



Culver CITY

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**PLANNING COMMISSION
MEETING AGENDA
MONDAY, OCTOBER 29, 2012
7:00 P.M.**

PUBLIC COMMENT

The Planning Commission will listen to the public on any item on the agenda or item of interest that is not on the agenda. The Planning Commission cannot legally take action on any item not scheduled on the agenda. Such items may be referred for administrative action or scheduled on a future agenda.

If you wish to speak to the Commissioners, please complete a Speaker's Card and present it to the Secretary before the agenda item is called. You will be called to the podium by name when it is your turn to speak to the Commissioners.

PUBLIC COMMENT FOR ITEMS ON THE AGENDA

Persons wishing to speak on agenda items will be called at the time the agenda item is brought forward. Comments will generally be limited to five minutes per speaker; however, a three-minute limit may be declared by the Chairperson for agenda items for which many Speaker Cards have been submitted.

PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA

A total of twenty minutes shall be devoted to audience participation at the beginning of the agenda. Speakers will be called on in the order cards were received by the Secretary. If additional time is needed, the Chairperson will allow for same at the end of the agenda.

When the Secretary calls your name, please advance to the podium and state your name and city of residence. Speakers must limit their comments to five minutes. A three-minute limit may be declared by the Chairperson if there is a large number of individuals desiring to address the Commissioners.

NOTE: AT OR ABOUT 11:00 P.M., COMMISSION MEMBERS WILL DETERMINE WHETHER TO CONTINUE WITH DISCUSSION OF REMAINING ITEMS ON THE AGENDA OR TO CARRY SOME/ALL OF THE ITEMS OVER TO A FUTURE MEETING DATE.

CELL PHONES AND OTHER DISTRACTIONS

Use of cell phones, pagers and other communication devices is prohibited while the Planning Commission Meeting is in session. Please turn all devices off or place on silent alert and leave the Chambers to use. During the meeting, please refrain from applause or other actions that may be disruptive to the speakers or the conduct of City business.

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ALD

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Culver CITY

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AGENDA
Planning Commission
Thursday, October 29, 2012
7:00 p.m.
Mike Balkman Council Chambers

CALL TO ORDER & ROLL CALL

Scott Wyant, Chair
John Kuechle, Vice Chair
Linda Smith Frost, Commissioner
Anthony Pleskow, Commissioner
Kevin Lachoff, Commissioner

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT – Items Not On The Agenda

- PH-1** Site Plan Review for a proposed 5-level parking structure with 556 parking spaces and an Administrative Modification for reduced drive aisle widths at 8550 Higuera Street.
Recommended Action: ***Adopt Resolution approving the Site Plan Review and Administrative Modification.***

CONSENT CALENDAR. *Note: Consent Calendar items are considered to be routine in nature and may be approved by one motion. Public requests to discuss Consent Calendar items must be filed with the Secretary before the Consent Calendar is called.*

- C-1** Approval of Minutes of September 12, 2012 and October 4, 2012.

ITEMS FROM STAFF

ITEMS FROM PLANNING COMMISSION

ADJOURN

Upcoming Public Meeting Schedule –Tentative – 2012

Date	Day	Time	Location
<i>City Council</i>			
<i>November 12</i>	<i>Monday</i>	<i>7:00PM</i>	<i>Council Chambers</i>
<i>Civil Service Commission</i>			
<i>November 7</i>	<i>Wednesday</i>	<i>7:00PM</i>	<i>Council Chambers</i>
<i>Cultural Affairs Commission</i>			
<i>November 13</i>	<i>Tuesday</i>	<i>7:00PM</i>	<i>Council Chambers</i>
<i>Parks & Recreation Commission</i>			
<i>November 6</i>	<i>Wednesday</i>	<i>7:00PM</i>	<i>Patacchia Room</i>
<i>Planning Commission</i>			
<i>November 14</i>	<i>Monday</i>	<i>7:00PM</i>	<i>Council Chambers</i>

Meetings may be added or changed.

City of Culver City, California
Planning Commission Agenda Item Report

Meeting Date: October 29, 2012		Item Number: PH-1	
AGENDA ITEM: Site Plan Review for a proposed 5-level parking structure with approximately 556 parking spaces and an Administrative Modification for reduced drive aisle widths at 8550 Higuera Street.			
Contact Person/Dept.: Jose Mendivil, Associate Planner		Phone Number: (310) 253-5757	
Public Hearing: ☒		Action Item: ☐ Attachments: ☒	
Public Notification: On October 8, 2012, a notice was mailed to all the property owners and occupants beyond a 500-foot radius of the site, posted on the site and emailed to the Master Notification List.			
Planning Approval: Thomas Gorham, Planning Manager		Department Approval: Sol Blumenfeld, Community Development Director	
<u>RECOMMENDATION:</u> That the Planning Commission: 1. Adopt a Categorical Exemption finding based on the project's compliance with CEQA Class 32 In-Fill Exemption criteria thereby determining the project will not have a significant adverse impact on the environment; and 2. Approve Site Plan Review, SPR P-2012134 and Administrative Modification, AM P-2012133; subject to the Conditions of Approval as stated in Resolution No. 2012-P014 (Attachment No. 4). <u>PROCEDURES:</u> 1. Chair calls on staff for a staff report and Commission poses questions to staff as desired. 2. Chair opens the public hearing, providing the applicant the first opportunity to speak, followed by the general public. 3. Chair seeks a motion to close the public hearing after all testimony has been presented. 4. Commission discusses the matter and arrives at its decision.			

City of Culver City, California
Planning Commission Agenda Item Report

BACKGROUND:

Hackman Capital (the Applicant), is proceeding with renovating three existing commercial buildings on three lots (two contiguous) in the Hayden Tract for creative office uses collectively known as *Hayden+Higuera*. Tenant and façade improvements will be made to the existing commercial buildings (8600 Hayden Place, 8550 Higuera Street, and 3644 Eastham Drive) to create a cohesive office campus with a common architectural and landscape palette and other site upgrades to attract new creative office tenants. Two of the three properties have on-site parking and the Eastham site has no parking (it has an established office use and is legal non-conforming with regard to parking). The Hayden Place and Eastham Drive properties are deficient in their parking for office uses.

The proposed 556 space parking structure (the Project) will be located on the east or right side of the existing office structure at 8550 Higuera Street (the Site). Currently the area where the parking structure is proposed to be built is surface parking; this surface parking connects with the rest of the Site's surface parking that wraps around the office structure in a U-shape. The parking structure at the Site (as well as the remaining surface parking) is intended to serve the office parking needs of the three *Hayden+Higuera* office buildings and to provide additional parking that will be available to surrounding Hayden Tract businesses which have deficient parking due largely to the transition from manufacturing to office and media uses (See Attachment No. 3 – Hayden Tract Land Use Survey).

General Information

See Attachment No. 1, Project Summary

Existing Conditions

The Site contains an existing surface parking lot with 320 parking spaces, asphalt paving with landscaping and a vacant two-story, 76,688 square foot office building that was formerly occupied by two major tenants. The property and surrounding land uses are zoned Industrial General (IG). The prevailing area land uses include light industrial, media production, creative office, design, school, and art and photo studio uses. To the north, west and east of the Site there are predominantly single story concrete tilt-up commercial/industrial structures, and to the south is the Ballona Creek flood control channel and a bike path.

City of Culver City, California
Planning Commission Agenda Item Report

Project Description

A proposed five-level concrete parking structure will be constructed on the east or right leg of the U shaped parking area. Approximately 177 of the existing surface parking spaces will remain and will include 75 tandem spaces which were approved through a prior Administrative Use Permit granted on December 19, 2000. The gated access parking structure will be constructed on grade within the 43 foot height limit of the IG Zone and be accessible by elevator and two stairways.

A total of 733 parking spaces will be available on the Site with the Project. The net increase in parking spaces as a result of the parking structure will be 433 spaces [(556 Parking Structure spaces + 177 surface spaces to remain) – 300 parking spaces utilized to satisfy the parking requirements of the three *Hayden+Higuera* office buildings = 433]. 177 surface spaces and 123 of the parking structure spaces (300 total) will be utilized to satisfy the parking requirements of the three *Hayden+Higuera* office buildings. The remaining 433 spaces in the parking structure will be made available for lease to surrounding businesses (through City agreement and by the applicant) to address the parking demand in the Hayden Tract which has evolved from industrial to creative office uses.

Parking Tabulation:

Location	Required*	Provided at 8550 Higuera St	Net	Project Surplus
8550 Higuera Ave.	219	219		
8600** Hayden Place	91	72		
3644+ Eastham St	9	9		
Surface			177	
Structure			556	
Total	319**	300	733	433

*Including building expansion

**19 of the 91 spaces are provided at 8600 Hayden Place

+Non-Conforming Parking – 9 spaces reflect building expansion only

City of Culver City, California
Planning Commission Agenda Item Report

Administrative Modification

The applicant is requesting an Administrative Modification to reduce the width of required parking structure drive aisles by one foot for a revised parking aisle width of 26 feet (equal to a 3.7% reduction from the 27 foot code standard). The Administrative Modification process allows up to a 10% reduction. The Modification is needed to accommodate an at-grade pedestrian walk, landscaping and a required fire lane to be located between the proposed parking structure and the existing building.¹ Additionally, existing subsurface encroachment of foundation footings of the adjacent building to the east of the project site requires the structure to sit slightly off the property line further constricting the ability of the parking structure to provide full drive aisle widths.

City Parking Agreement

The City Council has expressed a strong interest in developing additional parking in order to support and foster growth of area businesses. To address that need, the City has entered into an agreement to purchase a long-term easement in the parking garage in order to reserve 180 parking spaces and make them available to businesses under specific terms and conditions.²

The City is also currently preparing a Parking Ordinance text amendment that will provide alternative parking methods including allowing more flexibility in the location of off-site parking anywhere within the Hayden Tract. The text amendment will be considered by the Planning Commission after the draft proposals have been presented in several community outreach meetings to area businesses and property owners over the next quarter. Although the recent actions by the State dissolving redevelopment have created uncertainty in proceeding with the City's easement agreement, the Developer has indicated his intent to find alternate financing for the project parking structure in the event it is necessary to do so.

ANALYSIS:

Site Plan and Architectural Design

The Project will be designed with a common architectural theme that is reflected in the three *Hayden+Higuera* office buildings and the parking structure. The renovated buildings will be improved with façade treatments that provide blue colored trim and off-white stucco finishes, updated glazing to reflect office use as opposed to industrial uses, and for the Eastham and Hayden properties – new mezzanine space.

City of Culver City, California
Planning Commission Agenda Item Report

Concrete wall segments of the parking structure at the pedestrian street level facing the street will be accented with a blue color. The first two parking levels along the east side facing the project's building and fire lane will be treated with metal screens. The rear of the structure facing the creek will contain large openings between columns typical of parking structure design for natural air ventilation. The west side facing an adjacent structure will be a property line wall and will not be visible and no architectural treatment is proposed.

The parking structure has been designed to conform to all applicable provisions of the Industrial General (IG) Zone development standards. The building mass and scale is compatible with the abutting two-story buildings and conforms to the 43 foot height limit in the IG Zone. The proposed building design at the street frontage will include metal screening and an art panel that screen and articulate the façade. The art piece is meant to satisfy the required project Art Fund contribution, pursuant to Section CCMC Section 15.06.100, et. seq.,. The art piece will be comprised of lightweight metal pieces of approximately 2 feet in length welded together to form a 15 foot by 71 foot rectangular panel. The applicant will be requesting that this panel be approved by the Cultural Affairs Commission as the project art requirement. (Please see Attachment No. 5 – Development Plans that show approximate location and dimensions of the art piece).

Setbacks

The street frontage setback in the IG Zone is 5 feet and the structure is set back 10 feet; there are no side and rear setback requirements and the structure is set at a near zero setback on the east side (less than a foot to account for the adjacent property owners foundation footing that partially lies on the project site's property), 8.52 feet at the rear, and is set back several feet from the west property line.

Landscaping

Existing on-site landscaping will be enhanced and replanted and the fire lane separating the Site's building and the parking structure will also include landscaping. Existing clinging vines on the Site's building will remain and new landscaping along the street frontage of the parking structure (where the structure is setback 10 feet) will be installed to help soften the building. Existing on-site trees will have to be removed in order to build the parking structure. A condition of approval will require that an arborist review all trees to be removed and determine if those can be replanted on the surface parking portion of the project site. Where feasible trees that are removed will either be re-planted or replaced on site.

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Traffic, Circulation, and Parking

The Institute of Traffic Engineers (ITE) Manual which is used to determine vehicle trips generated by various land uses does not provide a trip generation estimate for parking structures. Parking structures as stand-alone developments do not generate vehicle trips in that individuals do not drive to parking structures for the purpose of only going to the parking structure. The structure is not a retail, office, or residential development. It serves the parking demands of surrounding land uses that are already generating their own parking demand. In the case of the Hackman Capital parking structure, 123 of its spaces will serve three existing *Hayden+Higuera* offices buildings. Additionally the extra 433 spaces from the parking structure will be made available to various Hayden Tract property owners or businesses; 180 of these extra spaces will be reserved for the City as discussed above. Access to the parking structure will be adequately served by one driveway off of Hayden Place and another off of an internal driveway within the existing project site. The driveways and security gates are designed so as to minimize queuing on the street or in the internal driveway. The entrance gates will be operated with a transponder type system that will allow 705 vehicles per hour maximum. There will be no need for drivers to stop and punch in a key because the transponder will read a signal that will open the gate as the car passes through the entrance. A typical coded card operated gate usually has a design capacity of 340 vehicles per hour with a maximum of 425 vehicles per hour.

CONCLUSION:

The parking structure and surface parking lot will provide parking to meet the needs of three creative office uses owned by the Applicant and to supply additional parking for the Hayden Tract which is parking deficient. The extra parking spaces will facilitate the continuing evolution of the Hayden Tract to creative office and other design and media related uses which have higher parking demands than the historical warehouse and manufacturing uses. Based on the analysis contained herein staff believes the findings for a Site Plan Review and Administrative Modification can be made as outlined in proposed Resolution No. 2012-P014 (Attachment No. 4) and recommends project approval.

City of Culver City, California
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ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) guidelines, initial review of the project by staff established that there are no potentially significant adverse impacts on the environment and the project has been determined to be Categorically Exempt, Section 15332, Class 32 – In-Fill Development because the proposed project is consistent with the General Plan Industrial Land Use Designation and the Industrial General (IG) Zone; it is within the Culver City city limits on a 3.32 acre site surrounded by urban uses; it has no value as a habitat for endangered, rare, or threatened species; it is not a generator of traffic and it will not have significant traffic impacts; it will not create noise, air quality, or water quality impacts; and the project can be adequately served by utilities and public services.

