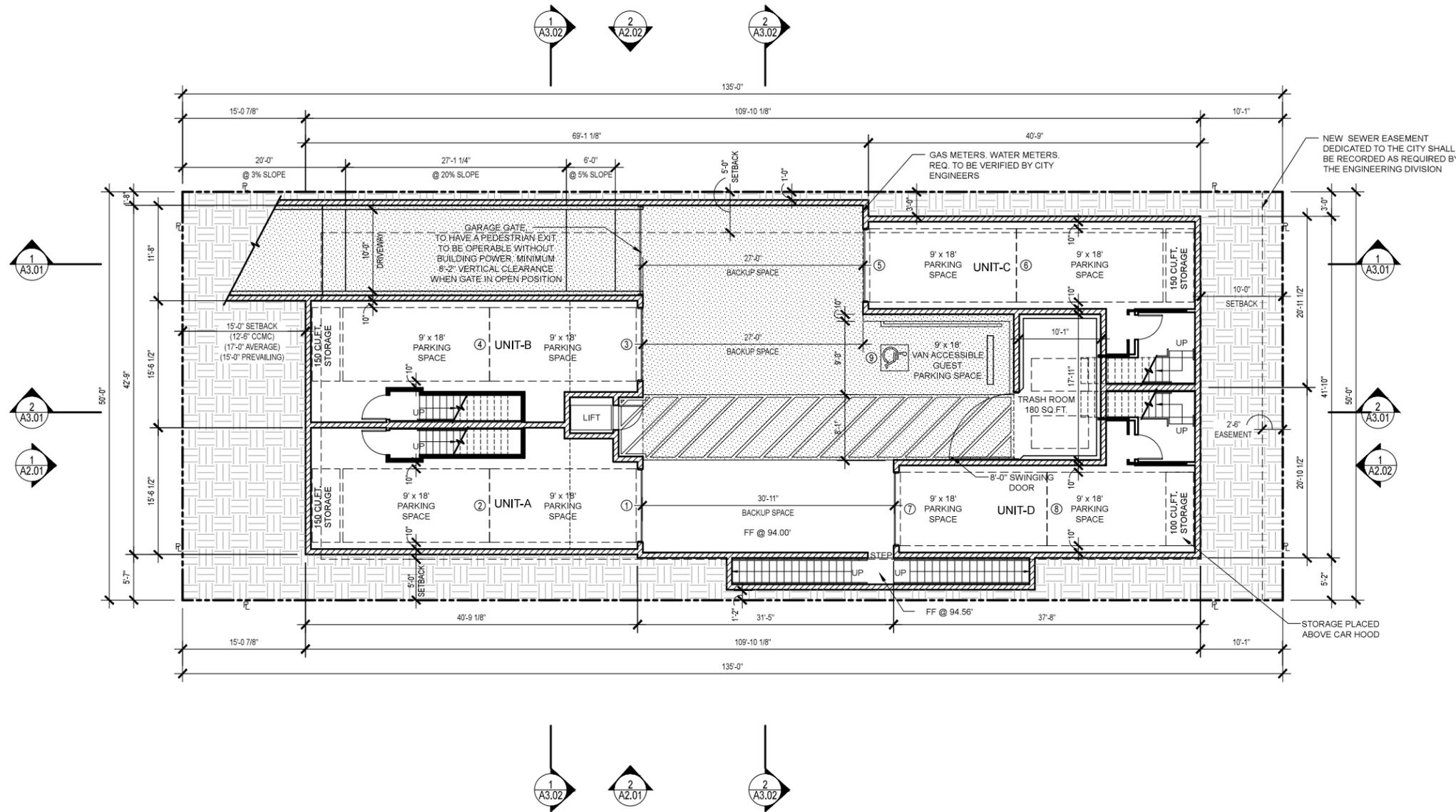
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SITE PLAN
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LA SALLE TOWNHOMES
4034 LA SALLE AVE.
CULVER CITY, CA 90232
PROJECT # 15037



BASEMENT PLAN
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

KEYNOTES

LEGEND

- C,M,U. WALL
- MTL STUD WALL
- 8'-2" MIN. VERTICAL CLEARANCE, TYP.

