

DUQUESNE TRIAD

DEVELOPMENT PERMIT APPLICATION SUBMITTAL

4241 Duquesne Avenue Culver City, CA 90232

WORK
STUDIO ARCHITECTURE
PLAYS

RICHARD ABRAMSON
ARCHITECT

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CULVER CITY
PLANNING DIVISION



FIRE CODE REQUIREMENTS

1. Meet Minimum requirements of the 2013 CA Fire, Building, Electrical, Mechanical codes, and the Culver City Municipal Code 9.02.
2. Draft Conditions of Approval - Subject to Change
3. Fire sprinkler installation shall be per the NFPA 13 D or CA Residential Code R-313 and as approved by the fire code official.
4. Provide audible devices (mini horns) within each dwelling unit. A 6" weather proof bell and back box shall be provided for each unit located per the fire code official's approval.
5. Each unit water supply main control valve shall be located in an obvious, discernible and accessible location as approved by the fire code official.
6. Each unit shall be served by a separate water supply.
7. Connection of the domestic water supply to the fire sprinkler system shall be per 2013 NFPA 13D or 2013 CA Residential Code, R313 and as approved by the Fire Code Official.
8. Address locations shall be approved by the Fire Code Official.
9. Fire sprinkler systems shall be submitted to the Culver City Fire Department for review, permits and inspections.
10. Comments
Fire Department Notes shall be placed on plans indicating requirements noted here and updated for future reviews.
Plans shall be submitted to the Culver City Fire Department for review, permit inspection and final inspection.

VICINITY MAP



PLANNING NOTES:

1. The subdivision process will require that the Planning Commission make a finding that certain exceptions from the subdivision standards are warranted. The subdivision as proposed will not be approved if the Planning Commission does not grant the exception.

PROJECT SUMMARY

PROJECT SITE ADDRESS: 4241 DUQUESNE AVENUE
CULVER CITY, CA 90232

LEGAL DESCRIPTION: LOT 8 IN BLOCK "1" 9" OF TRACT NO. 1775, IN THE CITY OF CULVER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 21 PAGES 190 THROUGH 191 OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: 4207-022-008

TOTAL SITE AREA: ± 6,750 S.F. (± 50' x ± 135') - 10 FT. DEDICATION = 6,250 S.F. NET AREA

SITE COVERAGE: 31.8% (± 2,149 S.F. FOOTPRINT OF STRUCTURES/6,750 S.F. SITE AREA)

PROPOSED SITE COVERAGE: 2,612 S.F. = ± 39%

TOTAL GROSS FLOOR AREA: (EXISTING) ± 1,570 S.F. (E) SINGLE-FAMILY DWELLING & 579 S.F. GARAGE

TOTAL GROSS FLOOR AREA (PROPOSED): 5,524 S.F. [SEE FLOOR AREA CHART]

EXISTING USE: SINGLE-FAMILY DWELLING WITH DETACHED GARAGE

PROPOSED USE: THREE(3) FEE-SIMPLE DETACHED TOWNHOUSE DWELLING UNITS WITH PRIVATE GARAGES/CARPORTS CREATED THROUGH A PARCEL MAP SUBDIVISION PROCESS

BUILDING & SAFETY

APPLICABLE CODES & REGULATIONS: CITY OF CULVER MUNICIPAL CODE

2014 CALIFORNIA RESIDENTIAL CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA FIRE CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA PLUMBING CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA ELECTRICAL CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA MECHANICAL CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA GREEN BUILDING STANDARDS

TYPE OF CONSTRUCTION: TYPE V-A

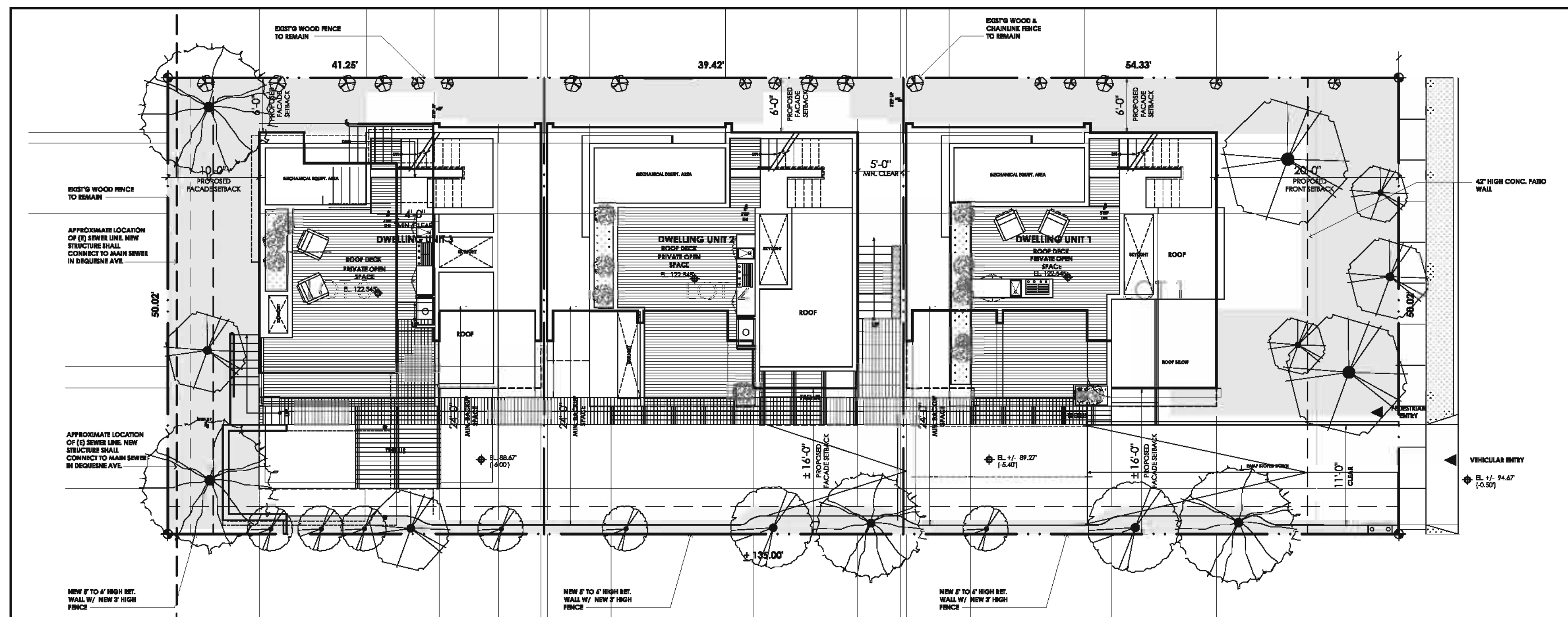
OCCUPANCY GROUP: R3 OVER U-1

ZONING INFORMATION

	REQUIRED	PROPOSED
ZONE:	RMD - RESIDENTIAL MEDIUM DENSITY MULTIPLE CHARACTERIZED BY MEDIUM DENSITY MULTIPLE-FAMILY DWELLING. INTENDED TO PROVIDE OPPORTUNITIES FOR THE CONSTRUCTION OF MEDIUM DENSITY HOUSING.	
RESIDENTIAL DENSITY: NUMBER OF RESIDENTIAL UNITS	1 UNIT PER 1,500 S.F. ± 6,750 S.F. / 1,500 S.F. = 4 DWELLING UNITS MAX.	3 DWELLING UNITS. SEE UNIT DWELLING SIZE TABLE
MAXIMUM HEIGHT:	30 FEET, 2 STORIES	< 30 FEET, 2 STORIES OVER BASEMENT
RESIDENTIAL UNIT SIZE:	1,100 S.F. MIN. (3 BED)	± 1,800 S.F. MIN/UNIT
PARKING SPACES:	2 SPACES PER UNIT OF 2-3 BEDROOMS	2 SPACES PER UNIT x 3 UNITS = 6 SPACES
LANDSCAPE AREA:	75% OF SUBJECT AREA	1,017 S.F. (SEE SHT. L-1)
COMMON OPEN SPACE:	N/A	N/A
PRIVATE OPEN SPACE:	100 S.F. PER UNIT	2,940 S.F. TOTAL (987 S.F. / UNIT AVG - SEE TABLE BELOW)
PRIVATE STORAGE SPACE:	100 CU. FT. PER UNIT	± 200 CU. FT. PER UNIT (100 CU. FT. IN TWO LOCATIONS)
DRIVEWAY STANDARDS	10 FT MIN WIDTH	12 FT MIN WIDTH
STREET TREES:	STREET TREES 1 PER 25' LENGTH OF STREET FRONTAGE	1 STREET TREE
VERTICAL PROJECTIONS:	SEE C.C.M.C. 17.300.025 TBL 3-2	SEE ELEVATIONS
SITE COVERAGE:	2,612 S.F. = ± 39% TOTAL 952 S.F. (LOT 1) + 841 S.F. (LOT 2) + 819 S.F. (LOT 3)	

SETBACK CHART	LOT 1	LOT 2	LOT 3	FLOOR LEVEL
FRONT YARD SETBACK	20'-3"	0'-4"	5'-0"	BASEMENT
	20'-3"	5'-0"	5'-0"	1ST FLOOR
	20'-3"	5'-0"	5'-0"	2ND FLOOR
NORTH SIDE YARD SETBACK	5'-0"	5'-0"	5'-0"	BASEMENT
	6'-0"	6'-0"	6'-0"	1ST FLOOR
	6'-0"	6'-0"	6'-0"	2ND FLOOR
SOUTH SIDE YARD SETBACK	16'-0"	16'-0"	5'-0"	BASEMENT
	14'-0"	12'-0"	5'-0"	1ST FLOOR
	14'-0"	12'-0"	5'-0"	2ND FLOOR
REAR YARD SETBACK	5'-0"	5'-0"	10'-0"	BASEMENT
	5'-0"	5'-0"	10'-0"	1ST FLOOR
	5'-0"	5'-0"	10'-0"	2ND FLOOR

FLOOR AREA	LOT 1	LOT 2	LOT 3	TOTAL AREA
BASEMENT LEVEL:	402 S.F.	391 S.F.	407 S.F.	± 1,200 S.F.
FIRST FLOOR LEVEL:	738 S.F.	756 S.F.	694 S.F.	± 2,188 S.F.
SECOND FLOOR LEVEL:	702 S.F.	752 S.F.	702 S.F.	± 2,156 S.F.
DWELLING UNIT SIZE	1,822 S.F.	1,899 S.F.	1,803 S.F.	5,524 S.F.
PRIVATE OPEN SPACE	480 S.F.	228 S.F.	500 S.F.	GROUND
	215 S.F.	140 S.F.	161 S.F.	1ST FLOOR
	412 S.F.	422 S.F.	402 S.F.	ROOF
PRIVATE OPEN SPACE	1,107 S.F.	790 S.F.	1,063 S.F.	2,940 S.F.
PARKING DATA	LOT 1	LOT 2	LOT 3	
PARKING STALL TYPE	STANDARD	STANDARD	STANDARD	
TOTAL PARKING SPACES	2	2	2	BASEMENT



PLOT PLAN

SHEET INDEX

- ARCHITECTURAL**
- A-1 TITLE SHEET / PROJECT DATA / ZONING INFORMATION
 - A-2 EXISTING SITE PHOTOS / SITE PLAN
 - A-3 EXISTING SITE PLAN / EXISTING SITE PLANS
 - A-4 EXISTING ELEVATIONS / COMPARATIVE ELEVATIONS
 - A-5 SITE PLAN / FIRST FLOOR PLAN
 - A-6 SECOND FLOOR PLAN / ROOF PLAN
 - A-7 ELEVATIONS / SECTION
 - A-8 COLORED ELEVATIONS / COLORED MATERIALS BOARD
 - A-9 TRANSVERSE SECTION / WALL SECTIONS

LANDSCAPE

- L-1.00 LANDSCAPE PLAN
- L-2.00 COLORED LANDSCAPE PLAN

GRADING PLAN

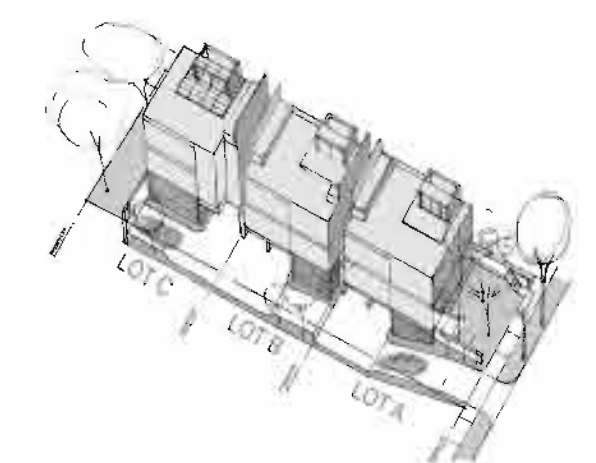
- PG-1 PRELIMINARY GRADING

SURVEY

- TS-1 TOPOGRAPHY SURVEY

SUBDIVISION

- PM-1 PRELIMINARY PARCEL MAP



TITLE SHEET
PROJECT DATA
ZONING INFORMATION

A-1



(i) SOUTH ADJACENT PROPERTY



(ii) EXISTING STRUCTURE, 4241 DUQUESNE AVE.