NOTES:

1. The total width of the parking garage is 129 feet, 5 inches. The width required for the pedestrian walk, landscaping and fire lane is 21 feet, 5.88 inches. There are two 26 foot wide drive aisles parallel to the fire lane; the Zoning Code minimum drive aisles width of 27 feet, if applied, would reduce this minimum fire lane width by 2 feet. Therefore a 3.7% reduction ($1 \text{ foot} / 27 \text{ feet} = 0.037$ or 3.7%) in the drive aisle widths of the two parallel drive aisles is required through an Administrative Modification. This is less than the maximum 10% reduction that could be requested.
2. The long term easement agreement provides 180 parking spaces to businesses in the Hayden Tract for expansion and/or intensification purposes, through long-term and monthly city parking leases. The term of the easement is equivalent to the longer of 50 years or the life of the building whichever is greater. There is no provision for buyout of the City parking easement. In the event that the public parking spaces are not delivered within three years of the execution of the easement then the City is refunded the cost of the easement. Long term leases may be entered into for a maximum term consistent with the easement as part of the parking district that will be established for the area.

City of Culver City, California
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ALTERNATIVE OPTIONS:

The following alternative actions may be considered by the Planning Commission:

1. Approve the application with the recommended conditions of approval if the application is deemed to meet the required findings.
2. Approve the application with additional or different conditions of approval, if deemed necessary to meet the required findings and mitigate any new project impacts identified at the meeting.
3. Disapprove the application if it does not meet the required findings.

ATTACHMENTS:

1. Project Summary
2. Area Map
3. Hayden Tract Land Use Survey
4. Draft Resolution No. 2012-P014 (SPR P-2012134 and AM P-2012133)
5. Development Plans date stamped October 18, 2012

PROJECT SUMMARY

APPLICATION TITLE & CASE NO:		
Site Plan Review, SPR P-2012134 and Administrative Modification, AM P-2012133 for a proposed 5-level parking structure with approximately 556 parking spaces and an Administrative Modification for reduced drive aisle widths at 8550 Higuera Street.		
PROJECT ADDRESS/LOCATION:		APPLICANT INFORMATION:
8550 Higuera Street Culver City, CA 90232		Hackman Capital Partners 11111 Santa Monica Blvd, Suite 750 Los Angeles, CA 90025 (213) 675-4473
PERMIT/APPLICATION TYPE:		
☐ Administrative Use Permit ☐ Conditional Use Permit ☐ Administrative Site Plan Review ☒ Site Plan Review ☒ Administrative Modifications (parking) ☐ Variance ☐ Master Sign Program ☐ Certificate of Appropriateness ☐ Certificate of Exemption ☐ DOBI ☐ Tentative Parcel Map ☐ Tentative Tract Map ☐ Lot Line Adjustment ☐ Zoning Code Amendment - Text ☐ Zoning Code Amendment - Map ☐ General Plan Amendment - Text ☐ General Plan Amendment - Map ☐ Planned Unit Development ☐ Specific Plan ☐ Other:		
APPROVAL BODY: ☒ Public Hearing ☐ Public Meeting ☐ Administrative		
☐ Administrative ☒ Planning Commission ☐ City Council ☐ Redevelopment Agency ☐ Other:		
ENVIRONMENTAL DETERMINATION AND NOTICING:		
CEQA Determination	☒ Categorical Exemption, Class 32 ☐ Negative Declaration or ☐ Mitigated Negative Declaration ☐ Environmental Impact Report, Type:	
CEQA Noticing	☒ Notice of Exemption (w/in 5 days of decision) ☐ Notice of Intent to Adopt (21 days prior to decision) ☐ Notice of Determination (w/in 5 days of decision) ☐ Fish & Game Certificate of Fee Exemption (w/in 5 days of decision) ☐ Notice of Preparation ☐ Notice of Availability ☐ Notice of Completeness	
PUBLIC NOTIFICATION:		
Mailing Date: 10/8/12	☒ Property Owners ☒ Occupants ☐ Adjacent Property Owners & Occupants	☐ w/in 500' foot radius ☒ w/in 500' foot radius / Extended ☐ Other: Beyond 500' radius
Posting Date: 10/8/12	☒ Onsite ☐ Offsite	☐ Other:
Publication	☐ Culver City News	☐ Other:
Courtesy Date: 10/8/12	☒ City Council ☐ Cable Crawler ☒ Commissions ☒ Master Notification List ☐ Culver City Website	☐ Press Release ☐ HOA /Neighborhood Groups ☐ Culver City Organizations ☐ Other:
GENERAL INFORMATION:		
General Plan: Industrial		Zoning: Industrial General (IG)
Redevelopment Plan: N/A/		Overlay Zone/District: N/A
Legal Description Lot 4 Tract No. 32560		Existing Land Use 320 parking space surface parking lot and a vacant two-story, 76,688 square foot office building

PROJECT SUMMARY

ADJACENT ZONING AND LAND USES

<u>Location</u>	<u>Zoning</u>	<u>Land Use</u>
North:	IG	one and two story office/warehouse/school buildings
South:	OS	Ballona Creek
East:	IG	two story office building
West:	IG	two story vacant building

<u>Project Data</u>	<u>Existing</u>	<u>Proposed</u>	<u>Required/Allowed</u>
Lot Area	3.32 acres.	Same	No minimum
Building Coverage:	38,344 S.F.	Same + 36,447 S.F. Garage	N/A

<u>Project Data</u>	<u>Existing</u>	<u>Proposed</u>	<u>Required/Allowed</u>
Parking:			
Office	300	733	300
Handicapped (Part of Total)	7	16	8
Total:	300	733	300
Building Height:	24 FT	Same +43 FT Gar. 46.81' in one portion of the new building	43 FT maximum
Building Setbacks:			
Front	10 FT.	No Change	5 FT minimum
Rear	60 Ft Min	60 FT+8FT Gar.	No Requirement
Side (Street Facing Right Side)	N/A	275 Garage	No Requirement
Side (Street Facing Left Side)	N/A	0 FT	No Requirement

ESTIMATED FEES:

☐ New Development Impact:	☒ School District: <u>TBD</u>	☒ Plan Check: <u>TBD</u>
☐ In Lieu Parkland:	☒ Art: <u>TBD</u>	☒ Sewer: <u>TBD</u>

INTERDEPARTMENTAL REVIEW:

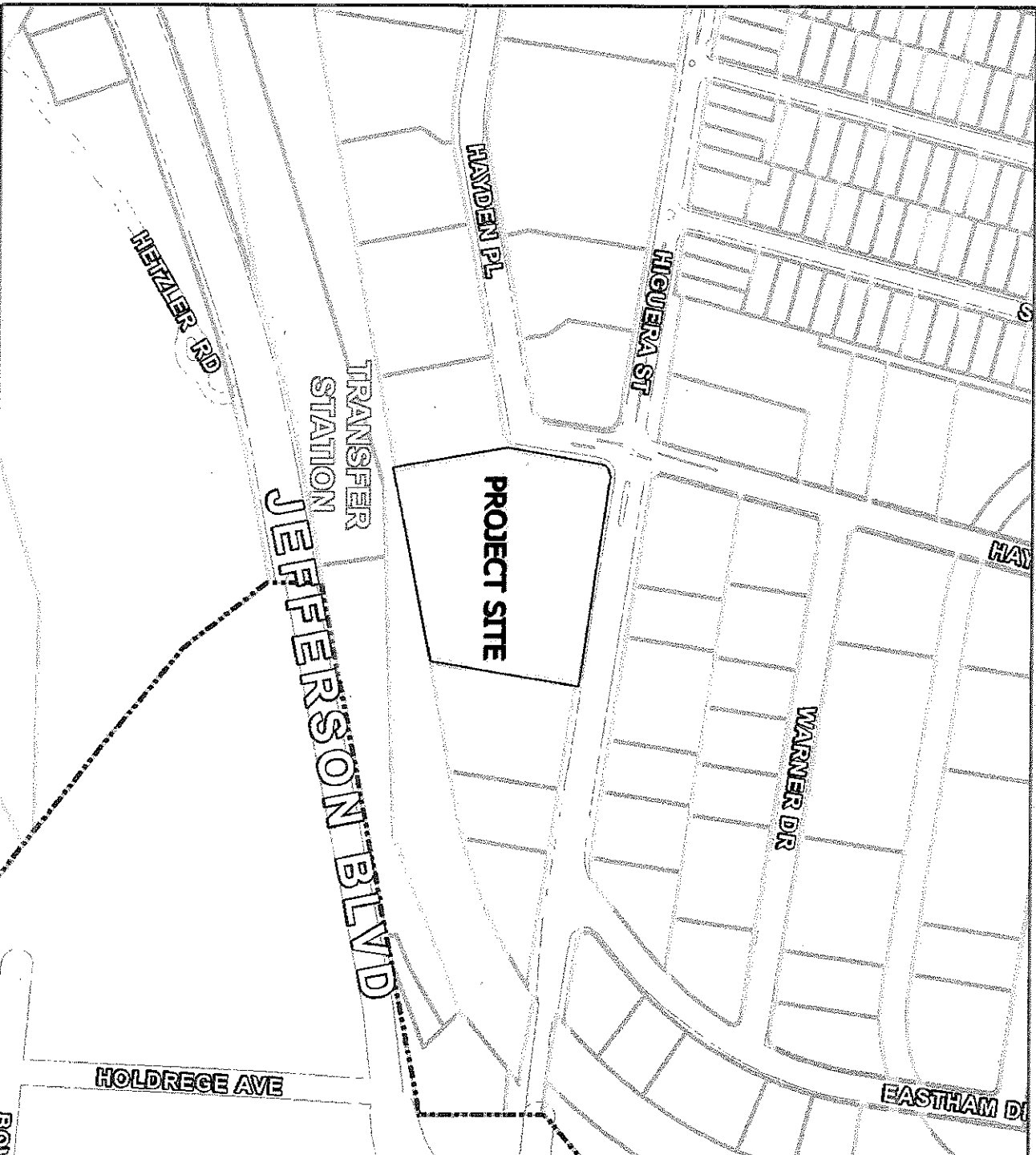
Planning, Engineering, Building & Safety, and Fire Prevention reviewed the project. No additional comments or conditions other than those incorporated into the SPR.

ART IN PUBLIC PLACES:

Applies to Project

SITE PLAN REVIEW AND ADMINISTRATIVE MODIFICATION

5-LEVEL PARKING STRUCTURE



Culver
CITY

Source: CDD/PLANNING DIVISION
Map Created: 10/04/2012
Meeting Date: OCTOBER 29, 2012

8550 HIGUERA STREET

SPR P-2012134 AND AM
P-2012133



THE CITY OF
CULVER CITY



INFORMATION TECHNOLOGY DEPARTMENT
GEOGRAPHIC INFORMATION SYSTEMS
9770 CULVER BLVD
CULVER CITY, CA 90232
TEL: 310-253-5976

Scale: 1:3,397



0 141.52 283.0 Feet

ATTACHMENT NO. 3

LAND USE

- OFFICE
- WAREHOUSE
- MANUFACTURING
- STUDIO/MEDIA PRODUCTION
- SCHOOL
- EVENT CENTER
- WHOLESALE
- PUBLIC STORAGE
- FITNESS/ HEALTHCLUB/ STUDIO
- RESTAURANT
- RETAIL
- PRINTING/ PUBLISHING
- PARKING LOT



0 55 110 220 330 440
Feet

1 inch = 276 feet

 HAYDEN TRACT



ATTACHMENT NO. 4

RESOLUTION NO. 2012-P014

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CULVER CITY, CALIFORNIA, APPROVING SITE PLAN REVIEW, SPR P-2012134 AND ADMINISTRATIVE MODIFICATION, AM P-2012133; FOR A 5-LEVEL 556 SPACE PARKING STRUCTURE AND AN ADMINISTRATIVE MODIFICATION FOR REDUCED DRIVE AISLE WIDTHS AT 8550 HIGUERA STREET IN THE INDUSTRIAL GENERAL (IG) ZONE.

(Site Plan Review, SPR P-2012134)
(Administrative Modification, AM P-2012133)

WHEREAS, on September 20, 2012, Hackman Capital Partners (the "Applicant") filed Site Plan Review and Administrative Modification applications to construct a five-level, 43-foot high, parking structure with approximately 556 parking spaces. The project site is described more fully as Lot 4 of Tract No 32560, in the City of Culver City, County of Los Angeles, State of California; and,

WHEREAS, in order to implement the proposed project, approval of the following applications are required:

1. Site Plan Review: To ensure compliance with the required standards and City ordinances and establish all onsite and offsite conditions of approval to reflect the site features and compatibility of the proposed project with the uses on adjoining properties; and,

2. Administrative Modification: For the reduction of parking drive aisle widths.

WHEREAS, on October 29, 2012, after conducting a duly noticed public hearing on the subject applications, including full consideration of the application, plans, staff report, environmental information and all testimony presented, the Planning Commission (i) by a vote of __to __, adopted a Categorical Exemption, in accordance with the California Environmental Quality Act (CEQA), finding the Project is a Class 32 In-Fill exemption and will not result in significant adverse environmental impacts; and (ii) by a vote of __to __,

1 conditionally approved Site Plan Review, SPR P-2012134 and Administrative Modification,
2 AM P-2012133 as set forth herein below.

3
4 NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF CULVER
5 CITY, CALIFORNIA, RESOLVES AS FOLLOWS:

6 SECTION 1. Pursuant to the foregoing recitations and the provisions of Culver City
7 Municipal Code (CCMC), the following findings are hereby made:

8 **Site Plan Review:**

9 As outlined in CCMC Title 17, Section 17.540.020, the following required findings for a Site
10 Plan Review are hereby made:

11 **A. The general layout of the project, including orientation and location of buildings,**
12 **open space, vehicular and pedestrian access and circulation, parking and**
13 **loading facilities, building setbacks and heights, and other improvements on the**
14 **site, is consistent with the purpose and intent of this Chapter, the requirements**
15 **of the zoning district in which the site is located, and with all applicable**
16 **development standards and design guidelines.**

17 The general layout of the project is consistent with the Industrial General (IG) zoning
18 district in which the site is located. The proposed project conforms to all applicable
19 provisions of the Zoning Code. The parking structure provides adequate parking as
20 required by the code for the businesses that it will support as well as providing surplus
21 parking for other uses in the area. The proposed parking structure meets the code
22 requirements for height and building setbacks, and building projections are within code
23 required height limits for architectural projections. Vehicular access to the parking
24 structure is situated off of Higuera Street and within the interior property between on-
25 site surface parking and the parking structure; vehicular access to and from the site is
26 adequate. The parking structure is well designed for pedestrian access directly from
27 the existing building to the structure via a fire lane running parallel between the two
28 buildings. Surrounding Hayden Tract businesses that could make use of the extra
29 parking also have adequate pedestrian access with standard public sidewalks and
crosswalks within the tract. A parking structure elevator and two sets of stair cases
also provide adequate pedestrian access from the parking structure's 5 levels to the
ground floor.

26 **B. The architectural design of the structure and the materials and colors are**
27 **compatible with the scale and character of surrounding development and other**
28 **improvements on the site and are consistent with the purpose and intent of this**
29 **Chapter, the requirements of the zoning district in which the site is located, and**
with all applicable development standards and design guidelines.