BASEMENT PLAN

ISSUE DATE: 09.28.2016

A1.00



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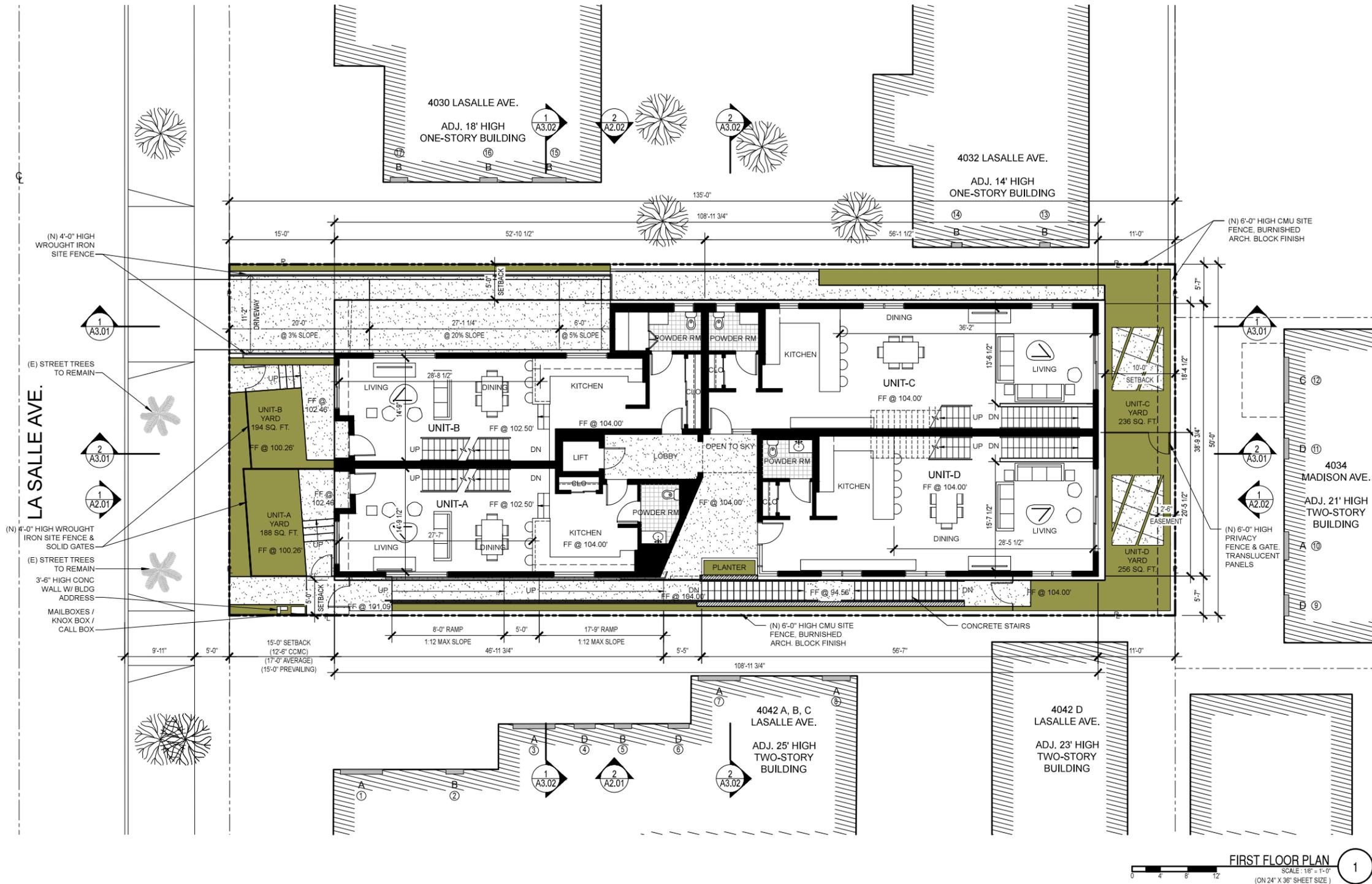
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09.28.16
SITE PLAN
REVIEW

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528 PALISADES DR. #530
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES
4034 LA SALLE AVE.
CULVER CITY, CA 90232
PROJECT # 150357



KEYNOTES

- (N) 4'-0" HIGH WROUGHT IRON SITE FENCE
- (E) STREET TREES TO REMAIN
- LA SALLE AVE.
- (N) 4'-0" HIGH WROUGHT IRON SITE FENCE & SOLID GATES
- (E) STREET TREES TO REMAIN
- 3'-6" HIGH CONC WALL W/ BLDG ADDRESS
- MAILBOXES / KNOX BOX / CALL BOX

LEGEND

- CMU WALL
- 2 X WOOD STUD WALL
- LANDSCAPE PLANTING AREA
- SOLID SURFACE AREA
- LARGE WINDOWS (HEIGHT > 3'-0")
- SMALL WINDOWS (HEIGHT < 3'-0")
- SLIDING GLASS DOORS
- DOORS

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS					
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DISTANCE FROM OPPOSITE (N) WINDOW	UNIT (N) WINDOW IS IN	PROPOSED SOLUTION	
4042 A, B, C LASALLE AVE.	# 1	NOT ALIGNED	N/A	N/A	
	# 2	NOT ALIGNED	N/A	N/A	
	# 3	NOT ALIGNED	N/A	N/A	
	# 4	(E) DOOR, 21' DISTANCE		UNIT-A	6'-0" HIGH FENCE
	# 5	NOT ALIGNED	N/A	N/A	N/A
	# 6	NOT ALIGNED	N/A	N/A	N/A
	# 7	NOT ALIGNED	N/A	N/A	N/A
	# 8	14' - 3"		UNIT-D	6'-0" HIGH FENCE
4035 MADISON AVE.	# 9	NOT ALIGNED	N/A	N/A	
	# 10	26' - 6"	UNIT-D	PLANT TREE	
	# 11	NOT ALIGNED	N/A	N/A	
4032 LASALLE AVE.	# 12	26' - 6"	UNIT-C	PLANT TREE	
	# 13	8' - 0"	UNIT-C	PLANT TREE	
4030 LASALLE AVE.	# 14	NOT ALIGNED	N/A	N/A	
	# 15	NOT ALIGNED	N/A	N/A	
	# 16	NOT ALIGNED	N/A	N/A	
	# 17	24' - 4"		UNIT-B	NO CHANGE