(iii) NORTH ADJACENT PROPERTY



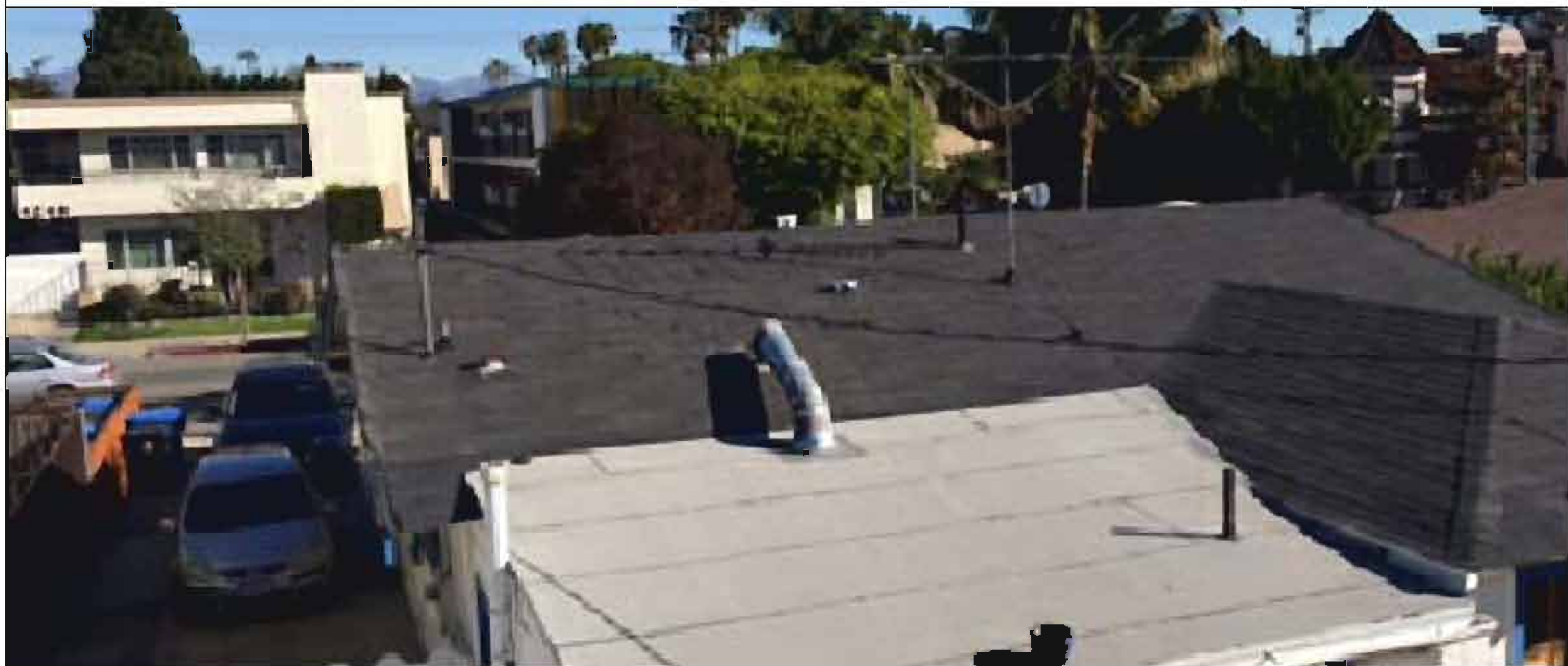
(v) OPENINGS ON NORTH ADJACENT PROPERTY



(iv) OPENINGS ON SOUTH ADJACENT PROPERTY



(vi) NORTH ADJACENT PROPERTY ON DUQUESNE



(vii) VIEW FROM REAR OF PROPERTY

EXISTING SITE PHOTOS



LEGEND

- SINGLE-FAMILY HOUSING
- MULTIPLE SINGLE-FAMILY HOUSING
- MULTI-FAMILY HOUSING

FIGURE GROUND MAP/ EXPANDED VICINITY PLAN

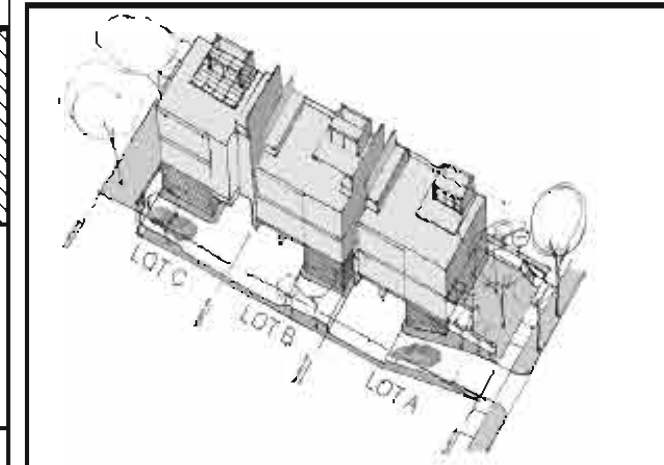
SCALE: 1" = 20'-0"

WORK PLAYS

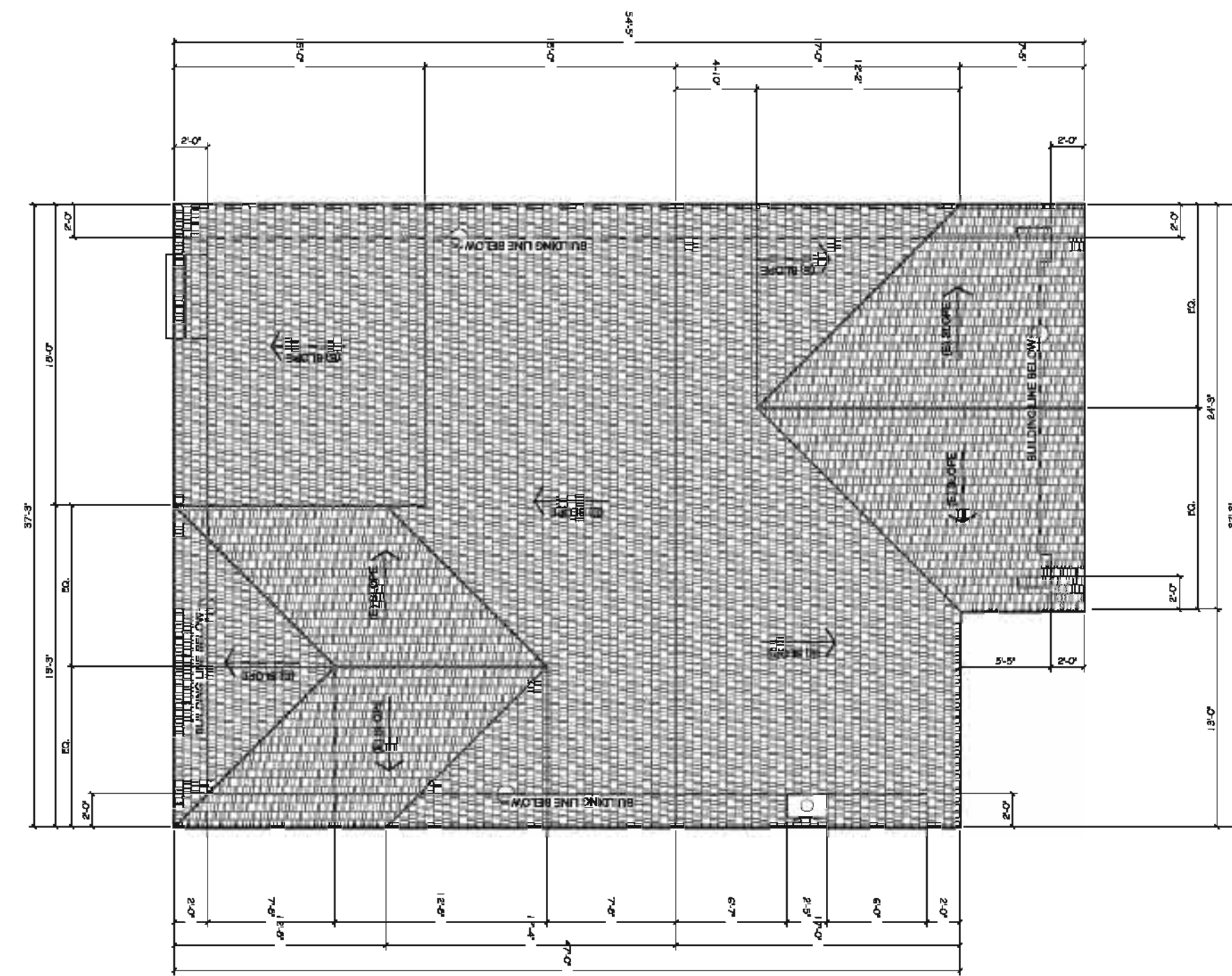
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EXISTING SITE PHOTOS
SITE PLAN

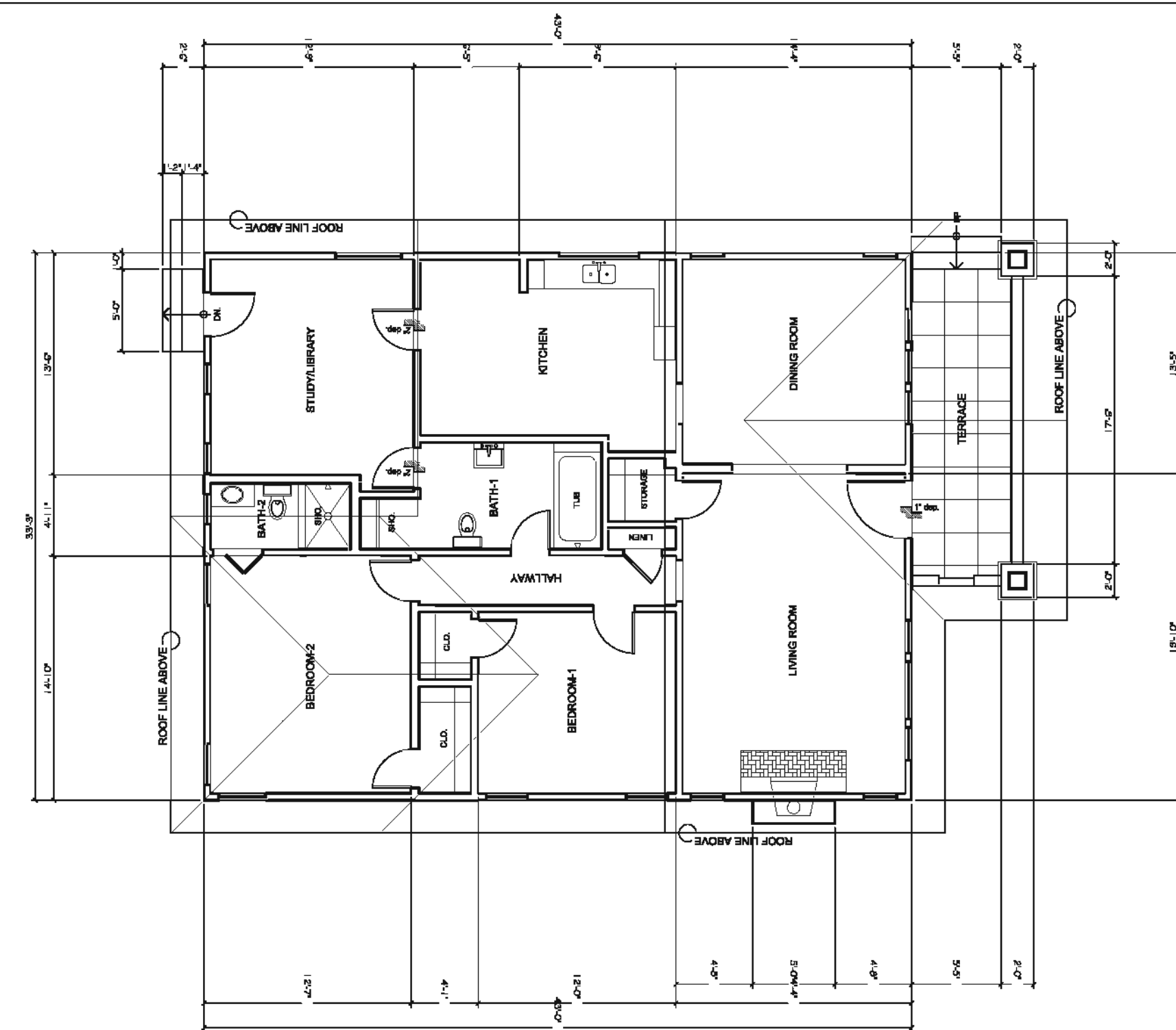


EXISTING ROOF PLAN

scale: 1/8" = 1'-0"



3

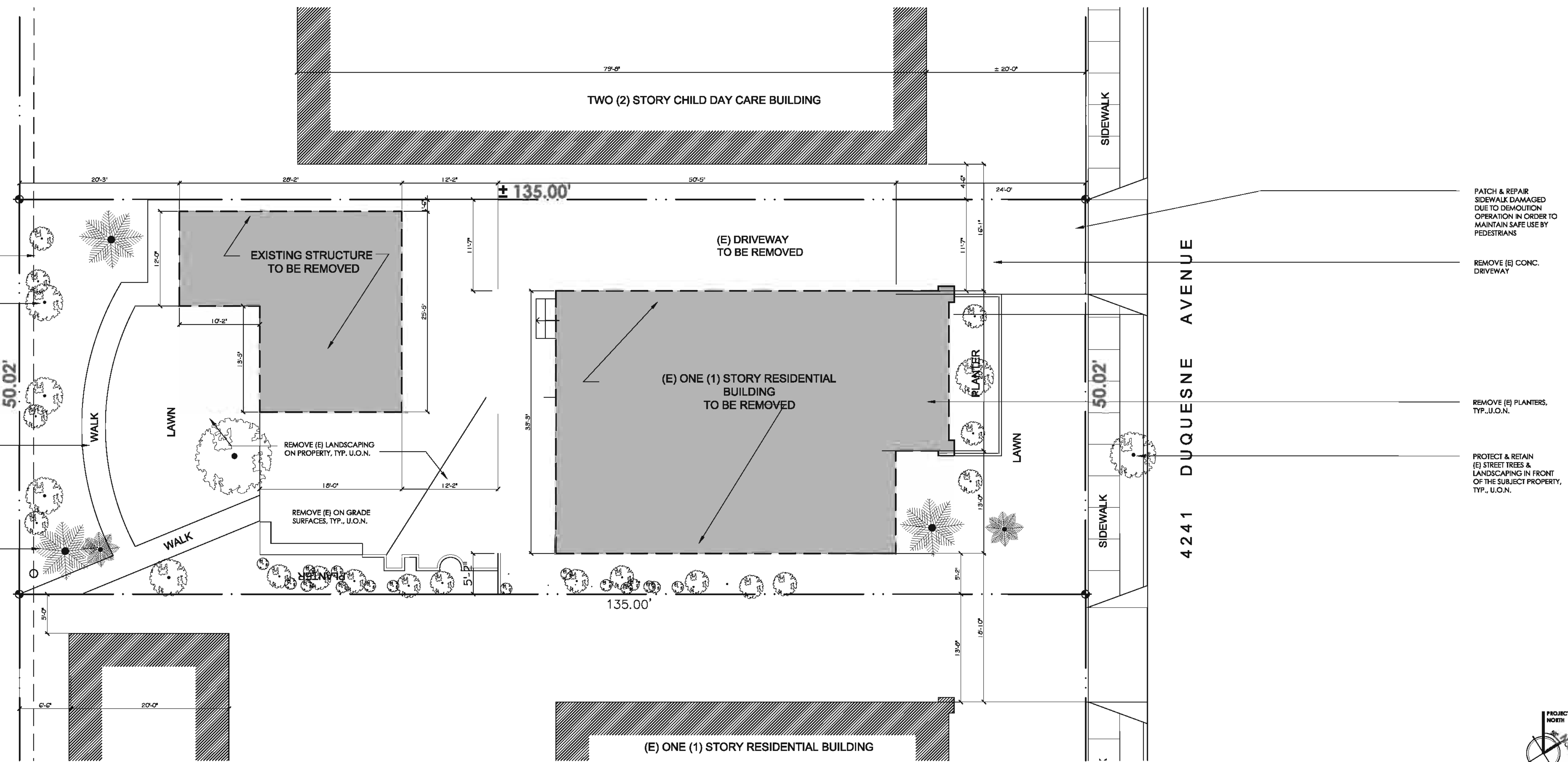
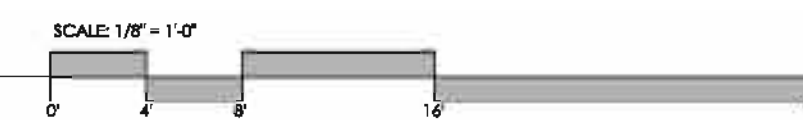
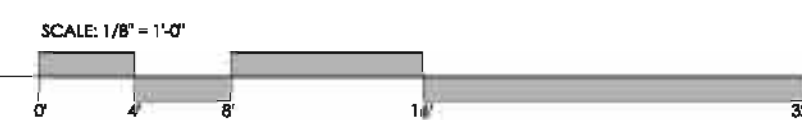


EXISTING FIRST FLOOR PLAN

scale: 1/8" = 1'-0"



2

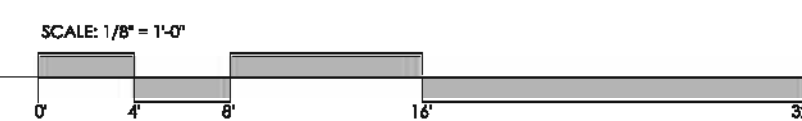


EXISTING SITE PLAN / DEMO PLAN

scale: 1/8" = 1'-0"