1 The parking structure will be designed with a common architectural theme that is
2 reflected in the three buildings that it will serve as part of the Hayden+Higuera office
3 campus. This includes treating concrete wall segments of the parking structure at the
4 pedestrian street level facing the street with a blue color similar to the accents that will
5 be applied to these other buildings. The first two parking levels along the east side
6 facing the project's building and fire lane will be treated with metal screens. The upper
7 levels along the side and all levels at the rear of the structure facing the creek will
8 contain large openings between columns typical of parking structure design for natural
9 air ventilation. The design at the street frontage will include a metal mesh and metal
10 art panels that screen and articulate the façade as the required project Art Fund
11 contribution. The parking structure mass and scale is compatible with the abutting
12 two-story buildings and conforms to the 43 foot height limit in the IG Zone and meets
13 all applicable development standards and design guidelines.

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- C. The landscaping, including the location, type, size, color, texture, and coverage of plant materials, provisions for irrigation, and protection of landscape elements has been designed to create visual relief, complement structures, and provide an attractive environment and is consistent with the purpose and intent of this Chapter, the requirements of the zoning district in which the site is located, and with all applicable development standards and design guidelines.**

The proposed landscaping meets all Zoning Code requirements and provides a visual relief that also acts to compliment the on-site office building that is covered in clinging vines. Shrubs and bushes along with full growth deep root trees that will either be preserved or planted along property line and building wall edges will provide a visual aesthetic that lessens the sense of bulk of the parking structure. Further the enhanced landscaping of trees and shrubs at the street frontage with extensive planted areas along the surface parking area facing the street will give the project a sense of depth that minimizes the massing along the street frontage. The fire lane separating the Site's building and the parking structure will also include landscaping. The surface parking area's landscaping after revisions and replanting will be in conformance with Zoning Code requirements for landscaping.

- D. The design and layout of the proposed project will not interfere with the use and enjoyment of neighboring existing or future development, will not result in vehicular or pedestrian hazards, and will be in the best interest of the public health, safety, and general welfare.**

The project site is located in the Industrial General (IG) Zone and is within an area consisting of light industrial, office, and film and creative design production uses. Although there are industrial uses in the areas surrounding the project site, there is a trend in the area to convert traditional industrial uses to light industrial, media production, creative office, design, school, and art and photo studio uses. The proposed parking structure will assist in that land use transformation by offering

1 parking for its own creative office design and film production related uses and further
2 providing extra parking spaces for other surrounding businesses that currently may be
3 deficient in parking. This project will compliment instead of interfering with surrounding
4 developments. Such a commercial serving resource will enhance the area and
5 encourage further revitalization of the area rather than limit the use or future
6 development of surrounding areas. Both vehicular and pedestrian access will be
7 adequate and overall the project will be in the best interest of the public health, safety,
8 and general welfare.

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- E. The existing or proposed public facilities necessary to accommodate the proposed project (e.g., fire protection devices, parkways, public utilities, sewers, sidewalks, storm drains, street lights, traffic control devices, and the width and pavement of adjoining streets and alleys) will be available to serve the subject site.**

The existing and proposed public service facilities necessary to accommodate the project such as: the width and pavement of the adjoining streets, traffic control devices, sewers, storm drains, sidewalks, street lights, proposed street trees, fire protection devices, and public utilities are provided for adequately as confirmed by the City agencies that reviewed the project during the interdepartmental review process.

- F. The proposed project is consistent with the General Plan and any applicable specific plan.**

The site has a General Plan Land Use designation of Industrial and its zoning, Industrial General (IG), is consistent with the General Plan Land Use designation. The proposed project will be compatible with surrounding office, light/clean industrial, and school uses and will provide a resource to the nearby Hayden Tract community by adding parking spaces for businesses that may be deficient in parking. Such a commercial serving resource is encouraged in the Industrial description of the Land Use Element. The project as proposed is consistent with the General Plan and the Zoning Code.

Administrative Modification:

As outlined in CCMC Title 17, Section 17.550.020, the following required findings for an Administrative Modification are hereby made:

- A. The strict application of the applicable development standards creates an unnecessary, involuntary created hardship or unreasonable regulation which makes it obviously impractical to require compliance with the development standards.**

The strict application of the applicable development standard for drive aisle widths would create an involuntarily-caused hardship due to the combination of existing site layout constraints including the existing 8550 Higuera Street building, a required fire

lane, and existing footings from the adjoining building to the east. The applicant is requesting an Administrative Modification to reduce the width of required parking structure drive aisles by 12 inches for a revised parking aisle width of 26 feet or a 3.7% reduction from the 27 foot code standard. The Administrative Modification process allows up to a 10% reduction. The Modification is needed to accommodate a 21.5 foot wide, at-grade pedestrian walk, landscaping and a required fire lane to be located between the proposed parking structure and the existing building. Additionally, existing subsurface encroachment of foundation footings of the adjacent building to the east of the project site requires the structure to sit slightly off the property line further constricting the ability of the parking structure to provide full drive aisle widths.

B. Approval of the Administrative Modification would not be detrimental to the public health, interest, safety, or general welfare and would not be detrimental or injurious to property or improvements in the vicinity and in the same zoning district.

Approval of the Administrative Modification would not be detrimental to the public health, interest, safety, or general welfare and would not be detrimental or injurious to property or improvements in the surrounding Hayden Tract district. The revised parking aisle width of 26 feet or a 3.7% reduction from the 27 foot code standard will provide a backup space and stall lengths that are sufficient in providing adequate maneuvering. The modification will not have a direct impact on the neighboring properties because the parking spaces will be located on-site. Approval of the proposed modification will not prevent development or limit the use of neighboring properties.

C. The project is consistent with the General Plan and complies with all other applicable provision of this title.

The project is consistent with the General Plan Industrial Land Use designation and will encourage creative office uses in the Hayden Tract through supporting the creation of additional parking. The back-up space is sufficient to maneuver into and out of the parking structure. The Zoning Code allows this type of modification and by permitting the reduction in the drive aisle widths the modification will not make the project inconsistent with the General Plan; all of the Site Plan Review required General findings will still be met.

SECTION 2. Pursuant to the foregoing recitations and findings, the Planning Commission of the City of Culver City, California, hereby approves Site Plan Review, SPR P-2012134 and Administrative Modification, AM P-2012133; subject to the conditions of approval set forth in Exhibit A attached hereto and incorporated in herein by this reference.

APPROVED and ADOPTED this 29th day of October 2012.

SCOTT WYANT - CHAIRPERSON
PLANNING COMMISSION
CITY OF CULVER CITY, CALIFORNIA

Attested by:

Yvonne Hunt
Administrative Secretary

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
1.	These Conditions of Approval are being imposed on a 5-Level 556 space Parking Structure (the "Project"), for the property located at 8550 Higuera Street (the "Property").	All	Standard	
2.	A copy of the Resolution approving the Project, and a copy of these Conditions of Approval, shall be printed on the plans submitted as part of any building permit application for the Project.	Planning	Standard	
3.	All building permit applications for the Project shall include sufficient information and detail to clearly reflect compliance with all applicable requirements of the Culver City Municipal Code (the "CCMC") and with these Conditions of Approval.	Planning	Standard	
4.	The land use permit to which these Conditions of Approval apply (the "Land Use Permit") shall expire one year from the date of final approval of said Land Use Permit, if the use has not been exercised. As provided in CCMC Section 15.595.030 –"Time Limits and Extensions", an applicant may request an extension of said expiration date by filing a written request with the Planning Division prior to the expiration of the land use permit.	Planning	Standard	
5.	Pursuant to CCMC Section 17.630.010.C.4 – "Posted Notice", the public notification sign(s) installed in accordance with the public notification requirements for the Land Use Permit shall be removed within ten days after the end of the appeal period or the final decision by the City Council on the Land Use Permit, whichever occurs last.	Planning	Standard	
6.	The Project shall be developed pursuant to CCMC Chapter 17.300 – "General Property Development and Use Standards".	Planning	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
7.	All planted areas on the Property shall be landscaped and irrigated pursuant to CCMC Chapter 17.310 - "Landscaping".	Planning	Standard	
8.	All parking areas on the Property shall be developed pursuant to CCMC Chapter 17.320 - "Off-Street Parking and Loading".	Planning	Standard	
9.	Signs proposed for the Project shall meet all applicable requirements of CCMC Chapter 17.330 - "Signs". All signs require a separate permit and approval.	Planning	Standard	
10.	All permits and licenses required in connection with the development or use of the Project shall be applied for and obtained separately.	All	Standard	
11.	All work within the public right-of-way (including but not limited to curb, gutter, sidewalk, and driveways) shall be designed and completed to the satisfaction of the City Engineer.	Public Works	Standard	
12.	Street trees shall be installed, to the satisfaction of the City Engineer, in conformity with the City's approved Street Tree Master Plan including tree wells and irrigation. All new (and existing) street trees shall be supplied with irrigation water from the overall site irrigation system which shall include a timer and a rain sensor. All new (and existing) street trees, landscaping, and irrigation shall be indicated on the overall site landscaping/ irrigation plan.	Public Works	Standard	
13.	Drainage devices, concrete curbs and gutters, sidewalks, drive approaches, and roadway pavement shall be designed in conformity with all provisions of the latest edition of the American Public Works Association Standard Plans ("APWA Standards").	Public Works	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
14.	At the sole cost and expense of the Property Owner, any broken or damaged curbs, gutters, sidewalks, and street pavement resulting from construction of the Project shall be repaired and reconstructed in conformity with APWA Standards.	Public Works	Standard	
15.	Trash enclosures shall be provided and shall each have a minimum inside dimension of 10 feet x 12 feet, a gated opening that is at least 8 feet wide, and a 6 inch high by 6 inch wide concrete curb along the inside perimeter wall. Each enclosure shall also have at least a 6 inch thick concrete slab that drains at a one percent gradient out of the enclosure. Final approval for the size, location, and type of equipment needed for the adequate storage and disposal of all solid and recyclable waste generated by the Project shall be obtained from the City's Environmental Programs and Operations Manager. A fire suppression sprinkler system shall be provided within any covered trash enclosure area as required by the Fire Marshal. All refuse containers assigned to or otherwise used by the Project shall be stored on-site in the trash enclosures.	Public Works/ Fire/ Planning	Standard	
16.	All Project related solid and recyclable waste material handling shall be in accordance with CCMC Section 5.01.010 – "Solid Waste Management", which outlines the Sanitation Division's exclusive franchise for this service.	Public Works	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
17.	All buildings and structures to be constructed as part of the Project shall be designed and constructed in accordance with all applicable regulations and standards of the City's Building Code, Fire Code and any related codes as determined by the Building Official and Fire Marshal; and all other applicable provisions of the CCMC which are adopted and in effect at the time of issuance of a building permit.	Building/ Fire	Standard	
18.	Any new utilities shall be placed underground or enclosed within the building construction; no new overhead utilities shall be permitted.	Building/ Planning	Standard	
19.	The Project shall comply with all applicable requirement of the Culver City Green Building Program as set forth in CCMC Section 15.02.1100, et.seq.	Building	Standard	
20.	The Project shall comply with the all applicable requirements relating to solar photovoltaic requirements as set forth in CCMC Section 15.02.100, et. seq.	Building	Standard	
21.	Changes to the Project or use approved as part of the Land Use Permit may only be made in accordance with the provisions of CCMC Section 17.595.035 – "Changes to an Approved Project".	Planning	Standard	
22.	All surface parking on the Property shall be restriped and all new surface parking spaces shall comply with current Zoning Code requirements. A parking lot striping plan shall be provided with the Building Permit plans.	Planning	Special	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
23.	All existing driveway approaches proposed for closure shall be reconstructed into full width sidewalks and landscaped parkways per Standards Plans for Public Works Construction (APWA). a. All new driveway approaches shall be reconstructed per the City's Standard High Speed Drive Approach detail. b. The existing drive approach on Hayden Place shall be reconstructed and the new drive approach shall be ADA compliant. c. The existing curb ramp located at the southwest corner of Hayden Place and Higuera Street shall be reconstructed to ADA Compliance and per Standards Plans for Public Works Construction (APWA). d. All non-ADA compliant sidewalks along the property frontage shall be reconstructed per Standards Plans for Public Works Construction (APWA) and all sidewalk areas shall be identified on the construction drawings. e. Off-site landscape plans shall be submitted to Engineering Division for separate review and permitting and reflect the following: i. One street tree shall be planted where the existing drive approach on Higuera Street is to be removed. ii. All street trees along the property frontage shall be maintained in place except where such trees need to be removed due to the new drive approach or other improvements. f. The onsite drainage system shall be designed to the satisfaction of the City Engineer. Other drainage requirements may be set during the review of the construction drawings. g. All concrete used in the public right-of-way shall have a minimum strength of 3,250 psi	Public Works	Special	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
24.	A covenant and agreement, on a form provided by the Planning Division and in form and substance acceptable to the City Attorney, acknowledging and agreeing to comply with all terms and conditions established herein, shall be signed by the Property Owner and recorded in the County Recorder's Office. The covenant and agreement shall run with the land and shall be binding on any subsequent owners, and tenants or occupants of the Property. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Planning Division.	Planning/ City Attorney	Standard	
25.	The Applicant and Property Owner shall indemnify and agree to defend (at the Applicant's and Property Owner's sole expense, with legal counsel approved by the City) and hold harmless the City, and its elected and appointed officials, officers, employees, agents, contractors and consultants from and against any and all loss, damages, injuries, costs, expenses, liabilities, claims, demands, lawsuits, attorneys' fees and judgments, arising from or in any manner connected to any third party challenge to the City's approval of the Project. The obligations required by this Condition shall be set forth in a written instrument in form and substance acceptable to the City Attorney and signed by the Applicant and the Property Owner.	City Attorney	Standard	
26.	A minimum of three sets of final landscaping and irrigation plans (separate from the plans submitted for the building permit) shall be submitted to the Planning Division for review and approval.	Planning/ Parks & Rec.	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
27.	A Construction Management Plan prepared by the construction contractor, which identifies the areas of construction staging, temporary power, portable toilet, and trash and material storage locations, shall be submitted to and approved by the Building Official. Prior to commencement of work the construction contractor shall advise the Public Works Inspector and the Building Inspector ("Inspectors") of the construction schedule and shall meet with the Inspectors.	Building/ Public Works	Standard	
28.	A Pedestrian Protection Plan shall be submitted to and approved by the Building Official. Such plan shall identify all areas of pedestrian protection and indicate the method of pedestrian protection or pedestrian diversion when required. When pedestrian diversion is required, the Pedestrian Protection Plan must also be approved by the Public Works Director.	Building/ Public Works	Standard	
29.	Plans submitted as part of the building permit application shall include a schedule of the special inspections anticipated, the firm proposed for the special inspections, and the resumes of all proposed special inspectors. The Building Official reserves the right to reject any special inspector at any time for the duration of the Project. All special inspection reports shall be made available to the Building Official and to any Culver City Building Safety inspector as required by the Building Official. No work shall be covered without a Culver City Building Safety inspection, whether or not a special inspection was performed on such work.	Building	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
30.	A Construction Traffic Management Plan shall be prepared by a traffic or civil engineer registered in the State of California. The Construction Traffic Management Plan shall be submitted to the City Engineer and Planning Manager for review and approval prior to the issuance of any Project demolition, grading, or excavation permit. The Construction Traffic Management Plan shall also be reviewed and approved by the City's Fire and Police Departments. The City Engineer and Planning Manager reserve the right to reject any engineer at any time and to require that the Plan be prepared by a different engineer. The Construction Traffic Management Plan shall contain, but not be limited to, the following: A. The name and telephone number of a contact person who can be reached 24 hours a day regarding construction traffic complaints or emergency situations. B. An up-to-date list of local police, fire, and emergency response organizations and procedures for the continuous coordination of construction activity, potential delays, and any alerts related to unanticipated road conditions or delays, with local police, fire, and emergency response agencies. Coordination shall include the assessment of any alternative access routes that might be required through the Property, and maps showing access to and within the Property and to adjacent properties. C. Procedures for the training and certification of the flag persons used in implementation of the Construction Traffic Management Plan. D. The location, times, and estimated duration of any roadway closures, traffic detours, use of protective devices, warning signs, and staging or queuing areas. E. The location and travel routes of off-site staging and parking locations.	Planning/ Public Works	Standard	

