



Culver CITY

REVISED

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**PLANNING COMMISSION
MEETING AGENDA
WEDNESDAY, APRIL 8, 2015
7:00 P.M.**

PUBLIC COMMENT

The Planning Commission will listen to the public on any item on the agenda or item of interest that is not on the agenda. The Planning Commission cannot legally take action on any item not scheduled on the agenda. Such items may be referred for administrative action or scheduled on a future agenda.

If you wish to speak to the Commissioners, please complete a Speaker's Card and present it to the Secretary before the agenda item is called. You will be called to the podium by name when it is your turn to speak to the Commissioners.

PUBLIC COMMENT FOR ITEMS ON THE AGENDA

Persons wishing to speak on agenda items will be called at the time the agenda item is brought forward. Comments will generally be limited to five minutes per speaker; however, a three-minute limit may be declared by the Chairperson for agenda items for which many Speaker Cards have been submitted.

PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA

A total of twenty minutes shall be devoted to audience participation at the beginning of the agenda. Speakers will be called on in the order cards were received by the Secretary. If additional time is needed, the Chairperson will allow for same at the end of the agenda.

When the Secretary calls your name, please advance to the podium and state your name and city of residence. Speakers must limit their comments to five minutes. A three-minute limit may be declared by the Chairperson if there is a large number of individuals desiring to address the Commissioners.

NOTE: AT OR ABOUT 11:00 P.M., COMMISSION MEMBERS WILL DETERMINE WHETHER TO CONTINUE WITH DISCUSSION OF REMAINING ITEMS ON THE AGENDA OR TO CARRY SOME/ALL OF THE ITEMS OVER TO A FUTURE MEETING DATE.

CELL PHONES AND OTHER DISTRACTIONS

Use of cell phones, pagers and other communication devices is prohibited while the Planning Commission Meeting is in session. Please turn all devices off or place on silent alert and leave the Chambers to use. During the meeting, please refrain from applause or other actions that may be disruptive to the speakers or the conduct of City business.

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Culver CITY

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AGENDA
Planning Commission
Wednesday, April 8, 2015
7:00 p.m.
DAN PATACCHIA ROOM

CALL TO ORDER & ROLL CALL

Linda Smith-Frost, Chair
Kevin Lachoff, Vice Chair
Dana Amy Sayles, Commissioner
David VonCannon, Commissioner
Scott Wyant, Commissioner

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT – Items Not On the Agenda

PUBLIC HEARINGS

- *PH-1.** **Administrative Site Plan Review, ASPR P-2014160, and Tentative Parcel Map No. 73167, TPM P-2014161, for the Construction and Creation of a Three unit Condominium Subdivision at 3837 Bentley Avenue in the Residential Medium Density Multiple Family (RMD) Zone. Staff Recommendation: Adopt Resolution approving the Administrative Site Plan Review and Tentative Parcel Map.**

CONSENT CALENDAR *Note: Consent Calendar items are considered to be routine in nature and may be approved by one motion. Public requests to discuss Consent Calendar items must be filed with the Secretary before the Consent Calendar is called.*

- C-1.** Approval of Minutes of March 11, 2015.

ITEMS FROM STAFF

ITEMS FROM PLANNING COMMISSION

ADJOURN

APPEAL RIGHTS:** Decisions of the Planning Commission are subject to appeal to the City Council in accordance with the provisions of Chapter 17.640, Appeals, of the Culver City Municipal Code (CCMC). Pursuant to CCMC Section 17.640.030.A, appeals of Planning Commission decisions must be filed with the City Clerk ***within 15 calendar days of the decision date. Any person wishing to appeal a decision of the Planning Commission should refer to CCMC Chapter 17.640 to ensure that all required procedures are followed. If you have questions regarding the appeal procedures, please contact the City Clerk's Office at 310-253-5851 or city.clerk@culvercity.org.

Upcoming Public Meeting Schedule –(Tentative) – 2015

Date	Day	Time	Location
<i>City Council</i>			
<i>April 13</i>	<i>Monday</i>	<i>7:00PM</i>	<i>Council Chambers</i>
<i>Civil Service Commission</i>			
<i>May 6</i>	<i>Wednesday</i>	<i>7:00PM</i>	<i>Council Chambers</i>
<i>Cultural Affairs Commission</i>			
<i>April 14</i>	<i>Tuesday</i>	<i>7:00PM</i>	<i>Council Chambers</i>
<i>Parks & Recreation Commission</i>			
<i>May 5</i>	<i>Tuesday</i>	<i>7:00PM</i>	<i>Council Chambers</i>
<i>Planning Commission</i>			
<i>May 13</i>	<i>Wednesday</i>	<i>7:00PM</i>	<i>Dan Patacchia Room</i>

Meetings may be added or changed.

City of Culver City, California
Planning Commission Agenda Item Report

Meeting Date: April 8, 2015	Item Number: PH-1
AGENDA ITEM: Administrative Site Plan Review, ASPR P-2014160, and Tentative Parcel Map No. 73167, TPM P-2014161, for the Construction and Creation of a Three unit Condominium Subdivision at 3837 Bentley Avenue in the Residential Medium Density Multiple Family (RMD) Zone.	
Contact Person/Dept.: Gabriela Silva, Phone Number: (310) 253-5736 Associate Planner	
Public Hearing: ☒	Action Item: ☐ Attachments: ☒
Public Notification: On March 18, 2015, a notice was mailed to all property owners and occupants within a 500-foot radius of the site and to other interested persons. The notice was also emailed to the Master Notification List on March 18, 2015.	
Planning Approval: Thomas Gorham, Planning Manager	Department Approval: Sol Blumenfeld, Community Development Director

RECOMMENDATION:

That the Planning Commission:

1. Adopt a Class 3 and Class 15 Categorical Exemption for this project pursuant to California Environmental Quality Act Section 15303 New Construction or Conversion of Small Structures and Section 15315 Minor Land Divisions (Attachment No. 4).
2. Approve Administrative Site Plan Review, ASPR P-2014160, and Approve Tentative Parcel Map No. 73167, TPM P-2014161, subject to the Conditions of Approval as stated in Resolution No. 2015-P002 (Attachment No. 1).

PROCEDURES:

1. Chair calls on staff for a brief staff report and Planning Commission poses questions to staff as desired.
2. Chair opens the public hearing, providing the applicant the first opportunity to speak, followed by the general public.
3. Chair seeks a motion to close the public hearing after all testimony has been presented.
4. Commission discusses the matter and arrives at its decision.

City of Culver City, California
Planning Commission Agenda Item Report

BACKGROUND:

Request

On September 23, 2014, an application was submitted for an Administrative Site Plan Review and Tentative Parcel Map to allow the demolition of a single-family dwelling and detached accessory structure (garage), the subdivision of the subject site into a three (3) lot condominium subdivision, and the construction of three (3) attached residential condominium units (i.e. one (1) on each of the proposed airspace lots) within the project site located at 3837 Bentley Avenue in the Residential Medium Density Multiple Family (RMD) Zone.

Existing Conditions

The site is located on the west side of the Bentley Avenue, south of Venice Boulevard and north of Matteson Avenue, as outlined in the Vicinity Map (Attachment No. 2). The Land Use Element of the City's General Plan designates this site and surrounding areas as Medium Density Multiple Family Residential, which is consistent with the site's zoning designation of RMD. Properties to the north and south are also zoned RMD, as are the blocks east of Bentley Avenue (e.g. Tilden Avenue, Huron Avenue), while west of the site, beyond the existing public alley, are properties which front Sepulveda Boulevard and are zoned Commercial Neighborhood (CN)/Commercial General (CG). The parcel is rectangular in shape, generally flat in topography, measures 5,000 square feet, and is currently developed with a two-story, single family dwelling and a detached garage. The neighborhood surrounding the site to the north, south and east consists of largely rectangular parcels, similar in size, with those to the east being slightly larger in depth than the subject parcel, and developed with a mix of multiple-family and single-family residential structures. To the west, the site abuts an existing public alley, which buffers the residential neighborhood from the commercial uses beyond along Sepulveda Boulevard. The site is somewhat unkempt, with a significant amount of dry and patchy vegetation, as the existing dwelling is not inhabited.

Project Description

The three (3) proposed condominium dwelling units have been designed as attached two-story structures, to be placed atop a proposed semi-subterranean parking garage that will project a maximum of four (4) feet above grade, with a maximum overall height of 27 feet – 9 inches. Each unit will have its own 2-car parking area within the proposed semi-subterranean garage, thus, a total of six (6) off-street parking spaces will be provided. The dwellings are arranged in a linear pattern (Unit A, B, and C) from the front of the parcel to the rear. The

City of Culver City, California
Planning Commission Agenda Item Report

layout is such, that each dwelling unit will be accessed from individual private outdoor patios/decks located along a common corridor located parallel to the southerly property line; main entryways for the two units closest to the front (easterly) end of the property will face the (south) side of the property, while the entry of the rearmost unit will face Bentley Avenue. Secondary egress for all three (3) units will be located along the northerly side of the building/property, connecting to an elevated walkway created by the above grade projection of the semi-subterranean garage. The front unit (A) will measure approximately 1,304 square feet, the middle unit (B) will be 1,595 square feet, and the rear unit (C) will be 1,737 square feet; Unit A will consist of two (2) bedrooms and two and one (2 ½) half bathrooms, while Unit B will three (3) bedrooms and three (3) bathrooms, and Unit C will be three (3) bedroom with three and one half (3 ½) bathrooms. All improvements are proposed to be consistent with the provisions of the Culver City Municipal Code (CCMC).

ANALYSIS/DISCUSSION:

The RMD Zone allows one (1) unit per 1,500 square feet of net lot area, up to a maximum of nine (9) dwelling units; therefore, based on the lot area of 5,000 square feet, a maximum of three (3) units may be allowed on the site. The RMD Zone requires minimum setbacks of ten (10) feet or half the building height, five (5), and ten (10) feet or five (5) when adjacent to an alley, for the front, sides, and rear respectively. There is no maximum floor area for the allowed dwelling size, but rather there is a minimum dwelling size based on the number of bedrooms that must be met, and the maximum allowable height is two (2) stories and thirty (30) feet. As illustrated in the Project Summary (Attachment No. 3), the proposed development conforms to all regulations of the RMD Zone.

1. ADMINISTRATIVE SITE PLAN REVIEW

Architectural Design

The structures are designed to incorporate elements of the Spanish and Mediterranean architectural style, including hip and gable roofs dressed in Spanish-tile, and the use of wood corbels and decorative wrought iron work throughout. The two-story structure will also incorporate a smooth stucco finish on the exterior walls on all elevations and decorative stone accents on the front (east) elevation. The design is further enhanced by the provision of a wood trellis at the main pedestrian entry for the project, as well as over a second story balcony at Unit C, facing Bentley Avenue. The building mass is articulated and broken up by the use of variation in the building width as the building extends further to the rear of the site. In addition, the integration of chimneys and

City of Culver City, California
Planning Commission Agenda Item Report

balconies with varying materials and changes in the roof lines also helps to reduce the visual scale of the proposed building. The proposed semi-subterranean garage is designed to be accessed from Bentley Avenue, by means of a proposed ten (10) foot wide driveway located thirteen (13) feet north of the southerly property line, and the entry is set back at least twenty-five (25) feet from the front property line, thereby minimizing the visual impact of the off-street parking facilities. Overall, the design of the proposed project is deemed to be compatible with other residential structures in the neighborhood and the building height and massing is consistent with the zoning standards of the RMD Zone. A color rendering and materials sample board for the project will be available at the meeting.

Landscaping

As required by the CCMC, the applicant shall landscape all front, side and rear yards not devoted to paved driveways, walkways or patios. The front yard, exclusive of the area necessary for vehicular access, will be landscaped a minimum of 75 percent, and will include a variation in plant materials and colors to soften the building façade and enhance the street view aesthetics of the site. The rear and southerly side yard will be similarly landscaped, except where paving or other hardscape is necessary for walkways to access stairways leading to the elevated patios/unit entries and the semi-subterranean parking area. Landscaping along the southerly yard will incorporate tall species of trees and similar plantings in order to screen the proposed outdoor patios from the neighboring property, thereby preserving privacy on both sites. Proposed landscaping shall be required to complement the buildings and enhance the aesthetic appearance of the development. New landscaping will also include the provision of one (1) street tree on Bentley Avenue, the species of which shall be in accordance with the City's Street Tree Master Plan; permanent irrigation will be required to be provided as part of the on-site irrigation. Preliminary landscape information is included in the preliminary development plans made part of this report. Complete landscape and irrigation plans shall be submitted for review and approval by all applicable divisions/departments prior to installation and final inspection.