1



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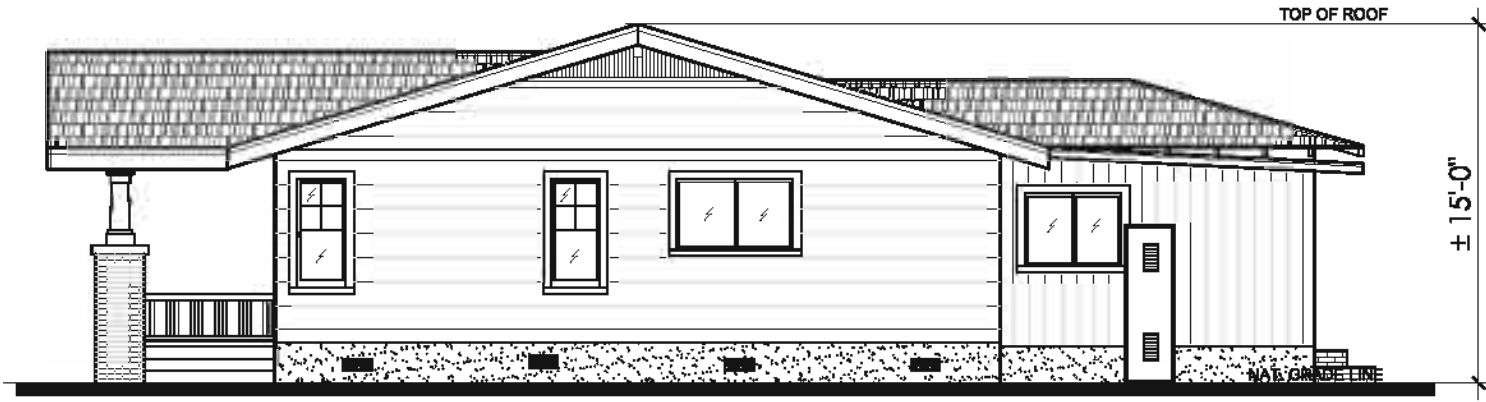
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EXISTING SITE PLAN
EXISTING FLOOR PLANS