EXHIBIT A
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Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
31.	Reasonable efforts shall be used to reuse and recycle construction and demolition debris, to use environmentally friendly materials, and to provide energy efficient buildings, equipment and systems. A Demolition Debris Recycling Plan that indicates where select demolition debris is to be sent shall be provided to the Building Official prior to the issuance of a demolition permit. The Plan shall list the material to be recycled and the name, address, and phone number of the facility of organization accepting the materials.	Building	Standard	
32.	A vector/pest control abatement plan prepared by a pest control specialist licensed or certified by the State of California shall be submitted for review and approval by the Planning Manager and the Building Official. Said plan shall outline all steps to be taken prior to the commencement of any demolition or construction activity in order to ensure that any and all pests (including, but not limited to, rodents, bees, ants and mosquitoes) that may populate the Property do not relocate to or impact adjoining properties.	Building/ Planning	Standard	
33.	Prior to issuance of a building permit, notice of the Project construction schedule shall be provided to all abutting property owners and occupants. Evidence of such notification shall be provided to the Building Division. The notice shall identify the commencement date and proposed timing for all construction phases (demolition, grading, excavation/shoring, foundation, rough frame, plumbing, roofing, mechanical and electrical, and exterior finish).	Building	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
34.	During all phases of construction, a "Construction Rules Sign" that includes contact names and telephone numbers of the Applicant, Property Owner, construction contractor(s), and the City, shall be posted on the Property in a location that is visible to the public. These names and telephone numbers shall also be made available to adjacent property owners and occupants to the satisfaction of the Planning Manager and Building Official.	Building/ Planning	Standard	
35.	The Property shall be maintained daily so that it is free of trash and litter.	Building	Standard	
36.	During construction, dust shall be controlled by regular watering or other methods as determined by the Building inspector.	Building	Standard	
37.	The Building Division may apply administrative assessments and/ or post general stop work notices for any violations of the Conditions of Approval for the Project, and any violations of the CCMC.	Building	Standard	
38.	During all phases of construction, best efforts shall be used to ensure that all construction workers, contractors and others involved with the Project park on the Property or at designated offsite locations approved by the City, and not in the surrounding neighborhood.	Building	Standard	
39.	When foundation shoring and/or foundation piles will be part of the Project, the engineer of record shall use noise dampening measures such as the drilling of shoring supports and piles as determined by the Building Official and Planning Manager.	Building/ Planning	Standard	
40.	The final landscape plan shall include an arborist report which shall identify which existing trees to be removed because of the parking structure, are suitable for relocation to the existing and new landscape areas in the surface parking lot. If it is determined that any of the existing trees cannot be relocated then new replacement trees shall be planted in those existing and new landscape areas as determined feasible by the Parks Manager and the Planning Manager.	Planning Parks	Special	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
41.	Prior to the commencement of any excavation, a temporary construction fence shall be installed around the site. The height and fence material is subject to approval by the City Engineer and the Planning Manager.	Building/ Planning/ Public Works	Standard	
42.	Hours of construction shall be limited to the following: 8:00 AM to 8:00 PM Monday through Friday; 9:00 AM to 7:00 PM Saturday; and 10:00 AM to 7:00 PM Sunday and National holidays. Dirt hauling and construction material deliveries or removal are prohibited during the morning (7:00 AM to 9:00 AM) and afternoon (4:00 PM to 6:00 PM) peak traffic periods. All construction workers shall be respectful of the surrounding neighborhood and keep non-construction related noise to a minimum prior to, during, and after permissible construction hours.	Building/ Public Works	Standard	
43.	All staging and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The Property Owner must obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.	Building/ Public Works	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
44.	Compliance with the following noise standards shall be required with at all times: A. No construction equipment shall be operated without an exhaust muffler, and all such equipment shall have mufflers and sound control devices (i.e., intake silencers and noise shrouds) that are no less effective than those provided on the original equipment; B. All construction equipment shall be properly maintained to minimize noise emissions; C. If any construction vehicles are serviced at a location onsite, the vehicle(s) shall be setback from any street and other property lines so as to maintain the greatest distance from the public right-of-way and from Noise Sensitive Receptors; D. Noise impacts from stationary sources (i.e., mechanical equipment, ventilators, and air conditioning units) shall be minimized by proper selection of equipment and the installation of acoustical shielding as approved by the Planning Manager and the Building Official in order to comply with the City's Noise Regulations and Standards as set forth in CCMC Chapter 9.07; and E. Stationary source equipment (i.e., compressors) shall be located so as to maintain the greatest distance from the public right-of-way and from Noise Sensitive Receptors.	Building/ Planning	Standard	

EXHIBIT A
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Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
45.	In the event three citations are issued in connection with the Project for violations of these Conditions of Approval or for other violations of the CCMC, Project construction shall be stopped until such time that it is determined to the satisfaction of the Community Development Director, that causes of such violations have been eliminated or corrected and that the Project will be able to proceed in full compliance with these Conditions of Approval and the CCMC.	Building/ Planning	Standard	
46.	Flag persons with certified training shall be provided for work site traffic control to minimize impacts to traffic flow and to ensure the safe movement of vehicles into and out of the Property.	Building/ Public Works	Standard	
47.	During construction, trucks and other vehicles in loading and unloading queues must be parked with their engines off to reduce vehicle emissions. Construction deliveries shall be phased and scheduled to avoid emissions peaks as determined by the Building Official and discontinued during second-stage smog alerts.	Building	Standard	
48.	Construction vehicles shall not be permitted to stage or queue where they would interfere with vehicular and pedestrian traffic or block access to adjacent properties. Off-site staging shall be at locations approved by the City Engineer and shall be of sufficient length to accommodate large trucks without being unduly disruptive to traffic operations. The drivers of these trucks shall be in radio or phone communication with on-site personnel who shall advise the drivers when to proceed from the staging location to the Property. Construction-related vehicles shall not be permitted to park on public streets.	Building/ Public Works	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
49.	An Archaeologist and Paleontologist professional approved by the City shall monitor all phases of excavation for the project site in order to identify and recover where feasible, the presence of archaeological and/or paleontological resources. Should such resources be identified established Federal and State rules and guidelines for the cataloging and final disposition of such resources shall be applied and followed. This shall include but not be limited to halting of construction activities in the work area where the resources are identified, notifying the Los Angeles County Coroner and the appropriate Native American organization of such resources, and notifying the Los Angeles County Natural History and Page museums. Final disposition of Native American remains shall follow Federal and State rules and guidelines for such remains. Identified paleontological resources shall be donated to the Los Angeles County Natural History/Page museums or some other museum as deemed appropriate by the Paleontologist. A final report or reports cataloging all findings shall be submitted to the City by the Archaeologist and/or Paleontologist professional within one year of issuance of the Certificate of Occupancy.	Planning	Special	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION				
50.	All provisions, and requirements set forth in these Conditions of Approval, in the Resolution approving the project, in the CCMC, or in any applicable written comments as provided by City representatives on October 11, 2012 at the Project Review Committee meeting on the Land Use Permit application, shall be fulfilled and satisfied to the satisfaction of all City departments before the use may be established or the Project occupied.	All	Standard	
51.	All requirements of the City's Art in Public Places Program, as set forth in CCMC Section 15.06.100, et. seq., shall be fully satisfied prior to the issuance of a certificate of occupancy; provided, that if such requirements will be satisfied by the payment of the public art in-lieu fee, the same shall be paid prior to the issuance of a building permit.	Cultural Affairs	Standard	
52.	All onsite and offsite improvements and all conditions of approval except those which are deferred pursuant to a bond or letter of credit as determined and approved by the Building Official, Fire Marshal, Planning Manager, and/or City Engineer shall be completed prior to issuance of any certificate of occupancy. Prior to issuance of any certificate of occupancy the following shall be provided to and approved by the City: A. Five full sets of as-built plans that shall include at a minimum the site plan, grading and utility plan, landscape and irrigation plan, floor plan for each level of the Project, parking structure plan, roof plan with all mechanical equipment identified as to purpose and source and all offsite improvements; and B. One set of as-built plans as described above in a digital format compatible with the City's computer system.	All	Standard	

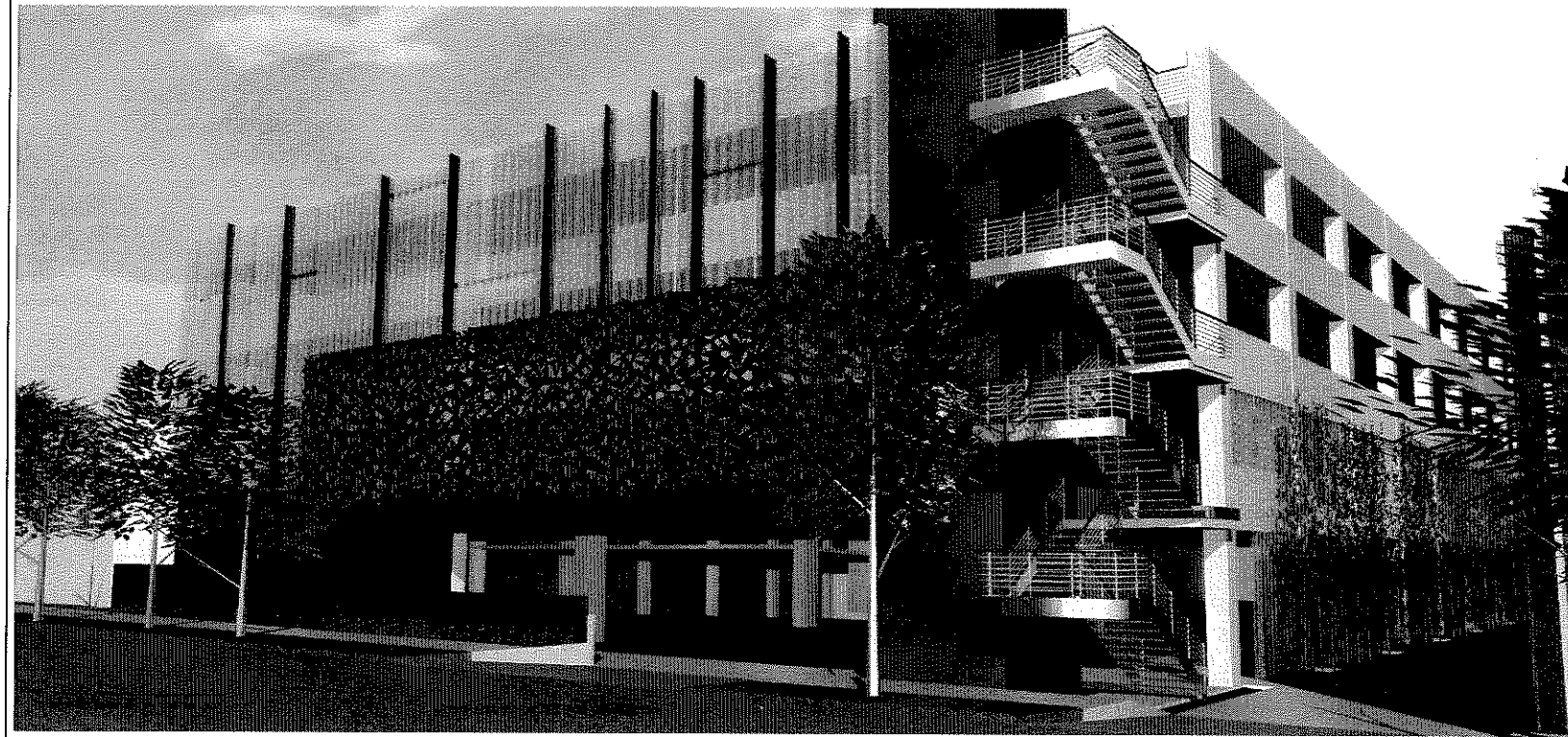
EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
ON-GOING				
53.	The use and development of the Property shall be in substantial conformance with the plans and materials submitted with the application for the Land Use Permit as reviewed by the Planning Commission at its meeting on October 29, 2012 , excepted as modified by these Conditions of Approval.	Planning	Standard	
54.	Pursuant to CCMC Section 17.650.020 - "Inspection", the Property Owner and Applicant shall allow authorized City officials, or their designees, access to the Property where there is reasonable cause to believe the Property is not in compliance with these Conditions of Approval or other requirements of the CCMC.	All	Standard	
55.	The use and development of the Property shall comply with these Conditions of Approval and all applicable local, special district or authority, county, state and federal statutes, codes, standards, and regulations including, but not limited to, Building Division, Fire Department, Planning Division and Public Works Department requirements, and shall comply with all applicable CCMC requirements and all comments made during the City's building permit plan check review process. Failure to comply with said Conditions, statutes, codes, standards, and regulations may result in reconstruction work, demolition, stop work orders, withholding of certificate of occupancy, revocation of land use permit approval and/or any other lawful action the City might deem reasonable and appropriate to bring about compliance.	All	Standard	
56.	All graffiti shall be removed from the Property within 48 hours of its application.	Building/ Planning/ Public Works	Standard	
57.	The Property Owner shall maintain all street trees along the property frontage at his/her sole cost and expense.	Public Works	Standard	

EXHIBIT A
RESOLUTION NO. 2012-P014
Case No: SPR P-2012134 & AM P-2012133

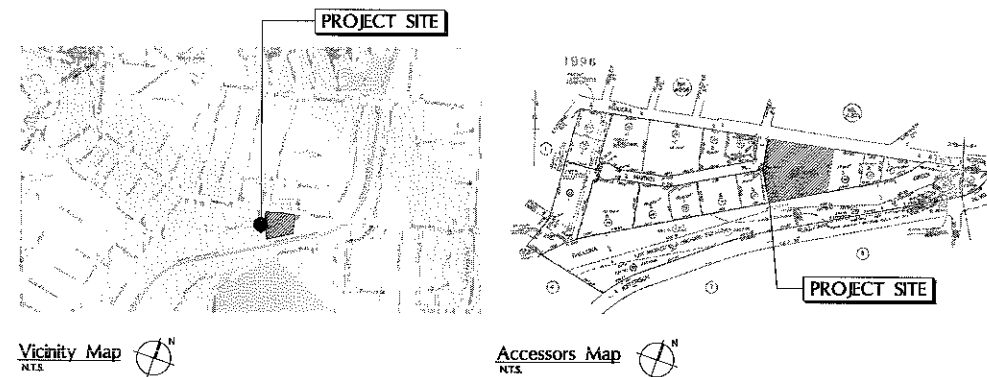
NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
ON-GOING				
58.	All mitigation measures set forth in any environmental document relating to the Project (including any reports of the type contemplated by the California Environmental Quality Act) shall be completed as specified therein.	Planning	Standard	
59.	The “public parking area” within the parking structure shall be designated with parking signage and separated from the required project parking with gate access or other parking control measures deemed acceptable by the Director.	Planning	Special	
60.	The “public parking area” shall be made accessible for public parking purposes pursuant to any parking lease agreements or City agreements that may be executed for the use of such public parking.	Planning	Special	

8550 Higuera St.
CULVER CITY, CA 90232



RECEIVED
OCT 18 2012
Culver City
Planning Division

Hackman Capital Partners, LLC
8550 Higuera St. Garage
Culver City, CA 90232



TRACT NUMBER	32560
LOT NUMBER	4
APN NUMBER	4204-005-011
ZONE	IG - INDUSTRIAL GENERAL

BUILDING CONSTRUCTION: TYPE UB
OCCUPANCY: S-2
BUILDING HEIGHT: 43'-0"
NUMBER OF STORIES: 4 STORY (5 TIER) PARKING STRUCTURE

SITE AREA:	145,490 SF
OFFICE FOOTPRINT AREA:	21,972 SF
GARAGE FOOTPRINT AREA:	36,447 SF

BUILDING CONSTRUCTION: TYPE IIB, SPRINKLERED

PARKING STRUCTURE TO COMPLY FULLY WITH STATE TITLE 24
ACCESSIBILITY REQUIREMENTS.