Open Space

The proposed development provides the required open space for each unit by means of private outdoor patios/decks at the main entry of each of the proposed units. The outdoor patios are accessed from the shared common corridor reached by ascending the stairs, or by wheelchair lift, from the front yard/public right-of-way or from the stairs leading from the garage below. Each outdoor patio is a minimum of one hundred (100) square feet and is enclosed by decorative

City of Culver City, California
Planning Commission Agenda Item Report

stucco walls ranging in height from four (4) feet to five (5) feet, in order to provide privacy between each of the patio areas and from the common corridor area.

Neighborhood Compatibility

The proposed development is located along the 3800 block of Bentley Avenue which is a local residential street developed with single and multiple family residences, which vary from one-story to two-stories in height, as is also the case on the surrounding streets (e.g. Matteson Avenue, Tilden Avenue, Huron Avenue, etc.). Said street terminates approximately one block south of the subject property where it meets Washington Place, and to the north Venice Boulevard acts as a figurative ending point which creates a well-defined sense of neighborhood. This neighborhood has been in transition for the past decades, with many of the properties steadily becoming multiple-family developments consistent with the higher density envisioned for the neighborhood by the City's General Plan. In regards to density, the RMD Zone and corresponding General Plan designation of the site permits the three (3) proposed units. The three (3) units are proposed in one (1) building, which is adequately set back from the various property lines relative to zoning requirements, and which incorporates architectural features and materials that break-up the massing and bulk of the development so as to be compatible with the various development types in the adjoining neighborhood, and in particular with those multiple-family developments that have been constructed in the past several years. The project setback is close to the prevailing setbacks on the block. The average front setback for the immediate block is approximately seventeen (17) feet, while the minimum Code required setback, based on the RMD zone requirement of ten (10) feet or half the building height, is thirteen (13) feet and ten (10) inches. Therefore, the proposed front setback of fifteen (15) feet is close to the prevailing setback condition on the block and exceeds the minimum code requirements.

Traffic, Parking, and Circulation

The existing eighty (80) foot wide public right-of-way, Bentley Avenue, has been deemed by the Engineering Division to be of adequate width to serve the site and the proposed development. The gutter, curb, sidewalk, and driveway approach along the project's frontage are required to be removed and replaced and will include the installation of a street tree and tree well as more specifically outlined in the recommended conditions of approval.

The proposed common driveway is intended to provide vehicular access to the off-street parking located in the semi-subterranean garage to be shared by all three (3) units. The garage provides the required minimum of ten (10) feet in width and seven (7) feet of overhead clearance. A back-up clearance of 25'-8" is

City of Culver City, California
Planning Commission Agenda Item Report

provided, allowing a sufficient turning radius and circulation area to maneuver in and out of each parking stall, and exit back onto Bentley Avenue.

In order to provide the minimum required interior clearance, the garage projects a maximum of four (4) feet above grade, including along and within the northerly side setback as allowed by CCMC Section 17.320.035.L, causing the units and their entries to be located above street level. Thus, primary pedestrian access to the units is proposed via a walkway, four feet above grade along the southerly end of the building. Access to this level is provided by means of a stairway and wheelchair lift. This walkway continues to the rear of the building, where it connects to a second set of stairs that lead to the side yard and parking garage below. A secondary means of egress from the units is provided through a five (5) foot wide walkway which is also elevated four (4) feet above grade along the northerly property line. This elevated walkway is screened from the neighboring property by a 3'-6" high wood fence atop the 4'-0" high concrete wall of the projecting garage. In order to provide additional privacy for the northerly abutting neighbors, the applicant has been advised to provide additional height for the wood fence, for a total of five (5) feet. Staff has included a condition (No. 7) that requires the applicant to provide a fence or green screen along the edge of the northerly walkway over the semi-subterranean parking garage to further screen the building and walkway from the neighboring single family residence and yard areas. The landscaping and screening shall be installed to the satisfaction of the Planning Manager.

The proposed means of vehicle and pedestrian ingress/egress to and from the site and units provides adequate access for emergency vehicles and services. The configuration of the proposed onsite driveway and vehicle maneuvering area are designed in accordance with all applicable CCMC standards. Each of the three units is provided with the minimum required two (2) parking spaces, for a total of six (6) parking stalls within the proposed garage. The CCMC does not require any on-site guest parking for the proposed development; therefore, guest parking is not provided. Furthermore, the density of the overall development will not create any significant traffic impacts; therefore the project has not been deemed to require a traffic study. Based on the above, the proposed project is in conformance with all applicable CCMC requirements relating to parking and traffic.

2. TENTATIVE PARCEL MAP

The State Subdivision Map Act and CCMC Chapter 15.10 regulate the subdivision of land, and require the submittal of a tentative parcel map for subdivisions meeting certain criteria, including specific airspace subdivisions for condominium purposes. In addition, CCMC Section 17.210.020 – Table 2-4,

City of Culver City, California
Planning Commission Agenda Item Report

Residential District Development Standards (RLD, RMD, RHD), requires a minimum lot area of 5,000 square feet or the average area of residential lots within a 500-foot radius of proposed subdivision, whichever is greater, and further notes condominium, townhome, or planned development projects may be subdivided with smaller parcel sizes for ownership purposes, with the minimum lot area determined through the subdivision review process, provided that the overall development site complies with the minimum lot size requirements of the Zoning Code. A majority of the lots in the area measure approximately 5,000 to 6,600 square feet, and the subject site also measures 5,000 square feet; therefore, the overall site complies with this requirement. One of the various objectives of the tentative parcel map process is to allow the City to review the proposed condominium subdivision to ensure all necessary improvements and requirements are provided. The Public Works Department has reviewed the tentative parcel map (Attachment No. 6) for proposed the condominium subdivision and found it to be in compliance with all applicable State and local regulations as more specifically outlined in the recommended conditions of approval.

PUBLIC OUTREACH

As part of the project review process, two community meetings were held, during which the applicant invited interested persons to learn about the development project, provide comments and feedback, as well as to share any concerns regarding the proposed project.

Community Meeting #1

The first community meeting was required during the Preliminary Project Review (PPR) phase of the project review process. This meeting was held Tuesday, August 5, 2014, 7:00 pm, at Tellefson Park (Washington Place between Bentley Avenue and Tilden Avenue). Invitations were sent by the applicant on July 22, 2014, to all property owners and tenants within the subject block, which included the east and west sides of Bentley Avenue between Venice Boulevard and Matteson Avenue. A total of five (5) people, representing three (3) properties, attended the meeting.

The primary topics of concern discussed during this meeting were regarding the site conditions during construction, if the project were approved, and any potential safety issues that might arise as a result of the temporary construction conditions, as well as the location of the semi-subterranean parking garage. With regard to construction conditions, the applicant assured attendees that all necessary measures would be taken in order to adequately secure the site and

City of Culver City, California
Planning Commission Agenda Item Report

ensure vehicular and pedestrian safety. The applicant further informed attendees that the project team that would participate during construction would ensure proper coordination of construction vehicles and necessary temporary facilities. This is further established by the Conditions of Approval, which require that the applicant conform to various City requirements related to construction, such as the allowed construction hours, construction vehicle queuing, on-site and off-site staging, etc.

With regard to the semi-subterranean parking garage, attendees inquired about how deep the structure would extend below grade and how far above grade it would project. As noted in this report and the preliminary development plans, attendees were informed the garage is proposed to be 4'-6" to 5'-6" below the natural grade, and to project a maximum of four (4) feet above grade as allowed by CCMC Section 17.320.035.L. The neighbors and property owners abutting immediately to the north of the project inquired about a feature of the development, which they referred to as a deck. More specifically, the feature they referenced was that portion of the proposed semi-subterranean garage which, as designed, is proposed to project above the finished grade within the (northerly) side setback. They asked if the feature was allowed by the Municipal Code or if a variance was being requested in order to allow it, and also why it was necessary to build this feature to the property line. They also expressed concern on how this might affect their garden during construction. The applicant/designer explained that the feature is not a deck, but rather is the topside of the proposed semi-subterranean garage, which per the Zoning Code is allowed to project a maximum of four (4) feet above grade and within required side and rear yard setbacks. The secondary effect of the projection is the creation of an elevated walkway that provides secondary egress from the units. The applicant further explained that in order to meet the minimum parking stall dimensions and required vehicle backup and circulation clearances, it is necessary for the parking area below to extend into the side yard setback. Clarification was provided regarding the use of the elevated walkway, specifically, that it is not meant for, or is useable as, recreational space and that actual outdoor patios for each of the units was proposed along the southerly side of the development. Photos of similar style developments were shared with attendees, in particular with the concerned neighbors. The applicant also reiterated that during construction all City-required safety measures would be implemented and that best practices for protecting the abutting properties would be utilized.

Community Meeting #2

Upon submittal of the formal application, the applicant was required to conduct a second community meeting, with a larger notification radius. This second

City of Culver City, California
Planning Commission Agenda Item Report

meeting was held on Thursday, November 13, 2014, 7:00 pm at 11048 Washington Boulevard, Suite 217 (Tilden Terrace Community Room). Invitations for this community meeting were sent by the applicant on October 30, 2014, to all property owners and tenants within a five hundred (500) foot radius.

Some of the same residents who attended the first community meeting were present, as well as two additional community members. During this second meeting, the neighbors immediately abutting to the north provided a written statement to the applicant specifying their concerns, which they had shared during the first community meeting and verbally reiterated during the meeting; a copy of this correspondence was later forwarded to Planning Division staff.

Comments from another local resident related to concerns about privacy and quality of life in the neighborhood by replacing a single family dwelling with a multi-family development. The applicant expressed a potential privacy concern existed for the northerly neighbor, due to the proposed elevated walkway, and explained the design attempted to address that matter through strategic window placement and proposed fence screen along the northerly property line in order to provide increased privacy to both properties. It was also explained that the project was consistent with the scale and development types within the transitioning multi-family residential neighborhood.

The comments from the northerly neighbors centered on privacy and potential construction impacts to existing trees within their side and rear yards. Three specific requests were made for the project: 1) preserve privacy of the dwelling by planning window and door locations, such that they do not align with the neighboring windows, 2) preserve privacy of the rear yard area by locating windows and doors such that they do not overlook the rear yard, and adding property line screening by means of a fence or green screen, and 3) preserve and protect the existing trees.

In order to address the issues raised by the abutting property owners to the north, staff has included special conditions of approval related to location of doors and windows and adding property line screening to preserve privacy. In addition a condition has been added to address the preservation of existing trees or replacement of trees of similar size and type to the satisfaction of the Planning Manager.

Comments Received During Public Comment Period

As of the writing of this report, staff has not received any written public comments on the proposed project.

City of Culver City, California
Planning Commission Agenda Item Report

CONCLUSION/SUMMARY:

Staff has worked closely with the applicant to design a project that is compatible with the neighborhood and the immediately abutting properties. Care has been taken in the design to break up the bulk and mass of the building with varying building widths and heights and the inclusion of architectural projections to create visual relief. In addition the locations of windows and doors have been placed to ensure privacy with abutting properties. Based on the proposed preliminary development plans and recommended conditions of approval, staff considers the project to be compatible with the surrounding neighborhood, providing a layout, architectural design, and landscape consistent with applicable standards and guidelines, with adequate public facilities, and consistent with the Culver City General Plan and the requirements of the Zoning Ordinance. Additionally, the Tentative Parcel Map meets all requirements of the CCMC and the State Subdivision Map Act. Staff believes the findings for Administrative Site Plan Review, ASPR P-2014160, and Tentative Parcel Map No. 73167, TPM P-2014161, can be made as outlined in Resolution No. 2015-P002 (Attachment No. 1).

Furthermore, redevelopment of the subject site will be a marked improvement as the current condition of the property detracts from the neighborhood. The addition of two (2) net new residential units adds to the overall housing inventory of the City and is credited towards the Regional Housing Needs Assessment (RHNA) allocation assigned to the Culver City.

ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, initial review of the project by staff established that there are no potentially significant adverse impacts on the environment and the proposed project has been determined to be a Class 3 and Class 15 Categorical Exemption (Attachment No. 4) as "Construction or Conversion of Small Structures" (Section 15303) and "Minor Land Division" (Section 15315) project. As outlined herein, the project consists of the construction of one multi-story structure containing three (3) attached residential dwelling units and the subdivision of the site into three (3) airspace lots, thereby establishing one condominium residential unit on each airspace lot. The proposed project involves the construction of a limited number of small structures, such as a duplex, totaling no more than six (6) dwelling units and the division of residentially zoned property within an urbanized area into four (4) or fewer parcels. The project is deemed to be consistent with the applicable General Plan and RMD zoning designation and regulations without any variances

City of Culver City, California
Planning Commission Agenda Item Report

or exceptions, does not involve a parcel from a larger subdivision within the previous two (2) years, and will not result in a parcel with an average slope greater than 20 percent. In addition, the project will be adequately served by all required utilities and public services; and will have all services and access to local standards. Therefore, the project is categorically exempt pursuant to the above noted CEQA sections.

