

LBA REALTY

ONE CULVER

10000 W. WASHINGTON BOULEVARD
CULVER CITY, CA 90232

~~FACADE PACKAGE - PERMIT / PRICING SET~~

**SITE PLAN REVIEW MODIFICATION TO CHANGE USE FROM
RESTAURANT/RETAIL TO OFFICE FOR A GROUND LEVEL TENANT SPACE.**

LBA REALTY
OWNER
3347 Michelson Drive
Suite 200
Irvine, California 92612
Telephone: 949.833.0400
www.LBArealty.com

Gensler
ARCHITECT
500 S. Figueroa Street
Los Angeles CA 90071
Telephone: 213.327.3600
Facsimile: 213.327.3601

Contact: Ryan Spruston



**FACADE PACKAGE - PERMIT / PRICING SET
DECEMBER 02, 2020**

SHEET NUMBER	SHEET NAME	ISSUANCE RECORD
		PERMIT / PRICING SET

GENERAL		
G0.000	CULVER	---
G0.001	DRAWING INDEX	X
G0.002	PROPOSED DEMOLITION, ALTERATIONS & REMOVALS	---
G0.003	GENERAL NOTES	---
G0.004	PROPOSED FINISHES	---
G0.005	PROPOSED INTERIORS - DEMOLITION	---
G0.006	PROPOSED FINISH PLAN - LEVEL 04000	---

DEMOLITION		
DM1.201	DEMOLITION PLAN - LEVEL 01	X

ARCHITECTURE		
A0.000	GENERAL SCHEDULES	---
A1.201	CONSTRUCTION PLAN - LEVEL 01	X
A2.000	EXTERIOR VIEWS - CULVER BLVD	X
A2.001	EXTERIOR VIEWS - ENTRY	X
A2.002	AXONOMETRIC - CULVER BLVD	X
A2.003	AXONOMETRIC - WASHINGTON BLVD	X
A2.004	AXONOMETRIC - LEVEL 01	X
A2.005	BUILDING ELEVATIONS - NORTH & SOUTH	X
A2.200	BUILDING SECTIONS - EAST-WEST	X
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A3.100	ENLARGED PLAN - SUITE 101 & ZEN TERRACE	X
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A5.100	EXTERIOR DETAILS - TYPICAL STOREFRONT	X
A5.101	EXTERIOR DETAILS - TYPICAL STOREFRONT	X

Date Description
12/2/2009 PERMIT / PRICING SET

[Signature]

NOT FOR CONSTRUCTION

Project Name
ONE CULVER
1000 W. INDEPENDENCE BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000

Description
DRAWING INDEX

Scale
NOT TO SCALE

G0.001



- (N) ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM FRAMED GLASS DOORS
- (E) BOARD FORMED CONCRETE TO REMAIN
- (E) METAL COLUMN ENCLOSURE TO REMAIN
- (N) FURNITURE, UMBRELLAS, PLANTERS LOCATED ON ZEN TERRACE

NOTE: SCOPE ON ZEN TERRACE ONLY INCLUDES FF&E ITEMS. RE A3.101 FOR SCHEDULE OF FF&E ITEMS.
 ALL SITE WORK IS EXISTING TO REMAIN.



- (E) BOARD FORMED CONCRETE TO REMAIN
- (N) BRASS METAL, PAINTED TO MATCH CURTAIN WALL AND CANOPY
- (N) FF&E UMBRELLA
- (N) ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM FRAMED GLASS DOORS
- (E) METAL COLUMN ENCLOSURE TO REMAIN
- (N) ALUMINUM FOLDING GLASS WALL SYSTEM
- (N) FF&E TABLES & CHAIRS
- (N) FF&E FIBERGLASS PLANTER
- (E) CONCRETE PLANTER TO REMAIN

NOTE: SCOPE ON ZEN TERRACE ONLY INCLUDES FF&E ITEMS. RE A3.101 FOR SCHEDULE OF FF&E ITEMS.
 ALL SITE WORK IS EXISTING TO REMAIN.

Date	Description
12/22/2010	PERMIT / PRICING SET

 Seal/Signature

NOT FOR CONSTRUCTION

Project Name
ONE CULVER
 1000 W. INDEPENDENCE BOULEVARD
 CULVER CITY, CA 90230
 Project Number
05.9438.000

Description
 EXTERIOR VIEWS - CULVER BLVD

Scale
 12" = 1'-0"

A2.000



- (E) ATRIUM STRUCTURE AND GLAZING TO REMAIN
- (E) BOARD FORMED CONCRETE TO REMAIN
- (E) COMPOSITE METAL PANEL
- (N) METAL PANEL CANOPY, PAINTED
- (N) METAL PANEL, PAINTED TO MATCH STOREFRONT MULLIONS AND CANOPY
- (N) ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM FRAMED GLASS DOORS
- (E) METAL COLUMN ENCLOSURE TO REMAIN
- (E) CONCRETE PAVING TO REMAIN

Date 12/2/2010
Description PDMA1 / PRSING SET

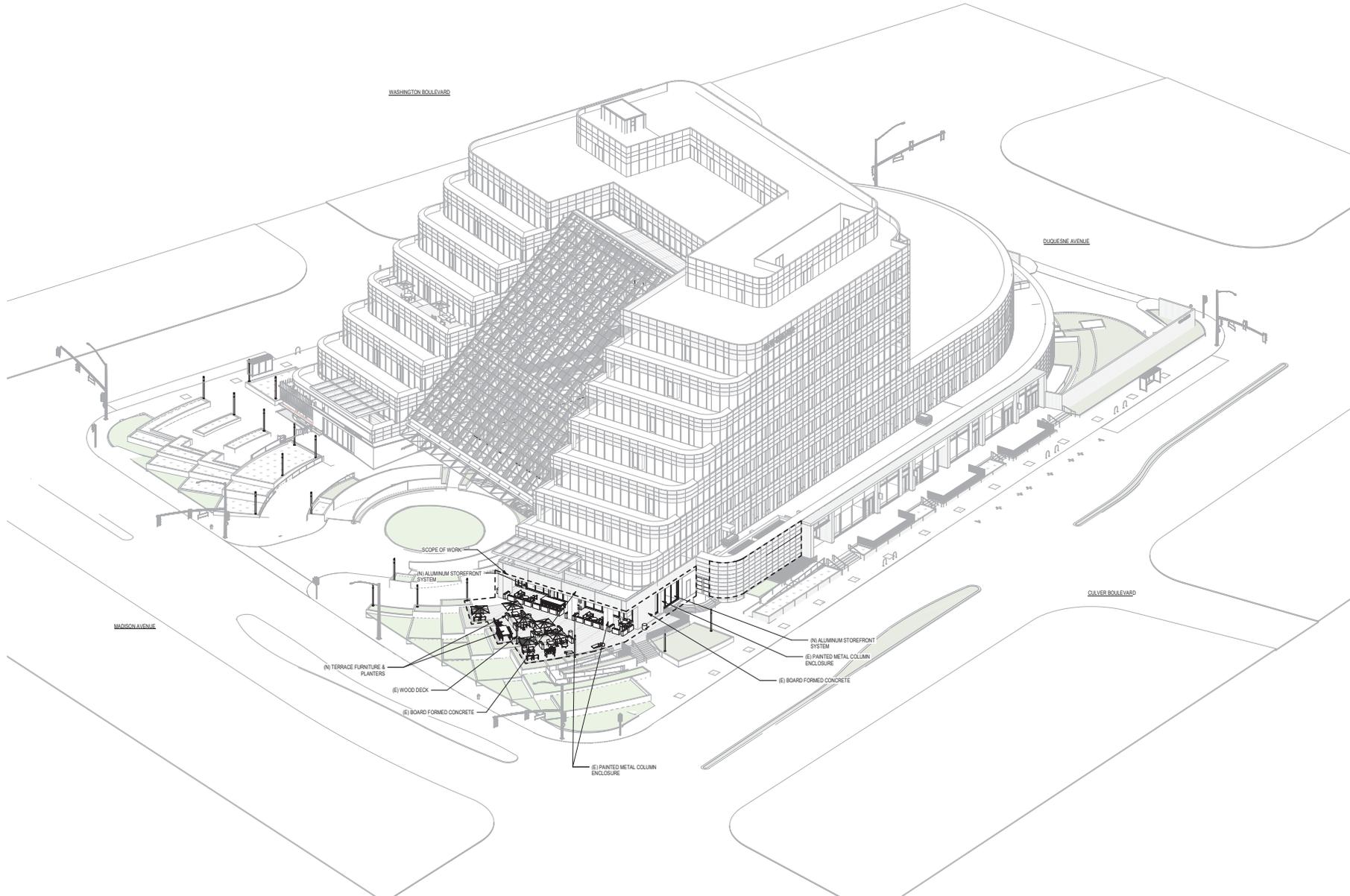
Architect Signature

NOT FOR CONSTRUCTION

Project Name
ONE CULVER
1000 W. INDEPENDENCE BOULEVARD
CULVER CITY, CA 90230
Project Number
05.9438.000
Description
EXTERIOR VIEWS - ENTRY

Scale
12" = 1'-0"