TOTAL SQ. FOOTAGE OF GROSS FLOOR AREA OF NEW 556 CAR GARAGE
CLIVER CITY MUNICIPAL CODE TABLE 3-36 = PROVIDE 1 SPACE PER 350 SQFT
PARKING SPACES REQUIRED FOR 8600 HAYDEN BLDG [3151/350] = 91 PARKING SPACES
PARKING SPACES REQUIRED FOR 8550 HIGUERA BLDG [76,688/350] = 218 PARKING SPACES
PARKING SPACES REQUIRED FOR 3644 EASTHAM [3217/350] = 9 PARKING SPACES
TOTAL REQUIRED PARKING SPACES FOR 3644 EASTHAM, 8550 HIGUERA, AND 8600 HAYDEN BLDGS = 319 PARKING SPACES
PARKING SPACES CURRENTLY PROVIDED ON SITE = 320 PARKING SPACES (INCLUDING 63 TANDOM SPACES)
PARKING SPACES REMOVED DURING CONSTRUCTION OF NEW GARAGE = 150 SPACES
PARKING SPACES ADDED WITH NEW GARAGE = 556 SPACES
HANDICAP SPACES REQ'D FOR GARAGE PER CALIFORNIA BUILDING CODE IN SECTION 12096
TABLE 12B-6 = 12 SPACES (INCLUDING 2 VAN SPACES)
TOTAL SITE PARKING AFTER COMPLETION OF PARKING GARAGE = 726 SPACES

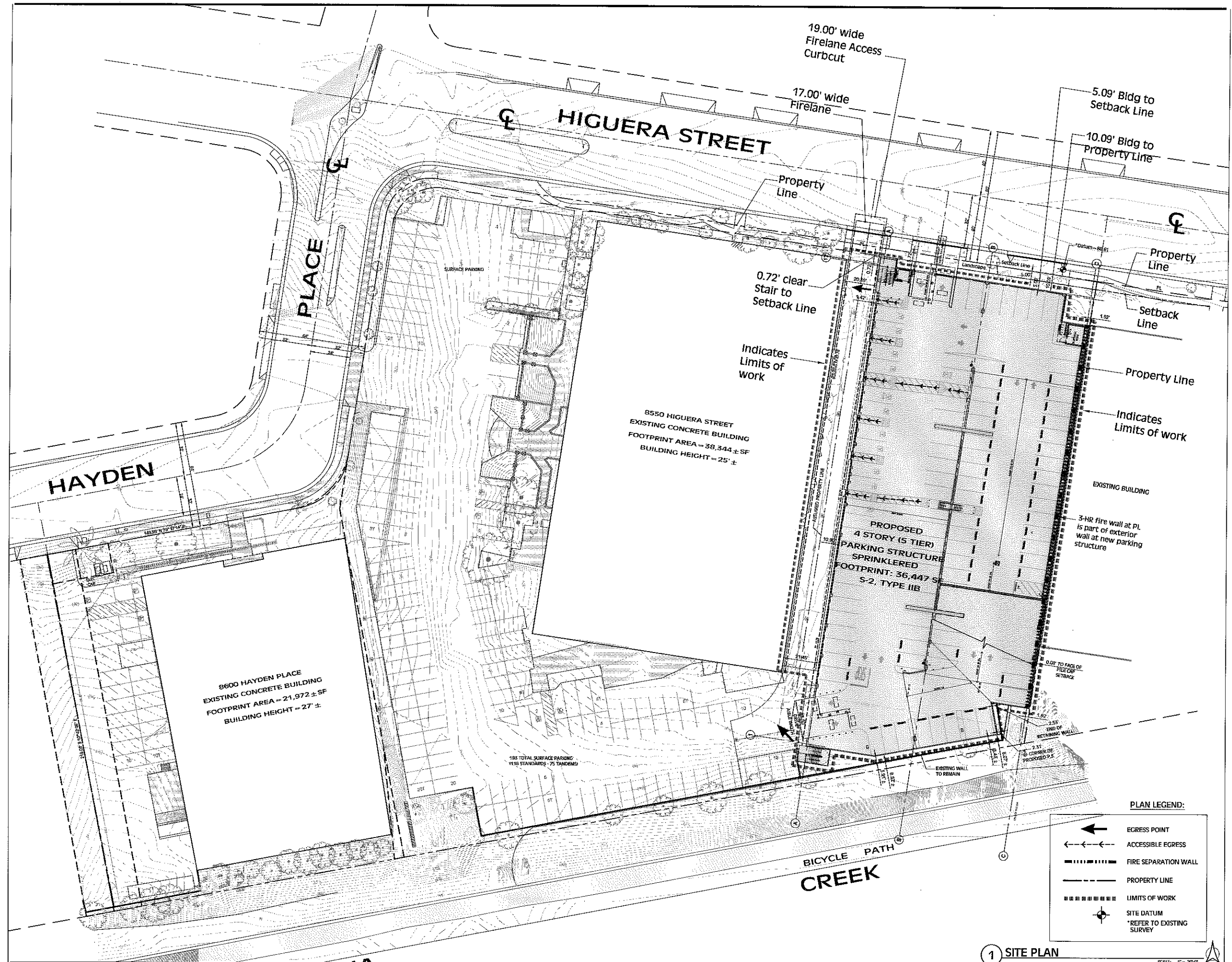
OWNER: HACKMAN CAPITAL PARTNERS, LLC
11111 SANTA MONICA BLVD. SUITE 950
Los Angeles, CA 90025
(310) 473-8900
(310) 473-8827 [fax]
mhacine@hackmancapital.com

- NEW 4 STORY (5 TIER) PARKING STRUCTURE

- 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2010 CALIFORNIA BUILDING CODE
- 2010 CALIFORNIA ENERGY CODE

[illegible]

TITLE SHEET



Hackman
Capital
Higuera Street
Parking
Structure

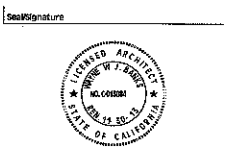
8550 HIGUERA STREET
Culver City, CA

DEVELOPER
**PHILLIE and
SEVERSON
INCORPORATED**

100% HIGUERA STREET, JULY 15
2011, CULVER CITY, CA
BY PHILLIE AND SEVERSON, INC. (PHS-2011-002)

Klorman

PLANNING RESUBMITTAL
10.12.12



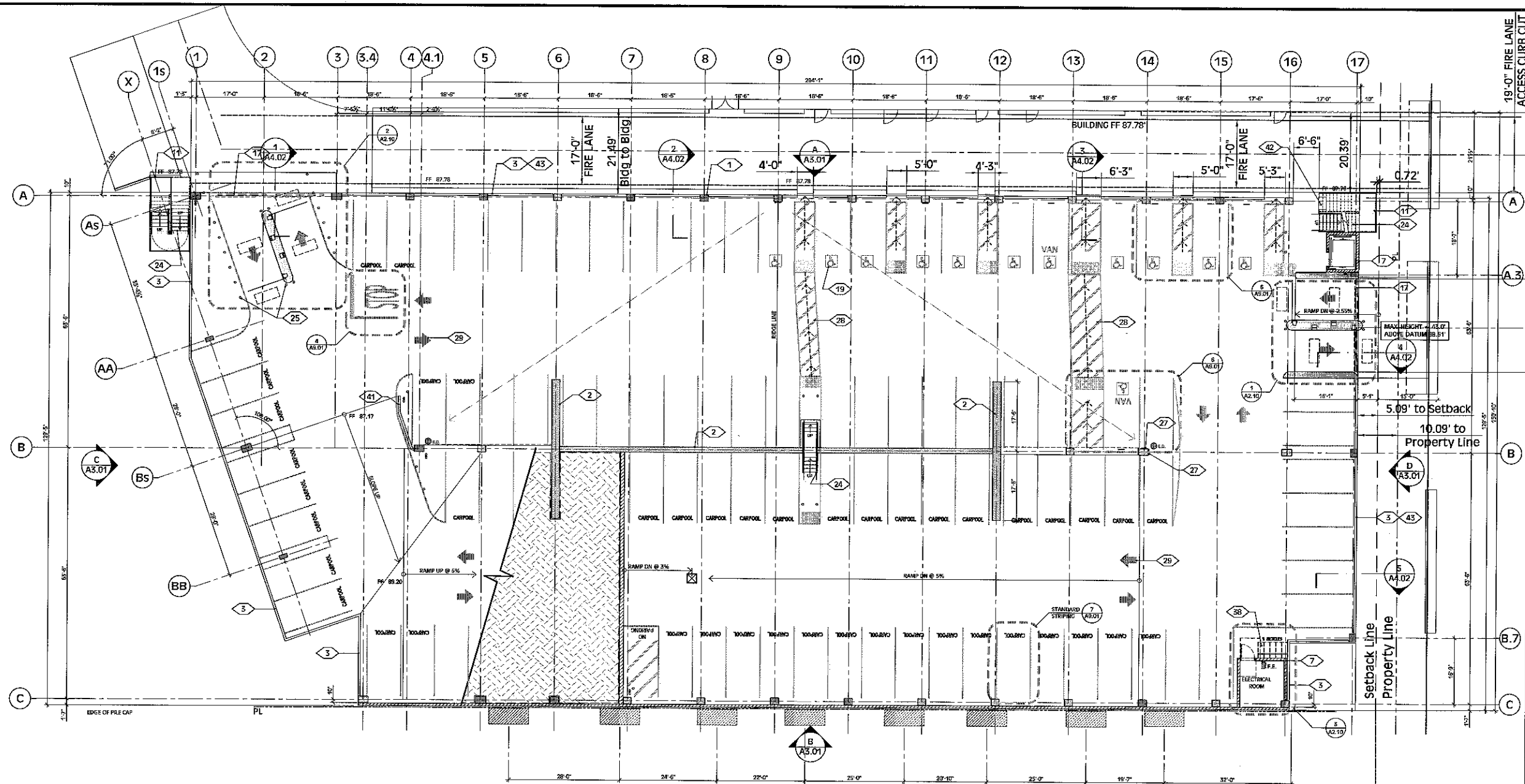
Project Name
Higuera Street Parking Structure

Project Number - HIG Parking, Inc.
2011.100
CAD File Name:
A1.01
Sheet Description:
SITE PLAN

Drawing Scale:
1" = 20'-0"

A1.01

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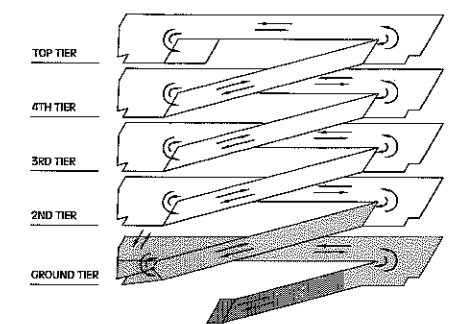


1 TIER 1 FLOOR PLAN

SCALE: 3/32" = 1'-0"

KEY NOTES:

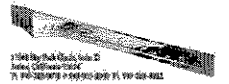
- 1 CONCRETE COLUMNS W/ 3/4" CHAMFER ON ALL CORNERS DETAIL 1/A8.01
- 2 CONCRETE SHEARWALL W/ 3/4" CHAMFER ON ALL CORNERS
- 3 42" HT. CONCRETE SPANDREL W/ 3/4" CHAMFER ON ALL CORNERS
- 7 CMU WALL AT PROPERTY LINE
- 11 42" HEIGHT GUARDRAIL RAILING
- 16 STANDARD STALL STRIPING DETAIL 7/A9.01
- 17 ENTRY /EXIT SIGNS - DETAILS 11/A9.01 AND 19/A9.01
- 18 ACCESSIBLE STALL STRIPING DETAIL 6/A9.01
- 19 ACCESSIBLE PARKING SYMBOL DETAIL 2/A9.01
- 20 ACCESSIBLE STALL SIGN - DETAIL 12/A9.01
- 21 ACCESSIBLE WARNING SIGN DETAIL 13/A9.01
- 24 CONCRETE FILLED METAL PAN STAIR
- 26 FUEL WARNING SIGN - DETAIL 14/A9.01
- 27 5 MPH SIGN - DETAIL 13/A9.01
- 28 WARNING STRIPING - DETAIL 3/A9.01
- 29 DIRECTIONAL ARROWS - DETAIL 9/A9.01
- 38 BIKE RACK
- 39 42" HT. CONCRETE UPTURN BEAM
- 42 PAY ON FOOT STATION
- 43 METAL SCREEN PANELS



**Hackman Capital
Higuera Street
Parking
Structure**

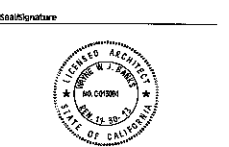
8550 HIGUERA STREET
Culver City, CA

DEVELOPER
**MILLER and
SEYERSON
INCORPORATED**



Klorman

Issue Date & Issue Description
**PLANNING RESUBMITTAL
10.12.12**



Project Name
Higuera Street Parking Structure

Project Number: HIG Parking Str., Inc.
2011.100
Lead File Name:
A2.01
Sheet Description:
TIER 1 FLOOR PLAN