FIRST FLOOR
PLAN

ISSUE DATE: 09.28.2016

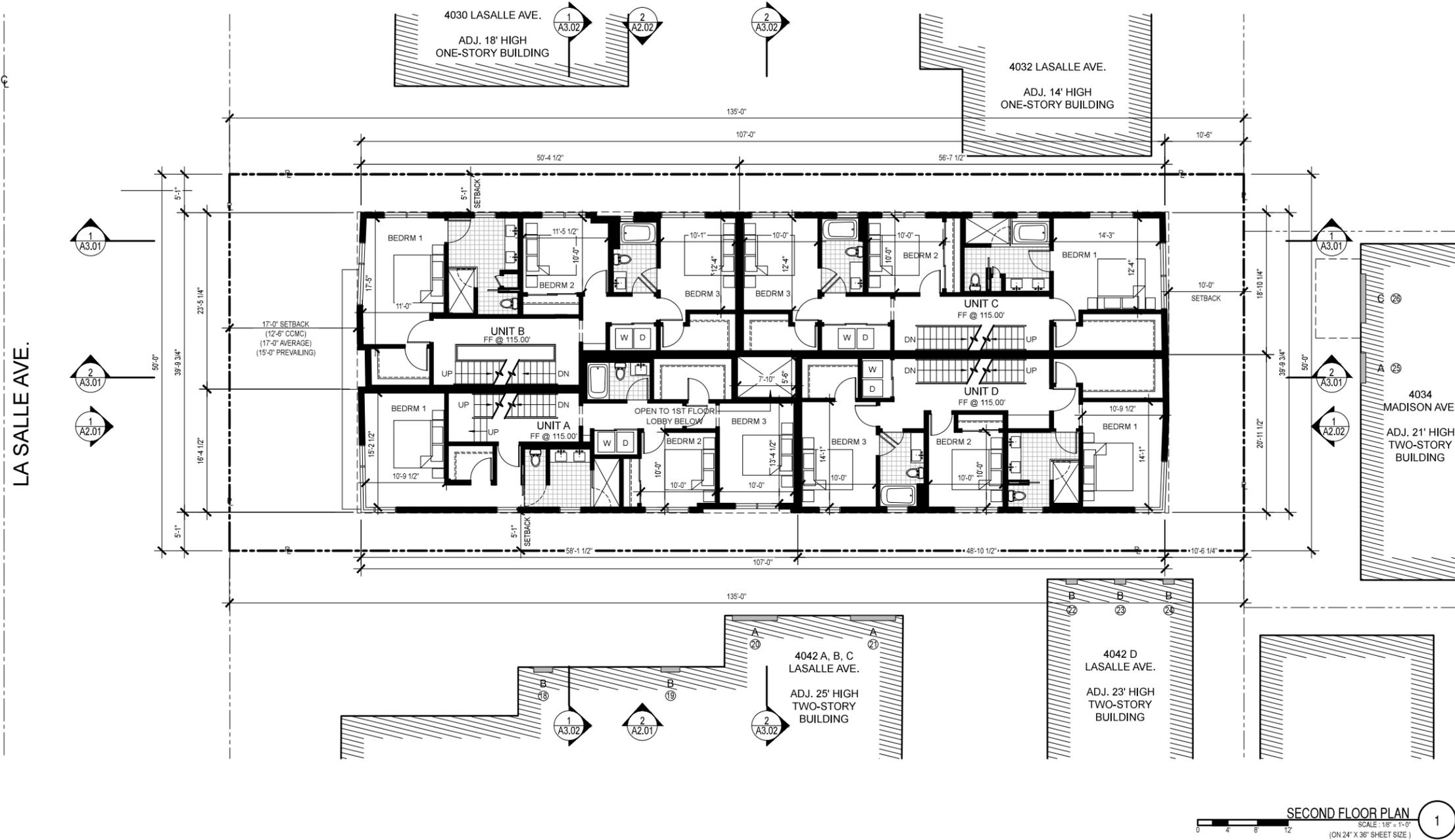
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09.28.16
SITE PLAN
REVIEW

NO.	ISSUES / REVISIONS	DATE

CLIENT INFO:
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LA SALLE TOWNHOMES
4034 LA SALLE AVE.
CULVER CITY, CA. 90232
PROJECT # 15037



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

KEYNOTES

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS				
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DISTANCE FROM OPPOSITE (N) WINDOW	WINDOW (N) WINDOW IS IN	PROPOSED SOLUTION
4042 A, B, C LASALLE AVE.	# 18	NOT ALIGNED	N/A	N/A
	# 19	20'-6"	UNIT-A	NO CHANGE
	# 20	14'-2"	UNIT-A	NO CHANGE
	# 21	13'-8"	UNIT-D	NO CHANGE
	# 22	NOT ALIGNED	N/A	N/A
4035 MADISON AVE.	# 23	NOT ALIGNED	N/A	N/A
	# 24	8'-10"	UNIT-D	PLANT TREE
4035 MADISON AVE.	# 25	NOT ALIGNED	N/A	N/A
	# 26	25'-11"	UNIT-C	PLANT TREE

LEGEND

- 2 X WOOD STUD WALL
- A LARGE WINDOWS (HEIGHT > 3'-0")
- B SMALL WINDOWS (HEIGHT < 3'-0")
- C SLIDING GLASS DOORS
- D DOORS