ALTERNATIVE OPTIONS:

The following alternative actions may be considered by the Planning Commission:

1. Approve the proposed project with the recommended conditions of approval if the applications are deemed to meet the required findings.
2. Approve the proposed project with additional and/or different conditions of approval if deemed necessary to meet the required findings and mitigate any new project impacts identified at the meeting.
3. Disapprove the proposed project if the applications do not meet the required findings.

ATTACHMENTS:

1. Draft Resolution No. 2015-P002
2. Vicinity Map
3. Project Summary
4. CEQA Notice of Exemption
5. Preliminary Development Plans dated March 24, 2015 [11 Sheets]
6. Tentative Parcel Map No. 73167
7. Community Meeting Summaries
8. Correspondence (from northerly neighbor)

1 RESOLUTION NO. 2015-P002

2 A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
3 CULVER CITY, CALIFORNIA, APPROVING ADMINISTRATIVE SITE PLAN
4 REVIEW, ASPR P-2014160, AND TENTATIVE PARCEL MAP, TPM P-2014161,
5 FOR THE CONSTRUCTION AND CREATION OF A THREE UNIT
6 RESIDENTIAL CONDOMINIUM SUBDIVISION AT 3837 BENTLEY AVENUE IN
7 THE RESIDENTIAL MEDIUM DENSITY MULTIPLE FAMILY (RMD) ZONE.

8
9 (Administrative Site Plan Review, ASPR P-2014160
10 Tentative Parcel Map, TPM P-2014161)
11

12 WHEREAS, on September 23, 2014, Hayden Franco (the "Applicant") filed an
13 application on behalf of Inderjeet and Namita Arora (the "Owner") for an Administrative Site
14 Plan Review and Tentative Parcel Map to construct and create three (3) attached dwelling
15 units within a residential condominium subdivision (the "Project"). The Project site is legally
16 described as Lot 74 of Tract No. 10356 in the City of Culver City, County of Los Angeles,
17 State of California; and,

18 WHEREAS, in order to implement the proposed project, approval of the following
19 applications is required:

20 1. Administrative Site Plan Review, ASPR P-2014160, for the construction of the
21 proposed two-story triplex with semi-subterranean six-car parking garage, to ensure the
22 Project complies with all required standards and City ordinances and to establish all onsite
23 and offsite conditions of approval necessary to address the site features and ensure
24 compatibility of the proposed Project with the development on adjoining properties and in the
25 surrounding neighborhood, and

26 2. Tentative Parcel Map, TPM P-2014161, to create a three (3) lot residential
27 condominium subdivision, and;
28
29

1 WHEREAS, pursuant to CEQA Section 15303, Class 3 – Construction or Conversion
2 of Small Structures, and Section 15315, Class 15 – Minor Land Division, the Project is
3 Categorically Exempt; and

4 WHEREAS, on April 8, 2015, after conducting a duly noticed public hearing on the
5 subject application, including full consideration of the application, plans, staff report,
6 environmental information and all testimony presented, the Planning Commission (i) by a
7 vote of _ to _, adopted a Categorical Exemption, in accordance with the California
8 Environmental Quality Act (CEQA), finding the Project will not result in significant adverse
9 environmental impacts; and (ii) by a vote of _ to _, conditionally approved Administrative Site
10 Plan Review, ASPR P-2014160 and Tentative Parcel Map, TPM P-2014161.
11
12

13 NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF CULVER
14 CITY, CALIFORNIA, RESOLVES AS FOLLOWS:

15 SECTION 1. Pursuant to the foregoing recitations and the provisions of Culver City
16 Municipal Code (CCMC), the following findings are hereby made:
17

18 **Administrative Site Plan Review**
19

20 As outlined in CCMC Section 17.540.020, the following required findings for an Administrative
21 Site Plan Review are hereby made:

22 **A. The general layout of the project, including orientation and location of buildings,**
23 **open space, vehicular and pedestrian access and circulation, parking and loading**
24 **facilities, building setbacks and heights, and other improvements on the site, is**
25 **consistent with the purpose and intent of this Chapter, the requirements of the**
26 **zoning district in which the site is located, and with all applicable development**
27 **standards and design guidelines.**

28 The general layout of the project is consistent with the Residential Medium Density
29 Multiple Family (RMD) zoning district. The building is located in conformance with the
minimum required setbacks, and designed to provide a common vehicular access, as
well as common pedestrian walkways to access the individual unit entries and private
outdoor patios. The unit entries face the side and front of the property, and the

1 general building layout and design is oriented to communicate with Bentley Avenue
2 where the front yard setback provides a large open space area and is proposed to be
3 landscaped in accordance with the CCMC, thereby creating an enhanced streetscape.
4 In conformance with the minimum requirements in the subject zone, the building is set
5 back fifteen (15), five (5), and five (5) feet from the front, side, and rear property lines
6 respectively. The proposed maximum overall building height of twenty-seven (27) feet
7 and nine (9) inches for the two-story structure is below, and in conformance with, the
8 thirty (30) foot height limit allowed within the RMD Zone, diminishing potential visual
9 and compatibility impacts with the single story structures in the surrounding
10 neighborhood and adjacent to the site. The structure location, setbacks, and street
11 facing landscaping maximize the site's development potential while conforming to
12 Zoning Code residential development standards.

13 The project provides a total of six (6) parking spaces, consistent with code required
14 parking for a triplex residential development. Vehicular access is oriented to occur
15 from Bentley Avenue by means of a ten (10) foot wide driveway, in compliance with
16 zoning standards. Provision of this access point will not impact street parking since
17 the proposed apron will replace one that already exists. The driveway is designed to
18 descend into the semi-subterranean garage, where parking stalls are configured such
19 that two have direct forward access while the remaining four require making a right
20 turn into the stalls. The remaining area within the garage provides sufficient back-up
21 clearance to maneuver in and out of the parking stalls and the site, via the proposed
22 driveway. Pedestrian access to the site is provided by means of a paved walkway that
23 will connect a new public sidewalk to the main onsite stairway and a wheelchair lift in
24 the front yard, beyond the minimum required front setback. Individual unit entries are
25 then accessed from a common walkway connecting to the stairways. Secondary
26 pedestrian egress from the units and the site is provided by walkways within the side
27 setbacks. All pedestrian walkways are proposed to be a minimum of three (3) feet
28 wide. The project will have sufficient parking and adequate vehicular and pedestrian
29 access and the configuration of the proposed onsite driveway, vehicle maneuvering
areas, and pedestrian access are designed in accordance with all applicable CCMC
standards. There are no other applicable design guidelines. The conditions of
approval will further ensure all CCMC requirements are met.

B. The architectural design of the structures and the materials and colors are compatible with the scale and character of surrounding development and other improvements on the site and are consistent with the purpose and intent of this Chapter, the requirements of the zoning district in which the site is located, and with all applicable development standards and design guidelines.

1 The architectural design of the structure is reminiscent of the typical Spanish and
2 Mediterranean architectural styles, through the incorporation of elements such as hip
3 and gable tile roofs, and the use of decorative wood corbels and wrought iron work
4 throughout. The two-story structure reaches a maximum of twenty-seven feet nine
5 inches in height, and will also incorporate a smooth stucco finish on the exterior walls
6 of all elevations and decorative stone accents on the street facing façade. The

architectural design is further enhanced by the provision of a wood trellis over the main pedestrian access point of the development and over the second story balcony of the rear unit facing Bentley Avenue. The structure is designed to minimize the visual impact of the off-street parking facilities from the public right-of-way, by utilizing a ten foot wide driveway and setting back the entry at least twenty-five (25) feet from the front property line. The building height and massing is designed to minimize the visual scale of the development through the utilization of varying building widths, as the building becomes narrower as the footprint moves towards the front of the site, as well as through the incorporation of balconies and chimneys, and is consistent with the character and scale of surrounding multiple-family developments in the neighborhood. Residential structures in the neighborhood vary from one to two-stories in height and comprise an eclectic and varying mix of architectural styles, with no one (1) dominant style within the neighborhood. Roof design includes gable, hip, mansard as well as flat and shed style; exterior materials range from traditional wood siding to stucco. Overall, the design of the proposed project is compatible with other surrounding architecture and is compatible with the zoning standards of the RMD Zone. There are no other applicable design guidelines.

C. The landscaping, including the location, type, size, color, texture, and coverage of plant materials, provisions for irrigation, and protection of landscape elements has been designed to create visual relief, complement structures, and provide an attractive environment and is consistent with the purpose and intent of this Chapter, the requirements of the zoning district in which the site is located, and with all applicable development standards and design guidelines.

The Project proposes various improvements to the site including new landscaping. In compliance with the CCMC all front, side and rear yards not devoted to paved driveways, walkways or patios will be provided with landscape. The front yard will be landscaped a minimum of 75 percent, exclusive of the area necessary for vehicular access, and will include a variation in plant materials and colors to soften the building façade and enhance the street view aesthetics of the site. The rear and southerly side yard will be similarly landscaped, except where paving or other hardscape is necessary for walkways to access stairways. Landscaping along the southerly yard will incorporate tall species of trees and similar plantings in order to screen the proposed outdoor patios from the neighboring property, thereby preserving privacy on both sites. New landscaping will also include the provision of one (1) street on Bentley Avenue per the City's Street Tree Master Plan. Complete landscape and irrigation plans indicating planting sizes, spacing and quantities shall be submitted for review and approval by all applicable divisions/departments prior to installation and final inspection to ensure this meets all Zoning Code requirements and provides a visual relief that also compliments the building's colors and materials.

1 **D. The design and layout of the proposed project will not interfere with the use and**
2 **enjoyment of neighboring existing or future development, will not result in**
3 **vehicular or pedestrian hazards, and will be in the best interest of the public health,**
4 **safety, and general welfare.**

5 The proposed building complies with the minimum required setbacks and is below the
6 maximum allowed height, so as to not impact the use, privacy, and enjoyment of
7 neighboring residential properties. The Project is compatible with surrounding
8 residential uses, which include both single and multi-family residential development in
9 both single and two-story structures. The site provides adequate onsite circulation and
10 parking in compliance with all zoning code requirements and will not produce any
11 vehicular or pedestrian hazards. No off-site circulation hazards are presented by the
12 proposed Project since access points are designed in the same manner as similar
13 developments seen in the surrounding neighborhood.

14 The use and enjoyment of neighboring development is not negatively impacted or
15 interfered with, as the building is setback the required amount from the side property
16 lines. In fact, a much deeper setback is provided on portions of the actual dwelling
17 structure along the southerly side of the project. In addition, tall species of landscape
18 plantings will be provided within this side setback in order to further buffer the
19 properties and preserve privacy. The northerly side of the dwellings will be at the
20 minimum required setback of five (5) feet; therefore, a screening fence will be provided
21 along that property line in order to maximize privacy for the abutting neighbors from
22 the proposed dwellings and from persons utilizing the secondary egress walkway
23 within the side setback since this walkway is located four (4) feet above grade. The
24 project is also sensitive to neighboring development by taking into consideration the
25 existing neighboring window locations along the side elevations, and locating new
26 windows so as to not directly align. The conditions of approval and compliance with all
27 CCMC requirements will ensure that the proposed Project will not be a detriment to the
28 public interest, health, safety, or general welfare, or injurious to persons, property, or
29 improvements in the vicinity and zoning district in which the property is located.
Further, by eliminating a vacant residence and creating new units that will presumably
be occupied, a potentially hazardous condition will be abated and will be in the best
interest of the public health, and general welfare.

22 **E. The existing or proposed public facilities necessary to accommodate the proposed**
23 **project (e.g., fire protection devices, parkways, public utilities, sewers, sidewalks,**
24 **storm drains, street lights, traffic control devices, and the width and pavement of**
25 **adjoining streets and alleys) will be available to serve the subject site.**

26 The site is located in an existing urbanized neighborhood, and is currently developed
27 with a single family dwelling unit and detached garage. Therefore, public facilities to
28 the site currently exist. It is not anticipated that the proposed project and resulting
29 additional two (2) units will require new public facilities. If any upgrades to the existing
facilities are required, these will be provided. Further, the existing and proposed public
service facilities necessary to accommodate the project such as: the width and

pavement of the adjoining streets, traffic control devices, sewers, storm drains, sidewalks, street lights, proposed street trees, fire protection devices, and public utilities are provided for adequately as confirmed by the City agencies that reviewed the project during the interdepartmental review process.