Drawing Scale:
3/32" = 1'-0"

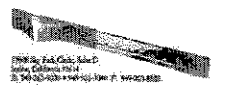
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Culver City, CA

DEVELOPER

CONCLUSIONS



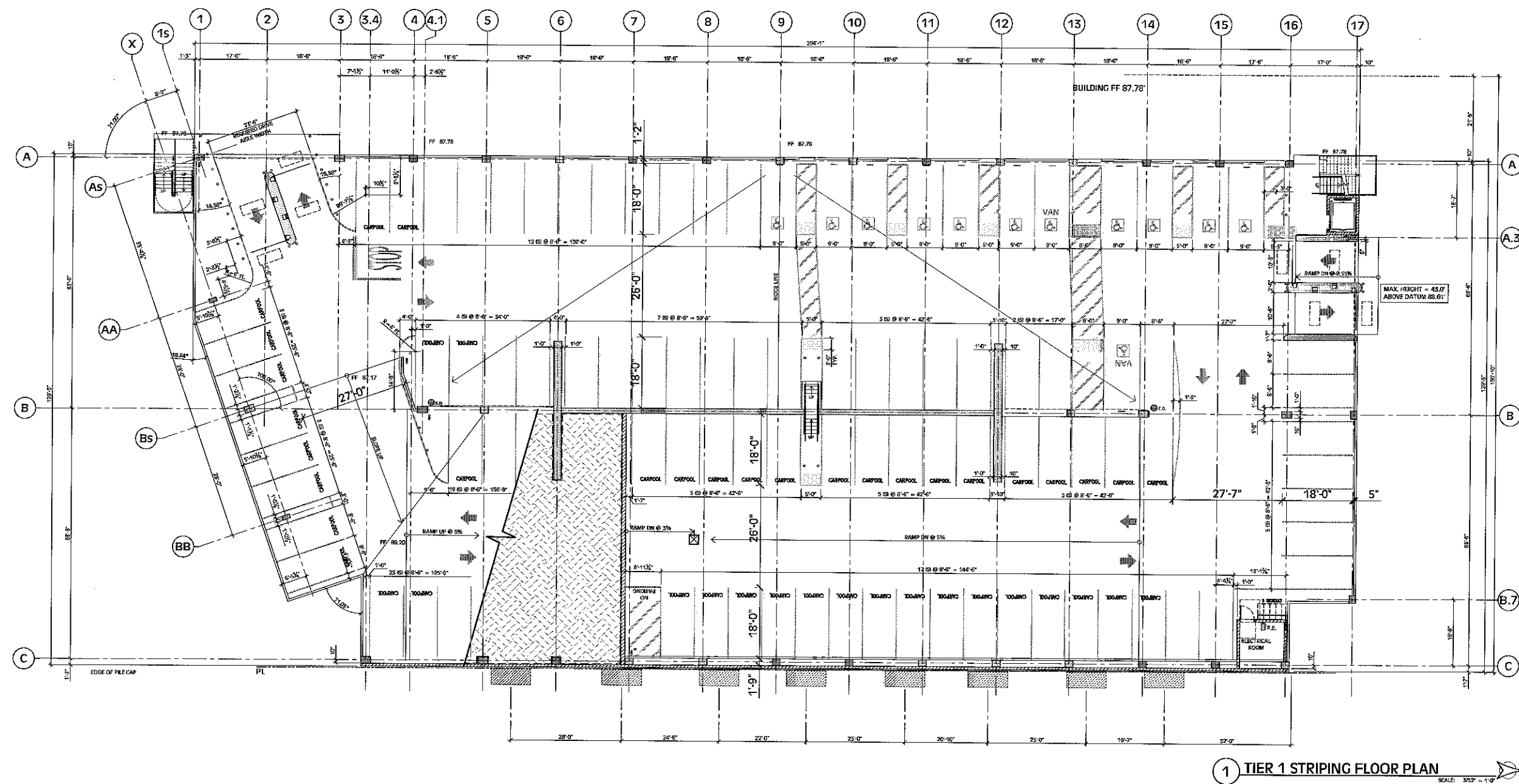
Klozman

PLANNING RESUBMITTAL
10.12.12

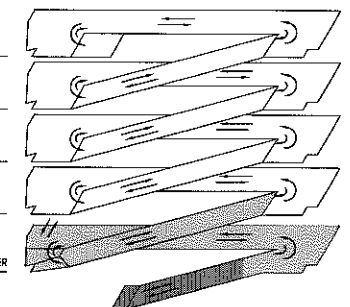
Seal/Signature


$$3/32'' = 1'-0''$$

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GROUND TIE



Hackman
Capital
Higuera Street
Parking
Structure

8550 HIGUERA STREET
Culver City, CA

DEVELOPER

HILLIS and
SEVERSON
INCORPORATED

1994 Bay Area Council
Award, California 1994
#1 in the nation for parking structures

Klorman

Issue Date & Revision Description

PLANNING RESUBMITTAL
10.12.12

Scale/Signature



Project Name
Higuera Street Parking Structure

Project Number - 800 Parkitect, Inc.

2011.100

Lead File Name:

A2.02

Sheet Description:

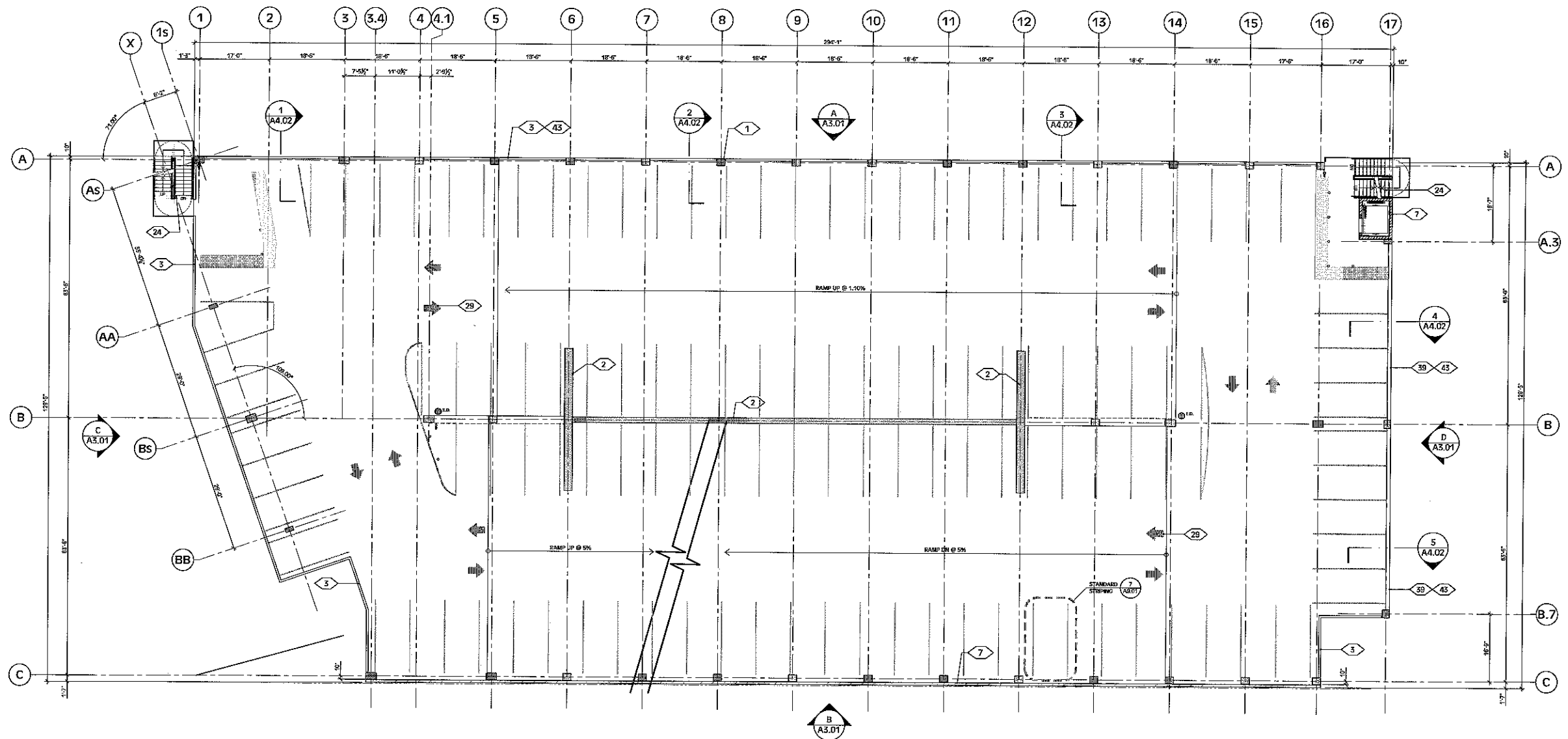
TIER 2 FLOOR PLAN

Drawing Scale:

3/32" = 1'-0"

A2.02

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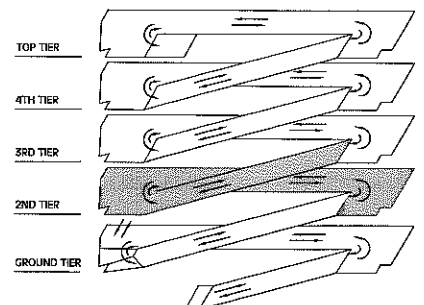


TIER 2 FLOOR PLAN

SCALE: 3/32" = 1'-0"

KEY NOTES:

- | | |
|--|--|
| 1 CONCRETE COLUMNS W/ 3/4" CHAMFER ON ALL CORNERS DETAIL 1/A8.01 | 28 DIRECTIONAL ARROWS - DETAIL 9/A9.01 |
| 2 CONCRETE SHEARWALL W/ 3/4" CHAMFER ON ALL CORNERS | 38 BIKE RACK |
| 3 42" HT. CONCRETE SPANDREL W/ 3/4" CHAMFER ON ALL CORNERS | 39 42" HT. CONCRETE UPTURN BEAM |
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| 16 STANDARD STALL STRIPING DETAIL 7/A9.01 | |
| 17 ENTRY /EXIT SIGNS - DETAILS 11/A9.01 AND 19/A9.01 | |
| 18 ACCESSIBLE STALL STRIPING DETAIL 6/A9.01 | |
| 19 ACCESSIBLE PARKING SYMBOL DETAIL 2/A9.01 | |
| 20 ACCESSIBLE STALL SIGN - DETAIL 12/A9.01 | |
| 21 ACCESSIBLE WARNING SIGN DETAIL 13/A9.01 | |
| 24 CONCRETE FILLED METAL PAN STAIR | |
| 26 FUEL WARNING SIGN - DETAIL 14/A9.01 | |
| 27 5 MPH SIGN - DETAIL 13/A9.01 | |
| 28 WARNING STRIPING - DETAIL 3/A9.01 | |



8550 HIGUERA STREET
Culver City, CA

DEVELOPER

THE NEW YORK
OFFICE OF THE
COMPTROLLER



Kleiman

 Issue	Date & Issue Description
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PLANNING RESUBMITTAL
10.12.12

Seal/Signature _____



Project Number - EDG Periducts, Inc.

CAD File Name:

CAD File Name:

2011.100 - A2.02a

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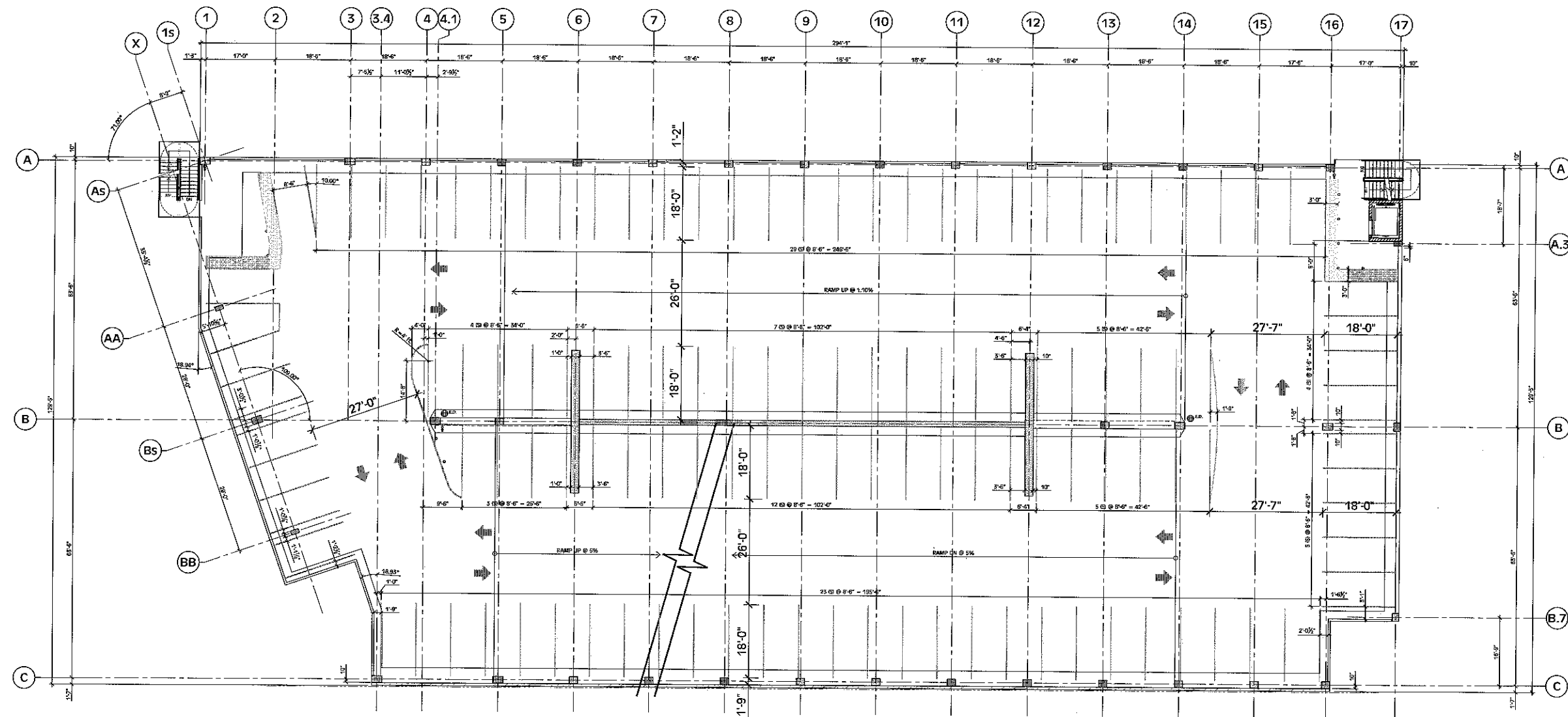
TIER 2 STRIPING FLOOR PLAN

Drawing Scale:

Drawing Scale:

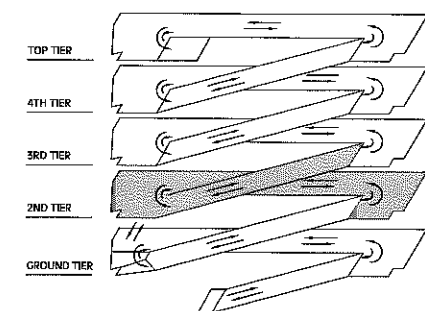
A2.02a

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1 TIER 2 STRIPING FLOOR PLAN

SCALE: 3/32" = 1'-0"



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**MILLS ON
EXPERION
WATERWAY**



Ключи

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10.12.12

Sent/Signature



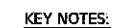
Project Number - EDG Parkitocis, Inc.