SECOND FLOOR
PLAN

ISSUE DATE: 09.28.2016



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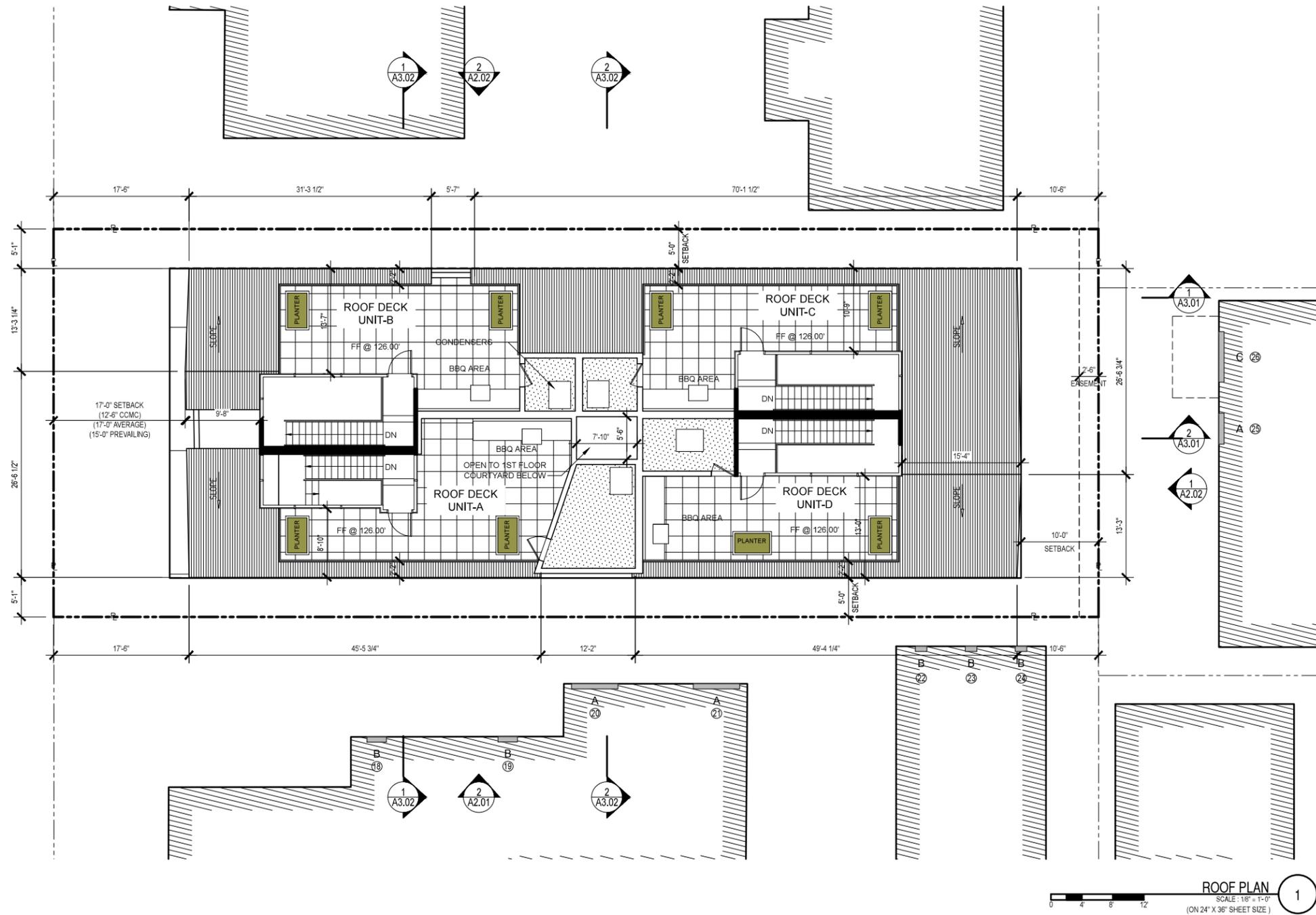
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09.28.16
SITE PLAN
REVIEW

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528 PALISADES DR. #530
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES
4034 LA SALLE AVE.
CULVER CITY, CA. 90232
PROJECT # 150237



KEYNOTES

LEGEND

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS				
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DISTANCE FROM OPPOSITE (N) WINDOW	UNIT (N) WINDOW IS IN	PROPOSED SOLUTION
4042 A, B, C LASALLE AVE.	# 18	NOT ALIGNED	N/A	N/A
	# 19	20'-6"	UNIT-A	NO CHANGE
	# 20	14'-2"	UNIT-A	NO CHANGE
	# 21	13'-8"	UNIT-D	NO CHANGE
	# 22	NOT ALIGNED	N/A	N/A
	# 23	NOT ALIGNED	N/A	N/A
4035 MADISON AVE.	# 24	8'-10"	UNIT-D	PLANT TREE
	# 25	NOT ALIGNED	N/A	N/A
	# 26	25'-11"	UNIT-C	PLANT TREE

- 2 X WOOD STUD WALL
- A LARGE WINDOWS (HEIGHT > 3'-0")
- B SMALL WINDOWS (HEIGHT < 3'-0")
- C SLIDING GLASS DOORS
- D DOORS

ROOF DECK PLAN

ISSUE DATE: 09.28.2016

A1.30



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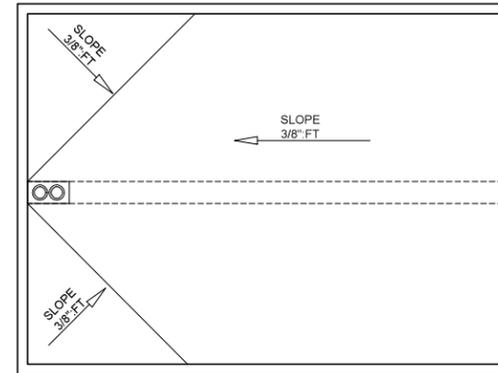
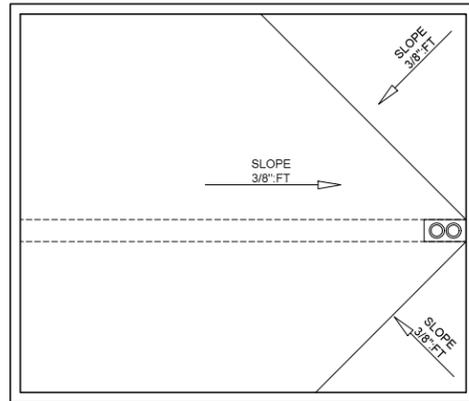
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KEYNOTES

LEGEND

STAIR ROOF
PLAN

ISSUE DATE: 09.28.2016

A1.40



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PROJECT # 15037

BUILDING
ELEVATIONS

ISSUE DATE: 09.28.2016

A2.01



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

2



WEST ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1

NOTE: COLORS AND MATERIALS ARE CONCEPTUAL.
ALL SUBJECT TO FINAL PLANNING APPROVAL

KEYNOTES

LEGEND



209 S. MARKET ST.
INGLEWOOD, CA. 90301
3 2 3 . 5 5 3 . 2 3 7 6

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NORTH ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

2

09.28.16
SITE PLAN
REVIEW

NO.	ISSUES/REVISIONS	DATE

CLIENT INFO:
4034 LA SALLE DEVELOPMENT
528 PALISADES DR. #530
PACIFIC PALISADES, CA 90272



EAST ELEVATION
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

1

LA SALLE TOWNHOMES
4034 LA SALLE AVE.
CULVER CITY, CA 90032
PROJECT # 15037

NOTE: COLORS AND MATERIALS ARE CONCEPTUAL
ALL SUBJECT TO FINAL PLANNING APPROVAL

KEYNOTES

LEGEND

BUILDING
ELEVATIONS

ISSUE DATE: 09.28.2016

A2.02



209 S. MARKET ST.
INGLEWOOD, CA. 90301
3 2 3 . 5 5 3 . 2 3 7 6

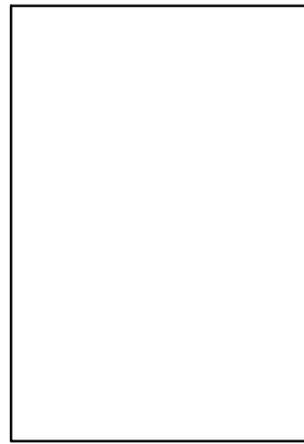
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09.28.16
SITE PLAN
REVIEW