1 EXTERIOR VIEW - COURTYARD ENTRY
SCALE: 12" = 1'-0"



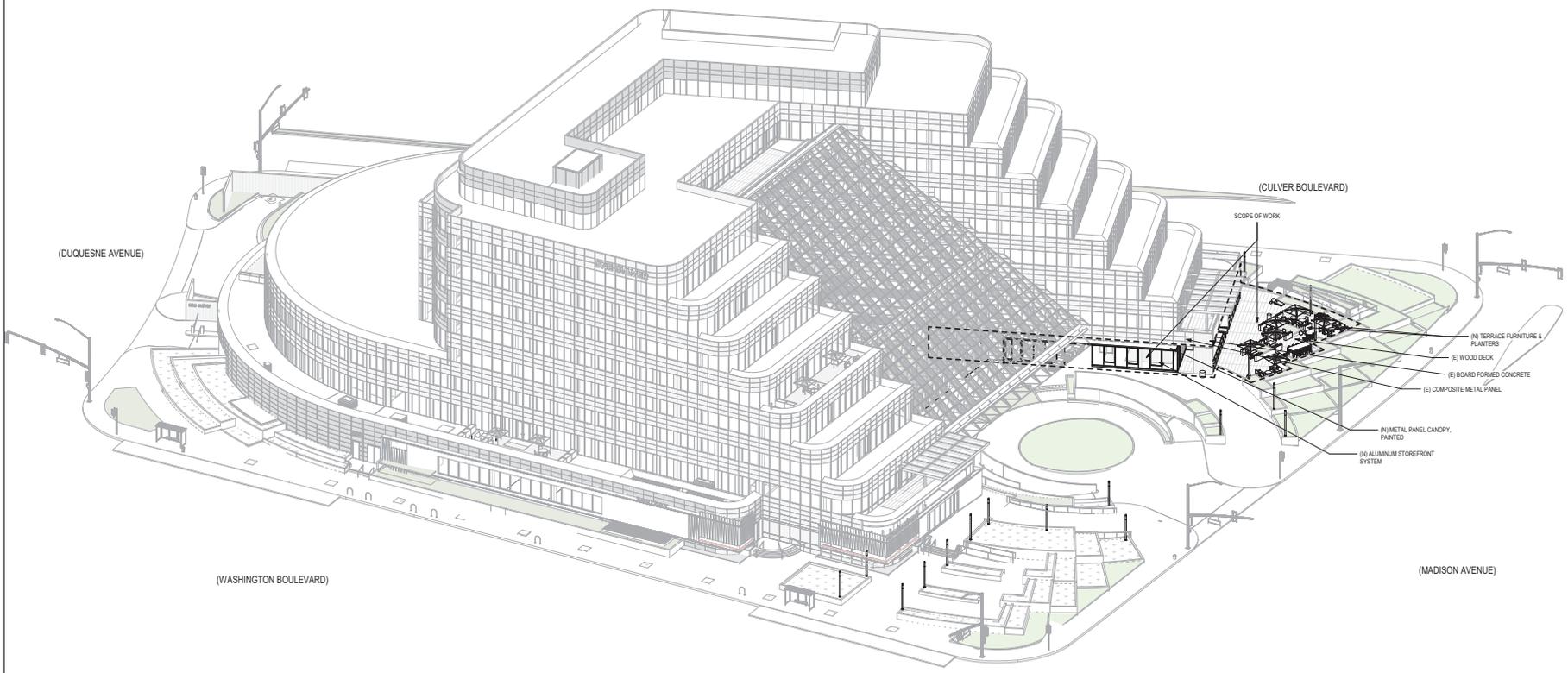
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 Seal/Signature

NOT FOR CONSTRUCTION

Project Name
ONE CULVER
 1000 W. WASHINGTON BOULEVARD
 CULVER CITY, CA 90230
 Project Number
05.9438.000
 Description
 AXONOMETRIC - CULVER BLVD

FOR REFERENCE ONLY



- (N) TERRACE FURNITURE & PLANTERS
- (E) WOOD DECK
- (E) BOARD FORMED CONCRETE
- (E) COMPOSITE METAL PANEL
- (N) METAL PANEL CANOPY, PAINTED
- (N) ALUMINUM STOREFRONT SYSTEM

Date	Description
12.02.2009	PCB067 / PRSING SET

 Seal/Signature

NOT FOR CONSTRUCTION

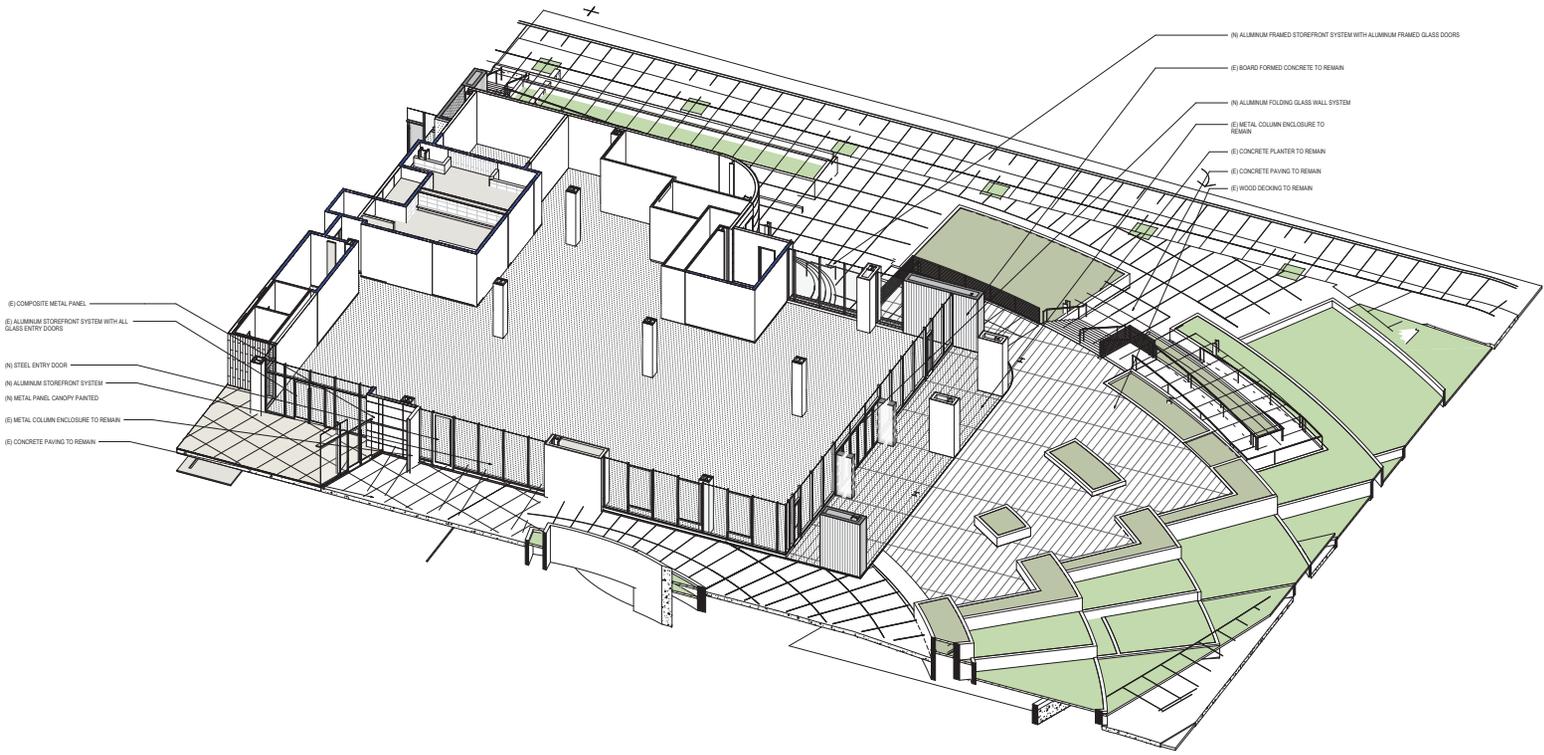
Project Name
ONE CULVER
 1000 W WASHINGTON BOULEVARD
 CULVER CITY, CA 90230

Project Number
05.9438.000

Description
 AXONOMETRIC - WASHINGTON BLVD

Scale

FOR REFERENCE



- (E) COMPOSITE METAL PANEL
- (E) ALUMINUM STOREFRONT SYSTEM WITH ALL GLASS ENTRY DOORS
- (N) STEEL ENTRY DOOR
- (N) ALUMINUM STOREFRONT SYSTEM
- (N) METAL PANEL CANOPY PAINTED
- (E) METAL COLUMN ENCLOSURE TO REMAIN
- (E) CONCRETE PAVING TO REMAIN

- (N) ALUMINUM FRAMED STOREFRONT SYSTEM WITH ALUMINUM FRAMED GLASS DOORS
- (E) BOARD FORMED CONCRETE TO REMAIN
- (N) ALUMINUM FOLDING GLASS WALL SYSTEM
- (E) METAL COLUMN ENCLOSURE TO REMAIN
- (E) CONCRETE PLANTER TO REMAIN
- (E) CONCRETE PAVING TO REMAIN
- (E) WOOD DECKING TO REMAIN