F. The proposed project is consistent with the General Plan and any applicable specific plan.

The proposed construction of three (3) new attached residential dwelling units will provide two (2) net new residential dwelling units at the site, at a density consistent with the General Plan's Medium Density Multiple Family Land Use designation. The Project is also consistent with the goals of the General Plan, specifically, Objective 2, which calls for the retention and creation of housing throughout the City and the encouragement of multiple-family housing opportunities within neighborhoods designated for this development type. Based on review of the Project plans, the proposed residential development is not anticipated to result in any significant impacts on surrounding uses or to be inconsistent with the goals of the General Plan. Furthermore, the addition of two (2) net units will count toward meeting the Regional Housing Needs Assessment (RHNA) allocation for Culver City. There is no applicable Specific Plan for this area.

Tentative Parcel Map

As outlined in CCMC Section 15.10.630, the following required findings for a Tentative Parcel Map are hereby made:

A. The proposed division will not be materially detrimental to the public welfare nor injurious to the property or improvements in the immediate vicinity.

The proposed division will not create multiple parcels to be developed with various units separately, but rather will consist of an airspace subdivision to allow separate ownership opportunities of the units allowed on the parcel. Per Section 17.210.020 – Table 2-4, Residential District Development Standards (RLD, RMD, RHD), the RMD Zone permits three (3) units to be developed on the subject property, based on the allowance of one (1) unit per 1,500 square feet of net lot area. Accordingly, the subdivision component of the Project will not increase the number of units allowed on the site, or cause any physical changes and, therefore, is not expected to have any detrimental impacts to the public welfare or to property or improvements in the vicinity. The dwelling unit component of the Project will comply with all applicable provisions of the Zoning Code and is a permitted use in the RMD Zone.

1 **B. The proposed division will not be contrary to any official plan adopted by the**
2 **Council of the City of Culver City or to any policies or standards adopted by the**
3 **Commission or the Council and on file in the office of the City Clerk at or prior to**
4 **the time of filing of the application hereunder.**

5 The proposed airspace subdivision is in compliance with the policies and standards of
6 the City. The Public Works Department has also reviewed the tentative parcel map
7 and determined it will not be contrary to any adopted public improvement plans. There
8 is no overlay or Specific Plan designated for this area, and there are no other known
9 adopted plans with which the proposed subdivision may conflict.

10 **C. Each proposed lot conforms in area and dimension to the provisions of the Zoning**
11 **Code requirements, as set forth in Title 17 of this Code.**

12 CCMC Section 17.210.020 requires minimum lot dimensions of fifty (50) feet in width
13 and 100 feet in depth, and a minimum lot area of 5,000 square feet or the average
14 area of residential lots within a 500-foot radius of proposed subdivision, whichever is
15 greater, and further notes condominium, townhome, or planned development projects
16 may be subdivided with smaller parcel sizes for ownership purposes, with the
17 minimum lot area determined through the subdivision review process, provided that
18 the overall development site complies with the minimum lot size requirements of the
19 Chapter. The Project site measures 50 ft. by 100 ft. for a total of 5,000 square feet,
20 consistent with the parcels on the subject block. Although the average lot area within
21 the 500-foot radius is slightly above 5,000 square feet due to the deeper lots located
22 on the east side of Bentley Avenue, the project does not entail a new lot subdivision
23 that would create new physical parcels or change the overall lot dimensions, thus, the
24 project site conforms to the provisions of the Zoning Code. In addition, review of the
25 tentative parcel map by the Public Works Department has found the map in substantial
26 conformance with the City's requirements.

27 **D. Each lot in the proposed division will front on a dedicated street or have a vehicular**
28 **access to a dedicated street approved by the City.**

29 The overall development site is provided vehicular access by means of the existing
public right-of-way, abutting the easterly (front) property line of the subject site and
named Bentley Avenue. The individual condominium airspace lots and corresponding
dwelling units and assigned parking areas within the site will be accessed by means of
a shared ten (10) foot wide driveway and common pedestrian walkways connecting
the public right-of-way and the parking garage to the individual unit entries. The
Project site provides adequate onsite circulation and parking, in compliance with the
Zoning Code.

1 **E. Each lot in the proposed division is so designed and arranged that drainage to an**
2 **approved drainage facility is provided for each lot.**

3 Following review of the tentative parcel map by the Public Works Department, it has
4 been conditioned that the applicant submit a Site Improvement Plan which shall
5 include detailed on-site drainage and grading of the site indicated by topographical
6 lines and spot elevations. Said plan will be required to meet the requirements of this
7 finding. Further, the proposed division is only of airspace and not of actual land
8 parcels, and is designed such that this requirement is not impeded. The conditions of
9 approval will ensure the proposed project will be in conformance with this required
10 finding prior to any final approval of the proposed division.

11 **F. The proposed division will not interfere with the widening, extension, or opening of**
12 **any street or Master Plan highway.**

13 Located within an existing urbanized residential neighborhood, the proposed division is
14 provided access by means of the existing public right-of-way, Bentley Avenue.
15 Following Public Works review of the tentative parcel map, it was found that there is no
16 requirement to widen, extend, or open any of the surrounding streets or other right-of-
17 ways. Further, there were no items of potential interference identified between the
18 proposed division and any known street Master Plan highway.

19 **G. Lot lines are so designed that easements will be located in such positions as to be**
20 **suitable for the proposed use.**

21 The existing parcel is currently developed with a single family dwelling and has
22 easements located to provide various utilities to the site. The proposed condominium
23 subdivision will not encroach into or interfere with these existing easements. Further,
24 the site layout is designed such that the proposed airspace lots and associated
25 dwelling units are located to allow access and open space whereby future required
26 easements may be adequately placed.

27 SECTION 2. Pursuant to the foregoing recitations and findings, the Planning
28 Commission of the City of Culver City, California, hereby approves Administrative Site Plan
29 Review, ASPR P-2014160, and Tentative Parcel Map, TPM P-2014161, subject to the
conditions of approval set forth in Exhibit A attached hereto and incorporated herein by this
reference.

1 APPROVED and ADOPTED this 8th day of April, 2015.

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5 _____
6 LINDA SMITH FROST - CHAIRPERSON
7 PLANNING COMMISSION
8 CITY OF CULVER CITY, CALIFORNIA

9 Attested by:

10 _____
11 Yvonne Hunt
12 Administrative Secretary
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EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
1.	These Conditions of Approval are being imposed on the three attached residential dwelling units and condominium subdivision (the "Project"), for the property located at 3837 Bentley Avenue (the "Property").	All	Standard	
2.	A copy of the Resolution approving the Project, and a copy of these Conditions of Approval, shall be printed on the plans submitted as part of any building permit application for the Project.	Planning	Standard	
3.	All building permit applications for the Project shall include sufficient information and detail to clearly reflect compliance with all applicable requirements of the Culver City Municipal Code (the "CCMC") and with these Conditions of Approval.	Planning	Standard	
4.	The land use permit to which these Conditions of Approval apply (the "Land Use Permit") shall expire one year from the date of final approval of said Land Use Permit, if the use has not been exercised. As provided in CCMC Section 15.595.030 – "Time Limits and Extensions", an applicant may request an extension of said expiration date by filing a written request with the Planning Division prior to the expiration of the land use permit.	Planning	Standard	
5.	The Project shall be developed pursuant to CCMC Chapter 17.300 – "General Property Development and Use Standards".	Planning	Standard	
6.	All planted areas on the Property shall be landscaped and irrigated pursuant to CCMC Chapter 17.310 - "Landscaping".	Planning	Standard	

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RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
7.	Landscaping and a screening in the form of a fence or green screen shall be incorporated along the edge of the northerly walkway over the semi-subterranean parking garage to further screen the building and walkway from the neighboring single family residence and yard areas. The landscaping and screening shall be installed to the satisfaction of the Planning Manager.	Planning	Special	
8.	All doors and windows shall be located to preserve privacy with the abutting properties to the extent feasible.	Planning	Special	
9.	The development of the subject property shall preserve existing trees on abutting properties. The building permit plans shall include a tree protection plan subject to review and approval by the Planning Manager and the City's Landscape Architect. If any tree(s) on abutting properties are damaged as a result of construction of the Project, the Applicant shall be responsible for replacing said tree(s) with a species of equal size as determined by the Planning Manager and the City's Landscape Architect.	Planning	Special	
10.	All parking areas on the Property shall be developed pursuant to CCMC Chapter 17.320 - "Off-Street Parking and Loading".	Planning	Standard	
11.	Signs proposed for the Project shall meet all applicable requirements of CCMC Chapter 17.330 - "Signs". All signs require a separate permit and approval.	Planning	Standard	
12.	All permits and licenses required in connection with the development or use of the Project shall be applied for and obtained separately.	All	Standard	

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RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
13.	All work within the public right-of-way (including but not limited to curb, gutter, sidewalk, and driveways) shall be designed and completed to the satisfaction of the City Engineer.	Public Works	Standard	
14.	A new street tree and tree well shall be installed in the landscape parkway. The tree species shall be as directed by the City Engineer and the tree shall be irrigated from the private onsite irrigation system, which shall include a timer and rain sensor. A landscape plan of the public parkway shall be submitted to the Engineering Division for review, approval, and permitting.	Public Works/ Building	Special	
15.	The existing drive approach shall be removed, and a new drive approach shall be constructed per the latest edition of the American Public Works Association (APWA) Standards Plans or City's Standard high speed approach and ADA compliant. A separate permit shall be required from the Engineering Division for this work.	Public Works	Special	
16.	All existing sidewalk, curb, and gutter along the entire project property frontage shall be removed and replaced with new curb, gutter, and four (4) foot wide concrete sidewalk, constructed per the latest edition of the American Public Works Association (APWA) Standard Plans.	Public Works	Special	
17.	Drainage devices, concrete curbs and gutters, sidewalks, drive approaches, and roadway pavement shall be designed in conformity with all provisions of the latest edition of the American Public Works Association Standard Plans ("APWA Standards").	Public Works	Standard	
18.	At the sole cost and expense of the Property Owner, any broken or damaged curbs, gutters, sidewalks, and street pavement resulting from construction of the Project shall be repaired and reconstructed in conformity with APWA Standards and to the satisfaction of the City Engineer.	Public Works	Standard	

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Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
19.	Trash enclosures or refuse storage areas shall be provided onsite. Final approval for the size, location, and type of equipment needed for the adequate storage and disposal of all solid and recyclable waste generated by the Project shall be obtained from the City's Environmental Programs and Operations Manager. A fire suppression sprinkler system shall be provided within any covered trash enclosure area as required by the Fire Marshal. All refuse containers assigned to or otherwise used by the Project shall be stored on-site in the trash enclosures.	Public Works/ Fire/ Planning	Standard	
20.	Any trash rooms, storage rooms, electrical rooms, and/or service rooms shall be at minimum two hour rated to all other areas. All common and utility rooms shall be marked as to use.	Building/ Fire	Special	
21.	All Project related solid and recyclable waste material handling shall be in accordance with CCMC Section 5.01.010 – "Solid Waste Management", which outlines the Sanitation Division's exclusive franchise for this service.	Public Works	Standard	
22.	All buildings and structures to be constructed as part of the Project shall be designed and constructed in accordance with all applicable regulations and standards of the City's Building Code, Fire Code and any related codes as determined by the Building Official and Fire Marshal; and all other applicable provisions of the CCMC which are adopted and in effect at the time of issuance of a building permit.	Building/ Fire	Standard	
23.	An NFPA 13 fire sprinkler shall be provided throughout the parking and residential areas of the building with residential requirements of NFPA 13. If number of fire sprinklers exceeds 19 heads an offsite reporting system is required.	Fire	Special	

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RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
24.	A building address that is viewable and legible from the public way shall be provided during construction and prior to completion.	Fire	Special	
25.	A KNOX Box and Key switch system for fire department emergency access shall be provided.	Fire	Special	
26.	Audible visual devices shall be provided in each unit to meet the "Constantly Attended Location" per the requirements of NFPA 72 "Dedicated Fire Alarm Monitoring system". This dedicated use fire monitoring system is not to be considered a local fire alarm system.	Fire	Special	
27.	The Double Detector Check Assembly (DDCA) shall be located per water company requirements; screening of the DDCA shall be required to the satisfaction of the Planning Manager.	Fire	Special	
28.	The Fire Department Connection shall be located per approval of the Culver City Fire Department and on the address side of the building. Concrete shall be provided under both the DDCA and the FDC to extend 3 feet on each side of the equipment providing access from the street to the equipment for Fire Department use and annual service requirements. FDC shall have a sign that indicates addresses served and operating pressure.	Fire	Special	
29.	Parapets and wall tops in excess of five feet from finished roof shall have non-combustible catwalks and ladders. Soft, compressible materials are prohibited without review and approval by the Fire Department.	Fire	Special	
30.	All treads, risers, handrails, etc. for any common area stairway shall be 100% non-combustible construction.	Building	Special	