A-3

© WORKPLAYS STUDIO ARCHITECTURE, 2005



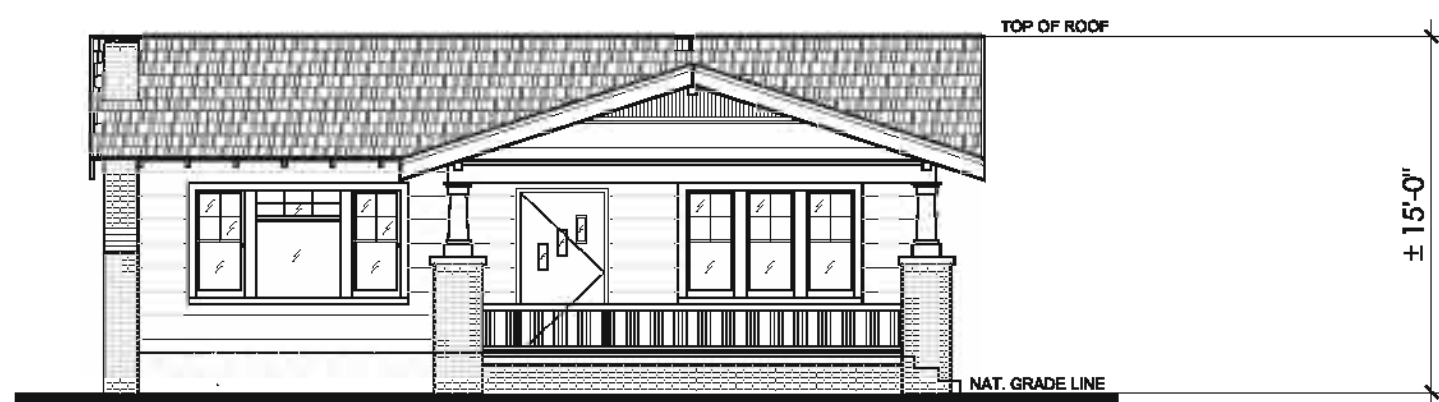
NORTH ELEVATION



EAST ELEVATION



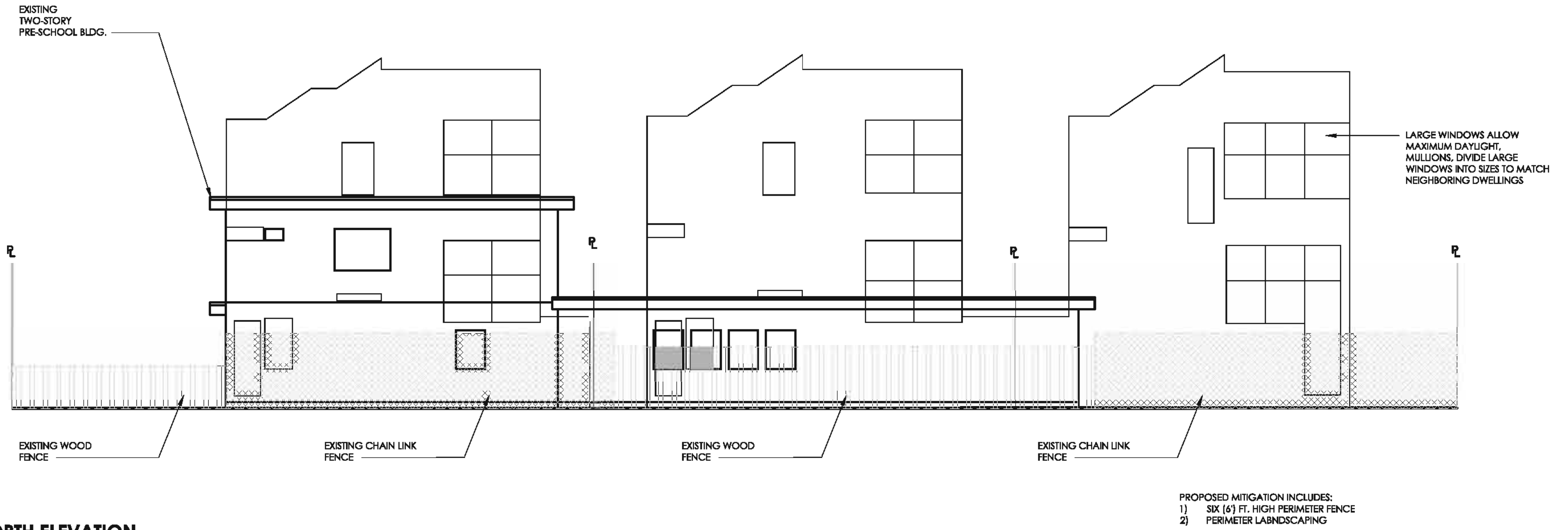
SOUTH ELEVATION



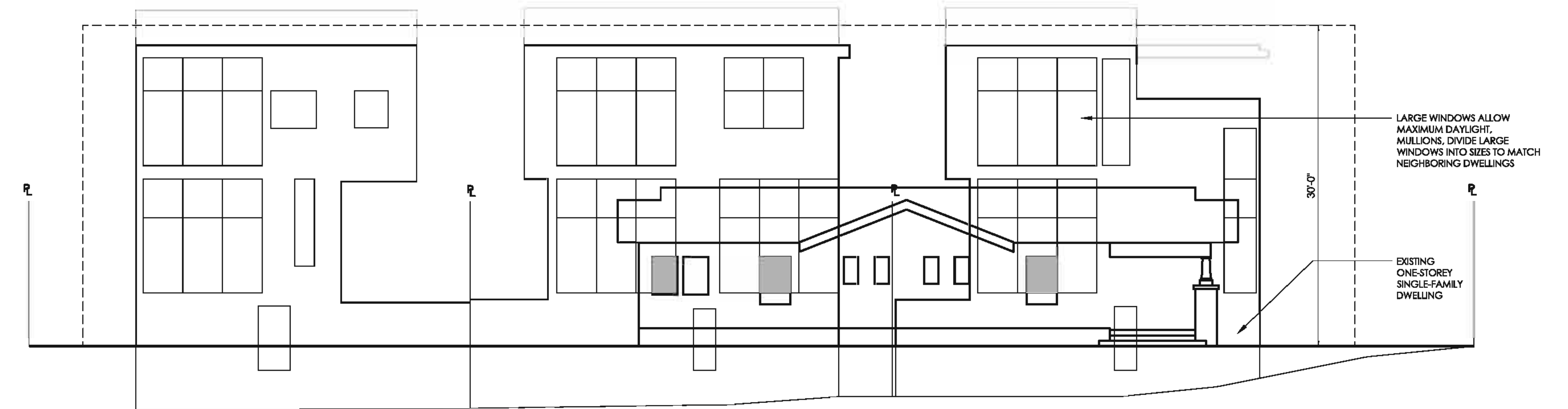
WEST ELEVATION

4241 DUQUESNE AVE.

SUBJECT PROPERTY EXISTING ELEVATIONS

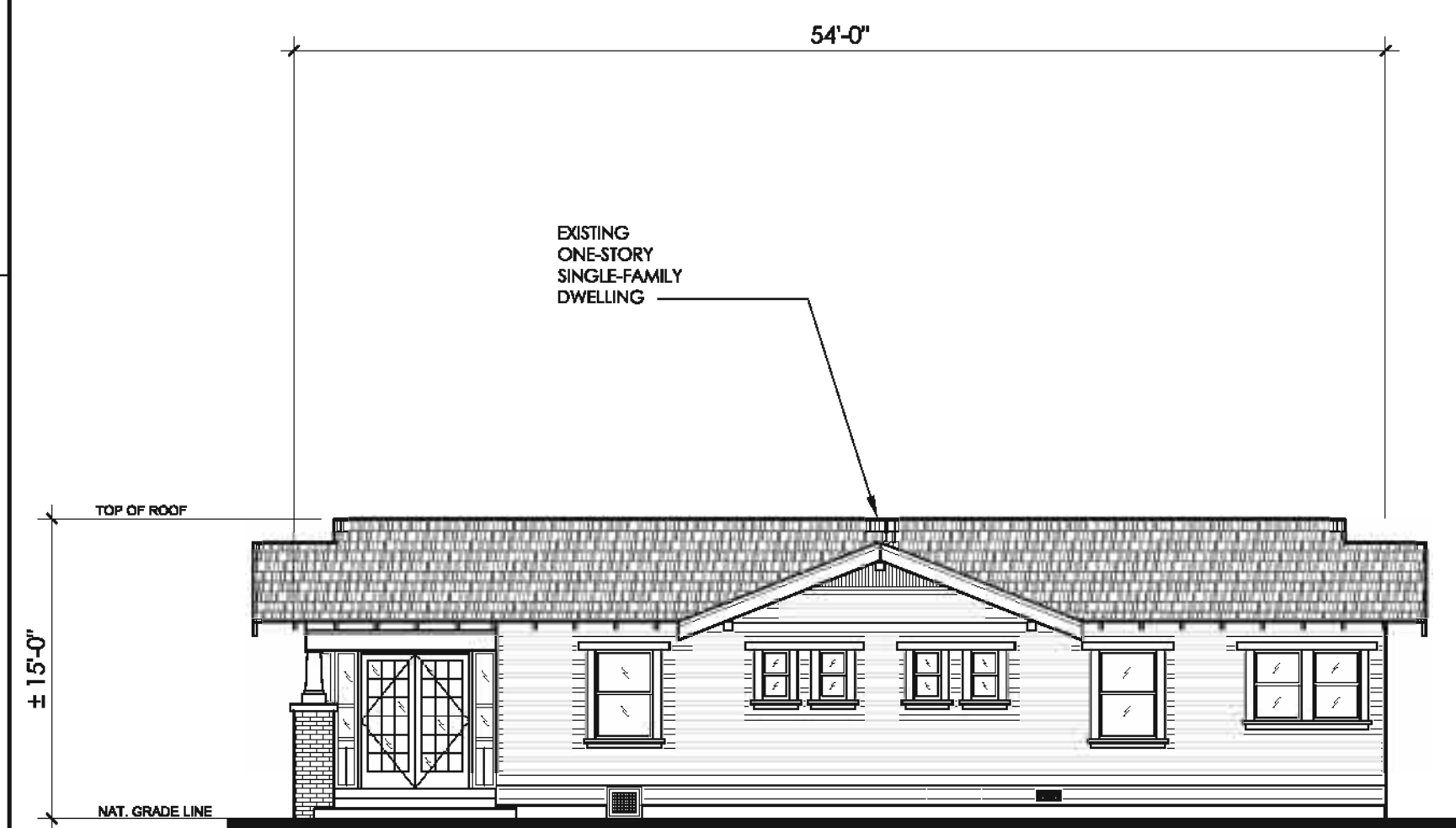


COMPARITIVE NORTH ELEVATION



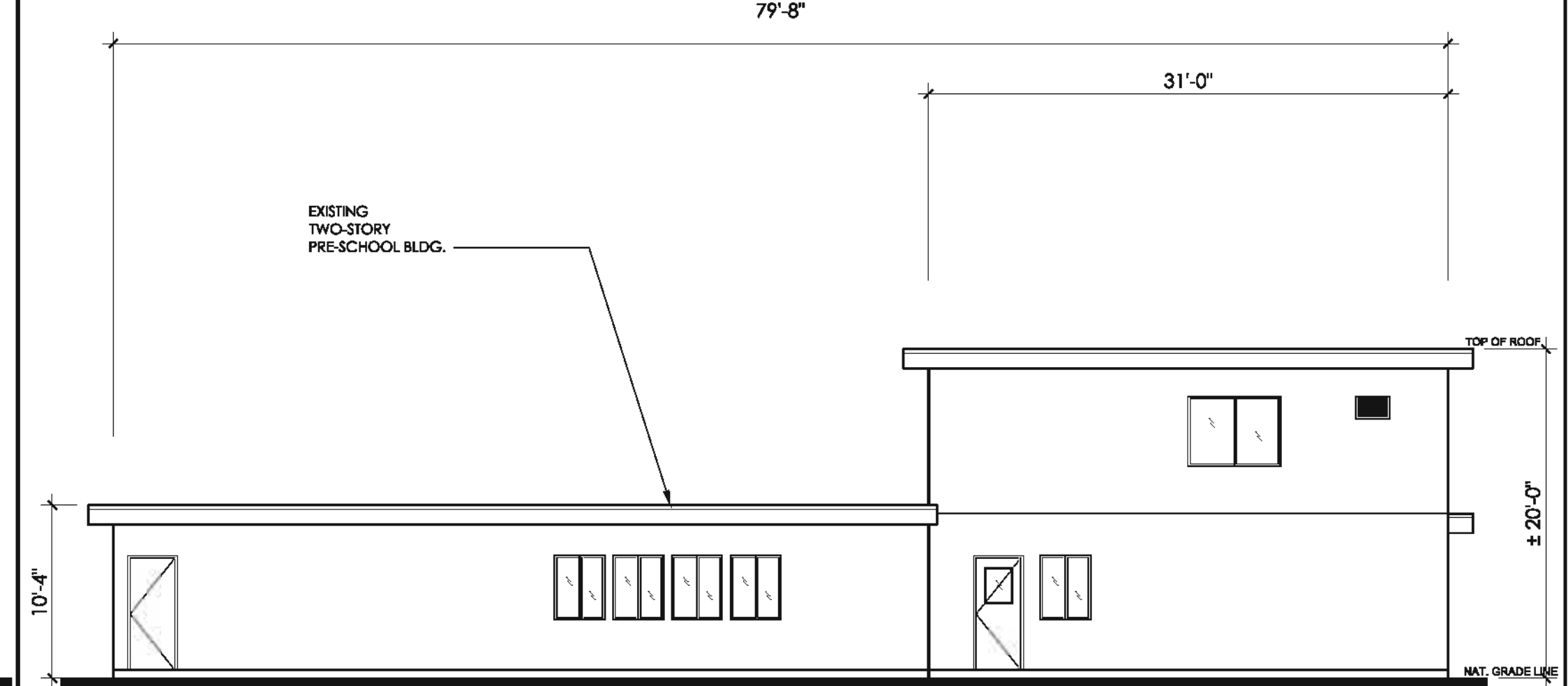
COMPARITIVE SOUTH ELEVATION

COMPARITIVE ELEVATIONS ANALYSIS



4247 DUQUESNE AVE.

ADJACENT PROPERTY_SOUTH ELEVATION



4235 DUQUESNE AVE.

ADJACENT PROPERTY ELEVATION_NORTH

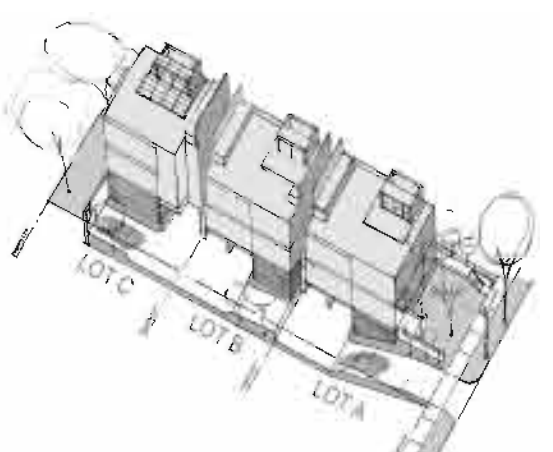


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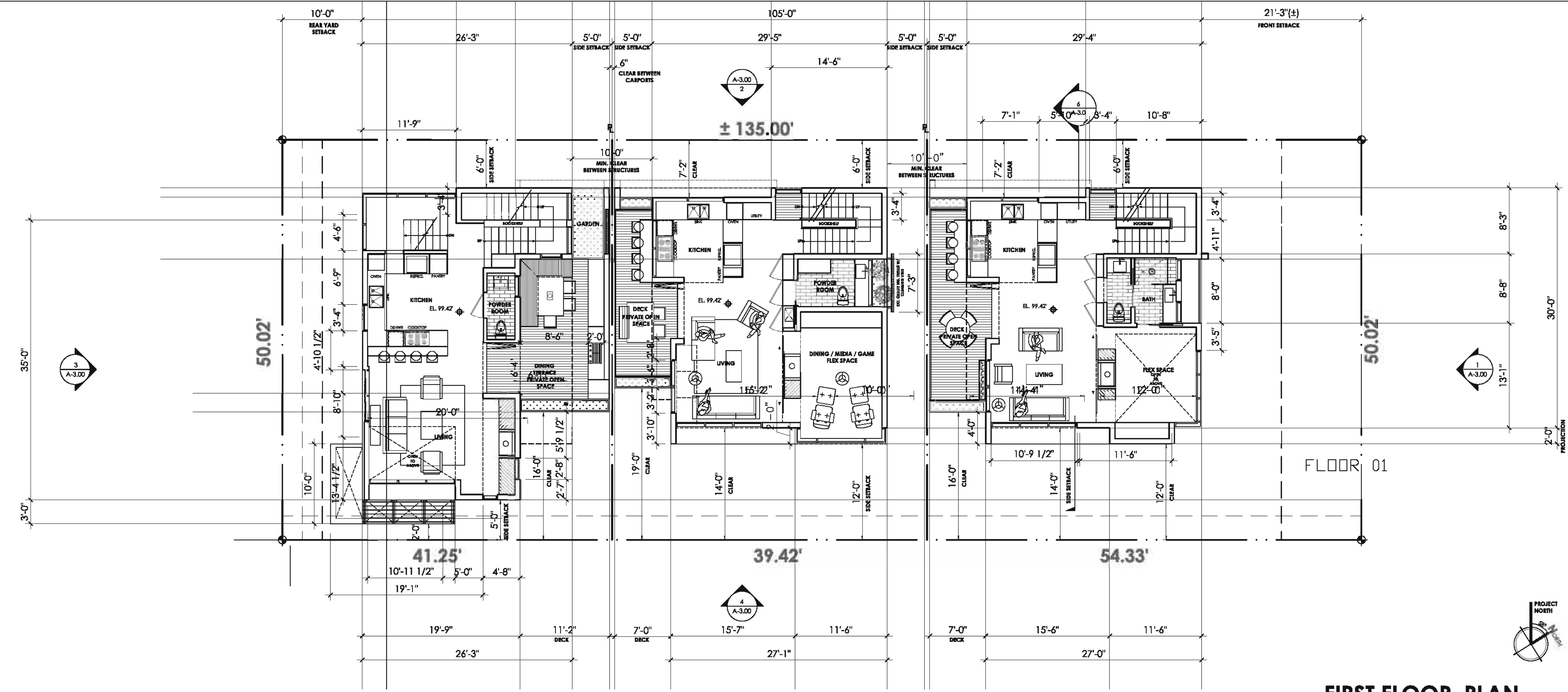
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EXISTING ELEVATIONS

A-4

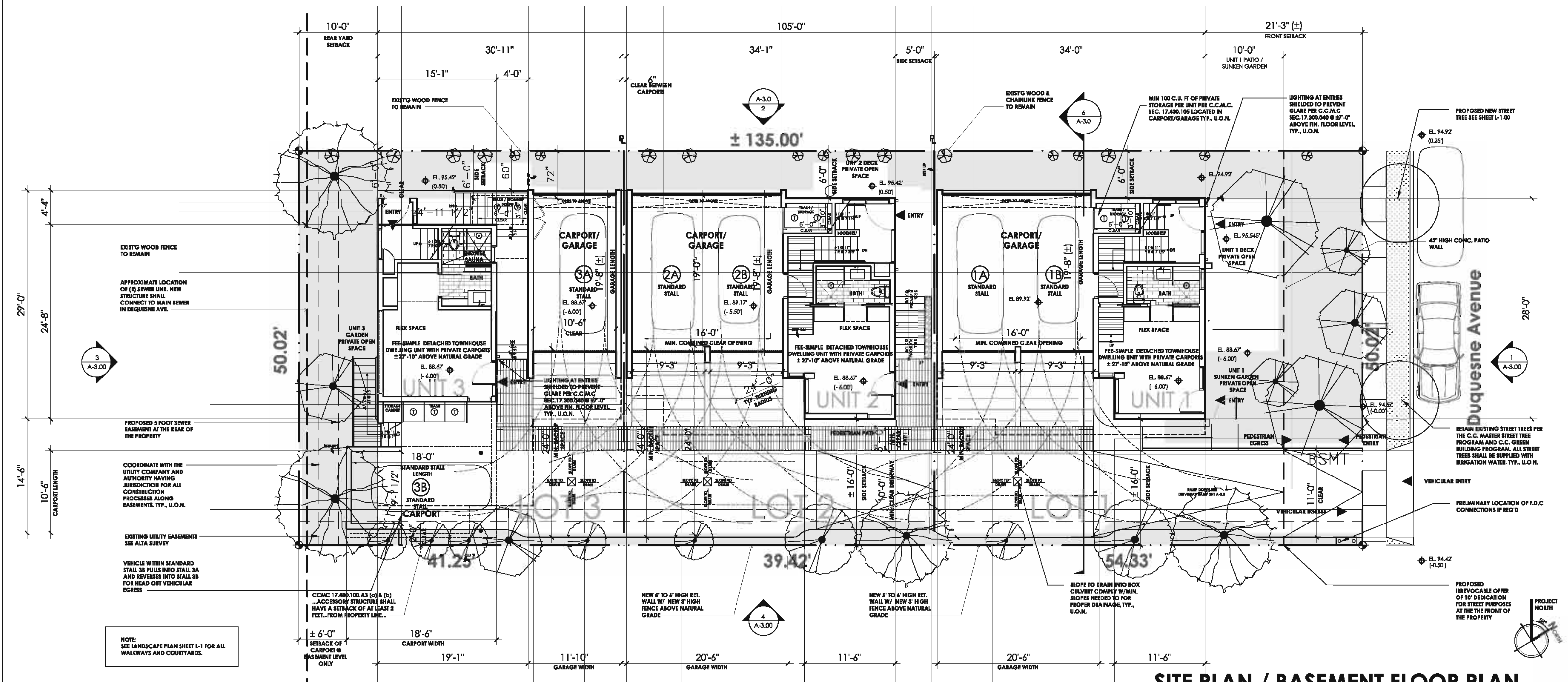
© WORKPLAYS STUDIO ARCHITECTURE, 2005



FIRST FLOOR PLAN

scale: 1/8" = 1'-0"

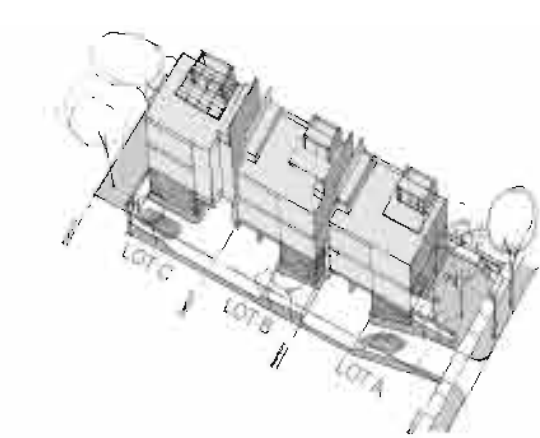
2



SITE PLAN / BASEMENT FLOOR PLAN

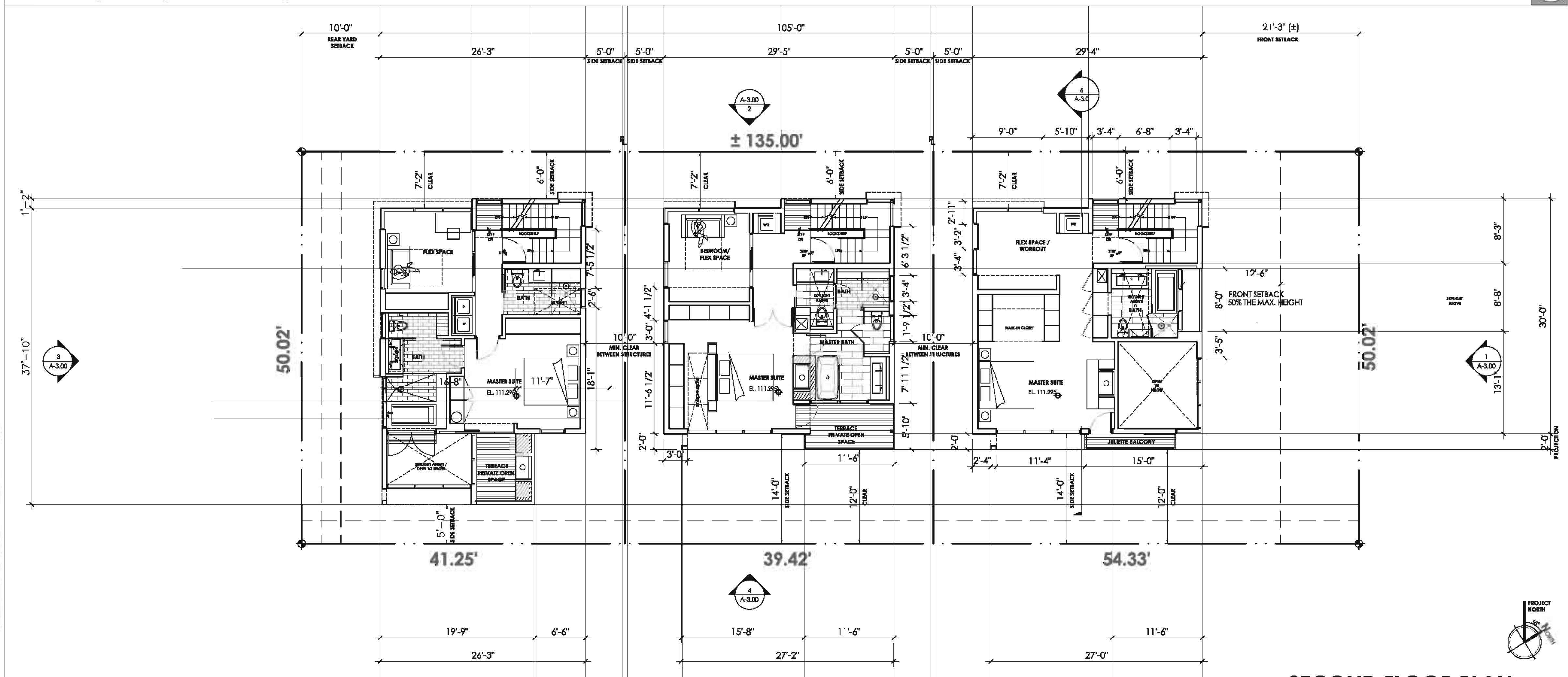
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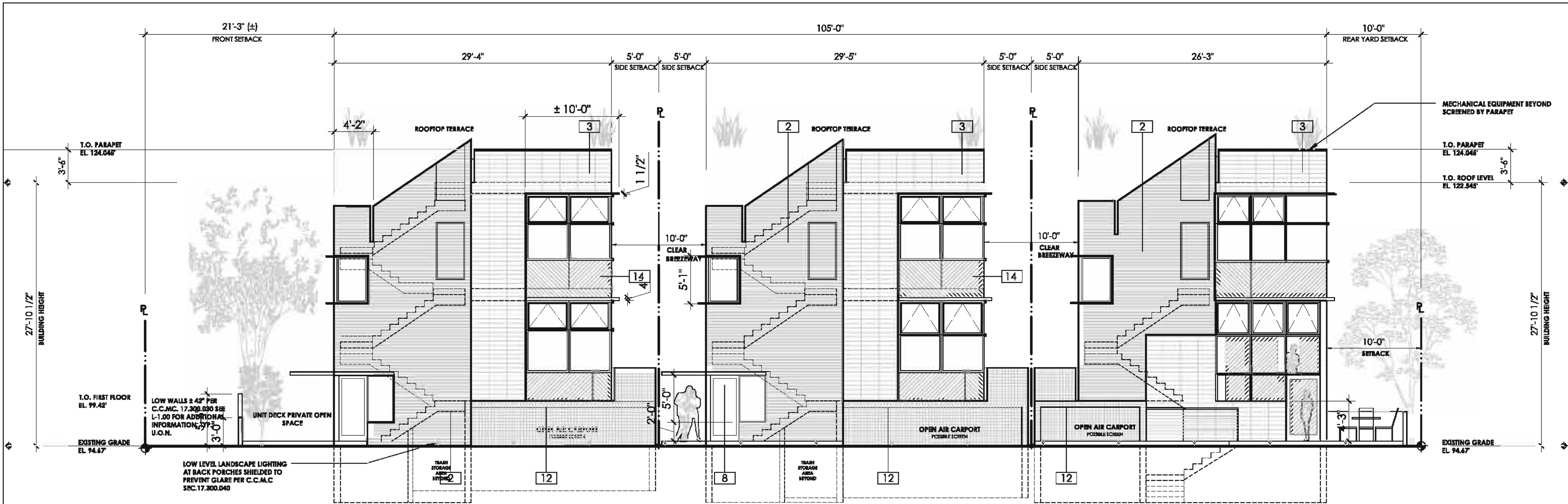
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SITE PLAN
FIRST FLOOR PLAN