Date	Description
12.02.2009	PERMIT / PRELIM SET

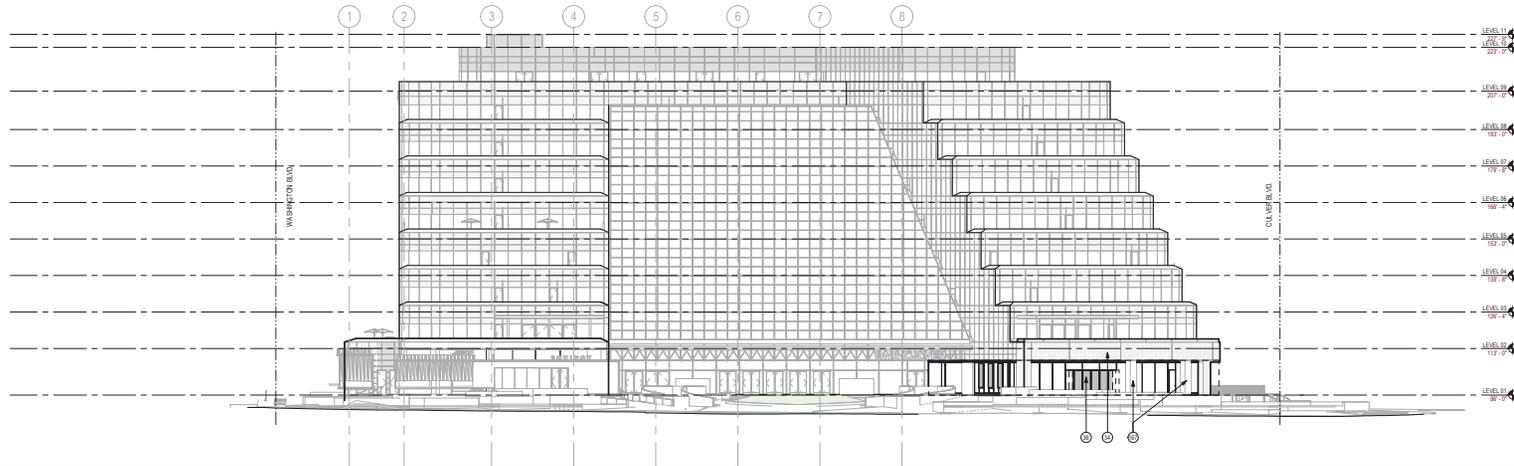
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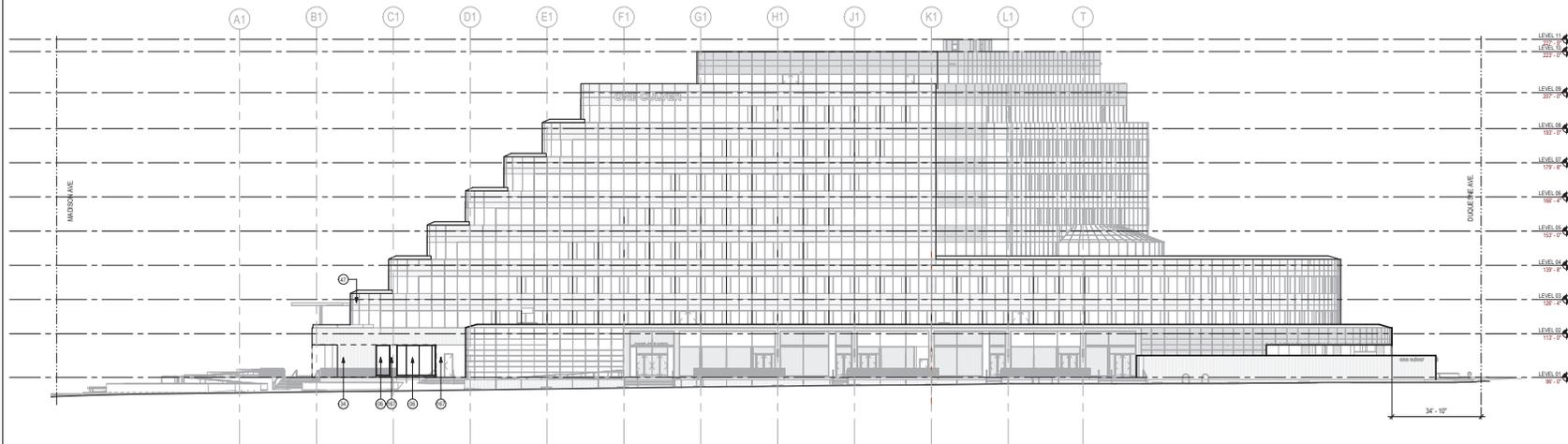
Project Name
ONE CULVER
 1000 W. HUNTERSWOOD BOULEVARD
 CULVER CITY, CA 90230
 Project Number
05.9438.000
 Description
 AXONOMETRIC - LEVEL 01

Scale
 NOT TO SCALE

A2.004



2 EXTERIOR ELEVATION - MADISON AVENUE
 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - CULVER BOULEVARD
 SCALE: 1/8" = 1'-0"

1. SEE A2.300 SERIES DRAWINGS FOR MORE INFORMATION.

	(E) BOARD FORMED CONCRETE
	(E) COMPOSITE METAL PANEL COLOR 1
	(E) COMPOSITE METAL PANEL COLOR 2
	SCOPE OF WORK

- 32 (E) EXTERIOR ALUMINUM STOREFRONT SYSTEM
- 34 (E) BOARD FORMED CONCRETE WALL
- 36 FUTURE RETAIL SIGNAGE BY TENANT. GC TO PROVIDE BARRICADE WITH GRAPHIC FILM
- 40 (E) METAL CLADDING PANELS
- 107 (E) BRASS METAL CLADDING

GENERAL NOTES

LEGEND

SHEET NOTES

Date Description
 12/22/2010 PERMIT PREP SET

Seal/Signature

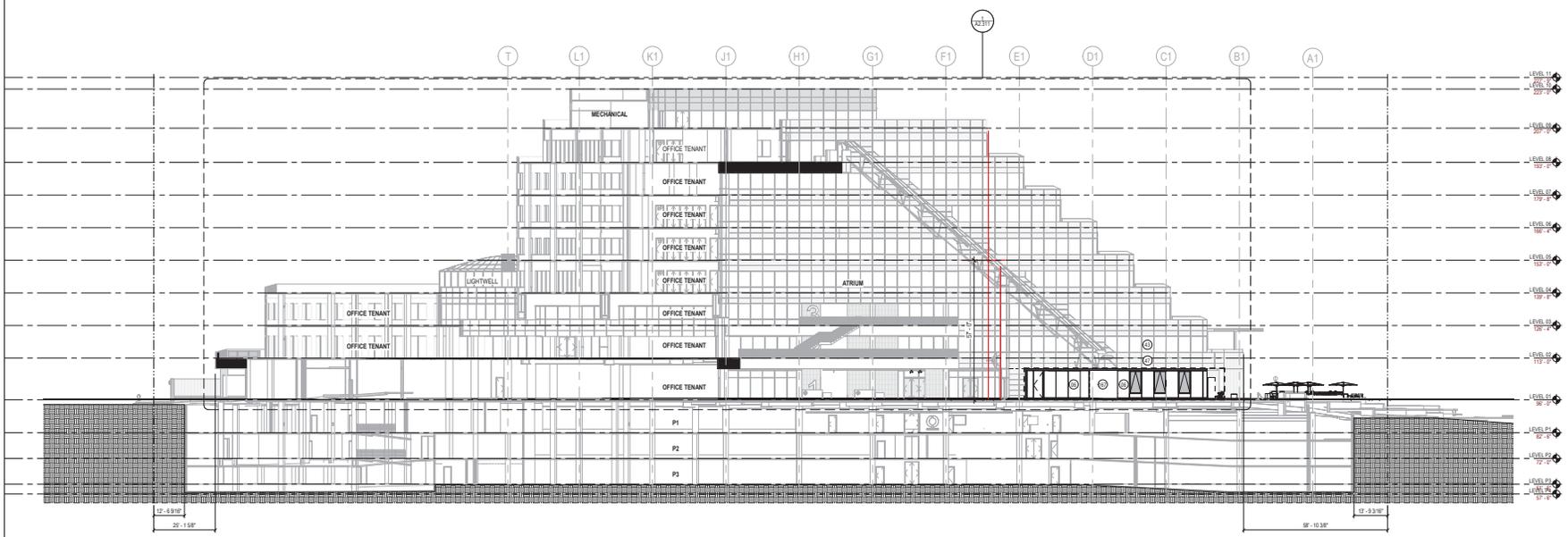
NOT FOR CONSTRUCTION

Project Name
ONE CULVER
 1000 W WASHINGTON BOULEVARD
 CULVER CITY, CA 90230
 Project Number
 05.9438.000

Description
 BUILDING ELEVATIONS - NORTH & SOUTH

Scale
 As indicated

A2.100



3 CONSTRUCTION BUILDING SECTION - E-W - LOOKING SOUTH
 SCALE: 1/8" = 1'-0"

	(E) BOARD FORMED CONCRETE		(N) EXTERIOR ALUMINUM STOREFRONT SYSTEM
	(E) COMPOSITE METAL PANEL COLOR 1		(G) GLAZING SYSTEM
	(E) COMPOSITE METAL PANEL COLOR 2		(M) METAL GLAZING PANELS
	SCOPE OF WORK		(B) BRAKE METAL CLADDING

GENERAL NOTES

LEGEND

SHEET NOTES

	Date	Description
	12/22/20	PERMIT / PRICING SET

Sheet Signature

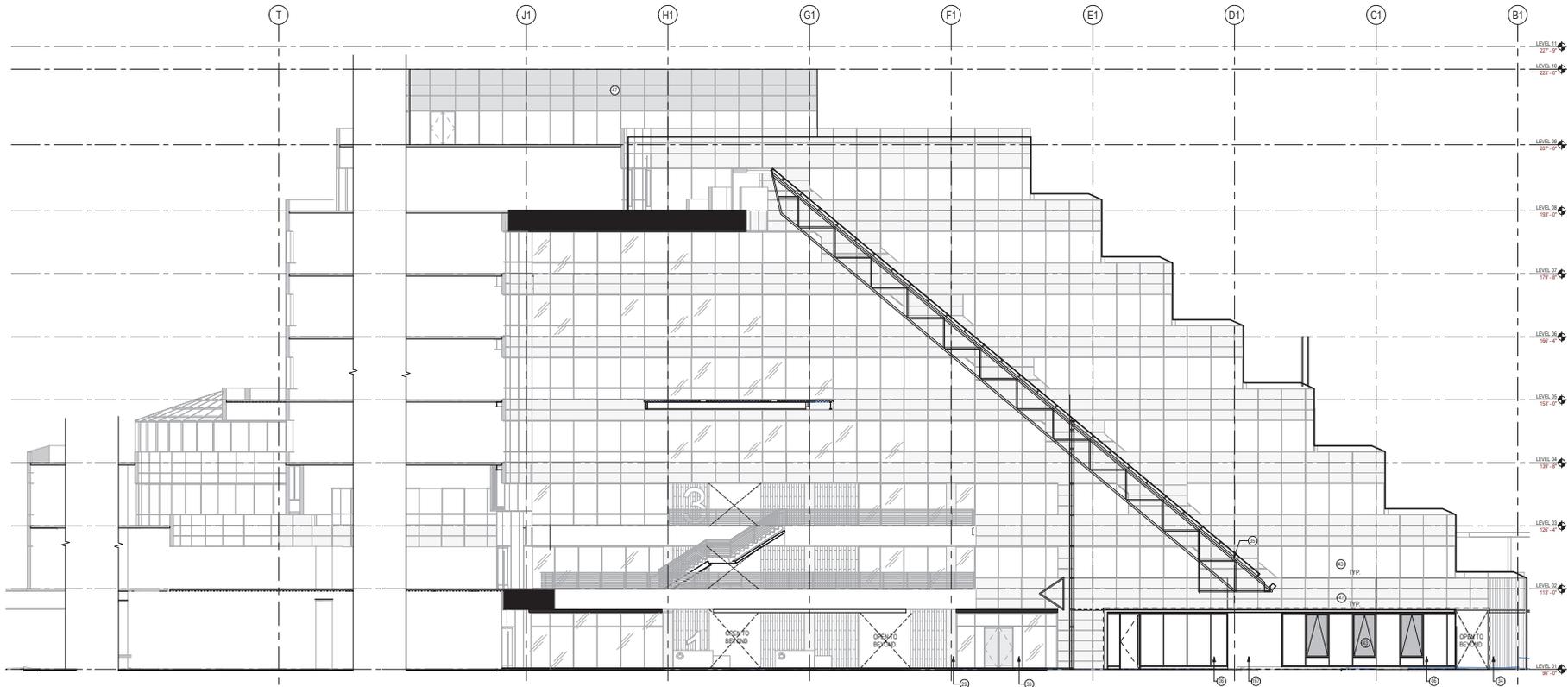
NOT FOR CONSTRUCTION

Project Name
ONE CULVER
 1000 W. HUNTINGTON BOULEVARD
 CULVER CITY, CA 90230
 Project Number
 05.9438.000

Description
 BUILDING SECTIONS - EAST-WEST

Scale
 As indicated

A2.200



1 METAL PANEL - INTERIOR ELEVATION - ATRIUM SOUTH
 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY PRIOR TO PROCEEDING AND FABRICATION OF NEW MATERIALS.