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RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
31.	All paths of egress and common stairways shall be a minimum one hour rated. Any shafts shall be a minimum one hour rated at all floor levels. All doors as part of the path of egress of common areas shall swing in the direction of egress. All residential units shall be one hour rated to all other units and other areas.	Building	Special	
32.	The garage shall be one hour rated to all other areas.	Building	Special	
33.	Any wall within five feet of a property line or an assumed property line shall be one hour rated, no openings for walls within three feet, a maximum of 15% openings for walls three to five feet, and such openings shall be one hour rated.	Building	Special	
34.	Any walls or construction within one foot of a property line or an assumed property line shall be eight inches reinforced concrete block construction.	Building	Special	
35.	The front door of each unit shall be handicap accessible. The garage level shall be handicap accessible. All units shall be adaptable to become handicap accessible; the bathroom walls shall have blocking for grab bars.	Building	Special	
36.	Any new utilities shall be placed underground or enclosed within the building construction; no new overhead utilities shall be permitted.	Building/ Planning	Standard	
37.	The Project shall comply with all applicable requirement of the Culver City Green Building Program as set forth in CCMC Section 15.02.1100, et. seq.	Building	Standard	
38.	The Project shall comply with the all applicable requirements relating to solar photovoltaic requirements as set forth in CCMC Section 15.02.100, et. seq.	Building	Standard	

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RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
39.	Changes to the Project or use approved as part of the Land Use Permit may only be made in accordance with the provisions of CCMC Section 17.595.035 – “Changes to an Approved Project”.	Planning	Standard	
40.	The final map shall be submitted to the Los Angeles County Department of Public Works for review and approval.	Public Works	Special	
41.	The applicant shall submit a current title report prior to submittal of the final map.	Public Works	Special	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
42.	A covenant and agreement, on a form provided by the Planning Division and in form and substance acceptable to the City Attorney, acknowledging and agreeing to comply with all terms and conditions established herein, shall be signed by the Property Owner and recorded in the County Recorder's Office. The covenant and agreement shall run with the land and shall be binding on any subsequent owners, and tenants or occupants of the Property. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Planning Division.	Planning/ City Attorney	Standard	
43.	The Applicant and Property Owner shall indemnify and agree to defend (at the Applicant's and Property Owner's sole expense, with legal counsel approved by the City) and hold harmless the City, and its elected and appointed officials, officers, employees, agents, contractors and consultants from and against any and all loss, damages, injuries, costs, expenses, liabilities, claims, demands, lawsuits, attorneys' fees and judgments, arising from or in any manner connected to any third party challenge to the City's approval of the Project. The obligations required by this Condition shall	City Attorney	Standard	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
	be set forth in a written instrument in form and substance acceptable to the City Attorney and signed by the Applicant and the Property Owner.			
44.	A minimum of three sets of final landscaping and irrigation plans (separate from the plans submitted for the building permit) shall be submitted to the Planning Division for review and approval.	Planning/ Parks & Rec.	Standard	
45.	A Construction Management Plan prepared by the construction contractor, which identifies the areas of construction staging, temporary power, portable toilet, and trash and material storage locations, shall be submitted to and approved by the Building Official. Two sets of full size staging plans shall be submitted to the Engineering, Planning, and Building and Safety Divisions. Prior to commencement of work the construction contractor shall advise the Public Works Inspector and the Building Inspector ("Inspectors") of the construction schedule and shall meet with the Inspectors.	Building/ Public Works	Standard	
46.	A Pedestrian Protection Plan shall be submitted to and approved by the Building Official. Such plan shall identify all areas of pedestrian protection and indicate the method of pedestrian protection or pedestrian diversion when required. When pedestrian diversion is required, the Pedestrian Protection Plan must also be approved by the Public Works Director.	Building/ Public Works	Standard	
47.	Plans submitted as part of the building permit application shall include a schedule of the special inspections anticipated, the firm proposed for the special inspections, and the resumes of all proposed special inspectors. The Building Official reserves the right to reject any special inspector at any time for the duration of the Project. All special inspection reports shall be made available to the Building Official and to any Culver City Building Safety inspector as required by the Building Official. Priority shall be	Building	Standard	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
	given to a CCBS inspector onsite. No work shall be covered without a Culver City Building Safety inspection, whether or not a special inspection was performed on such work.			
48.	A Construction Traffic Management Plan shall be prepared by a traffic or civil engineer registered in the State of California. The Construction Traffic Management Plan shall be submitted to the City Engineer and Planning Manager for review and approval prior to the issuance of any Project demolition, grading, or excavation permit. The Construction Traffic Management Plan shall also be reviewed and approved by the City's Fire and Police Departments. The City Engineer and Planning Manager reserve the right to reject any engineer at any time and to require that the Plan be prepared by a different engineer. The Construction Traffic Management Plan shall contain, but not be limited to, the following: A. The name and telephone number of a contact person who can be reached 24 hours a day regarding construction traffic complaints or emergency situations. B. An up-to-date list of local police, fire, and emergency response organizations and procedures for the continuous coordination of construction activity, potential delays, and any alerts related to unanticipated road conditions or delays, with local police, fire, and emergency response agencies. Coordination shall include the assessment of any alternative access routes that might be required through the Property, and maps showing access to and within the Property and to adjacent properties. C. Procedures for the training and certification of the flag persons used in implementation of the Construction Traffic Management Plan. D. The location, times, and estimated duration	Planning/ Public Works	Standard	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
	of any roadway closures, traffic detours, use of protective devices, warning signs, and staging or queuing areas. E. The location and travel routes of off-site staging and parking locations.			
49.	Reasonable efforts shall be used to reuse and recycle construction and demolition debris, to use environmentally friendly materials, and to provide energy efficient buildings, equipment and systems. A Demolition Debris Recycling Plan that indicates where select demolition debris is to be sent shall be provided to the Building Official prior to the issuance of a demolition permit. The Plan shall list the material to be recycled and the name, address, and phone number of the facility of organization accepting the materials.	Building	Standard	
50.	A vector/pest control abatement plan prepared by a pest control specialist licensed or certified by the State of California shall be submitted for review and approval by the Planning Manager and the Building Official. Said plan shall outline all steps to be taken prior to the commencement of any demolition or construction activity in order to ensure that any and all pests (including, but not limited to, rodents, bees, ants and mosquitoes) that may populate the Property do not relocate to or impact adjoining properties.	Building/ Planning	Standard	
51.	Prior to issuance of a building permit, notice of the Project construction schedule shall be provided to all abutting property owners and occupants. Evidence of such notification shall be provided to the Building Division. The notice shall identify the commencement date and proposed timing for all construction phases (demolition, grading, excavation/shoring, foundation, rough frame, plumbing, roofing, mechanical and electrical, and exterior finish).	Building	Standard	
52.	A project pre-construction meeting shall be held, City staff and the project field superintendent	Building	Special	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO BUILDING PERMIT ISSUANCE				
	shall attend. The meeting shall include a review of the project conditions of approval.			

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
53.	During all phases of construction, a "Construction Rules Sign" that includes contact names and telephone numbers of the Applicant, Property Owner, and the City; name, address, and 24 hour phone number of construction contractor(s); the allowed construction hours; and minimum safety gear to be worn by all personnel onsite, shall be posted on the Property in a location that is visible to the public. These names and telephone numbers shall also be made available to adjacent property owners and occupants to the satisfaction of the Planning Manager and Building Official.	Building/ Planning	Standard	
54.	The Property shall be maintained daily so that it is free of trash and litter.	Building	Standard	
55.	During construction, dust shall be controlled by regular watering or other methods as determined by the Building inspector.	Building	Standard	
56.	The Building Division may apply administrative assessments and/ or post general stop work notices for any violations of the Conditions of Approval for the Project, and any violations of the CCMC.	Building	Standard	
57.	During all phases of construction, best efforts shall be used to ensure that all construction workers, contractors and others involved with the Project park on the Property or at designated offsite locations approved by the City, and not in the surrounding neighborhood.	Building	Standard	
58.	When foundation shoring and/or foundation piles will be part of the Project, the engineer of record shall use noise dampening measures such as the drilling of shoring supports and piles as	Building/ Planning	Standard	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
	determined by the Building Official and Planning Manager.			
59.	Prior to the commencement of any excavation, a temporary construction fence shall be installed around the site, between the subject property and the property lines directly adjacent to the subject improvements. The height and fence material is subject to approval by the City Engineer and the Planning Manager.	Building/ Planning/ Public Works	Standard	
60.	Hours of construction shall be limited to the following: 8:00 AM to 8:00 PM Monday through Friday; 9:00 AM to 7:00 PM Saturday; and 10:00 AM to 7:00 PM Sunday and National holidays. Dirt hauling and construction material deliveries or removal are prohibited during the morning (7:00 AM to 9:00 AM) and afternoon (4:00 PM to 6:00 PM) peak traffic periods. All construction workers shall be respectful of the surrounding neighborhood and keep non-construction related noise to a minimum prior to, during, and after permissible construction hours.	Building/ Public Works	Standard	
61.	All staging and storage of construction equipment and materials, including the construction dumpster(s), shall be on-site only. The Property Owner must obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.	Building/ Public Works	Standard	
62.	Compliance with the following noise standards shall be required with at all times: A. No construction equipment shall be operated without an exhaust muffler, and all such equipment shall have mufflers and sound control devices (i.e., intake silencers and noise shrouds) that are no less effective than those provided on the original equipment; B. All construction equipment shall be properly maintained to minimize noise	Building/ Planning	Standard	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
	emissions; C. If any construction vehicles are serviced at a location onsite, the vehicle(s) shall be setback from any street and other property lines so as to maintain the greatest distance from the public right-of-way and from Noise Sensitive Receptors; D. Noise impacts from stationary sources (i.e., mechanical equipment, ventilators, and air conditioning units) shall be minimized by proper selection of equipment and the installation of acoustical shielding as approved by the Planning Manager and the Building Official in order to comply with the City's Noise Regulations and Standards as set forth in CCMC Chapter 9.07; and E. Stationary source equipment (i.e., compressors) shall be located so as to maintain the greatest distance from the public right-of-way and from Noise Sensitive Receptors.			
63.	In the event three citations are issued in connection with the Project for violations of these Conditions of Approval or for other violations of the CCMC, Project construction shall be stopped until such time that it is determined to the satisfaction of the Community Development Director, that causes of such violations have been eliminated or corrected and that the Project will be able to proceed in full compliance with these Conditions of Approval and the CCMC.	Building/ Planning	Standard	
64.	Flag persons with certified training shall be provided for work site traffic control to minimize impacts to traffic flow and to ensure the safe movement of vehicles into and out of the Property.	Building/ Public Works	Standard	
65.	During construction, trucks and other vehicles in loading and unloading queues must be parked	Building	Standard	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
	with their engines off to reduce vehicle emissions. Construction deliveries shall be phased and scheduled to avoid emissions peaks as determined by the Building Official and discontinued during second-stage smog alerts.			
66.	Construction vehicles shall not be permitted to stage or queue where they would interfere with vehicular and pedestrian traffic or block access to adjacent properties. Off-site staging shall be at locations approved by the City Engineer and shall be of sufficient length to accommodate large trucks without being unduly disruptive to traffic operations. The drivers of these trucks shall be in radio or phone communication with on-site personnel who shall advise the drivers when to proceed from the staging location to the Property. Construction-related vehicles shall not be permitted to park on public streets.	Building/ Public Works	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION				
67.	All provisions, and requirements set forth in these Conditions of Approval, in the Resolution approving the project, in the CCMC, or in any applicable written comments as provided by City representatives on May 1, 2014 and November 20, 2014 at the Project Review Committee meetings on the Land Use Permit application, shall be fulfilled and satisfied to the satisfaction of all City departments before the use may be established or the Project occupied.	All	Standard	
68.	All requirements of the City's Residential Development Park Dedication and In Lieu Parkland Fees, as set forth in CCMC Section 15.06.300, et. seq., shall be fully satisfied prior to the issuance of a certificate of occupancy; provided, that if such requirements will be satisfied by the payment of the in-lieu parkland fee, the same shall be paid prior to the issuance	Planning/ Parks	Standard	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION				
	of a building permit.			
69.	All requirements of the City's Art in Public Places Program, as set forth in CCMC Section 15.06.100, et. seq., shall be fully satisfied prior to the issuance of a certificate of occupancy; provided, that if such requirements will be satisfied by the payment of the public art in-lieu fee, the same shall be paid prior to the issuance of a building permit.	Cultural Affairs	Standard	
70.	All onsite and offsite improvements and all conditions of approval except those which are deferred pursuant to a bond or letter of credit as determined and approved by the Building Official, Fire Marshal, Planning Manager, and/or City Engineer shall be completed prior to issuance of any certificate of occupancy. Prior to issuance of any certificate of occupancy the following shall be provided to and approved by the City: A. Five full sets of as-built plans that shall include at a minimum the site plan, grading and utility plan, landscape and irrigation plan, floor plan for each level of the Project, parking structure plan, roof plan with all mechanical equipment identified as to purpose and source and all offsite improvements; and B. One set of as-built plans as described above in a digital format compatible with the City's computer system.	All	Standard	
71.	The applicant shall submit a plan to the City Engineer regarding the repair or replacement of any damage to the public right-of-way that results from the construction of the proposed project. Such repair or replacement is to be completed to the satisfaction of the City Engineer. The applicant shall be responsible for all expenses.	Public Works	Special	
72.	All required boundary monuments shall be installed prior to the recordation of the final map.	Public Works	Special	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION				
	At a minimum, a chisel "X" or other approved monument shall be placed on the Bentley Avenue curb, indicating the prolongation of the side property lines. These monuments shall be shown on the final map.			
73.	The final parcel map shall be recorded prior to the issuance of a Certificate of Occupancy.	Public Works	Special	
74.	The applicant shall submit for review and/or approval by the Planning Manager and City Engineer/City Attorney (if applicable), the declaration of covenants, conditions and restrictions (CC&R's), the homeowners' association bylaws and, if applicable, the condominium plan (Condo Plan) (submitted to the City Attorney for approval). Additionally, the applicant shall record, concurrently with the recordation of the final map, the City approved CC&R's and, if applicable, the Condo Plan. The CC&R's shall include, but not be limited to, language that addresses the allocation of designated parking and other common access areas for each of the condominium dwelling units and building maintenance	Planning/ Public Works	Special	
75.	Documentation regarding compliance with California Fire Code Chapter 9, Section 901, shall be provided.	Fire	Special	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
ON-GOING				
76.	The use and development of the Property shall be in substantial conformance with the plans and materials submitted with the application for the Land Use Permit as reviewed by the Planning Commission at its meeting on April 8, 2015, excepted as modified by these Conditions of Approval.	Planning	Standard	
77.	Pursuant to CCMC Section 17.650.020 - "Inspection", the Property Owner and Applicant	All	Standard	