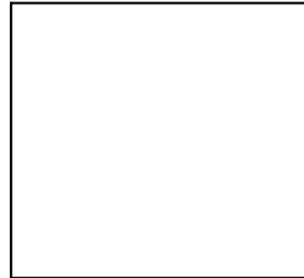
NO.	ISSUES / REVISIONS	DATE

CLIENT INFO:
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528 PALISADES DR. #530
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES
4034 LA SALLE AVE.
CULVER CITY, CA. 90232
PROJECT # 15037



METAL STANDING SEAM
ROOF SAMPLE
APPLICABLE TO KEYNOTE 6



SMOOTH COAT STUCCO
TEXTURE SAMPLE
APPLICABLE TO KEYNOTE 1,2,3

BUILDING PERSPECTIVE
SCALE: N/A
(ON 24" X 36" SHEET SIZE)



1
SMOOTH COAT STUCCO
COLOR: LIGHT CREAM



3
SMOOTH COAT STUCCO
COLOR: MEDIUM GRAY



5
HORIZONTAL METAL RAILING
COLOR: BLACK



7
4'-0" FRONT YARD METAL PICKET FENCE
COLOR: DARK GRAY



2
SMOOTH COAT STUCCO
COLOR: LIGHT GRAY



4
BLACK ANODIZED ALUMINUM FRAME WINDOWS W/ CLEAR GLASS



6
METAL STANDING SEAM ROOF
COLOR: DARK GRAY



8
EXTERIOR WALL SCNCE
COLOR: BLACK

MATERIAL SHEET

ISSUE DATE: 09.28.2016

A2.03



209 S. MARKET ST.
INGLEWOOD, CA. 90301
3 2 3 . 5 5 3 . 2 3 7 6

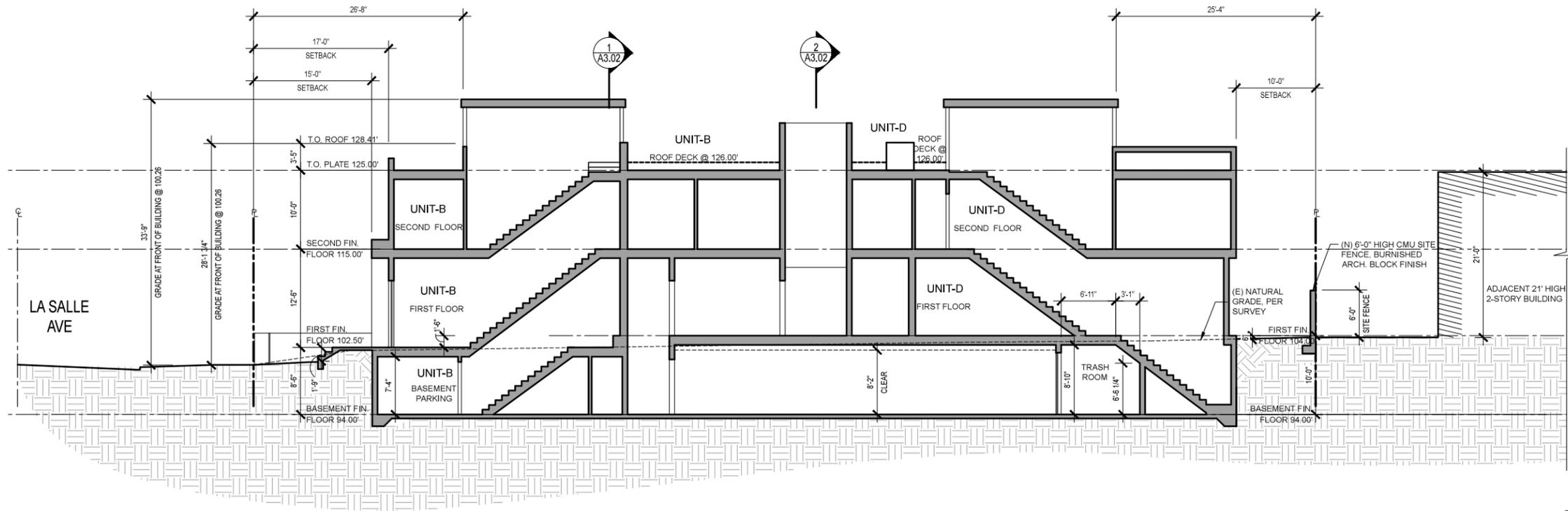
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09.28.16
SITE PLAN
REVIEW