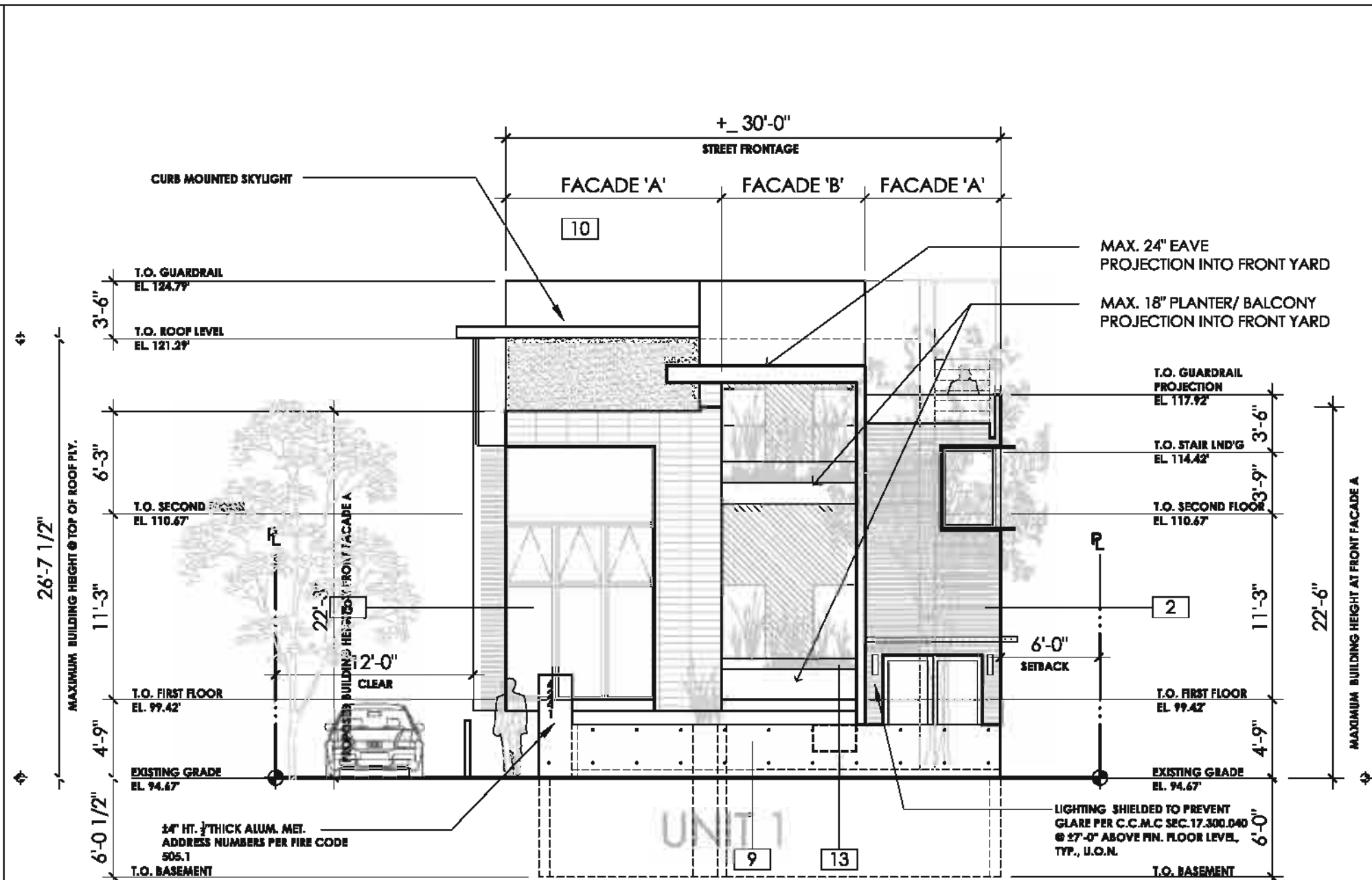
A-5





NORTH ELEVATION
scale: 1/8" = 1'-0"

2



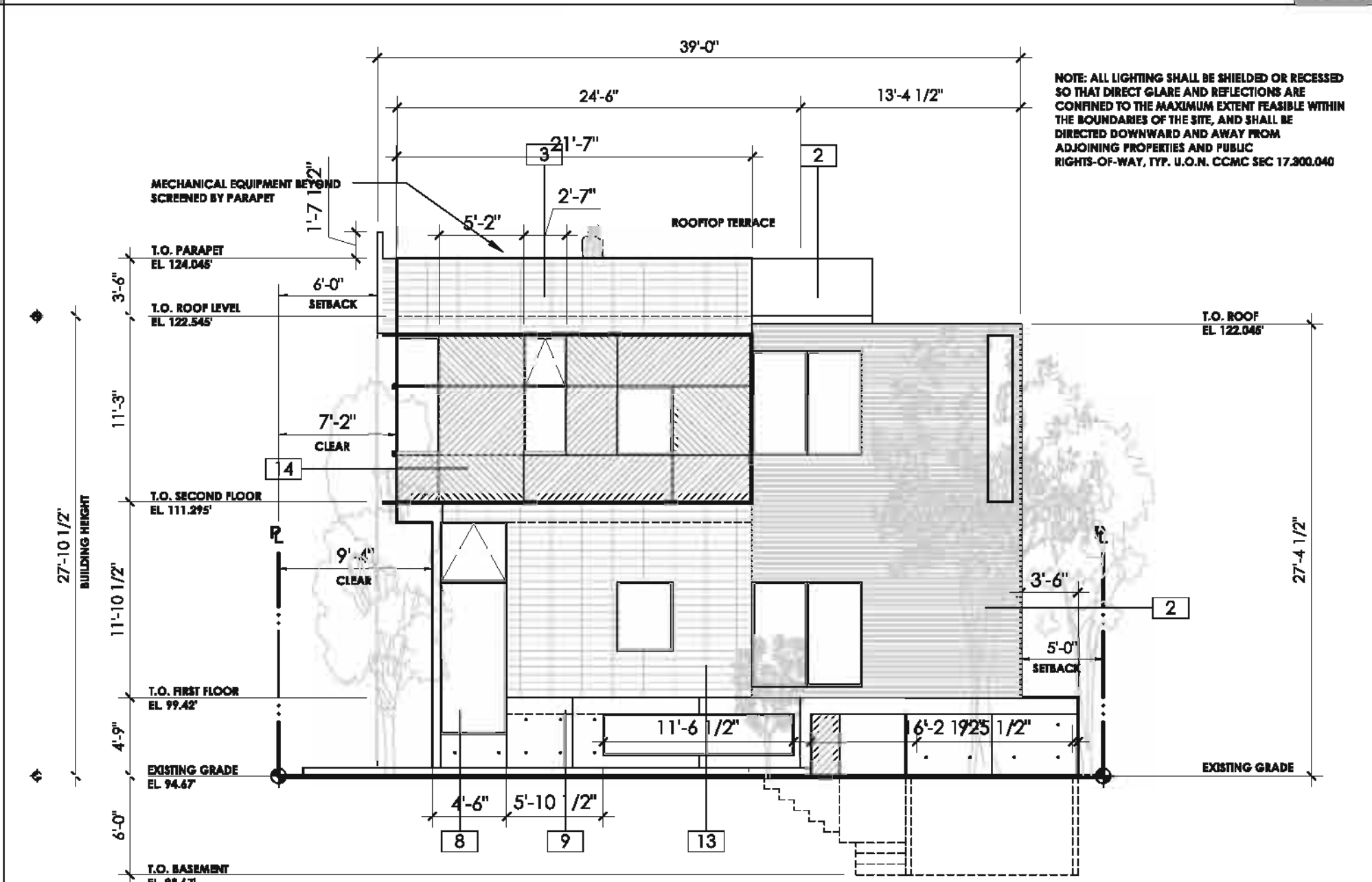
EAST ELEVATION
scale: 1/8" = 1'-0"

1



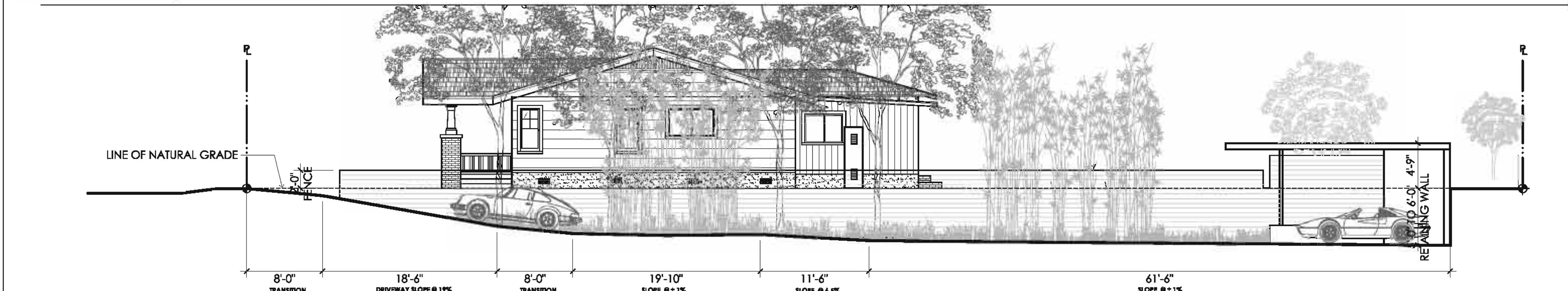
SOUTH ELEVATION
scale: 1/8" = 1'-0"

4



WEST ELEVATION
scale: 1/8" = 1'-0"

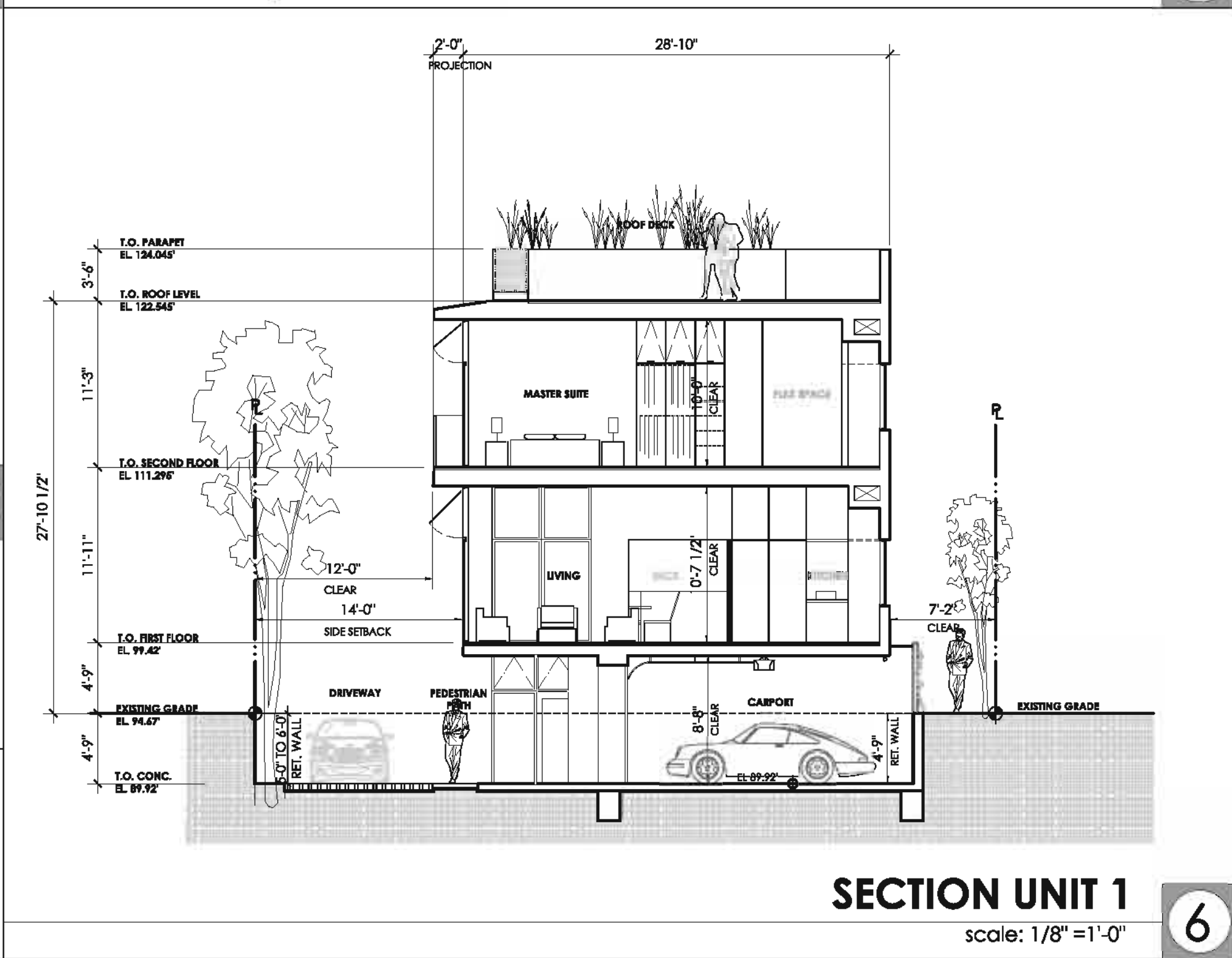
3



DRIVEWAY SECTION
scale: 1/8" = 1'-0"

5

1	ALUMINUM FRAMES & PANELS -OFF WHITE FINISH	2	EXTERIOR GRADE WOOD SIDING / WOOD SUNSCREEN -TEAK OR SIMILAR	3	EXTERIOR STONE TILE -LIMESTONE FINISH OR SIMILAR	4.5	CONCRETE PAVERS SANDBLASTED FINISH ASSORTED TONES	6	GROUND COVER -ROUNDED RIVER ROCK	7	GROUND COVER -WOOD CHIP / LOW LYING PLANTING	8	DOUBLE PANE WINDOW & DOORS STEEL (OR ALUM.) FRAME TRANSPARENT & TRANSLUCENT GLASS
9	PANEL FORM CONCRETE	10	FINE SLEEVE EXTERIOR PLASTER WHITE OR SIMILAR INTEGRAL COLOR	11	SEMI-ROUGH NATURAL STONE LIGHT GRAY	12	METAL GREENSCREEN FOR VINE TYPE PLANTS	13	POWDER-COATED METAL PANEL -WHITE FINISH	14	EXTERIOR GRADE WD PANELING -TEAK OR SIMILAR		



SECTION UNIT 1
scale: 1/8" = 1'-0"

6

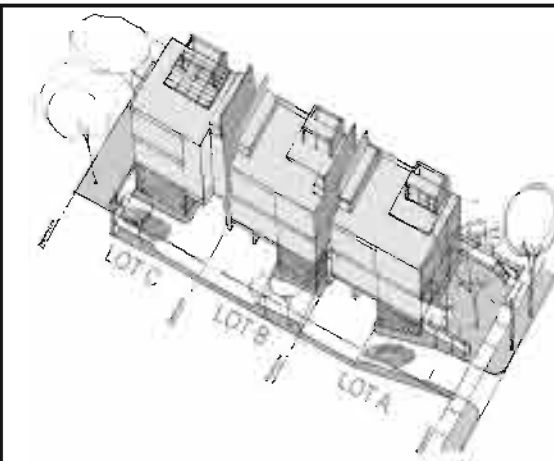
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PROPOSED ELEVATION
EXISTING ELEVATION