CAD File Name: _____
A2.03
Sheet Description: _____
TIER 3 FLOOR PLAN

Drawing Scale:
 $3/32" = 1'-0"$

A2.03

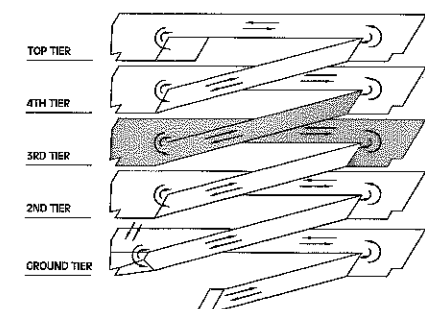
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- | | | | |
|--|---|--|-------------------------------------|
|  1 | CONCRETE COLUMNS W/ $\frac{3}{4}$ " CHAMFER ON ALL CORNERS DETAIL 1/A9.01 |  29 | DIRECTIONAL ARROWS - DETAIL 9/A9.01 |
|  2 | CONCRETE SHEARWALL W/ $\frac{3}{4}$ " CHAMFER ON ALL CORNERS |  38 | BIKE RACK |
|  3 | 42" HT. CONCRETE SPANDREL W/ $\frac{3}{4}$ " CHAMFER ON ALL CORNERS |  39 | 42" HT. CONCRETE UPTURN BEAM |
|  7 | CMU WALL AT PROPERTY LINE |  42 | PAY ON FOOT STATION |
|  11 | 42" HEIGHT GUARDRAIL RAILING |  43 | METAL SCREEN PANELS |
|  16 | STANDARD STALL STRIPING DETAIL 7/A9.01 | | |
|  17 | ENTRY /EXIT SIGNS - DETAILS 11/A9.01 AND 19/ A9.01 | | |
|  18 | ACCESSIBLE STALL STRIPING DETAIL 6/A9.01 | | |
|  19 | ACCESSIBLE PARKING SYMBOL DETAIL 2/A9.01 | | |
|  20 | ACCESSIBLE STALL SIGN - DETAIL 12/A9.01 | | |
|  21 | ACCESSIBLE WARNING SIGN DETAIL 13/A9.01 | | |
|  24 | CONCRETE FILLED METAL PAN STAIR | | |
|  26 | FUEL WARNING SIGN - DETAIL 14/A9.01 | | |
|  27 | 5 MPH SIGN - DETAIL 13/A9.01 | | |
|  28 | WARNING STRIPING - DETAIL 3/A9.01 | | |

1 TIER 3 FLOOR PLAN

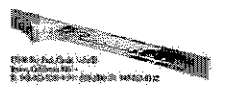
SCALE: 3/32" = 1'-0"



8550 HIGUERA STREET
Culver City, CA

DEVELOPER

THE 2000 ELECTION RECORD



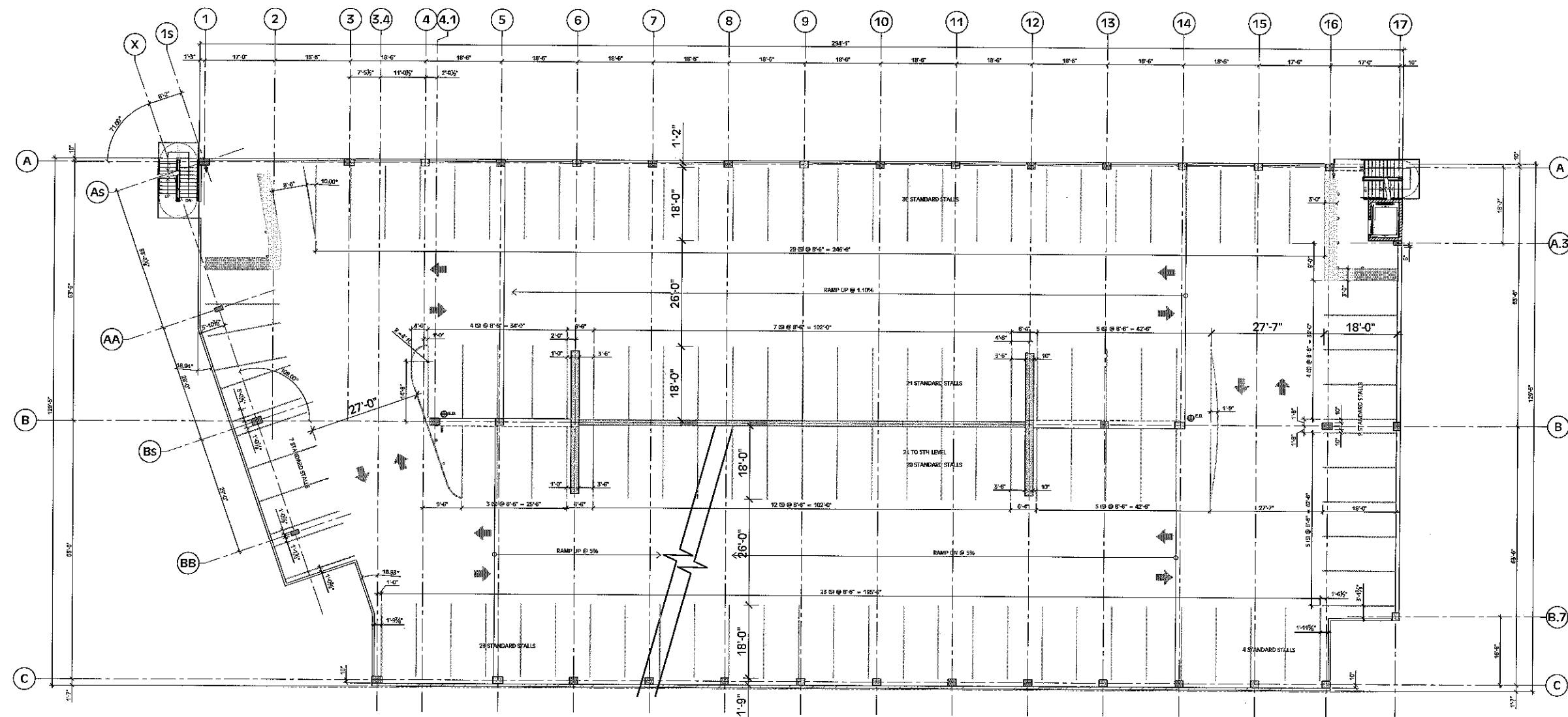
Клужман

PLANNING RESUBMITTAL
10.12.12

Seal/Signature


$$3'32'' = 1'-0''$$

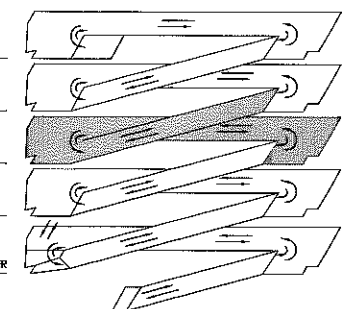
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1 TIER 3 STRIPING FLOOR PLAN

SCALE: $3/32" = 1'-0"$

GROUND TIE



Hackman
Capital
Higuera Street
Parking
Structure

8550 HIGUERA STREET
CULVER CITY, CA

DATE: 10/12/12

KLORMAN
and
ASSOCIATES
INCORPORATED

15000 Riva Road, Suite 100
San Diego, CA 92128
Tel: 619.594.1100 Fax: 619.594.1101

KLORMAN

Issue Date & Issue Description

PLANNING RESUBMITTAL
10.12.12

Signature



Project Name

Higuera Street Parking Structure

Project Number - 800 Parkettes, Inc.

2011.100

Lead File Name

A2.04

Sheet Description

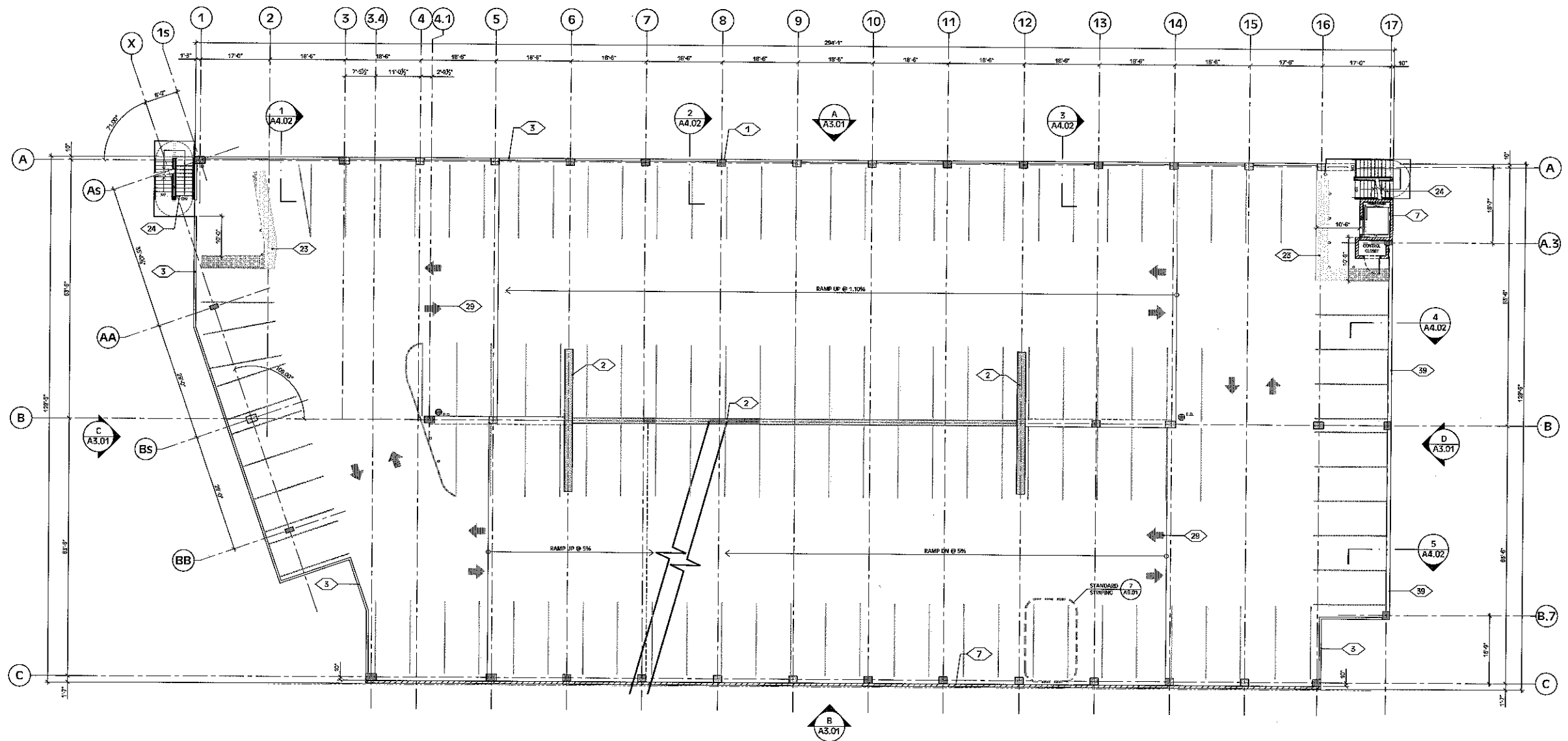
TIER 4 FLOOR PLAN

Drawing Scale

3/32" = 1'-0"

A2.04

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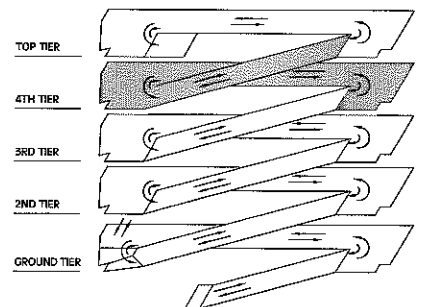


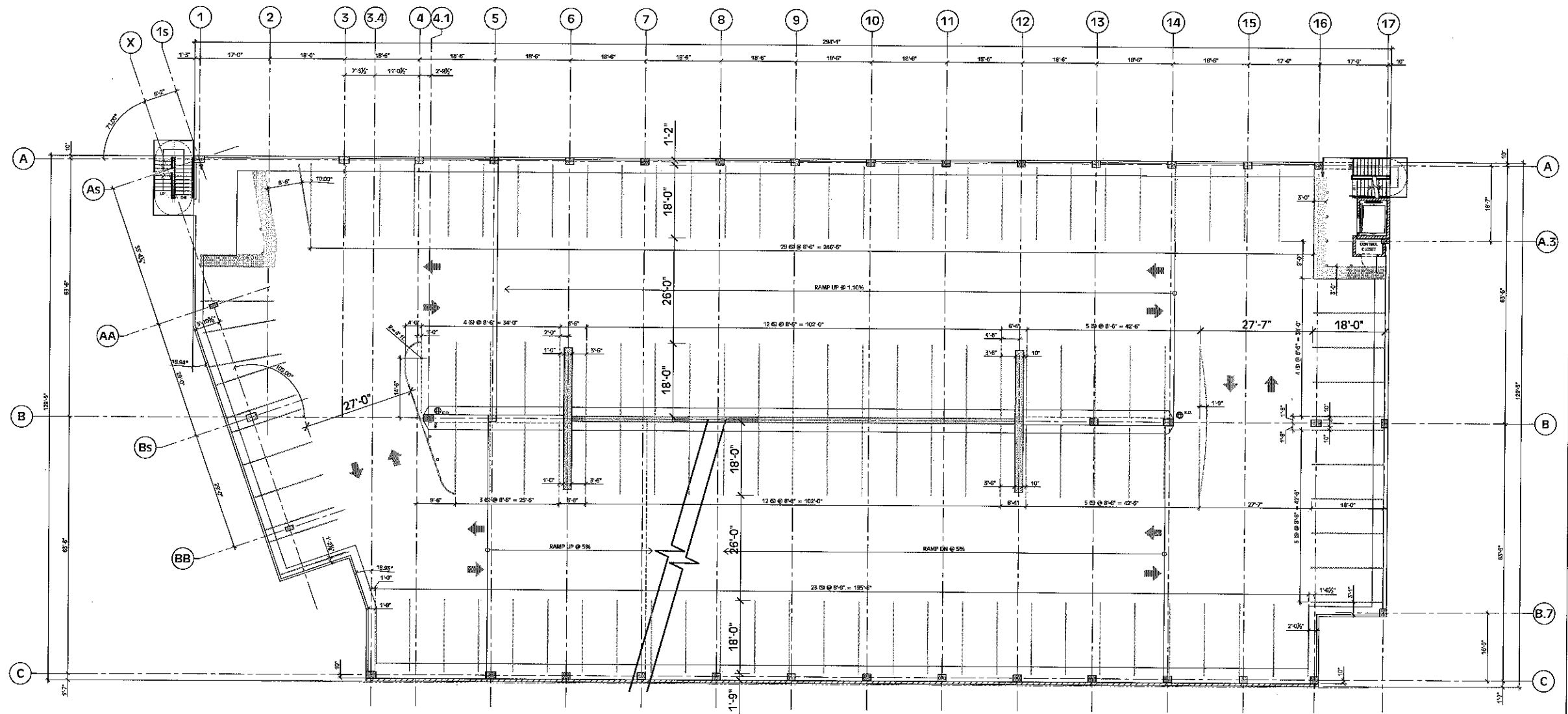
1 TIER 4 FLOOR PLAN

SCALE: 3/32" = 1'-0"