- | | | | |
|--|-----------------------------------|-----|---|
| | (E) BOARD FORMED CONCRETE | 30 | (N) EXTERIOR ALUMINUM STOREFRONT SYSTEM |
| | (E) COMPOSITE METAL PANEL COLOR 1 | 31 | (E) COLUMN WRAPPED OUT METAL COMPOSITE PANEL CLADDING |
| | (E) COMPOSITE METAL PANEL COLOR 2 | 32 | (E) ALL GLASS ENTRY STOREFRONT SYSTEM |
| | --- SCOPE OF WORK | 34 | (E) BOARD FORMED CONCRETE WALL |
| | | 42 | (E) GLAZING SYSTEM |
| | | 47 | (E) METAL GLAZING PANELS |
| | | 107 | (E) BRASS METAL CLADDING |
| | | 33 | (E) SPACE FRAME & ATRIUM GLAZING SYSTEM TO REMAIN |

Δ Date Description
 12/22/2016 F02667 PRISING SET

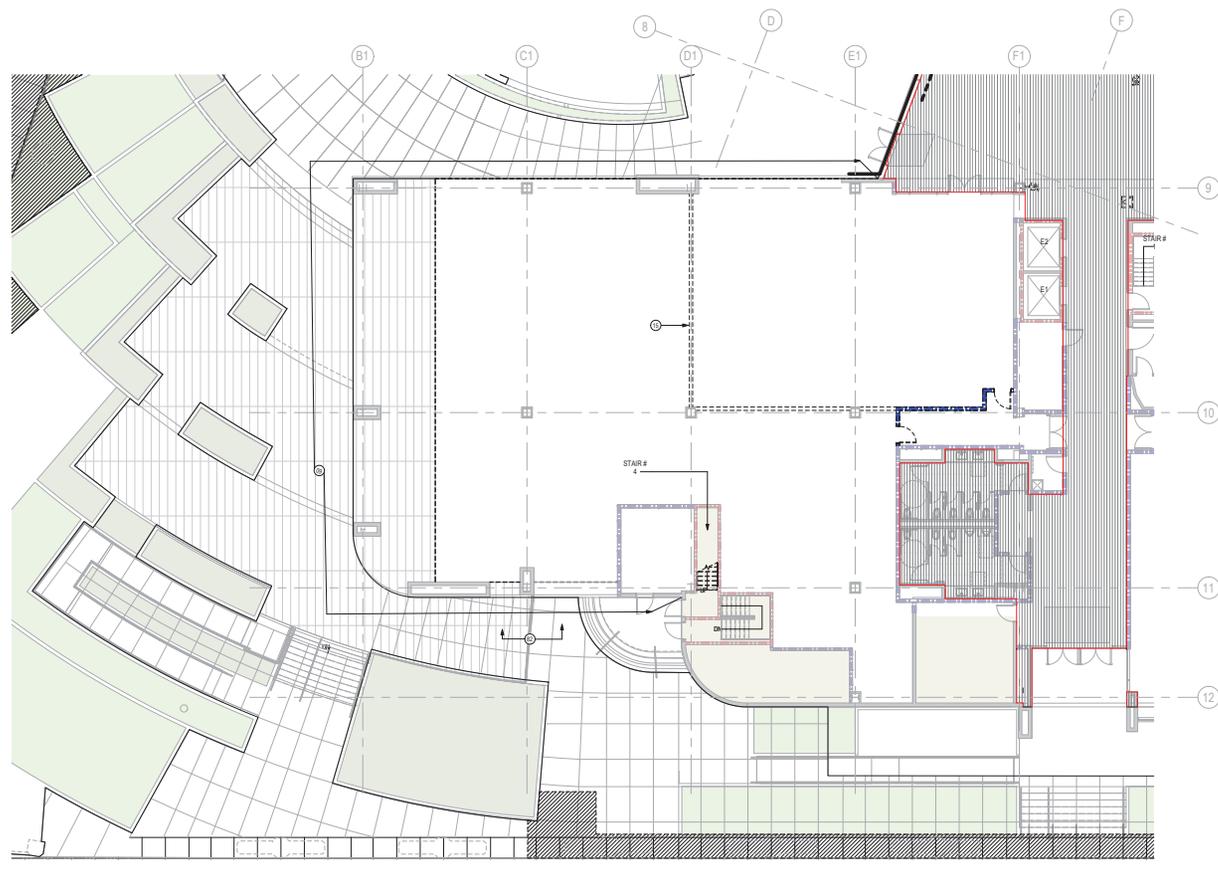
Seal/Signature

NOT FOR CONSTRUCTION

Project Name
ONE CULVER
 1000 W. HANCOCKTON BOULEVARD
 CULVER CITY, CA 90230
 Project Number
 05.9438.000

Description
 INTERIOR ELEVATION - ATRIUM SOUTH

Scale
 As indicated



1 DEMOLITION PLAN - LEVEL 01
 SCALE: 1/8" = 1'-0"

- A. CONTRACTOR TO V.I.F. THE CONDITION OF STUD WALL FRAMING AND IF THE EXISTING METAL FRAMING IS ADEQUATE FOR SUPPORT OF SPECIFIED NEW CONSTRUCTION FINISHES.
- B. CONTRACTOR TO EVALUATE EXISTING FIRE-RATED PARTITIONS AND REMOVE/REPAIR/REPLACE WALL CONSTRUCTIONS AS NECESSARY TO MAINTAIN DESIGNATED FIRE RATING.
- C. ALL WORK ADJACENT TO OCCUPIED SPACES MUST BE COORDINATED WITH DWELLER/TEENANT.
- D. FOR ALL WORK THAT AFFECTS ADJACENT TENANTS, CONTRACTOR MUST SECURE THE TENANT'S SPACE AT ALL TIMES.
- E. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER ON ANY MATERIALS ABATEMENT WORK TO BE COMPLETED UNDER SEPARATE CONTRACT WITH THE OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE SCHEDULING, SEQUENCE, AND SCOPE OF THE PROJECT'S DEMOLITION AND CONSTRUCTION WITH THE ABATEMENT SCOPE AND SCHEDULE, ASSISTING THE OWNER TO ENSURE CONSIDERABLY DEFINED BOUNDS OF WORK FOR ISOLATION OF THESE SCOPES FOR PRICING.
- F. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLES AND DEVICES, AND MISC. AND HVAC EQUIP. UNLESS OTHERWISE NOTED.
- G. COORDINATE SCHEDULE OF REMOVAL OF EXTERIOR ENVELOPE ELEMENTS WITH INSTALLATION OF NEW EXTERIOR SCOPE.
- H. SEE SHEET 05.200 FOR DEMOLITION NOTES.

- () NO WORK IN THIS AREA.
- - - - - (E) PARTITION TO BE DEMOLISHED
- ▬ (E) NON-RATED PARTITION TO REMAIN
- ▬ (E) 2-HR RATED PARTITION TO REMAIN
- ▬ (E) 1-HR RATED PARTITION TO REMAIN
- ⌋ (E) DOOR TO BE DEMOLISHED
- ⌋ (E) DOOR TO REMAIN

- 10 REMOVE EX. ALUMINUM GLAZING SYSTEMS AND ASSOCIATED DOORS AS SHOWN PATCH FLOOR, WALLS, AND CEILING AND REPAIR.
- 11 REMOVE EX. INTERIOR PARTITION AND ASSOCIATED DOORS AND FINISHES AS SHOWN. REMOVE ALL FLOOR FINISHES (TYP) AND CARPET TILE. PATCH AND REPAIR ADJACENT WALLS AND FLOOR AS REQUIRED. NOT ALL WALLS ARE SHOWN. GC AND SUBCONTRACTOR TO V.I.F.
- 12 PROTECT IN PLACE EX. GRANITE PANELS AND STEEL FRAMING. LEAVE WALL FEATURE BY OTHERS UNDER SEPARATE PERMIT.