EAST ELEVATION

scale: 1/8" = 1'-0"

1



NORTH ELEVATION

scale: 1/8" = 1'-0"

2



WEST ELEVATION

scale: 1/8" = 1'-0"

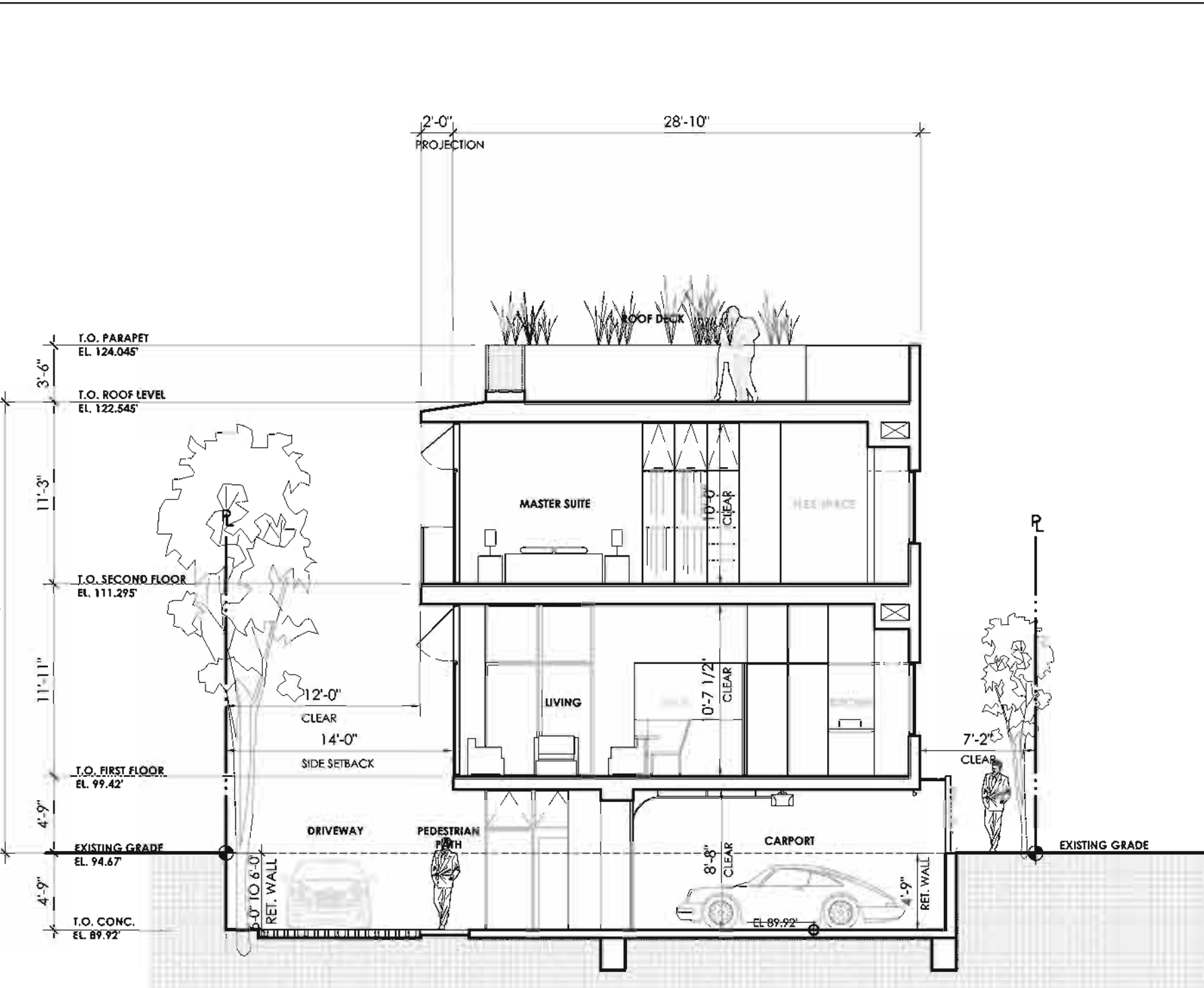
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SOUTH ELEVATION

scale: 1/8" = 1'-0"

4



SECTION UNIT 1

scale: 1/8" = 1'-0"

6



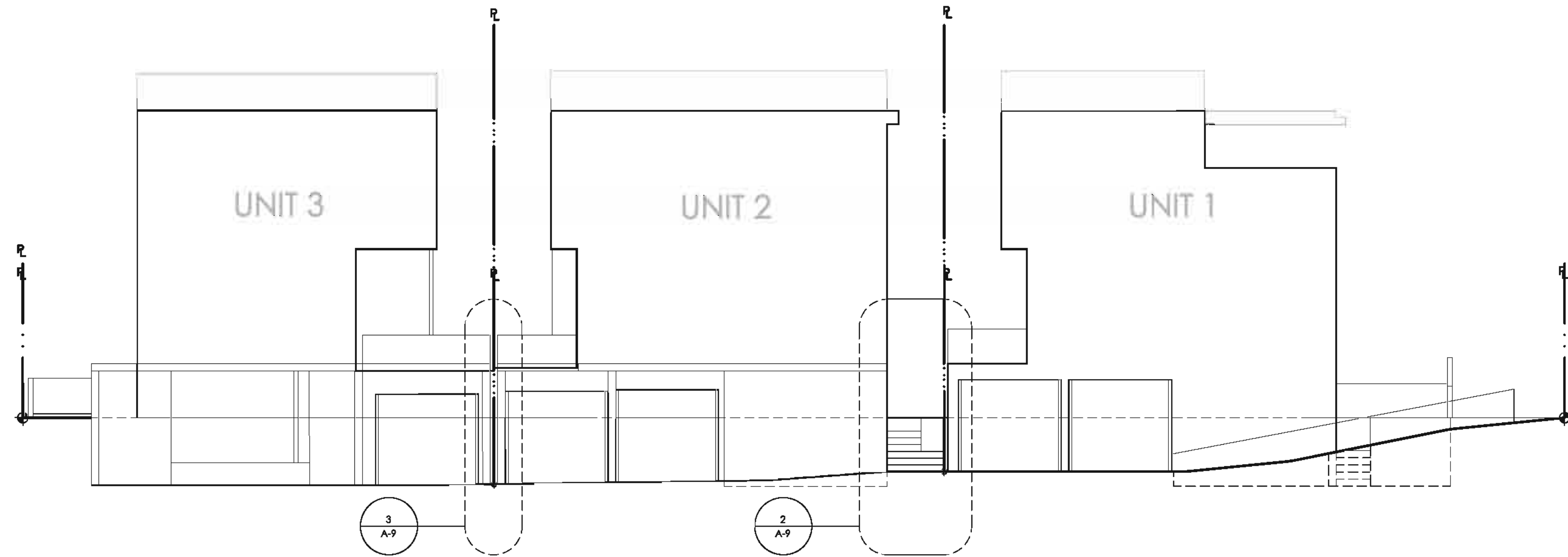
DRIVEWAY SECTION

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5



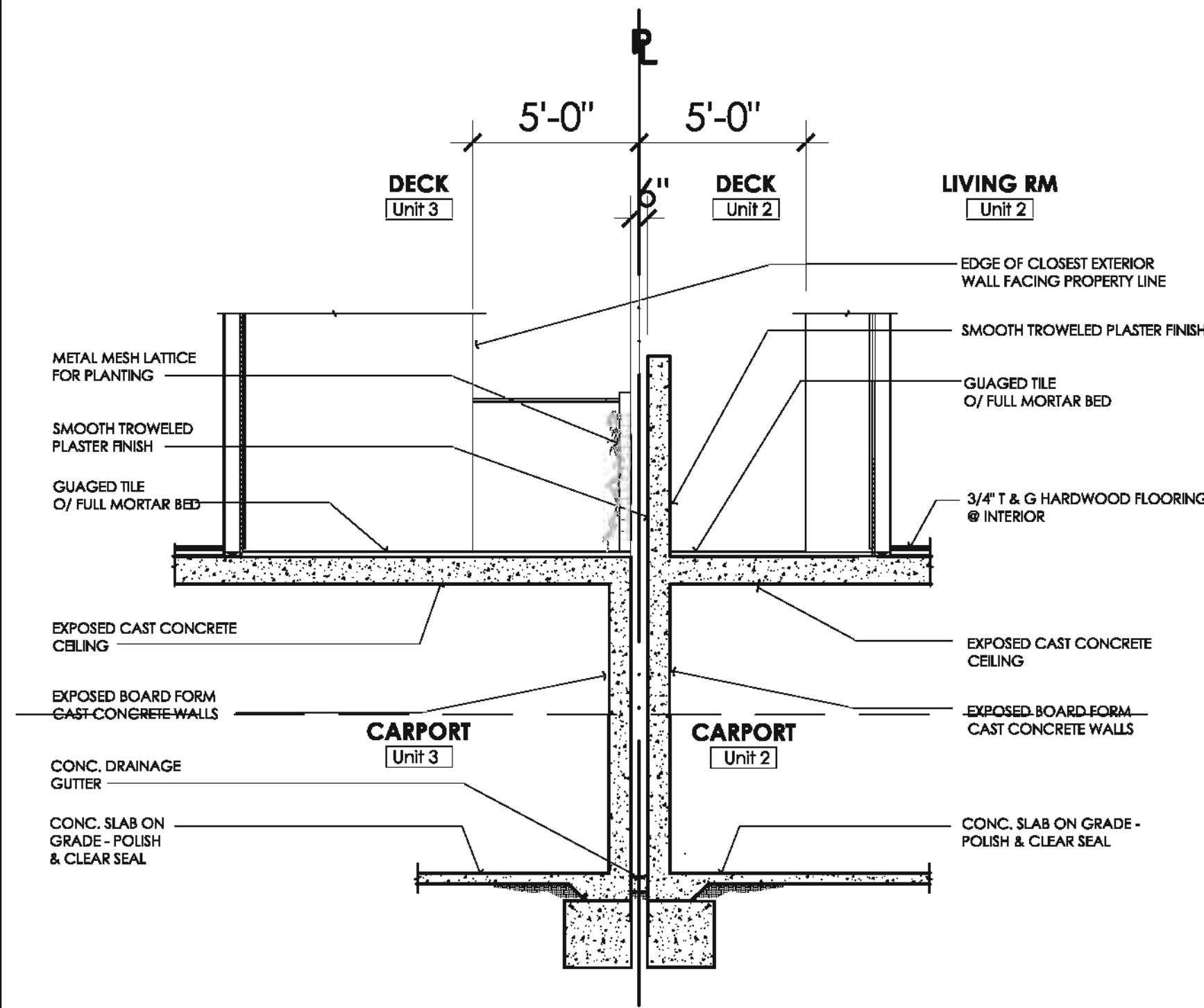
PROPOSED ELEVATION
EXISTING ELEVATION



TRANSVERSE SECTION

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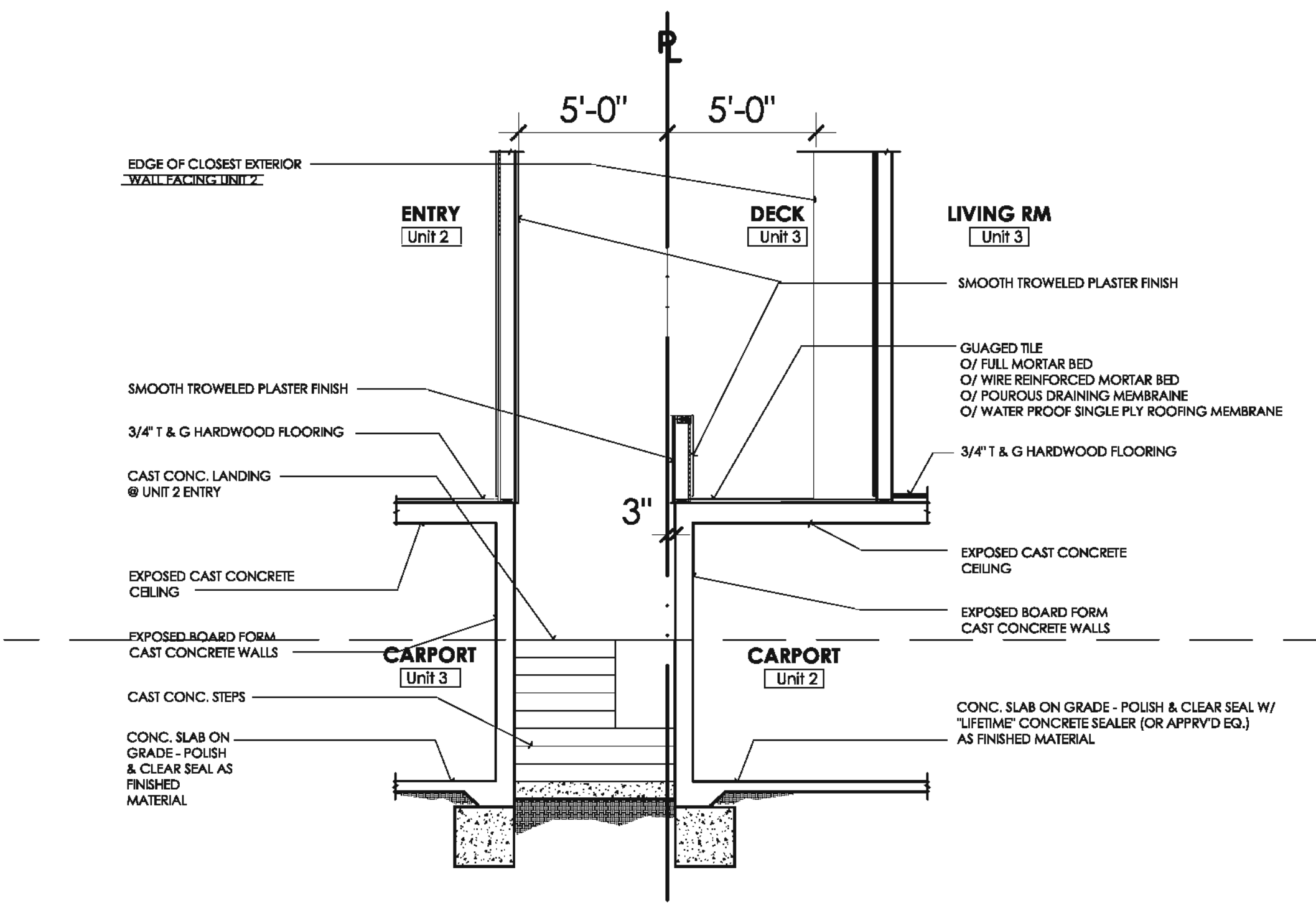
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WALL SECTION BETWEEN UNITS 3 & 2

scale: 1/4" = 1'-0"