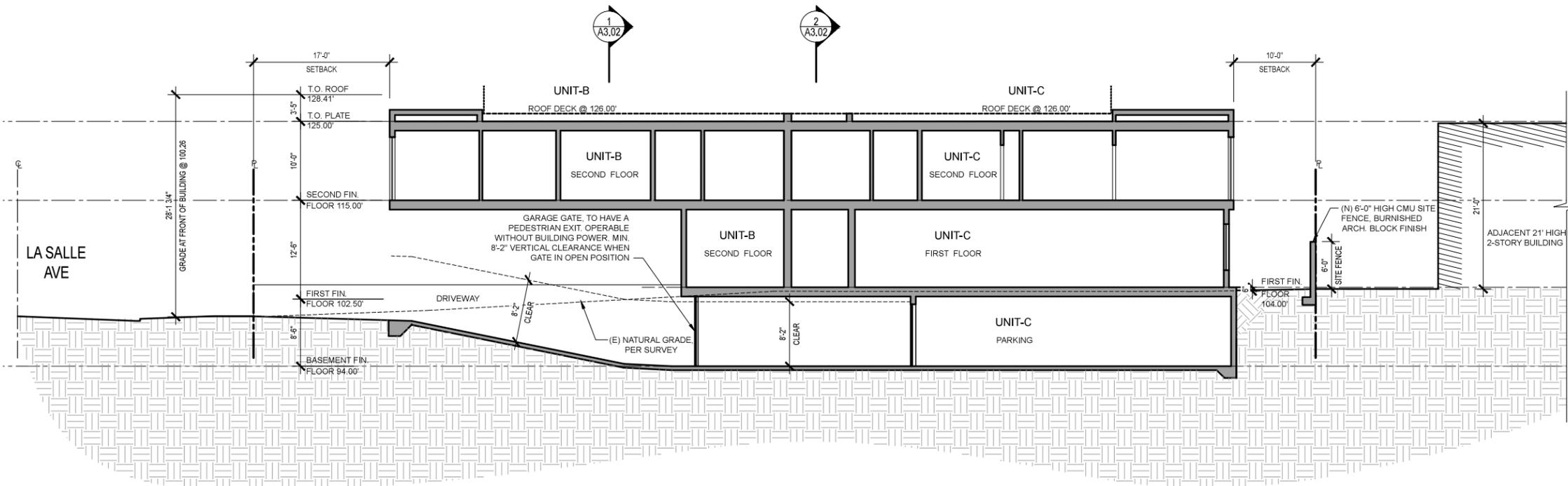
NO.	ISSUES / REVISIONS	DATE

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528 PALISADES DR, #530
PACIFIC PALISADES, CA 90272

LA SALLE TOWNHOMES
4034 LA SALLE AVE
CULVER CITY, CA 90232
PROJECT # 15037



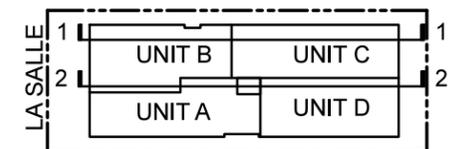
SECTIONS 2
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



SECTIONS 1
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

KEYNOTES

LEGEND



BUILDING
SECTIONS

ISSUE DATE: 09.28.2016

A3.01



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09.28.16
SITE PLAN
REVIEW

NO.	ISSUES / REVISIONS	DATE

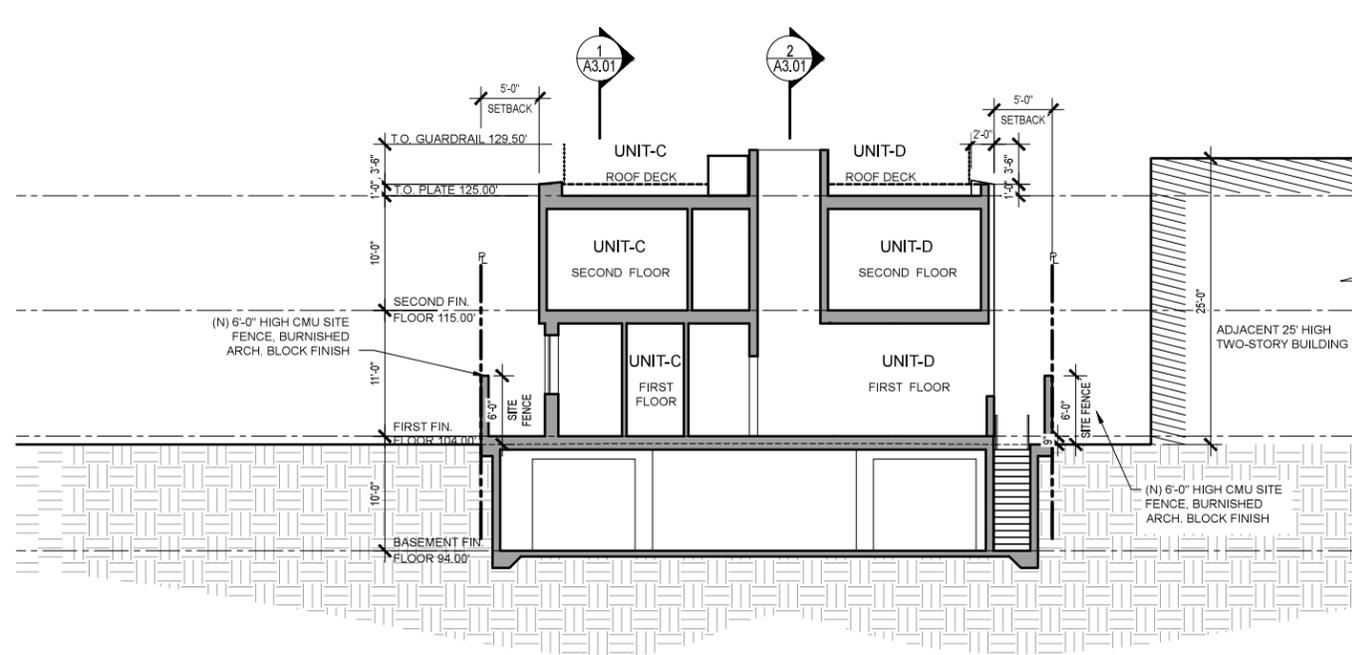
CLIENT INFO:
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PACIFIC PALISADES, CA 90272

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CULVER CITY, CA 90232
PROJECT # 15037