GENERAL NOTES

LEGEND

SHEET NOTES

12/22/2010 10:06:57 PM REVISED SET

Signature

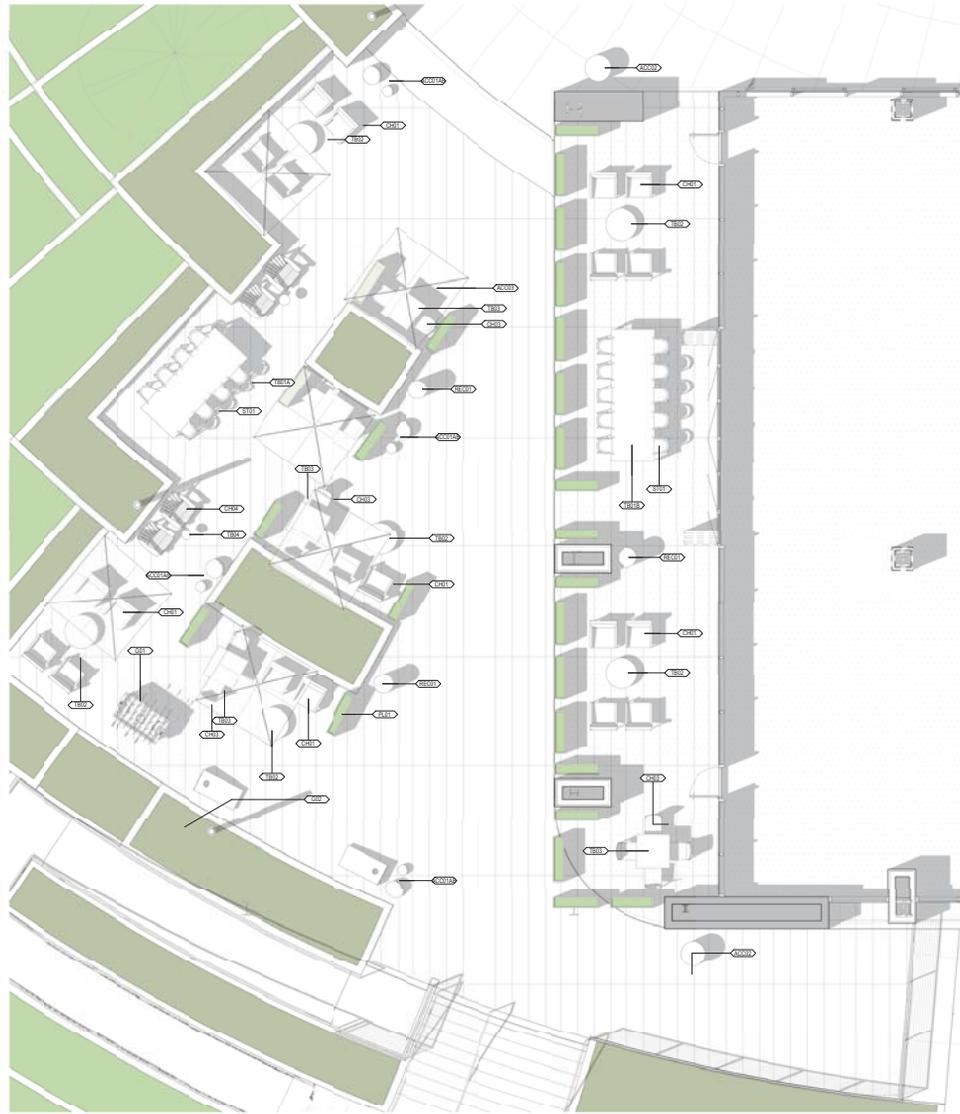
NOT FOR CONSTRUCTION

Project Name
ONE CULVER
 1000 W. HUNTINGTON BOULEVARD
 CULVER CITY, CA 90230
 Project Number
05.9438.000

Description
DEMOLITION PLAN - LEVEL 01

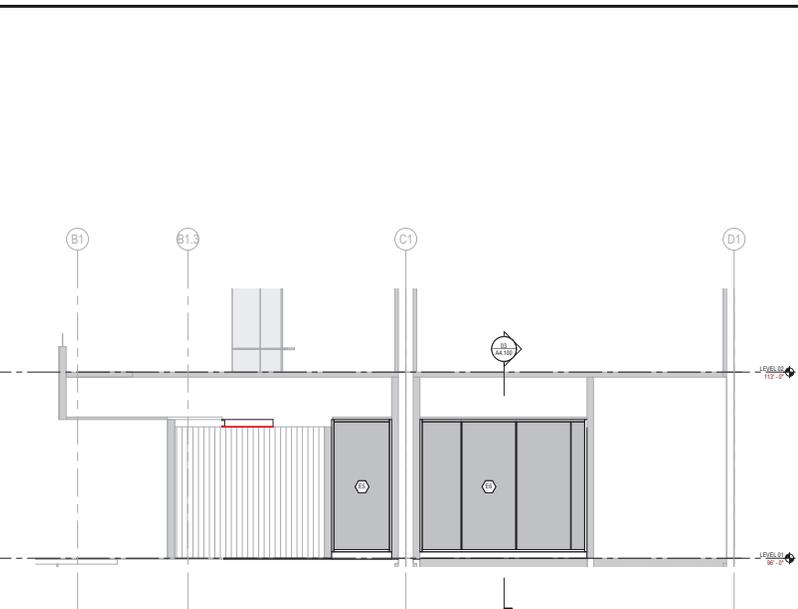
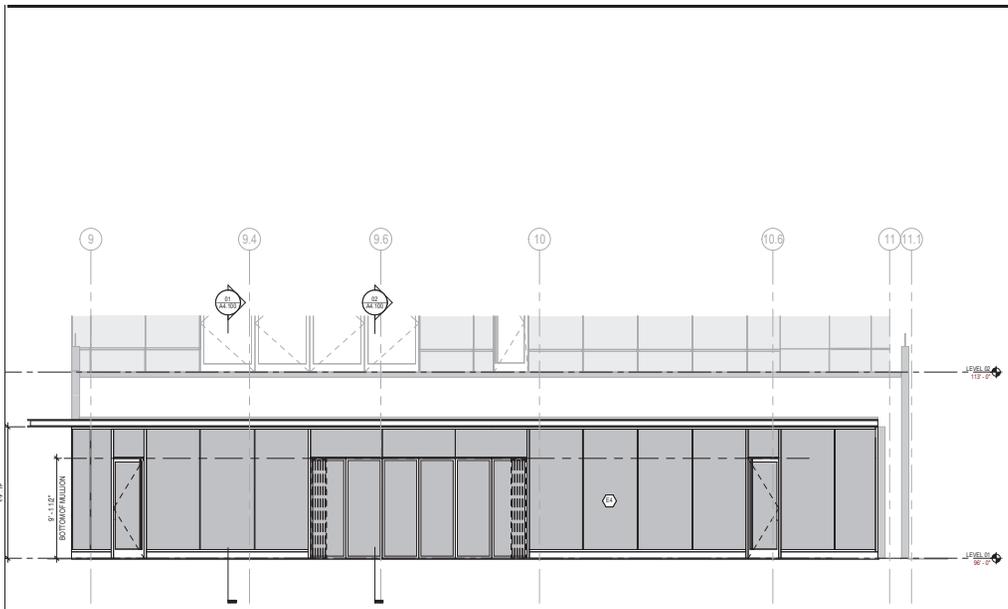
Scale
 As indicated

DM1.201



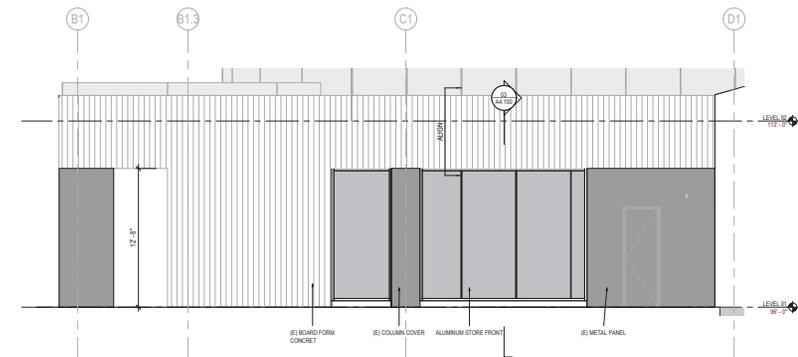
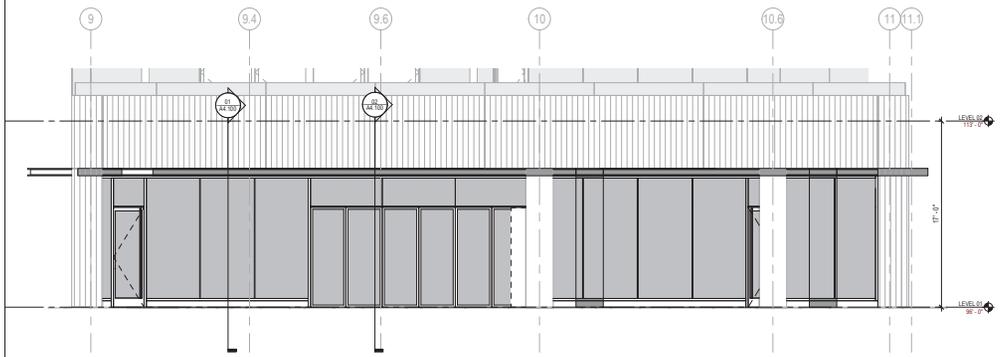
Type Mark	Image	Count	Manufacturer	Model	Description	Type Comments
ACC01AB		4	SMART AND GREEN	OUTDOOR BALL LAMP	LED LAMP OUTDOOR USE	1 PAIR (30 CM AND 50 CM DIA.)
ACC02		2	RYOTO SERIES	PLANTER	GREENFORM	ANTHRACITE GREY 28" DIAMETER HEIGHT
ACC03		6	SHADEMAKER	LIBRA UMBRELLA	COLOR SUNFLOWER STEM FINISH SILVER WITH STEEL BASE	6'-2" SQUARE
CH01		20	FERMOB	BELLVIE LOUNGE	COTTON WHITE FRAME WITH FLANNEL GREY CUSHION	30" X 33" X 28"H
CH03		12	KNOLL	BERTOIA DINING CHAIR	WHITE FRAME FINISH WITH GRAY CUSHION	31.75" X 19.75" X 28.75"H
CH04		4	LANDSCAPE FORMS	AMERICANA LOUNGE CHAIR	CHARCOAL GREY HIGH DENSITY POLYETHYLENE	37.5" X 33.5" X 39.25"H
G01		1	RS	BARCELONA FOOTBALL TABLE	GRAY PAINT FINISH	59.5" X 34" X 36"H
G02		1	AMERICAN CORNHOLE	CORNHOLE BOARD	BALTIC BIRCH	24" X 12" X 1.2" (SET OF 2)
PL01		29	PLANTS, POTS, AND MORE	MILANO PLANTER	FIBERGLASS CHARCOAL FINISH	36" X 10" X 24"
REC01		3	FORMS AND SURFACES	UNIVERSAL WASTE BIN	STAINLESS STEEL SATIN FINISH TOP OPENING 10" DIA.	36 GALLON
ST01		18	KNOLL	BERTOIA BAR STOOL	WHITE FRAME FINISH WITH GRAY CUSHION	21.75" X 22" X 39.5" H
TB01A		1	MAMAGREEN	AIKO TABLE	FRAME DRIFT LOOK WITH HPL TOP	120" X 48" X 41"H
TB01B		1	MAMAGREEN	AIKO TABLE	FRAME DRIFT LOOK WITH HPL TOP	144" X 48" X 41"H
TB02		6	SKAARGARDEN	DUJURO COFFEE TABLE	OUTDOOR TEAK	31.1 X 31.1" X 15"H
TB03		5	LANDSCAPE FORMS	PARC CENTER TABLE	POWDER COATED METAL SILVER	28" X 28" X 29"H
TB04		2	OBJECTS SIDE TABLE	KETITAL	773 MIST ALUMINUM	22.8" DIA. X 17.7" H