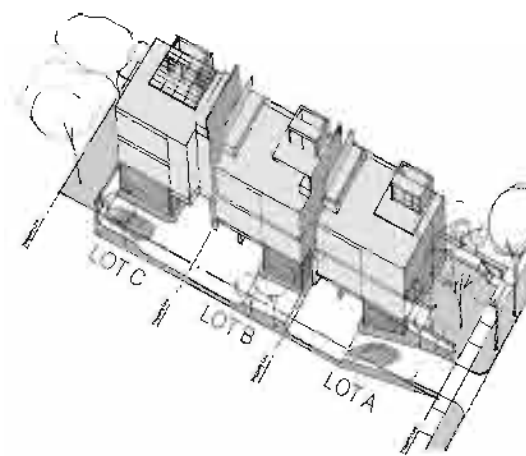
3



WALL SECTION BETWEEN UNITS 2 & 1

scale: 1/4" = 1'-0"

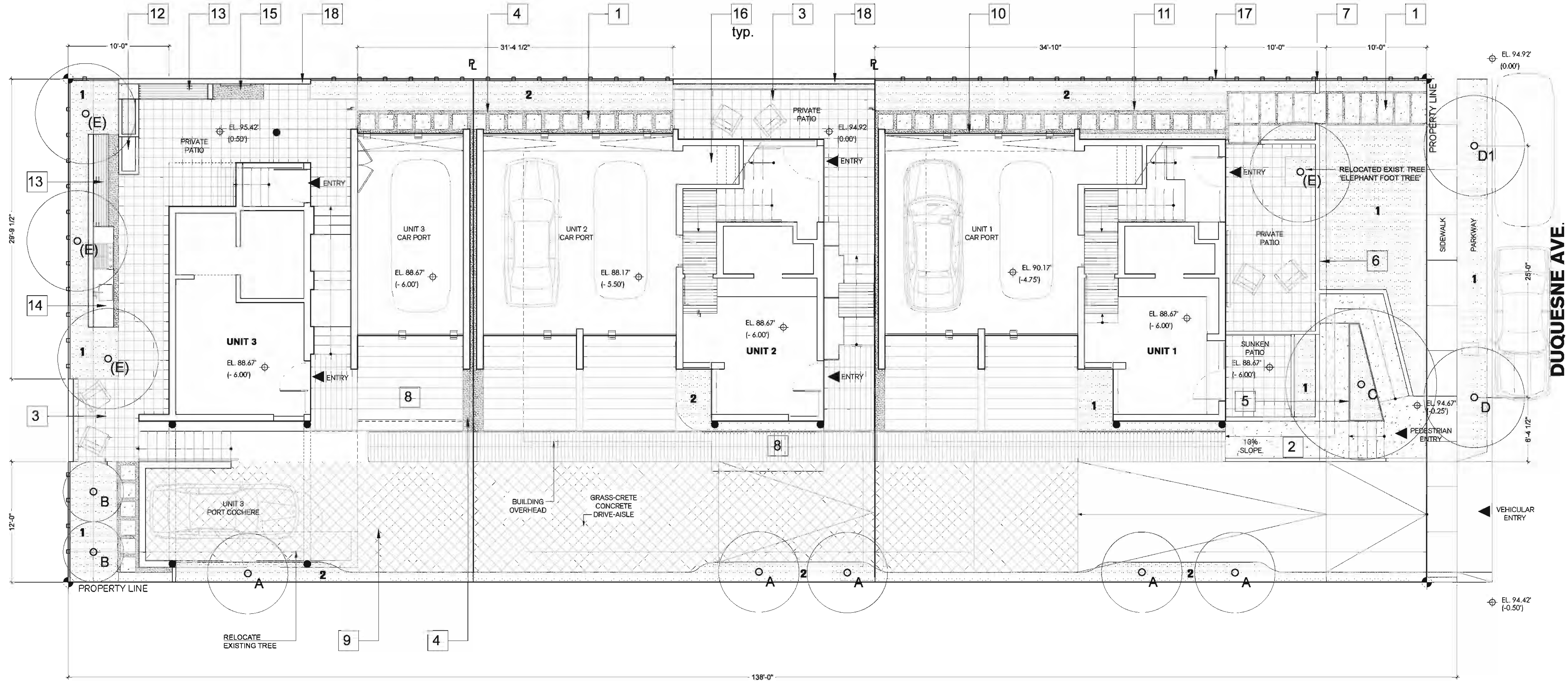
1



EXISTING ELEVATIONS

LANDSCAPE PLAN

NOT FOR CONSTRUCTION



LANDSCAPE LEGEND

- TREES - LOW HYDROZONE (L)**
(PROVIDE 3" THICK NATIVE SHREDDED BARK MULCH AT ALL PLANTING AREAS UNLESS OTHERWISE NOTED.)
- A** NATIVE SCREEN TREE - 24" BOX., FULL
- ARROYO WILLOW / *SALIX LASIOLEPIS*
- CATALINA CHERRY / *PRUNUS LYONII*
 - B** SEMI-DWARF CITRUS - 24" BOX., FULL
- MEYER LEMON / *CITRUS X MEYERI*
- NAVAL ORANGE / *CITRUS SINENSIS*
 - C** ORNAMENTAL SHADE TREE - 60" BOX., FULL
- WESTERN SYCAMORE / *PLATANUS RACEMOSA*
 - D** EXISTING STREET TREE. PROTECT IN PLACE.
- CRAPE MYRTLE / *LAGERSTROEMIA SPP.*
 - D1** PROPOSED STREET TREE. 24" BOX., FULL
- CRAPE MYRTLE / *LAGERSTROEMIA SPP.*
 - E** EXISTING TREES - MIN. 8" DIA. PROTECT IN PLACE. UNLESS OTHERWISE NOTED.
- SHRUBS & GRASSES - LOW HYDROZONE (L)**
- 1** FRONT YARD, REAR YARD AND PARKWAY PLANTING 50% 5 GALLON @ 30" O.C., 50% 5 GALLON @ 4" O.C. PROVIDE 3" THICK MULCH IN ALL AREAS.
- BLACK SAGE / *SALVIA MELIFERA*
- CALIFORNIA BUCKWHEAT / *ERIOGONUM CALIFORNICA*
- CALIFORNIA SUNFLOWER / *ENCELIA CALIFORNICA*
- CANYON PRINCE WILD RYE / *LEYMUS CONDENSATUS* 'CANYON PRINCE'
- DEER GRASS / *MUHLENBERGIA RIGENS*
- LEMONADEBERRY / *RHUS INTEGRIFOLIA*
- MULE FAT / *BACCHARIS SALICIFOLIA*
- PACIFIC WAX MYRTLE / *MYRICA CALIFORNICA*
- ST. CATHERINE'S LACE / *ERIOGONUM GIGANTEUM*

SHRUBS & GRASSES (cont.) - LOW HYDROZONE (L)

- 2** SIDE YARD AND DRIVE-AISLE PLANTING 60% 5 GALLON @ 30" O.C., 40% 1 GALLON @ 18" O.C. PROVIDE 3" THICK MULCH IN ALL AREAS.
- CHAPARRAL CURRANT / *RIBES MALVACEUM*
- COFEEBERRY / *RHAMNUS CALIFORNICA*
- CALIFORNIA FIELD SEDGE / *CAREX PRAEGRACILIS*
- CALIFORNIA GREY RUSH / *JUNCUS PATENS*
- CALIFORNIA MORNING GLORY / *CALYSTEGIA MACROSTEGIA*
- MEADOW RUE / *THALICTRUM FENDLERI*
- LEMONADEBERRY / *RHUS INTEGRIFOLIA*
- PACIFIC WAX MYRTLE / *MYRICA CALIFORNICA*
- YARROW / *ACHILLEA MILLEFOLIUM*

LANDSCAPE CALCULATIONS

All setback and open space areas not occupied by driveways, parking areas, walkways, building projections and approved hardscape areas, shall be planted, except where a required setback is screened from public view per Culver City Zoning Code 17.310.020 Landscape Area Requirements.

LANDSCAPE AREA = 1,017 sq. ft.
(Includes all planting and mulch areas)

***HARDSCAPE AREA** = 2,548 sq. ft.
(Includes pedestrian walkways, ramp and drive-court)

PERMEABLE AREA = 2,182 sq. ft.
(Includes planting and gravel beds and permeable paving at drive-court)

*All impermeable concrete and stone paving drain into immediately adjacent permeable gravel and planter beds. Concrete drive-aisle drains into Grasscrete open cell permeable paving system.

HARDSCAPE LEGEND

- 1** CONCRETE PAVERS SET IN A PERMEABLE GRAVEL BED. SIZES OF PAVERS VARY PER PLAN. PROVIDE 2" X 4" GRAVEL JOINTS BETWEEN PAVERS. EXPOSED AGGREGATE FINISH
- 2** 4" THICK CONCRETE PEDESTRIAN RAMP. HEAVY SANDBLAST FINISH.
- 3** STONE PAVERS WITH MORTAR BASE.
- 4** 3/8" TO 3/4" CRUSHED GRAVEL. THICKNESS VARIES. INSTALL ABOVE 3" LAYER OF COMPACTED CRUSHED AGGREGATE AND 1/2" SAND BASE.
- 5** 1/2" THICK CORTEN STEEL RETAINING WALL. HEIGHT VARIES.
- 6** 42"H CONCRETE PATIO WALL.
- 7** 42" HIGH STEEL ENTRY GATE.
- 8** COLORED CONCRETE PAVERS AT DRIVE COURT WITH MORTAR BASE.
- 9** GRASSCRETE OPEN-CELL CONCRETE DRIVE-COURT WITH GRAVEL FILLED VOIDS.
- 10** GREENSCREEN METAL TRELLIS SYSTEM ALONG CARPORT.
- 11** 1/8" X 4" ALUMINUM EDGING WITH 12" ALUMINUM STAKES.
- 12** CONCRETE FIRE-PIT. (POTENTIAL)
- 13** 18"H X 18"W BLACK LOCUST FSC WOOD BENCH.
- 14** OUTDOOR KITCHEN W/ CONCRETE COUNTERTOP AND BUILT-IN BBQ INCLUDING LOWER CABINETRY STORAGE. (POTENTIAL).
- 15** WATER FEATURE - SCUPPER WATER SPILL WITH RETURN GRAVEL BED (OPTIONAL)
- 16** TRASH ENCLOSURE. REFER TO ARCH.
- 17** WOOD FENCE. HEIGHT TO BE DETERMINED.
- 18** CMU BLOCK WALL. HEIGHT TO BE DETERMINED.

LANDSCAPE NOTES

- All Landscape and Irrigation shall conform to Culver City Municipal Code, chapter 17.310 - Landscaping and all other applicable city and regional standards.
- Maintenance: All required landscape areas shall be maintained by the Owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit. Landscape & Irrigation areas in the pedestrian right-of-way/parkway shall be maintained by Owner.
- Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavement, or where new public improvements are placed adjacent to existing trees. The root barrier will not be wrapped around the root ball.
- All street facing setback areas shall be landscaped within 6 months of occupancy. Front setback areas shall be landscaped with live plant material for a min. of 75% of the subject area.
- Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15 gallon size or 60 inch-box size material, respectively.
- All planted areas shall be provided with a permanent automatic irrigation system. Rain sensor will be provided to automatically shut off system during weather changes. No run-off or overspray shall cross property lines or paved areas.
- Any existing landscaping indicated on the approved landscape plan for retention that is damaged or removed during construction shall be repaired or replaced in kind with plants of equivalent size.

LANDSCAPE CONSULTANT:

ARON
NUSSBAUM
STUDIO

1308 Factory Pl. #510
Los Angeles, CA 90013

[323] 790-4782
studio@aronnussbaum.com

PROJECT NAME & LOCATION:

DUQUESNE TRIAD

4241 DUQUESNE AVENUE
CULVER CITY, CA 90232

PROJECT NUMBER:

2014-MFD-DUQ-05

PROJECT PHASE:

Preliminary Landscape Plan

DRAWING REVISIONS:

#	REVISION	DATE:	BY:
1	CULVER CITY SUBMITTAL	8/20/15	AN

NORTH ARROW:



STAMP:

SCALE: 3/16" = 1'-0"



DRAWN BY: AN

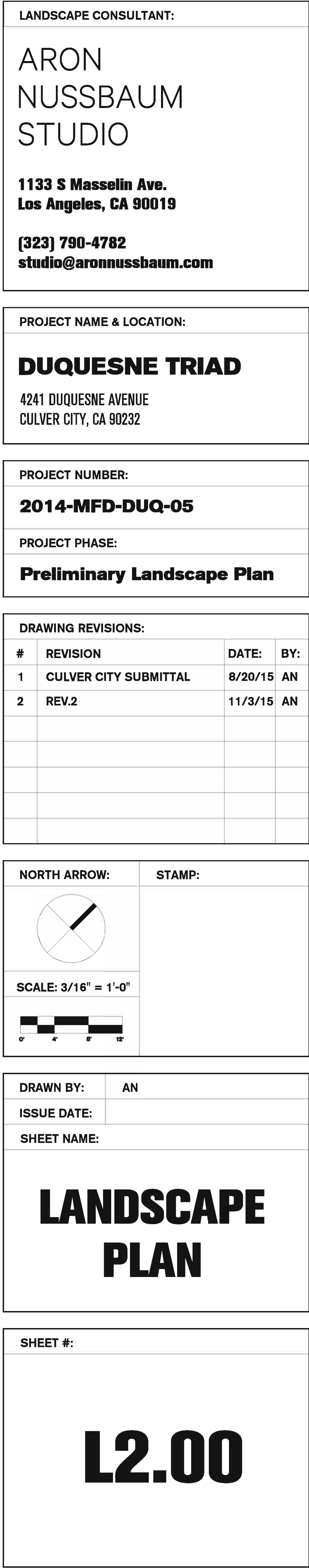
ISSUE DATE:

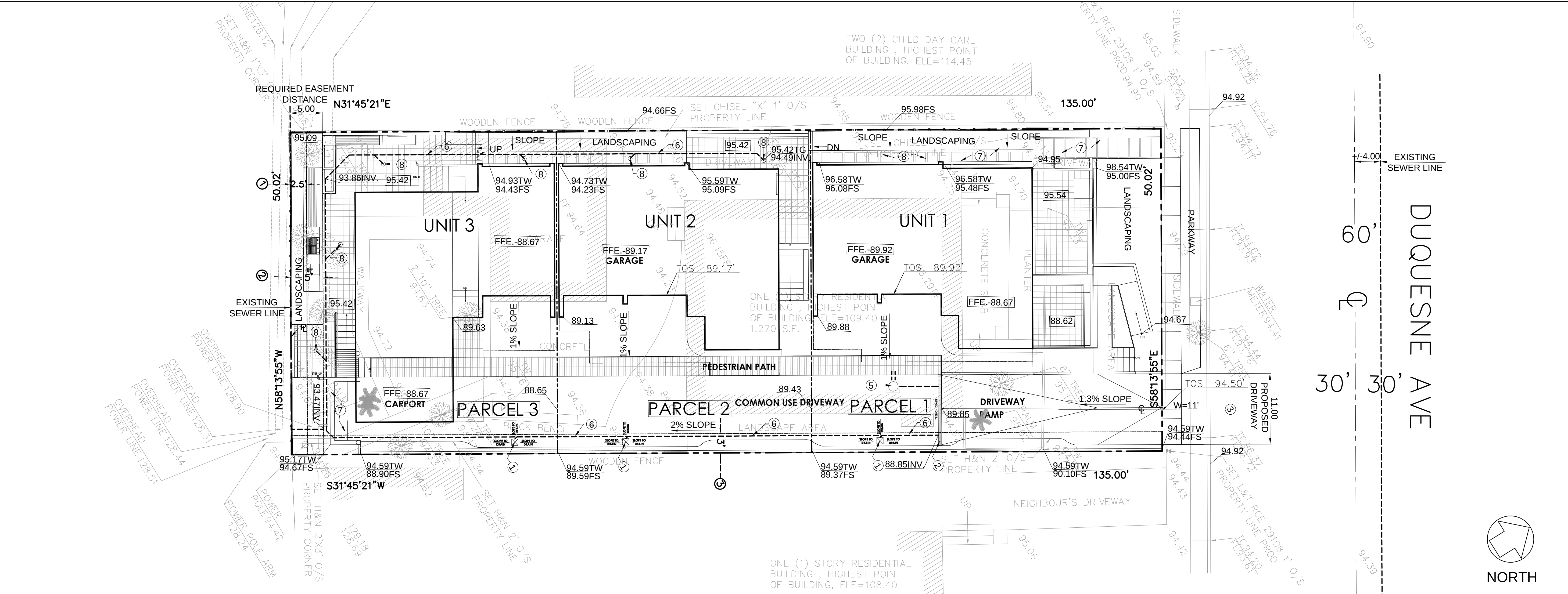
SHEET NAME:

LANDSCAPE
PLAN

SHEET #:

L1.00





TALA ASSOCIATES
1916 COLBY AVENUE,
LOS ANGELES, CA. 90025 (424) 832-3455

REYNALDO T DE RAMA
CIVIL ENGINEER

SITE ADDRESS: 4241 DUQUESNE AVENUE,
CULVER CITY, CA. 90232

APN: 4207-022-008

PROPERTY DESCRIPTION:
LOT 8 IN BLOCK "19" OF TRACT NO.
1775, IN THE CITY OF CULVER,
COUNTY OF LOS ANGELES, STATE OF
CALIFORNIA AS PER MAP RECORDED
IN BOOK 21 PAGES 190 THROUGH 191
OF MAPS, IN THE OFFICE OF COUNTY
RECORDER OF SAID COUNTY.