EXHIBIT A
RESOLUTION NO. 2015-P002
Case No. ASPR P-2014160 and TPM P-2014161

	shall allow authorized City officials, or their designees, access to the Property where there is reasonable cause to believe the Property is not in compliance with these Conditions of Approval or other requirements of the CCMC.			
78.	The use and development of the Property shall comply with these Conditions of Approval and all applicable local, special district or authority, county, state and federal statutes, codes, standards, and regulations including, but not limited to, Building Division, Fire Department, Planning Division and Public Works Department requirements, and shall comply with all applicable CCMC requirements and all comments made during the City's building permit plan check review process. Failure to comply with said Conditions, statutes, codes, standards, and regulations may result in reconstruction work, demolition, stop work orders, withholding of certificate of occupancy, revocation of land use permit approval and/or any other lawful action the City might deem reasonable and appropriate to bring about compliance.	All	Standard	
79.	All graffiti shall be removed from the Property within 48 hours of its application.	Building/ Planning/ Public Works	Standard	
80.	The Property Owner shall maintain all street trees along the property frontage at his/her sole cost and expense.	Public Works	Standard	

Attachment No. 2
Vicinity Map
3837 Bentley Avenue



Source: Planning Division

Meeting Date: April 8, 2015

Administrative Site Plan Review,
ASPR-P2014160 and
Tentative Parcel Map,
TPM-P2014161 for three residential
condominiums



**THE CITY OF
CULVER CITY**



INFORMATION TECHNOLOGY DEPARTMENT

GEOGRAPHIC INFORMATION SYSTEMS

9770 CULVER BLVD
CULVER CITY, CA 90232

TEL: 310-253-5976

Scale: 1:3,834



0 159.75 319.5 Feet

Attachment No. 3
PROJECT SUMMARY

APPLICATION TITLE & CASE NO:		
3837 Bentley Avenue, Arora Condominiums: The project consists of an Administrative Site Plan Review (ASPR P-2014160) and a Tentative Parcel Map (TPM P-2014161) for the construction and creation of a three unit residential condominium subdivision.		
PROJECT ADDRESS/LOCATION:		APPLICANT INFORMATION:
3837 Bentley Avenue (between Venice Boulevard and Matteson Avenue)		Hayde Franco 11602-24 Hawthorne Boulevard, Suite 203 Hawthorne, CA 90250
PERMIT/APPLICATION TYPE:		
☐ Administrative Use Permit ☐ Conditional Use Permit ☒ Administrative Site Plan Review ☐ Site Plan Review ☐ Administrative Variance ☐ Variance ☐ Master Sign Program ☐ Certificate of Appropriateness ☐ Certificate of Exemption ☐ DOBI ☒ Tentative Parcel Map ☐ Tentative Tract Map ☐ Lot Line Adjustment ☐ Zoning Code Amendment - Text ☐ Zoning Code Amendment -Map ☐ General Plan Amendment - Text ☐ General Plan Amendment - Map ☐ Planned Unit Development ☐ Specific Plan ☐ Other: Administrative Modification		
APPROVAL BODY:		
☒ Public Hearing ☐ Public Meeting ☐ Administrative		
☐ Administrative ☒ Planning Commission ☐ City Council		☐ Redevelopment Agency ☐ Other:
ENVIRONMENTAL DETERMINATION AND NOTICING:		
CEQA Determination	☒ Categorical Exemption (Class 3 and Class 15) ☐ Negative Declaration ☐ Mitigated Negative Declaration ☐ Environmental Impact Report	
CEQA Noticing	☒ Notice of Exemption (w/in 5 days of decision) ☐ Notice of Intent to Adopt (21 days prior to decision) ☐ Notice of Determination (w/in 5 days of decision) ☐ Fish & Game Certificate of Fee Exemption (w/in 5 days of decision) ☐ Notice of Preparation	
	☐ Notice of Availability ☐ Notice of Completeness	
PUBLIC NOTIFICATION:		
Mailing Date: 3/18/14	☒ Property Owners ☒ Occupants ☐ Adjacent Property Owners & Occupants	☒ w/in 500' foot radius ☐ w/in 500' foot radius / extended ☐ Other: Beyond 500' radius
Posting Date:	☐ Onsite ☐ Offsite	☐ Other:
Publication Date: N/A	☐ Culver City News	☐ Other:
Courtesy Date: 3/18/14	☐ City Council ☐ Commissions ☒ Master Notification List ☒ Culver City Website ☐ Cable Crawler	☐ Press Release ☒ HOA /Neighborhood Groups ☐ Culver City Organizations ☒ Other: Planning Commission and Public Notification email subscribers

PROJECT SUMMARY

GENERAL INFORMATION:	
General Plan Medium Density Multiple Family	Zoning Residential Medium Density Multiple Family (RMD)
Redevelopment Plan N/A	Overlay Zone/District N/A
Legal Description Lot 74 of Tract No. 10356	Existing Land Use Single family residence with detached accessory structure (garage)

ADJACENT ZONING AND LAND USES

<u>Location</u>	<u>Zoning</u>	<u>Land Use</u>
North	RMD	Single Family Residences
South :	RMD	Single and Multi-Family Residences
East:	RMD	Multi- and Single Family Residences
West	CG/CN	Various commercial (e.g. nursery, restaurant, carwash)

<u>Project Data</u>	<u>Existing</u>	<u>Proposed</u>	<u>Required</u>
Lot Area	5,000 s.f.	NA	NA
Building Coverage:	1,711 s.f.	3,460 s.f.	NA
Dwelling Size:	1,559 s.f.	4,636 s.f.	3,100 (minimum)
Landscaped Area:	1,656 s.f.	1,030 s.f.	450 s.f.

Parking:			
Standard	2	6	6
Handicapped	0	0	N/A
Total:	2	6	6

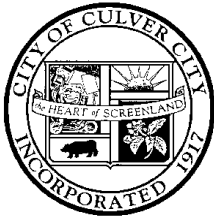
Building Height:

<u>Existing</u>	<u>Proposed</u>	<u>Required</u>
2 story/ (maximum)	2 story/27 ft., 9 in.	2 story/30 ft.

Building Setbacks:

	<u>Existing</u>	<u>Proposed</u>	<u>Required</u>
Front	19 ft., 8in.	15 ft.	13 ft., 10.5 in.
Rear	25.5 ft.	5 ft.	5 ft.
Side (north)	3 ft., 11in.	5 ft.	5 ft.
Side (south)	11 ft., 8in.	5 ft.	5 ft.

ESTIMATED FEES:			
☐ New Development Impact Fee	☒ School District: TBD	☒ Plan Check: TBD	
☒ In Lieu Parkland Fee: TBD	☒ Art: TBD	☒ Sewer: TBD	
INTERDEPARTMENTAL REVIEW:			
The Project Review Committee reviewed the project during the Preliminary Project Review phase and following the application submittal, and provided responses on May 1, 2014 and November 20, 2014. Comments have been incorporated into the plans or were made part of the recommended conditions of approval.			
ART IN PUBLIC PLACES:			
The project will not be subject to the City's Art in Public Places Program.			



(310) 253-5710
FAX (310) 253-5721

PLANNING DIVISION

9770 CULVER BOULEVARD, CULVER CITY, CALIFORNIA 90232-0507

NOTICE OF EXEMPTION

DATE: April 10, 2015

☒ Los Angeles County Clerk
Attention: Environmental Filing/Registration
12400 Imperial Highway, Suite 2001
Norwalk, CA 90650

☐ Governor's Office of Planning and
Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

PROJECT:

Title and Case No.: Administrative Site Plan Review, ASPR-P2014160 and Tentative Parcel Map TPM P2014161

Address/Location: 3837 Bentley Avenue

Project Description: Request to construct three (3) attached dwelling units and create a three lot residential condominium subdivision within the Residential Medium Density Multiple Family (RMD) Zone

APPLICANT: Hayde Franco

CULVER CITY APPROVAL ACTION:

1. Planning Commission on April 8, 2015

The decision making body, in approving the project described above, determined that the project is exempt from further environmental impact assessment per the CEQA guidelines:

Type of Exemption: Categorical
CEQA Section: 15303 and 15315
Class: 3 and 15

2. Reason why project is Exempt (brief):

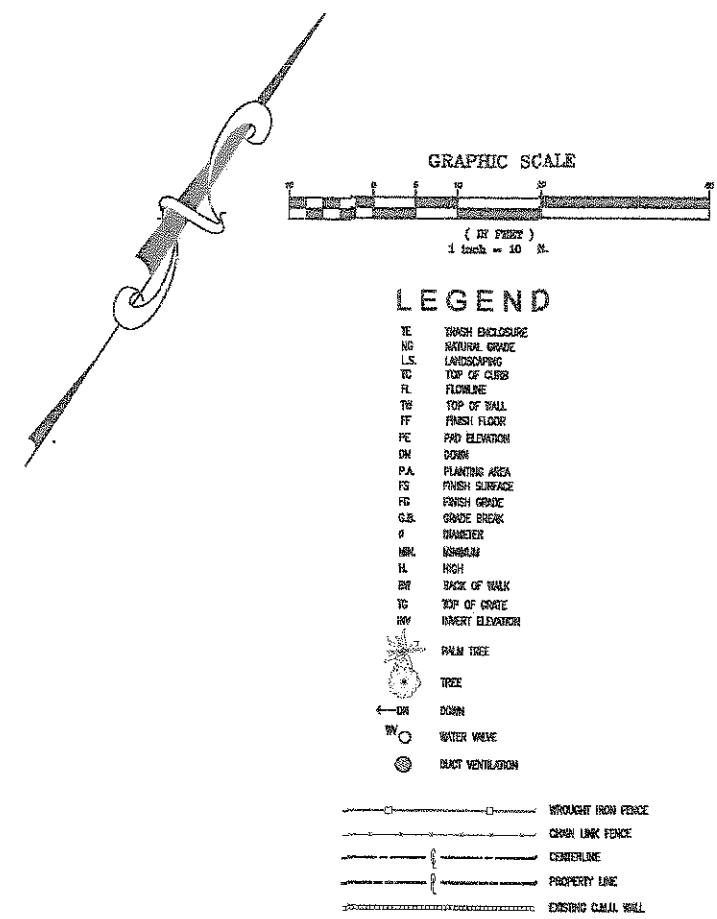
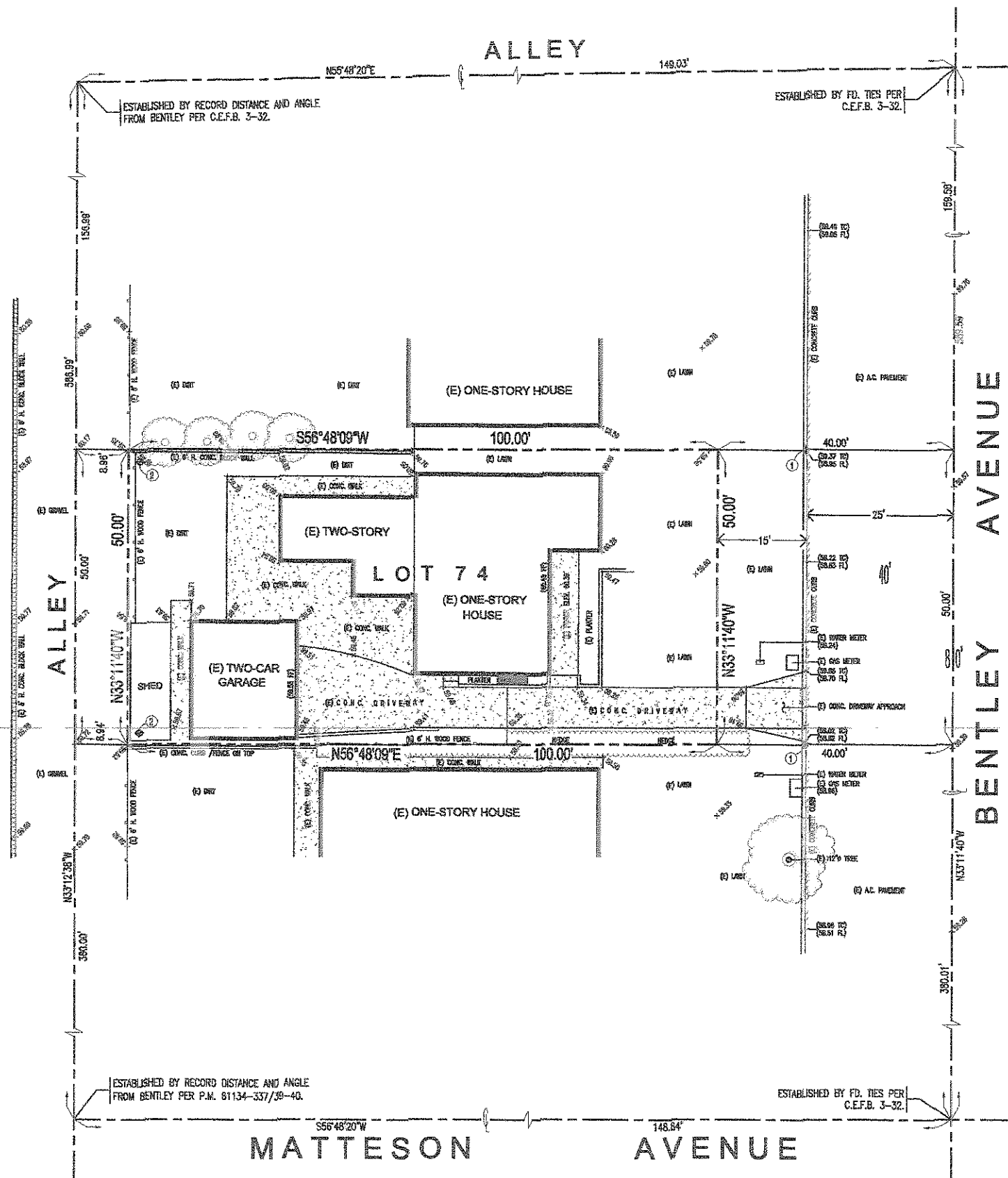
There are no potentially significant adverse impacts on the environment and the project has been determined to be Categorically Exempt under Section 15303, Class 3 NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES and Section 15315, Class 15 MINOR LAND DIVISIONS, because the proposed project involves the construction of a limited number of small structures, such as a duplex, totaling no more than six (6) dwelling units, and the division of residentially zoned property within an urbanized area into four (4) or fewer parcels, consistent with the applicable General Plan and zoning designation and regulations without any variances or exceptions; does not involve a parcel from a larger subdivision within the previous two (2) years; will not result in a parcel with an average slope greater than 20 percent; will be adequately served by all required utilities and public services; and will have all services and access to local standards.