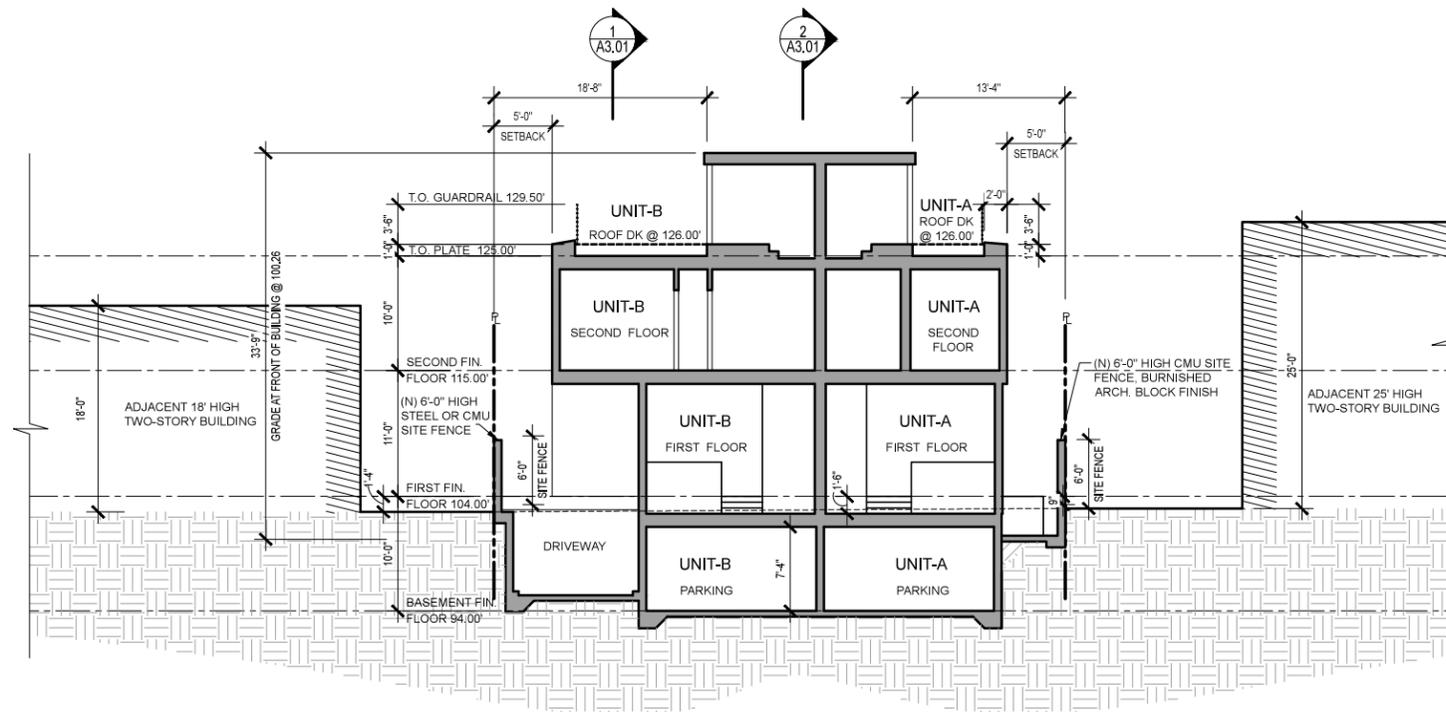
BUILDING
SECTIONS

ISSUE DATE: 09.28.2016

A3.02



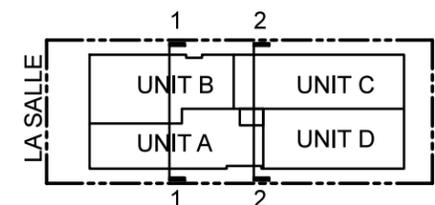
SECTIONS 2
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)



SECTIONS 1
SCALE: 1/8" = 1'-0"
(ON 24" X 36" SHEET SIZE)

KEYNOTES

LEGEND



A3.02

LANDSCAPE ARCHITECT:

Rodriguez & Satterthwaite

Design Build Landscape, Inc.

1424 Old Topanga Canyon
 Topanga, CA 90290
 tel. (310) 455.1919
 fax. (310) 455. 7270
 email: gardens@rodsatt.com

OWNER:
4034 LA SALLE DEVELOPMENT
 528 Palisades Drive #530
 Pacific Palisades, CA