PRELIMINARY GRADING PLAN

SCALE: 1"=10'

1

- ① ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND ANY AMENDMENTS THERETO, OTHER CITY STANDARDS, AND TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR/CITY ENGINEER, OR HIS/HER DESIGNEE.

② TRAFFIC CONTROL SHALL BE PER W.A.T.C.H. AND TO THE SATISFACTION OF THE PUBLIC WORKS INSPECTOR.

③ CONTRACTOR SHALL CALL FOR INSPECTION FOR ANY WORK PROPOSED AT 310.253.5610 AT LEAST 48 HOURS IN ADVANCE. FAILURE TO PROPERLY NOTIFY THE PUBLIC WORKS INSPECTOR IS CAUSE FOR REVOCATION OF PERMIT.

④ THE APPLICANT SHALL BE RESPONSIBLE FOR THE EXPENSE AND TO REPAIR OR REPLACE ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY, TO INCLUDING EXISTING TRAFFIC LOOPS, SIGNAL, LIGHTING, ELECTRICAL SYSTEMS, AND UNDERGROUND INSTALLATIONS (WHETHER OR NOT PHYSICALLY MARKED OR SHOWN ON THE CONTRACT PLANS), DAMAGED CAUSED BY THE CONSTRUCTION OF THE PROPOSED WORK OR PROJECT. SUCH REPAIRS OR REPLACEMENT SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.

⑤ WORKING HOURS SHALL BE FROM 9:00 AM TO 3:00 PM WEEKDAYS ON PUBLIC RIGHT OF WAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER; ALL CONSTRUCTION ACTIVITY ON PRIVATE PROPERTY SHALL BE PROHIBITED, EXCEPT BETWEEN THE HOURS OF: 8:00 AM AND 8:00 PM MONDAYS THROUGH FRIDAYS; 9:00 AM AND 7:00 PM SATURDAYS; 10:00 AM AND 7:00 PM SUNDAYS

⑥ TO MINIMIZE INCONVENIENCE TO TRAFFIC AND THE PUBLIC IN GENERAL, THE CONTRACTOR SHALL SCHEDULE THE CONCRETE PLACEMENT AND/OR ROADWAY PAVEMENT TO BE COMPLETED NO LATER THAN TWO (2) DAYS AFTER THE REMOVAL OPERATIONS, UNLESS APPROVED BY PUBLIC WORK INSPECTOR. SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR MOVEMENT AT AND AROUND ALL CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES. APPROVED BARRIERS AND SIGNS (TRAFFIC FLAGGING PERSONNEL, IF NECESSARY), SHALL BE FURNISHED AND UTILIZED BY THE CONTRACTOR TO ENSURE PUBLIC SAFETY AT ALL TIMES.

⑦ THE CONTRACTOR SHALL NOT DISCHARGE OR PERMIT TO BE DISCHARGED TO ANY STREET, STORM DRAIN, OF ANY APPURTENANCE THEREOF, ANY NON-RAIN WATER OR OTHER LIQUID FROM THE PROJECT SITE OF FROM OPERATIONS PERTAINING TO THE PROJECT SITE, PER NPDES REGULATIONS AND CITY'S STORM WATER POLLUTION ORDINANCE SECTION 5.02.500 ET SEQ.

⑧ CATCH BASINS WITHIN 50 FEET OF WORK AREA SHALL BE PROTECTED WITH PERMEABLE FABRIC AND SANDBAGS PRIOR TO COMMENCING WORK AND MAINTAINED DURING DURATION OF OPERATION. FAILURE TO PROVIDE PROTECTION TO THE CATCH BASIN(S) AND STORM DRAIN INLET(S) IS CAUSE FOR REVOCATION OF PERMIT.

⑨ STOCKPIILING OF MATERIAL OR EQUIPMENT IN THE PUBLIC RIGHT OF WAY IS PROHIBITED UNLESS AUTHORIZED BY THE PUBLIC WORKS DIRECTOR/CITY ENGINEER, OR HIS/HER DESIGNEE.

⑩ THE PROJECT WORK AREA SHALL BE KEPT CLEAN, SAFE, AND SANITARY CONDITION. AT THE END OF EACH WORK DAY, THE PROJECT WORK AREA SHALL BE SWEEPED BY MANUAL OF MECHANICAL MEANS TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR/CITY ENGINEER OR HIS/HER DESIGNEE.

⑪ NO STAGING OF CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES ALONG PUBLIC RIGHT OF WAY UNLESS AUTHORIZED BY THE PUBLIC WORKS DIRECTOR/CITY ENGINEER OR HIS/HER DESIGNEE.

⑫ CONSTRUCTION VEHICLES SHALL NOT BE PARKED OVER NIGHT OR DURING NON-OPERATIONAL HOURS ON PUBLIC RIGHT OF WAY.

⑬ DRAINAGE TO STREET TO BE NON-ERROSIVE PIPE UNDER THE SIDEWALK WITH MIN. OF 2% SLOPE.

⑭ ALL DRAINAGE SHALL BE TAKEN TO THE STREET BY UNDER THE STREET PASSING UNDER THE SIDEWALK AND PARKWAY TO THE SATISFACTION OF CITY ENGINEER.

⑮ ALL UTILITIES MUST BE UNDERGROUND BEFORE FINAL APPROVAL.

⑯ A SEPARATE PERMIT IS REQUIRED FOR SUMP PUMP.
- CULVER CITY GENERAL GRADING NOTES
- 2

ALL WORK HEREON SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND ALL SUPPLEMENTS THERETO.

DIGALERT
DIAL TOLL FREE
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

NO DUMPING
THIS DRAINS TO OCEAN

④ CATCH BASIN STENCIL

3

CONSTRUCTION NOTES:

① AREA DRAIN PER ARCHITECTURAL PLAN

② TRENCH DRAIN

③ CONSTRUCT DRIVEWAY X=1', Y=3', W=11'

④ STENCIL DETAIL 'NO DUMPING, DRAINS TO OCEAN

⑤ SUMP PUMP PER MECHANICAL ENGINEER'S DETAIL

⑥ 4" P.V.C. UNDERGROUND STORM DRAIN PIPE

⑦ PERMEABLE PAVERS PER LANDSCAPE DESIGN

⑧ 4" P.V.C. DRAIN

EARTHWORK QUANTITIES

CUT = 970 C.Y.

FILL = 00 C.Y.

VICINITY MAP
N.T.S.

SITE

4241 Duquesne Ave

Public Art "Wings of the World"

Public "Crossing"

NORTH

PRELIMINARY GRADING PLAN

4241 DUQUESNE AVENUE, CULVER CITY, CA. 90232

DATE: 12-23-15

SCALE: AS SHOWN

DESIGNED: KK

DRAWN: KK

CHECKED: RDR

SHEET: C1 OF 1

JOB NO. : 3159

4

REYNALDO T. DE RAMA

R.C.E. NO.- 2908

EXPIRES: 03-31-17

DATE:

PRELIMINARY GRADING PLAN

4241 DUQUESNE AVENUE, CULVER CITY, CA. 90232

DATE: 12-23-15

SCALE: AS SHOWN

DESIGNED: KK

DRAWN: KK

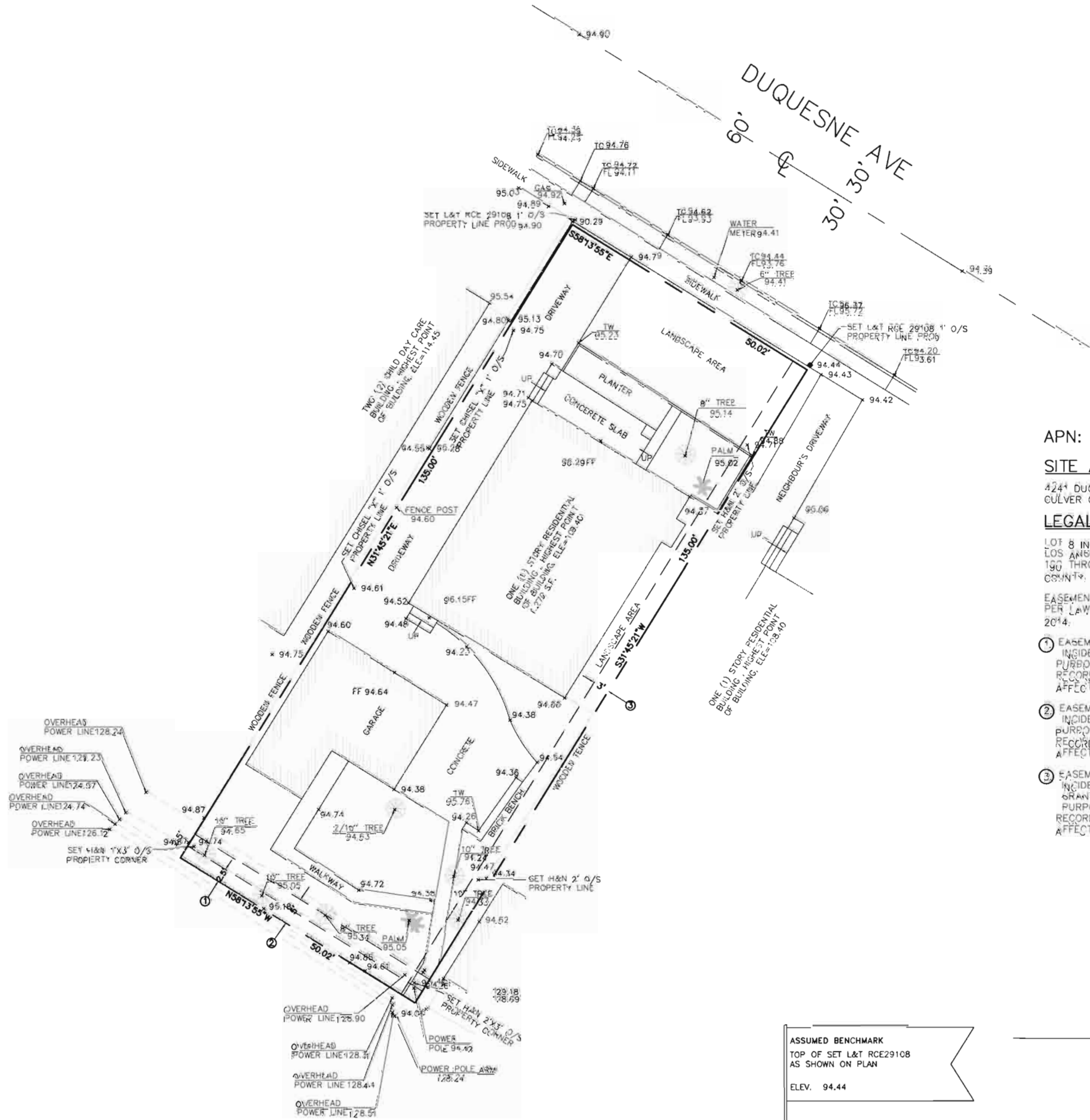
CHECKED: RDR

SHEET: C1 OF 1

JOB NO. : 3159



SCALE: 1"=10'



APN: 4207-022-008

SITE ADDRESS:

424 DUQUESNE AVENUE
CULVER CITY, CA 90232

LEGAL DESCRIPTION:

LOT 8 IN BLOCK "19" OF TRACT NO. 1776, IN THE CITY OF CULVER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 24 PAGES 190 THROUGH 191 OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY.

EASEMENT NOTES:
PER LAWYERS TITLE COMPANY, REFERENCE NO. 010212-MT; DATED: AUGUST 4, 2014.

1. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: PUBLIC UTILITIES
RECORDED: IN BOOK 6244 PAGE 281 OF DEEDS
AFFECTS: A PORTION OF SAID LAND
2. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: PUBLIC UTILITIES
RECORDED: IN BOOK 6849 PAGE 328 OF DEEDS
AFFECTS: A PORTION OF SAID LAND
3. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
GRANTED TO: THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDED: JANUARY 5, 1978 IN BOOK 78-1227 OF OFFICIAL RECORDS
AFFECTS: THE SOUTHWESTERLY 3 FEET OF SAID LAND

NOTE:
THIS SURVEY AND MAP ARE THE PROPERTY OF TALA ASSOCIATES, INC. AND MAY NOT BE MODIFIED, ALTERED OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY TALA ASSOCIATES, INC. AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVISIO EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK OR E-MAIL THAT MAP BE PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISIO WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED BY TALA ASSOCIATES, INC. AS TO SUCH CHANGED MATERIAL.

NOTE:
THIS SURVEY IS INTENDED FOR DESIGN PURPOSES ONLY AND NOT FOR CONSTRUCTION. BOUNDARY STAKING MUST BE CONDUCTED PRIOR TO ANY CONSTRUCTION IN ORDER TO JUSTIFY THE PROPER LEGAL SET BACKS, IF ANY, OF THE NEWLY PLANNED CONSTRUCTION. "EYE-BALLING" OR GUESSING THE BOUNDARY LOCATIONS HAS NO JUSTIFICATION AND IF PERFORMED CANCEL THE VALIDITY AND ACCURACY OF THIS SURVEY.

ASSUMED BENCHMARK
TOP OF SET L&T RCE 29108
AS SHOWN ON PLAN
ELEV. 94.44

TOPOGRAPHY SURVEY		
 TALA ASSOCIATES 1916 COLBY AVENUE LOS ANGELES, CA. 90025 (424) 832-3455	DATE: 10-15-14	REVISIONS
	SCALE: AS SHOWN	
	DESIGNED: KK	
	DRAWN: KK	
	CHECKED: RDR	
	SHEET: 1 OF 1	
	JOB NO: 3159	
	REYNALDO T. DE RAMA	R.C.E. 29108 EXP. 3-31-15

TS-1