1 ENLARGED PLAN - ZEN TERRACE FURNITURE 1
SCALE: 1/4" = 1'-0"



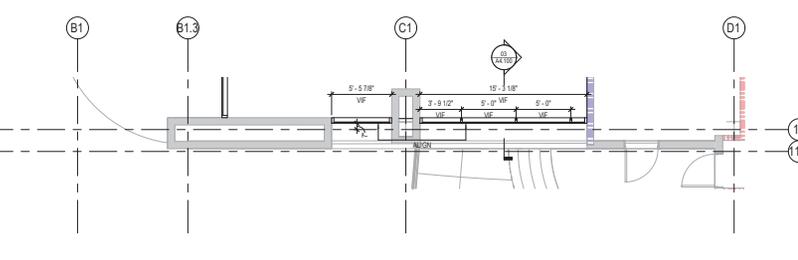
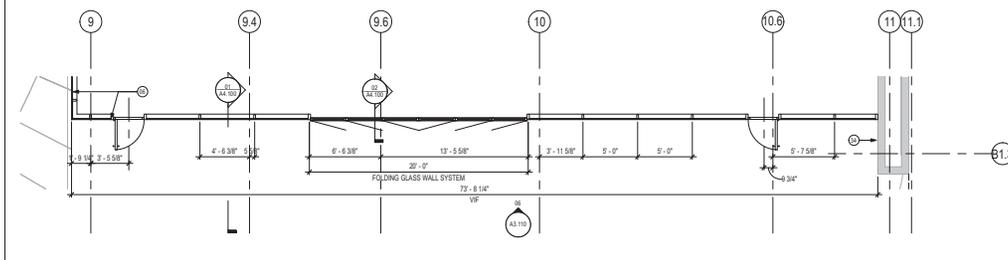
06 ENLARGED ELEVATION - SOUTH WALL GLAZING (MADISON AVE)
 SCALE: 1/4" = 1'-0"

03 ENLARGED ELEVATION - EAST WALL GLAZING (CULVER BLVD)
 SCALE: 1/4" = 1'-0"



05 ENLARGED ELEVATION - SOUTH WALL (MADISON AVE)
 SCALE: 1/4" = 1'-0"

02 ENLARGED ELEVATION - EAST WALL (CULVER BLVD)
 SCALE: 1/4" = 1'-0"



04 ENLARGED PLAN - SOUTH WALL (MADISON AVE)
 SCALE: 1/4" = 1'-0"

01 ENLARGED PLAN - EAST WALL
 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY PRIOR TO PROCEEDING AND FABRICATION OF NEW MATERIALS.

	(E) BOARD FORMED CONCRETE
	(E) COMPOSITE METAL PANEL COLOR 1
	(E) COMPOSITE METAL PANEL COLOR 2
	SCOPE OF WORK

- 06 FUTURE RETAIL STOREFRONT BY TENANT. GC TO PROVIDE BARRICADE WITH GRAPHIC FILM
- 34 (E) BOARD FORMED CONCRETE WALL
- 36 FUTURE RETAIL STOREFRONT BY TENANT. GC TO PROVIDE BARRICADE WITH GRAPHIC FILM
- 108 LINE OF SIGHT ABOVE
- 107 (E) BRAKE METAL CLADDING
- 179 PROVIDE CONCRETE WITH REMOTE JACK FOR FUTURE SCIENCE

GENERAL NOTES

LEGEND

SHEET NOTES

Δ Date Description
 12.22.2016 REVISION/ISSUE SET

Issue Signature

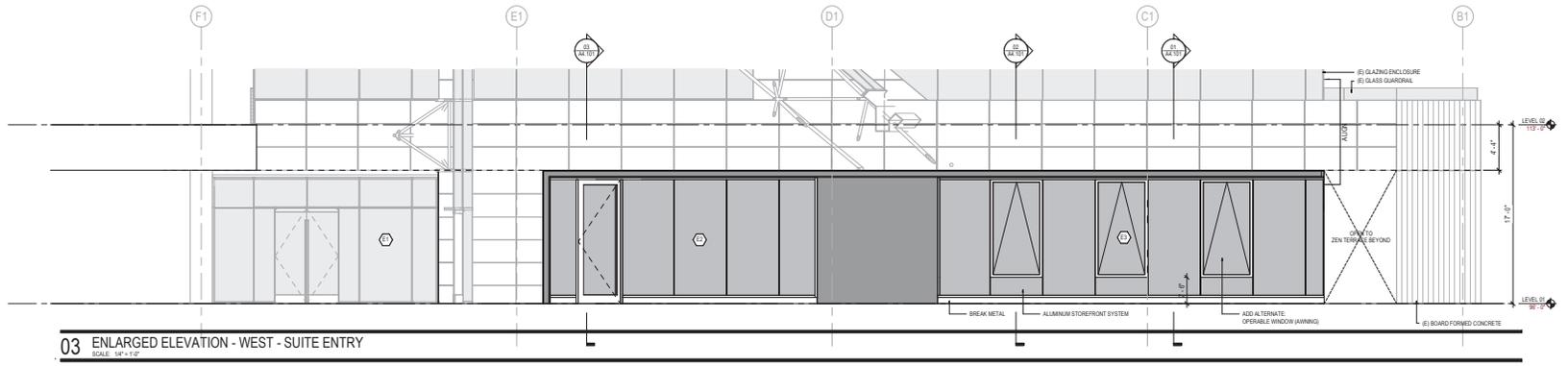
NOT FOR CONSTRUCTION

Project Name
ONE CULVER
 1000 W. HUNTINGTON BOULEVARD
 CULVER CITY, CA 90230
 Project Number
 05.9438.000

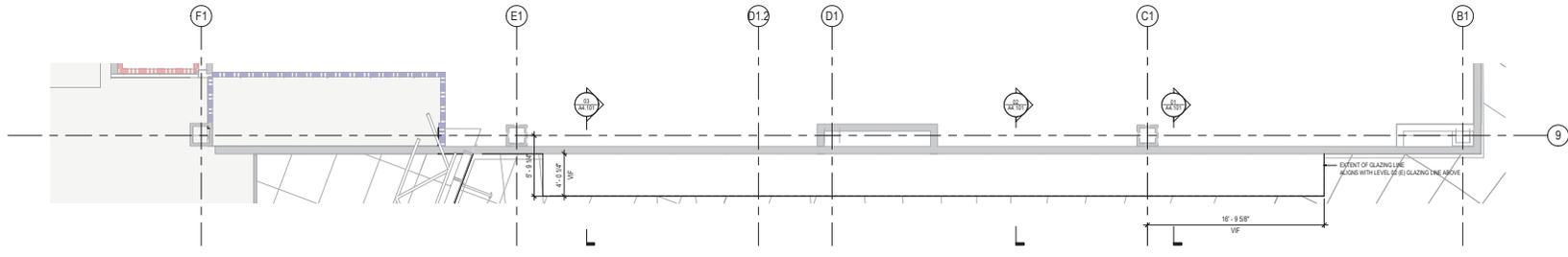
Description
 ENLARGED PLANS & ELEVATIONS - EXTERIOR WALL

Scale
 As indicated

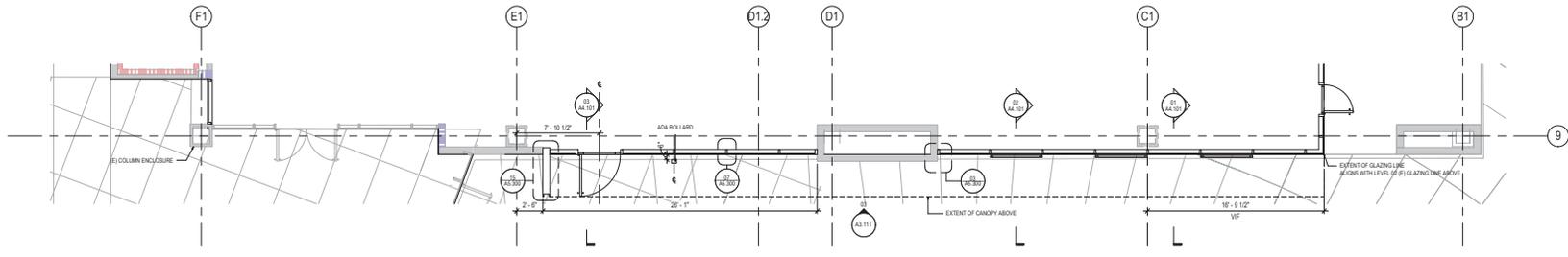
A3.110



03 ENLARGED ELEVATION - WEST - SUITE ENTRY
 SCALE: 1/4" = 1'-0"



02 ENLARGED PLAN - WEST WALL - CANOPY
 SCALE: 1/4" = 1'-0"



01 ENLARGED PLAN - WEST WALL
 SCALE: 1/4" = 1'-0"

12/22/2010 PERMITS PRELIM SET

Sheet Signature

NOT FOR CONSTRUCTION

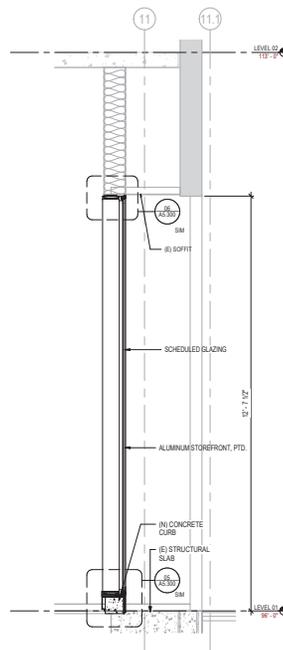
Project Name:
ONE CULVER
 1000 W. INDEPENDENCE BOULEVARD
 CULVER CITY, CA 90230
 Project Number:
 05.9438.000