PROJECT:
LA SALLE TOWNHOMES
 4034 LA SALLE AVENUE
 CULVER CITY, CALIFORNIA 90232

REVISION LOG

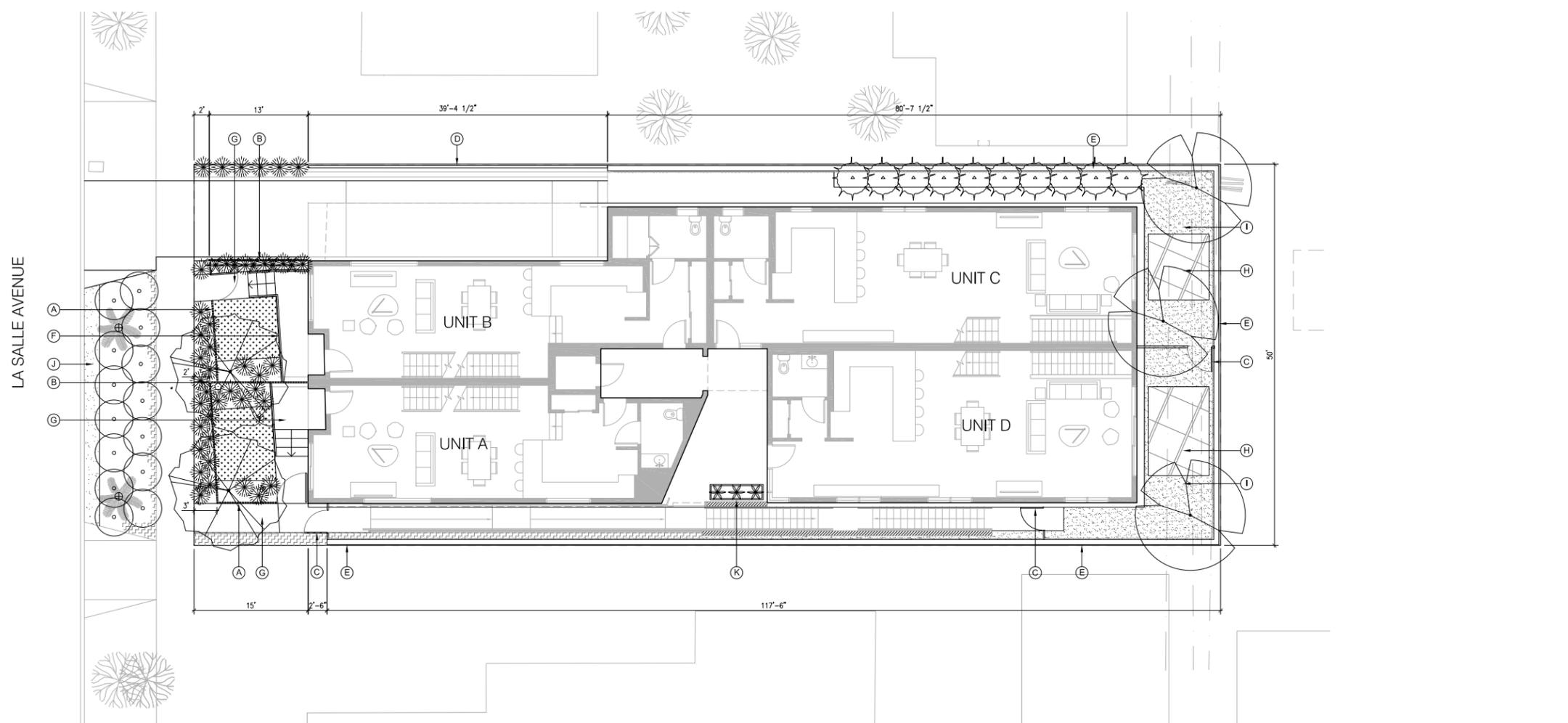
DATE

07.06.16

SCHEMATIC LANDSCAPE PLAN

SHEET #

L1.0



SCHEMATIC PLANTING PLAN

1

1/8" = 1'-0"

PLANT LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	WATER USAGE	CONTAINER SIZE	SPACING	NOTES
TREES						
✱	<i>Beaucarnea recurvata</i>	Ponytail Palm	L	15 gal	per plan	mulch with wood chips, use in roof deck planters
⊗	<i>Geijera parviflora</i>	Australian Willow	L	36" box	per plan	mulch with wood chips
⊗	<i>Lagerstromela 'Natchez'</i>	Crape Myrtle	L	36" box	per plan	mulch with gravel
●	<i>Syagrus romanzoffiana</i> , existing	Queen Palm	L	existing	per plan	protect in place
GRASSES						
⊞	<i>Bouteloua 'Blonde Ambition'</i>	Blue Gramina	L	1 gal	18" o.c.	mulch with wood chips.
⊞	<i>Lomandra longifolia 'Breeze'</i>	Dwarf Mat Rush	L	1 gal	per plan	mulch with wood chips.
SHRUBS						
⊞	<i>Laurus nobilis</i>	Sweet Bay	L	15 gal	per plan	mulch with wood chips.
GROUNDCOVERS & VINES						
⊞	<i>Ficus pumila (repens)</i>	Creeping Fig	M	1 gal, staked	5' o.c.	mulch with gravel, train on wall after planting.
⊞	<i>Lippia nodiflora</i>	Kurapia	L	sod / plugs	per plan	mulch with wood chips.
⊞	<i>Lonicera japonica 'Hallaina'</i>	Japanese Honeysuckle	M	5 gal, staked	per plan	mulch with wood chips.
⊞	<i>Salvia 'Bee's Bliss'</i>	Bee's Bliss Sage	VL-L	1 gal	per plan	in parkway - mulch with wood chips.

SEE ARCHITECTURAL SHEET A1.30 FOR ROOF-DECK PLANTING

HARDSCAPE / FIXTURE LEGEND

SYMBOL	DESCRIPTION
(A)	48" fence, vertical pickets
(B)	48" fence, vertical pickets & climbing trained vine
(C)	60" translucent gate & fencing
(D)	72" solid privacy fence
(E)	72" CMU wall with creeping vine
(F)	42" railing
(G)	concrete walkway & stoop
(H)	concrete patio with permeable, planted spaces
(I)	pea gravel patio
(J)	24" decomposed granite step-out strip w/ RWD header (Reversible perm. necessary)
(K)	container

LANDSCAPE ARCHITECT:

**Rodriguez &
Satterthwaite**

Design Build Landscape, Inc.

1424 Old Topanga Canyon
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PLANT KEY

1. *Geijera parviflora*, Australian Willow
evergreen tree (S. side of building), 20'-30' tall and wide
2. *Lagerstromieia 'Natchez'*, Crape Myrtle
deciduous white-flowering tree, 20' tall and wide, robust fall color
3. *Lonicera halliana*, Honeysuckle vine
semi-deciduous vine, flowering
4. *Ficus repens*, Creeping Fig
robust evergreen creeping vine, attaches to walls
5. *Laurus nobilis*, Laurel Bay
evergreen tree / shrub, use as hedge 20-30' tall
6. *Lomandra 'Breeze'*, Dwarf mat rush
rush grass, 30" tall and wide
7. *Beaucarnea recurvata*, Ponytail Palm - in container
succulent tree, slow growing
8. *Bouteloua 'Blonde Ambition'*, Blue gramma
grass, 18-24" tall to 2' wide eventually, summer blooming
9. *Salvia 'Bees's Bliss'*, Sage
evergreen groundcover, 12-18" tall
10. *Lippia nodiflora*, Kurapia
groundcover, 1" tall, spreading, low water use

OWNER:
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Pacific Palisades, CA

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CULVER CITY, CALIFORNIA 90232

REVISION LOG

DATE

07.06.16

**LANDSCAPE PLANT
PALETTE**

SHEET #

L1.1