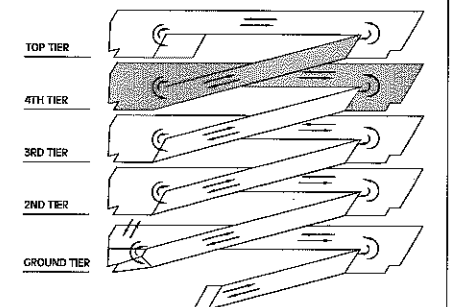
KEY NOTES:

- | | |
|--|--|
| 1 CONCRETE COLUMNS W/ 3/4" CHAMFER ON ALL CORNERS DETAIL 1/A8.01 | 29 DIRECTIONAL ARROWS - DETAIL 9/A9.01 |
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| 16 STANDARD STALL STRIPING DETAIL 7/A9.01 | |
| 17 ENTRY /EXIT SIGNS - DETAILS 11/A9.01 AND 19/A9.01 | |
| 18 ACCESSIBLE STALL STRIPING DETAIL 6/A9.01 | |
| 19 ACCESSIBLE PARKING SYMBOL DETAIL 2/A9.01 | |
| 20 ACCESSIBLE STALL SIGN - DETAIL 12/A9.01 | |
| 21 ACCESSIBLE WARNING SIGN DETAIL 13/A9.01 | |
| 24 CONCRETE FILLED METAL PAN STAIR | |
| 26 FUEL WARNING SIGN - DETAIL 14/A9.01 | |
| 27 5 MPH SIGN - DETAIL 15/A9.01 | |
| 28 WARNING STRIPING - DETAIL 3/A9.01 | |





① TIER 4 STRIPING FLOOR PLAN
SCALE: 3/32" = 1'-0"



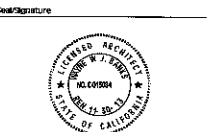
Hackman Capital Higuera Street Parking Structure

8550 HIGUERA STREET
CULVER CITY, CA

DEVELOPER
CLIVE & SEVIERSON
INCORPORATED

ARCHITECT
Klorman

PLANNING RESUBMITTAL
10.12.12



Project Name
Higuera Street Parking Structure

Project Number - HIG Parking, Inc.
2011.100
CAD File Name:
2011.100 - A2.04a
Sheet Description:
TIER 4 STRIPING FLOOR PLAN

Drawing Scale:
3/32" = 1'-0"

A2.04a

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Hackman Capital Higuera Street Parking Structure

8550 HIGUERA STREET
Culver City, CA

DESIGNER

ILLIUM AND
SEYERSON
INCORPORATED

17000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
Tel: 310.274.1100 Fax: 310.274.1101

Klorman

1. ISSUE 2. DATE 3. ISSUE DESCRIPTION

PLANNING RESUBMITTAL
10.12.12

Scale/Signature



Project Name
Higuera Street Parking Structure

Project Number - HIG Parking, Inc.
2011.100

Lead File Name:

A2.05

Sheet Description:

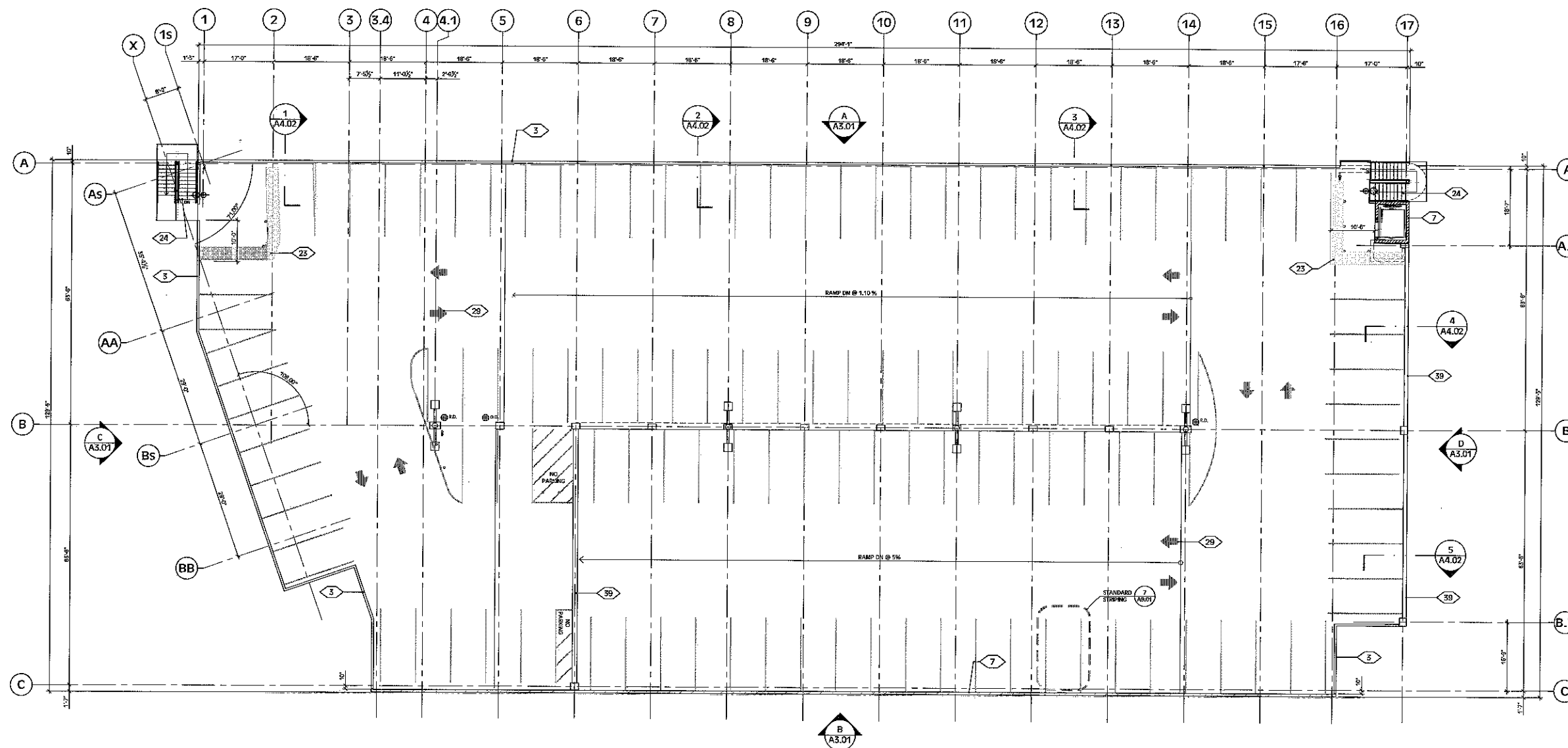
TIER 5 (ROOF) FLOOR PLAN

Drawing Scale:

3/32" = 1'-0"

A2.05

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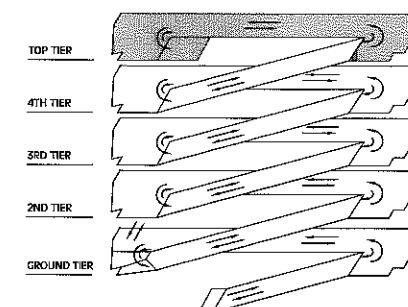


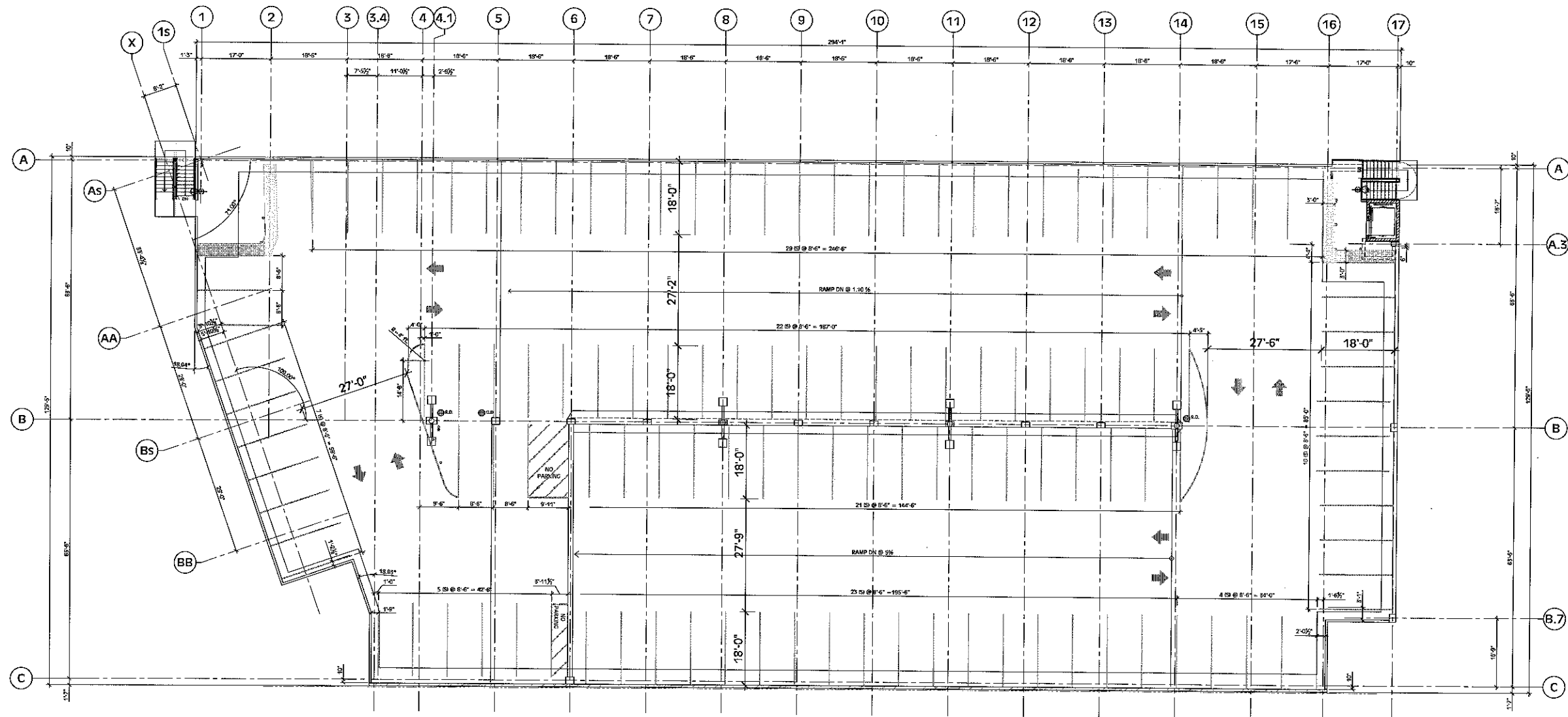
KEY NOTES:

- | | |
|--|--|
| 1 CONCRETE COLUMNS W/ 3/4" CHAMFER ON ALL CORNERS DETAIL 1/A8.01 | 29 DIRECTIONAL ARROWS - DETAIL 9/A9.01 |
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| 26 FUEL WARNING SIGN - DETAIL 14/A9.01 | |
| 27 5 MPH SIGN - DETAIL 13/A9.01 | |
| 28 WARNING STRIPING - DETAIL 3/A9.01 | |

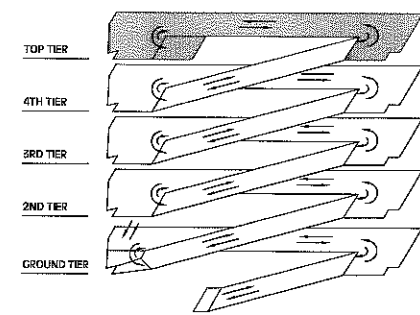
1 TIER 5 (ROOF) FLOOR PLAN

SCALE: 3/32" = 1'-0"





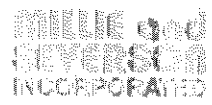
1 TIER 5 STRIPING FLOOR PLAN
SCALE: 3/32" = 1'-0"



Hackman Capital Higuera Street Parking Structure

8550 HIGUERA STREET
Culver City, CA

DEVELOPER



Issue Date & Issue Description

PLANNING RESUBMITTAL
10.12.12

Signature



Project Name:
Higuera Street Parking Structure

Project Number: 100 Parkside, Inc.

2011.100

CAO File Name:

2011.100 - A2.05a

Sheet Description:

TIER 5 STRIPING FLOOR PLAN

Drawing Scale:

3/32" = 1'-0"

A2.05a

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- TYPICAL NOTES:**
1. CONTROLLED ACCESS GATES/EQUIPMENT MANUFACTURER: WPS PARKING SOLUTIONS
 2. REFER TO ELECTRICAL DRAWINGS FOR ALL CONDUIT AND WIRING REQUIREMENTS
 3. CONFIRM WITH OWNERS CONSULTANT AND ELECTRICAL SUB FOR CONDUIT AND WIRING FOR ALL CONTROLS.
 4. VERIFY ALL EQUIPMENT AND LAYOUT WITH OWNERSHIP & WPS PARKING SOLUTIONS PRIOR TO INSTALLATION OF EQUIPMENT AND CONDUIT.
 5. ALL CONDUIT AND WIRING TO BE EMBEDDED IN THE CONCRETE SLAB ON GRADE.

2 PARKING CONTROL LANE - SOUTH-WEST ENTRY  SCALE: 3/8" = 1'-0"



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8550 HIGUERA STREET
Culver City, CA

DEVELOPER

1. **NAME OF THE PERSON**
 2. **WCCF CHANNEL**



Klorman

 Issue Date & Issue Description
--

PLANNING RESUBMITTAL
10.12.12

Seal/Signature



Project Number - IDG Peritects, Inc.

CAD File Name:

A4.02

Sheet Description:

WALL SECTIONS

Drawing Scale:

AS SHOWN

A4.02

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