Description:
 ENLARGED PLANS &
 ELEVATIONS - EXTERIOR WALL

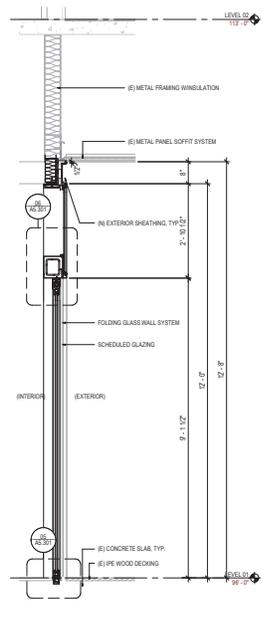
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A3.111

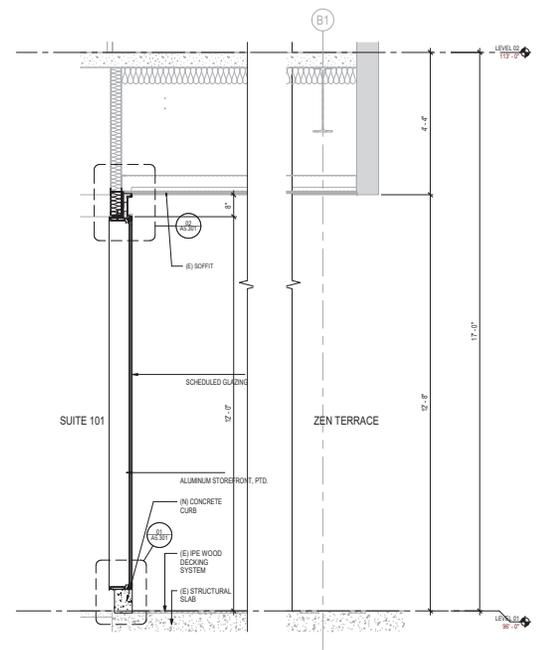
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03 SECTION - EAST WALL TYPICAL
 SCALE: 3/4" = 1'-0"



02 SECTION - SOUTH WALL - FOLDING GLASS WALL SYSTEM
 SCALE: 3/4" = 1'-0"



01 WALL SECTION - SOUTH WALL (MADISON AVE)
 SCALE: 3/4" = 1'-0"

Δ Date Description
 12.02.2010 F026671 PRSING SET

 [Signature]

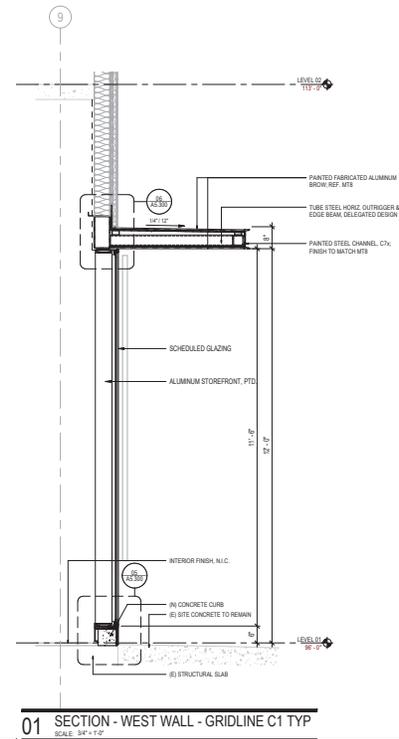
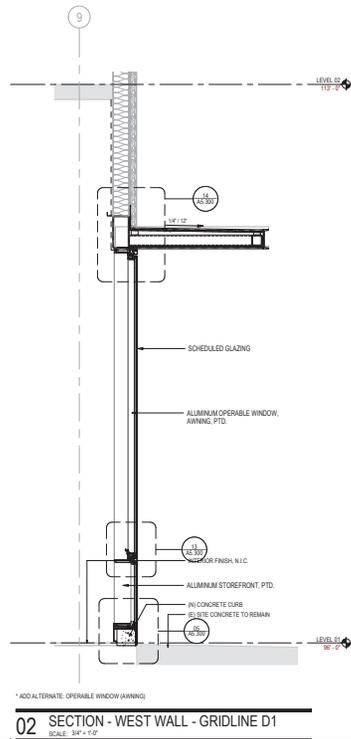
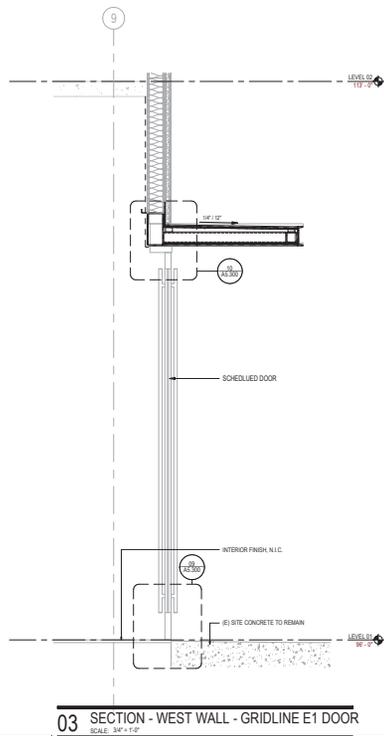
NOT FOR CONSTRUCTION

Project Name
ONE CULVER
 1000 W. HUNTERS TRAIL BOULEVARD
 CULVER CITY, CA 90230
 Project Number
 05.9438.000

Description
 WALL SECTIONS - SUITE 101
 ENCLOSURE

Scale
 NOT TO SCALE

A4.100



Δ Date Description
 12/22/2010 PERMIT PRISING SET

Seal/Signature

NOT FOR CONSTRUCTION

Project Name
ONE CULVER
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 Project Number
05.9438.000

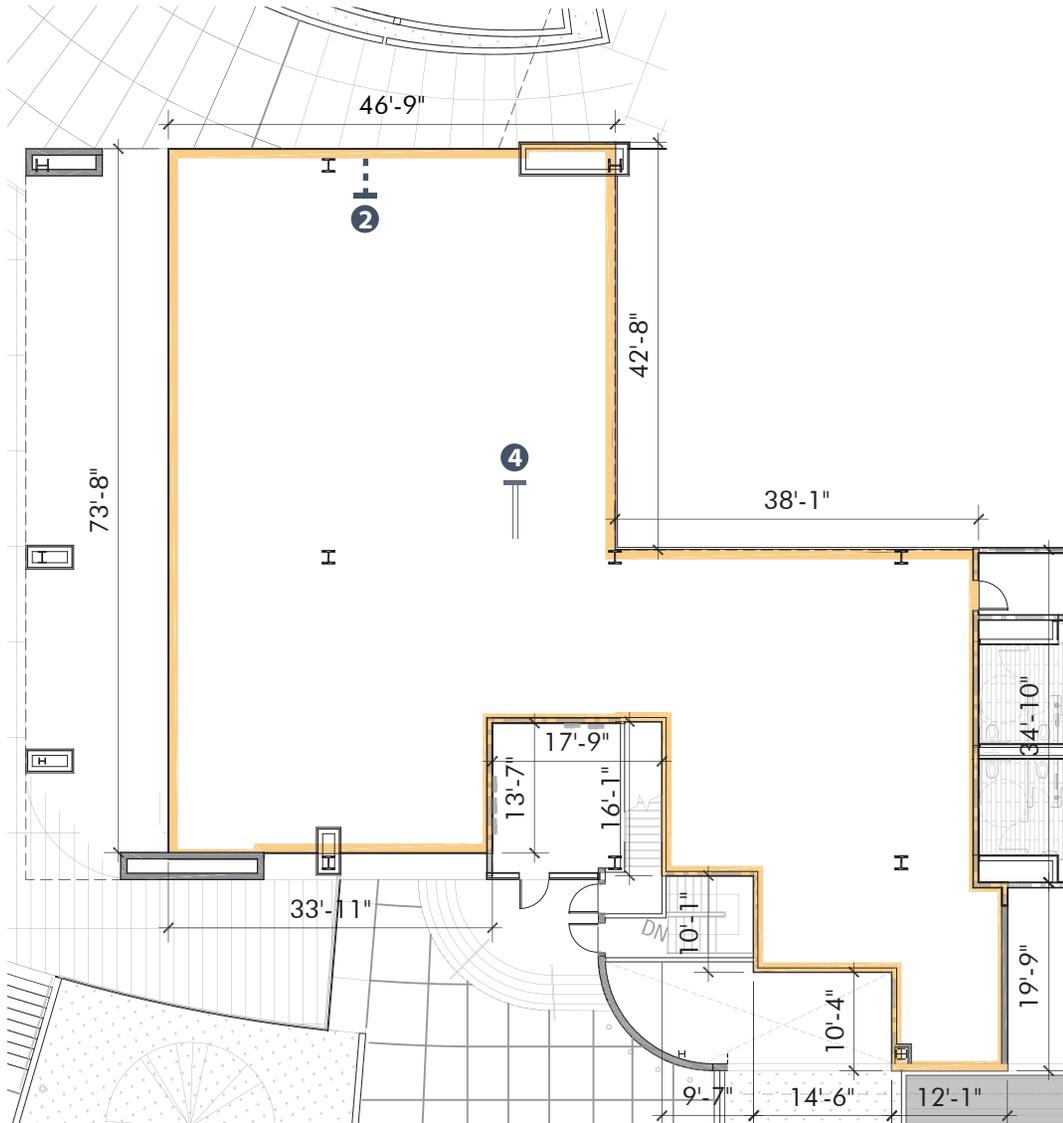
Description
 WALL SECTIONS - SUITE 101
 ENCLOSURE

Scale
 3/4" = 1'-0"

A4.101



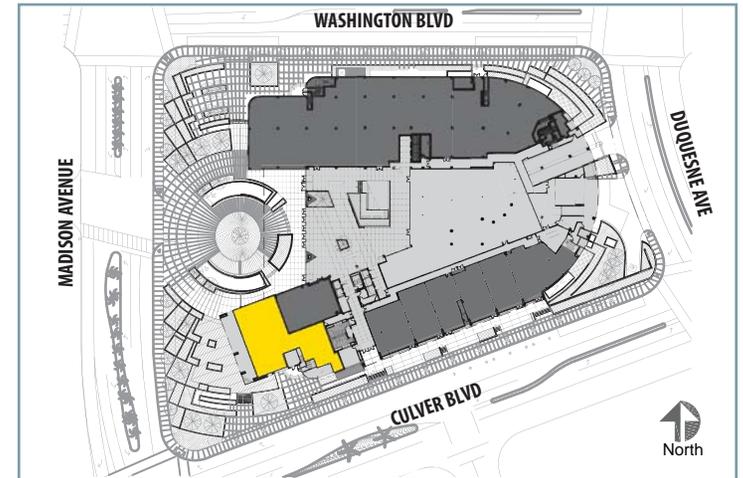




Enlarged Floor Plan

SCALE: 1"=20'-0"

GRAPHIC SCALE: 1"=20'



KEY PLAN

LEGEND

LEASABLE AREA	± 5,331 S.F.
Clear Distance Between Floor & Ceiling	±14'-6"
1 Water	1½" stubbed in w/ shut-off valve
2 Sanitary Waste	Shared 4" line (below slab)
3 Grease Waste	Shared 4" line (below slab)
4 Vent	3" vent stubbed into Premises
5 Gas	Gas manifold and nipple provided near truck loading area
6 Electrical	200A service at 120/208V, conduit & pullstring stubbed into Premises
7 Telephone/Data	Empty 2" conduit w/ pullstring stubbed into Premises
A Refrigerant Line Sets	Future linesets/wiring conduits from roof, zone for future condensing units on roof above
B	Future exhaust air duct to roof
C	Future outside air duct to roof
Fire Protection	Shared, per code for shell condition
Fire Alarm	Base building system



LBA REALTY
 3347 MICHELSON DRIVE, S. 200
 IRVINE, CA 92612
 T: 949.833.0400



ONE CULVER
 10000 W. WASHINGTON BOULEVARD
 CULVER CITY, CALIFORNIA 90232

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03/23/2018
 18019TMA



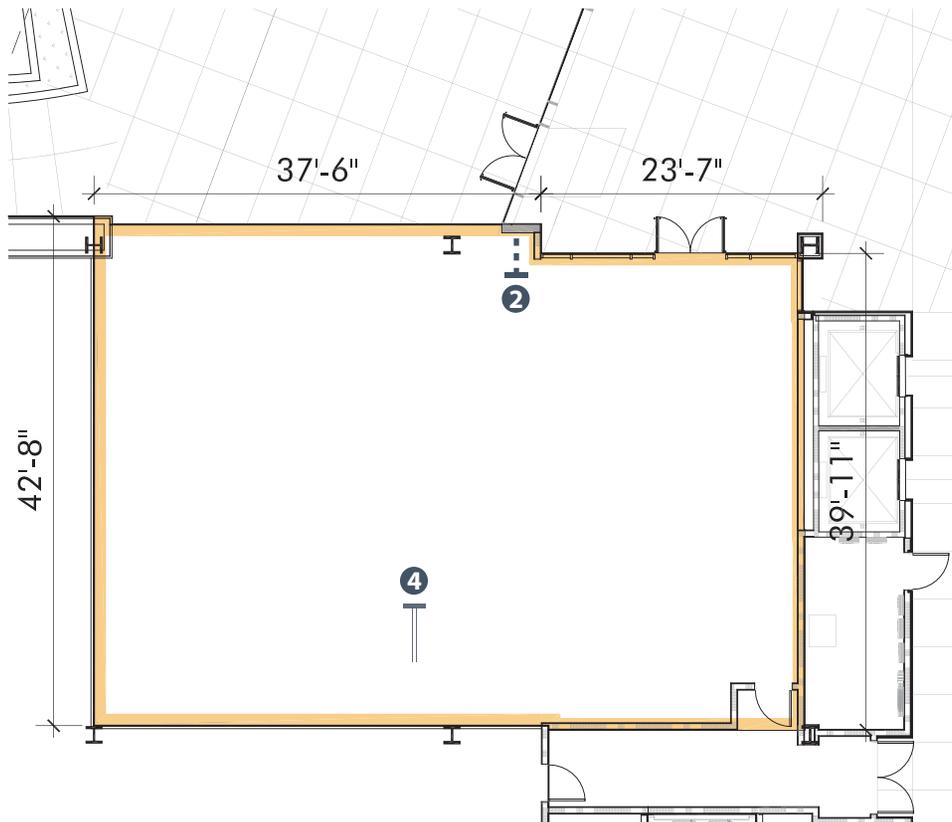
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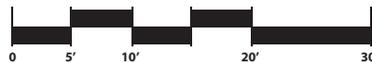
McKently Malak
 ARCHITECTS
 03/23/2018
 18019TMA



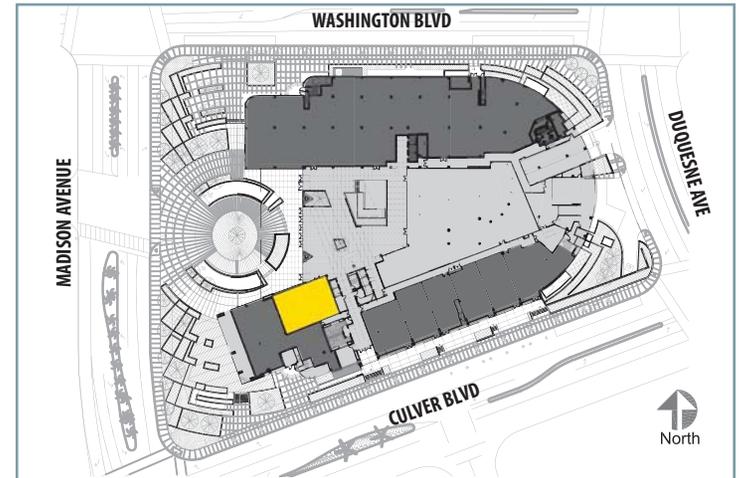
Enlarged Floor Plan

SCALE: 1/16"=1'-0"

GRAPHIC SCALE: 1/16"=1'-0"



For more information, refer to building MEP drawings.



KEY PLAN

LEGEND

LEASABLE AREA		± 2,759 S.F.
Clear Distance Between Floor & Ceiling		±14'-6"
1 Water	1 1/2" stubbed in w/ shut-off valve	
2 Sanitary Waste	Shared 4" line (below slab)	
3 Grease Waste	Shared 4" line (below slab)	
4 Vent	3" vent stubbed into Premises	
5 Gas	Gas manifold and nipple provided near truck loading area	
6 Electrical	200A service at 120/208V, conduit & pullstring stubbed into Premises	
7 Telephone/Data	Empty 2" conduit w/ pullstring stubbed into Premises	
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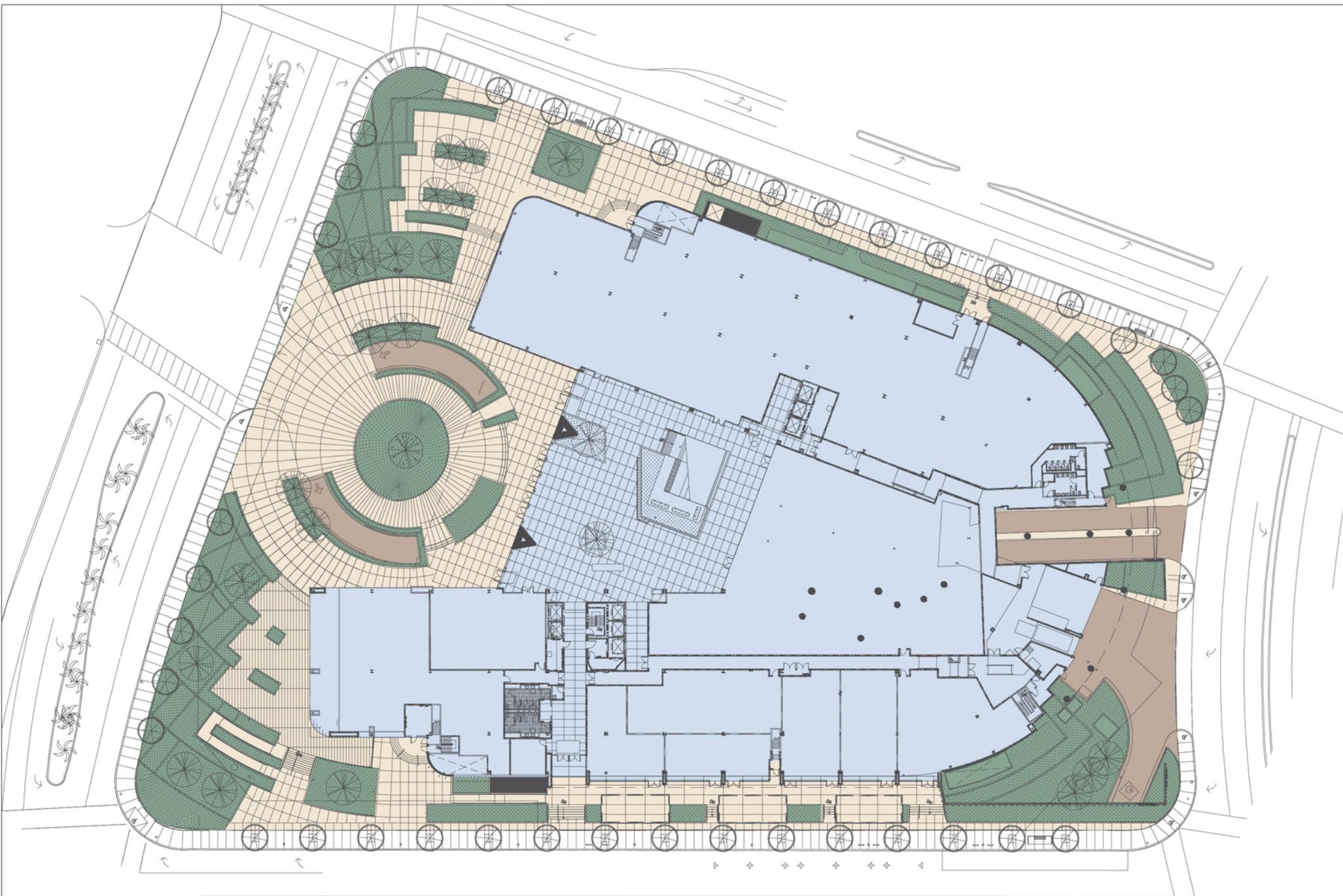
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BUILDING

PARKING

LANDSCAPE

PEDESTRIAN