Gabriela Silva, Title: Associate Planner

ARORA CONDOMINIUMS

3837 BENTLEY AVE, CULVER CITY, CA 90232

BUILDING AND SAFETY NOTES: 1* Electrical, plumbing and mechanical is under separate permit. 2* A Geotechnical report will be submitted to grading department. 3* Fire-sprinklers is required for this project. 4* All stairs, exits, handrails, etc. for any common area stairway shall be 100% non-combustible construction. 5* All common stairways shall be one hour rated. 6* All utilities shall be underground or enclosed in the building construction. no overhead utilities shall be permitted. 7* As the project nears completion no partial or grand openings shall be permitted without applying for and gaining approval of a CO or TCO. Do not schedule any partial or full openings or advertise any openings without City approval. 8* Any sidewalk closing shall gain approval of the culver city engineering division. no projections over the right of way will be permitted without Culver City engineering division approval. 9* Hours of construction: see conditions of approval #45 10* All trucks driving on the job-site shall obtain culver city haul route permits. 11* A project kick-off meeting must be held, the field superintendent shall attend. 12* During construction priority shall be given to any city inspector. 13* All exterior lighting shall be energy efficient, unobscuredly integrated, directed downward and away from adjacent properties, and shielded or recessed to confine glows and reflections to the subject site. FIRE PREVENTION DEPARTMENT NOTES: SPECIAL PROJECT REQUIREMENTS, UNIQUE TO THIS PROJECT provide an riser 13 fire sprinkler throughout the parking and residential areas of the building with residential requirements of NFPA 13. Provide a building address that is viewable and legible from the public way, including during construction and prior to completion. Provide a knob box and key switch system for fire department emergency access. All common and utility rooms shall be marked as to use. Audible visual devices shall be provided in each unit to meet the "Constantly Attended Location" per the requirements of NFPA 72 "Detectors, Fire Alarm Monitoring system". This dedicated use fire monitoring system is not to be considered a local fire alarm system. Lowest Double-Detector Check Assembly (DDCA) per water company requirements, screening of the DDCA may be required by the Planning Division. The Fire Department Connection shall be located per approval of the fire department and on the address side of the building. Concrete shall be provided under both the DDCA and the FDC to extend 3 feet on each side of the equipment protecting access from the street to the equipment for FD use and annual service requirements. FDC shall have a sign that indicates addresses served and operating pressure. See detail # ____. Prior to final inspection building shall provide documentation regarding compliance with CA Fire Code Chapter 9, Section 901. Parapets and wall tops in excess of five feet from finished roof shall have non-combustible eave/sills and ladders. Soft, compressible materials are prohibited without review and approval by the fire department. ENGINEERING DEPARTMENT NOTES: 1. All work in the Public Right of Way, such as drainage devices, concrete curb and gutter, sidewalk, drive approach and roadway pavement shall be designed to the latest edition of the American Public Works Association (APWA) Standard Plans. 2. All project related solid and recyclable waste material handling shall be in accordance with CMMC Section 5.01 (b), Ordinance No. 320 L011 - Solid Waste Management, which outlines the Environmental Programs and Operations Division's exclusive franchise for this service. *Requirements before construction Four (4) sets of Civil Plans (Site Improvement, Grading, and Horizontal Control Plans) prepared by a civil engineer registered in the State of California, shall be submitted to the Engineering Division for review, approval and permitting. Among other things, the Site Improvement Plan shall include detailed on-site drainage and grading of the site indicated by topographical lines and spot elevations. This plan shall be approved for on-site construction only. Four (4) sets of Off-Site Improvement Plans prepared by a civil engineer registered in the State of California shall be submitted to the Engineering Division for review, approval and permitting for all proposed improvements along the Public Right of Way. Off-Site Improvement Plan shall include all proposed improvement of site, detailed off-site drainage system, all existing utilities and its point of connections, and proposed sewer and storm drain lines (if any). Project is subject to the preparation of a Standard Urban Stormwater Mitigation Plan (SUSMP). Concurrent with the submittal of this Site Improvement Plan, a Standard Urban Stormwater Mitigation Plan (SUSMP) shall be submitted for review and approval by the City Engineer as outlined in CMMC Chapter 5.05. The SUSMP shall be developed and implemented in accordance with the requirements of the Los Angeles County Municipal Stormwater National Pollution Discharge Elimination System (NPDES) Permit No. CAS5-14001 (Order No. 01-182). The SUSMP shall provide Best Management Practices (BMPs) that adequately address the pollutants generated during the post-construction stage and shall be designed for filtration, infiltration and retention for the first two-quarter inch (0.47) of rainfall. The site improvement plans shall note the contractor shall comply with the "California Stormwater Best Management Practice Handbook". The Site Improvement Plans shall not be accepted for review unless the SUSMP is included in the submittal package, including the plan check the associated with the SUSMP. Said SUSMP shall be used to guide the "Construction - Best For Construction" Post Development Hydrology / SUSMP Map. The approval of the SUSMP is required prior to issuance of the Site Improvement Plan. Project is subject to preparation of a Local Storm Water Pollution Prevention Plan (LSWPPP). Concurrent with the submittal of the Site Improvement Plan, a Local Storm Water Pollution Prevention Plan (LSWPPP) shall be submitted for review and approval by the City Engineer. The erosion control plan shall be developed and implemented in accordance with the requirements of the Los Angeles County Stormwater Quality Management Program, NPDES Permit No. CAS5-14001. The plan shall include the design and placement of recommended Best Management Practices (BMPs) to effectively prohibit the entry of pollutants from the construction site into the public street or storm drain system. The improvement plans shall note that the contractor shall comply with the "California Storm Water Best Management Practice Handbook". Prior to the start of design of these plans and of necessary reports, the applicant's Civil Engineer shall meet with the City's Stormwater Program Manager to obtain information on the City-specific and LSWPPP requirements. Due to the increased density, this project is subject to the City's Sewer Facility Charge. This charge shall be paid prior to the issuance of any permit. *Requirements during construction Dirt hauling and construction material deliveries or removal are prohibited during the morning (7:00 AM to 9:00 AM) and afternoon (4:00 PM to 6:00 PM) peak traffic periods. All staging and storage of construction equipment and materials, including the construction dumpsters, shall occur onsite. The applicant shall obtain prior written permission from adjacent property owners for any construction staging occurring on adjacent property. Prior to the commencement of any excavation, the applicant shall install a temporary construction fence between the subject property and the property lines directly adjacent. 3837 Bentley Avenue - Arora Residential Condominiums RRC Comments and Conditions May 1, 2014 to the subject improvement. The location, height and fence material is subject to approval by the City Engineer and Planning Manager. The construction contractor shall advise the Public Works inspector of the construction schedule and shall meet with the inspector prior to commencement of work. Flag persons with certified training shall be provided for work site traffic control to minimize impacts to traffic flow and to ensure the safe movement of vehicles into and out of the Project Site. Construction vehicles shall not be permitted to stage or queue where they would interfere with vehicular and pedestrian traffic or block access to adjacent businesses. On-site staging locations shall be approved by the City Engineer and be of sufficient length to accommodate large trucks without being overly disruptive to traffic operations. The drivers of these trucks shall be in radio or telephone communication with on-site personnel who shall advise the drivers when to proceed from the staging location to the site. Construction-related vehicles shall not be permitted to park on public streets. During construction, dust shall be controlled by regular watering or other methods and as directed by the City Inspector.	BEDROOM AND BATHROOM CALCULATIONS <table><thead><tr><th>CONDOMINIUM</th><th>BEDROOMS</th><th>BATHROOMS</th><th>PARKING</th></tr></thead><tbody><tr><td>UNIT "A"</td><td>2</td><td>2 1/2</td><td>2</td></tr><tr><td>UNIT "B"</td><td>3</td><td>3</td><td>2</td></tr><tr><td>UNIT "C"</td><td>3</td><td>3 1/2</td><td>2</td></tr></tbody></table> PARKING AREA CALCULATIONS <table><thead><tr><th>CONDOMINIUM</th><th>REQUIRED</th><th>PROVIDED</th><th>PARKING AREA</th><th>BACK-UP</th></tr></thead><tbody><tr><td>UNIT "A"</td><td>2</td><td>2</td><td>22'0"X19'0"</td><td>396.0</td></tr><tr><td>UNIT "B"</td><td>2</td><td>2</td><td>22'0"X19'0"</td><td>396.0</td></tr><tr><td>UNIT "C"</td><td>2</td><td>2</td><td>20'6"X19'0"</td><td>369.0</td></tr></tbody></table> SERVICE AREAS <table><tbody><tr><td>ELECTRICAL ROOM</td><td>58.0 SQ.FT.</td></tr><tr><td>MECHANICAL ROOM</td><td>80.6 SQ.FT.</td></tr><tr><td>TRASH GREEN AREA</td><td>48.0 SQ.FT.</td></tr><tr><td>FIRE CONNECTION AREA</td><td>35.6 SQ.FT.</td></tr><tr><td>TOTAL SERVICE AREAS</td><td>216.2 SQ.FT.</td></tr></tbody></table>	CONDOMINIUM	BEDROOMS	BATHROOMS	PARKING	UNIT "A"	2	2 1/2	2	UNIT "B"	3	3	2	UNIT "C"	3	3 1/2	2	CONDOMINIUM	REQUIRED	PROVIDED	PARKING AREA	BACK-UP	UNIT "A"	2	2	22'0"X19'0"	396.0	UNIT "B"	2	2	22'0"X19'0"	396.0	UNIT "C"	2	2	20'6"X19'0"	369.0	ELECTRICAL ROOM	58.0 SQ.FT.	MECHANICAL ROOM	80.6 SQ.FT.	TRASH GREEN AREA	48.0 SQ.FT.	FIRE CONNECTION AREA	35.6 SQ.FT.	TOTAL SERVICE AREAS	216.2 SQ.FT.	AREA CALCULATIONS 1. AREA OF PARCEL COVERAGE: <table><tbody><tr><td>TOTAL Lot Area: 100'x50'</td><td>5,000 sq.ft.</td></tr></tbody></table> 2. SITE COVERAGE BY STRUCTURES <table><tbody><tr><td>LOT SITE AREA:</td><td>5,000.0 SQ.FT.</td></tr><tr><td>TOTAL COVER AREAS:</td><td>3,460.0 SQ.FT.</td></tr><tr><td>LOT SITE COVER AREA:</td><td>69.2%</td></tr></tbody></table> 3. ALLOWED BUILDING UNITS <table><tbody><tr><td>LOT SITE AREA:</td><td>5,000.0 SQ.FT.</td></tr><tr><td>5,000.0/1,500=3.333</td><td>3 UNIT MAXIMUM</td></tr></tbody></table> 4. OPEN SPACE AREAS <table><thead><tr><th></th><th>Required</th><th>Proposed</th></tr></thead><tbody><tr><td>UNIT "A"</td><td>100.0 sq.ft.</td><td>121.1 sq.ft.</td></tr><tr><td>UNIT "B"</td><td>100.0 sq.ft.</td><td>124.0 sq.ft.</td></tr><tr><td>UNIT "C"</td><td>100.0 sq.ft.</td><td>100.8 sq.ft.</td></tr><tr><td>PROPOSED PRIVATE OPEN SPACE</td><td></td><td>345.9 sq.ft.</td></tr><tr><td>PROPOSED PUBLIC OPEN SPACE (OPEN HALLWAY)</td><td></td><td>297.0 sq.ft.</td></tr><tr><td>TOTAL OPEN SPACE</td><td></td><td>642.9 sq.ft.</td></tr></tbody></table> 5. FRONT YARD LANDSCAPE CALCULATION AREA FRONT YARD 19'0"x50'0"= 950.0 SQ.FT. REQUIRED LANDSCAPE AREA 75% OF 950= 962.5 SQ.FT. <table><thead><tr><th colspan="2">LANDSCAPE AREA</th></tr><tr><th>REQUIRED</th><th>PROVIDED</th></tr></thead><tbody><tr><td>582.5 SQ.FT.</td><td>564.0 SQ.FT.</td></tr></tbody></table> <table><thead><tr><th colspan="2">HARDSCAPE AREA</th></tr><tr><th>ALLOWED</th><th>PROVIDED</th></tr></thead><tbody><tr><td>187.5 SQ.FT.</td><td>188.0 SQ.FT.</td></tr></tbody></table> MAXIMUM HARDSCAPE AREA 25% OF 950= 187.5 SQ.FT. <table><thead><tr><th>DESCRIPTION</th><th>DIMENSIONS</th><th>AREA SQ.FT.</th></tr></thead><tbody><tr><td>CONCRETE DRIVEWAY</td><td>16'0"x10'0"</td><td>160.0</td></tr><tr><td>CONCRETE PATH</td><td>6'0"x3'0"</td><td>36.0</td></tr><tr><td>TOTAL COVER AREA</td><td></td><td>196.0</td></tr></tbody></table> EXTRA DOCUMENTS RELATED TO THIS PROJECT (under separate permit) <table><thead><tr><th>DESCRIPTION</th><th>REQUESTED AND REVISED BY</th><th>CONSULTANT</th><th>APPROVED DATE</th></tr></thead><tbody><tr><td>1- TENTATIVE PARCEL MAP</td><td>PLANNING DEPARTMENT</td><td>LAND CREATIVE SOLUTIONS</td><td>1/1/00</td></tr><tr><td>2- CATEGORICAL EXEMPTION</td><td>PLANNING DEPARTMENT</td><td>CULVER CITY PLANNING</td><td></td></tr><tr><td>3- RESIDENTIAL DEVELOPMENT PARK DEDICATION</td><td>PLANNING DEPARTMENT</td><td>CULVER CITY PLANNING</td><td></td></tr><tr><td>4- SOIL REPORT</td><td>BUILDING AND SAFETY</td><td>GEOMAX Co.</td><td></td></tr><tr><td>5- ELECTRICAL PLANS</td><td>BUILDING AND SAFETY</td><td>-</td><td></td></tr><tr><td>6- MECHANICAL PLANS</td><td>BUILDING AND SAFETY</td><td>-</td><td></td></tr><tr><td>7- PLUMBING PLANS</td><td>BUILDING AND SAFETY</td><td>-</td><td></td></tr><tr><td>8- FIRE SPRINKLERS PLANS</td><td>FIRE PREVENTION DIVISION</td><td>-</td><td></td></tr><tr><td>9- HYDROLOGY STUDY</td><td>ENGINEERING</td><td>-</td><td></td></tr><tr><td>10- LANDSCAPE PLAN</td><td>ENGINEERING</td><td>-</td><td></td></tr></tbody></table>	TOTAL Lot Area: 100'x50'	5,000 sq.ft.	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STORY: TWO TRACT: TR # 10356 OCCUPANCY GROUP: R-2, U *THIS PROJECT COMPLY WITH CODES <table><tbody><tr><td>2010 California Residential Code</td><td>(CRC)</td></tr><tr><td>2010 California Mechanical Code</td><td>(CMC)</td></tr><tr><td>2010 California Plumbing Code</td><td>(CPC)</td></tr><tr><td>2010 California Electrical Code</td><td>(CEC)</td></tr><tr><td>2010 California Energy Code</td><td>(CEC)</td></tr><tr><td>2010 California Green Standards Code</td><td>(CGBSC)</td></tr></tbody></table> INDEX SHEETS *ARCHITECTURAL PLANS <table><tbody><tr><td>A1.0</td><td>COVER SHEET</td></tr><tr><td>A2.0</td><td>PROPOSED SITE PLAN</td></tr><tr><td>A2.1</td><td>TOPOGRAPHIC SURVEY MAP (EXISTING CONDITION)</td></tr><tr><td>A3.0</td><td>PROPOSED GARAGE FLOOR PLAN</td></tr><tr><td>A3.1</td><td>PROPOSED FIRST FLOOR PLAN</td></tr><tr><td>A3.2</td><td>PROPOSED SECOND FLOOR PLAN</td></tr><tr><td>A3.3</td><td>PROPOSED ROOF PLAN</td></tr><tr><td>A4.0</td><td>PROPOSED EAST AND SOUTH ELEVATIONS</td></tr><tr><td>A4.1</td><td>PROPOSED WEST AND NORTH ELEVATIONS</td></tr><tr><td>A4.2</td><td>EXTRA ELEVATION</td></tr></tbody></table> *LANDSCAPE PLANS <table><tbody><tr><td>L-1</td><td>LANDSCAPE PLANS</td></tr></tbody></table>	2010 California Residential Code	(CRC)	2010 California Mechanical Code	(CMC)	2010 California Plumbing Code	(CPC)	2010 California Electrical Code	(CEC)	2010 California Energy Code	(CEC)	2010 California Green Standards Code	(CGBSC)	A1.0	COVER SHEET	A2.0	PROPOSED SITE PLAN	A2.1	TOPOGRAPHIC SURVEY MAP (EXISTING CONDITION)	A3.0	PROPOSED GARAGE FLOOR PLAN	A3.1	PROPOSED FIRST FLOOR PLAN	A3.2	PROPOSED SECOND FLOOR PLAN	A3.3	PROPOSED ROOF PLAN	A4.0	PROPOSED EAST AND SOUTH ELEVATIONS	A4.1	PROPOSED WEST AND NORTH ELEVATIONS	A4.2	EXTRA ELEVATION	L-1	LANDSCAPE PLANS	SCOPE OF WORK THREE - TWO STORY CONDOMINIUM OVER SEMI-SUBTERRANEAN PARKING. JOB ADDRESS 3837 BENTLEY AVE CULVER CITY, CA 90232 PROJECT TEAM OWNER: ARORA FAMILY 9332 TILDEN AVE. LOS ANGELES, CA 90034. C: 310 936 4953 E: ljausa@sbcglobal.net DESIGNER: HAYDE FRANCO 11602-24 Hawthorne Blvd. Suite #203 HAWTHORNE, CA 90250 O: 310.876.79.07 C: 310.341.87.36 E: hf_design@sbcglobal.net SURVEYOR, TENTATIVE PARCEL MAP and RADIOUS MAP: Land Creative Solutions ARTURO VENEGAS 7340 Florence Ave. Suite #222 Downey, Ca 90240 O: 562.232.4357 C: 562.335.6848 E: arturovenegas07@hotmail.com SOIL/GEO. ENGINEER: DESIGNER: HAYDE FRANCO 4333 W. 132TH STREET HAWTHORNE, CA 90250 C: 310 861 8736 E: hf_design@sbcglobal.net VICINITY MAP THREE CONDOS OVER SEMI-SUBTERRANEAN GARAGE DATE: 1/22/14 1/23/14 PLANNING 2/06/14 SUBMITTAL PLAN 10/01/14 re-SUBMITTAL Plan 12/02/14 Permit application 2/11/15 Add front LIR 10/01/15 Info to the engineer 12/01/15 Permit for plan. com 4/01/16 Planning site plan REVISED BY: PLANNING DEPARTMENT DRAWN BY: H. FRANCO SHEET NAME: FRONT PAGE SHEET: A1.0
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LEGAL DESCRIPTION

LOT 74 OF TRACT NO. 10355, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 152, PAGES 14 TO 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK

CITY OF LOS ANGELES BENCHMARK NO. 17-06450
ELEVATION 64.477 FEET DATUM NAVD 1988 (2000)

DESCRIPTION:
CUT SPIKE IN W CURB MILITARY AVE; 23FT N OF VENICE BVD; S END CB.

Prepared under the direction of:

Topographic Survey Map

location: 9827 Bentley Avenue
Culver City, CA
A.P.N. 4213-018-009

City of Culver City

scale: 1" = 10'

drawn by: VENEGAS

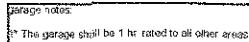
sheet number: 1 OF 1

plot date: Feb. 20-2014

Land Creative Solutions Inc.
7340 Florence Ave, Suite 222
Downey, CA 90240
P: 562-232-4357 C: 562-232-6948
Land Survey Civil Engineering Architectural Design

landeng@hotmail.com

FIG 03.3 BENCH/7 RCE 25864
EP DATE 03-16



PROPOSED GARAGE PLAN
SCALE 1/4"=1'-0"

3 CONDOMINIUM
3837 BENTLEY AVE. CULVER CITY, 90232

Index/Best Prices
310.936.4553

REVISED BY _____
PLANNING DEPARTMENT
DRAWN BY _____
H. FRANCO
SHEET NAME _____
GARAGE PLAN

A3.0

THESE DRAWINGS and specifications are the property and copyright of the owner. All drawings shall be prepared on scaled dimensions indicated on every sheet. Any discrepancy shall be brought to the notice of the contractor prior to the start of work on any work.

OWNER:
Indefast Home
310-866-4555

3 CONDOMINIUM
3837 BENTLEY AVE. CULVER CITY, 90232

DESIGNER:

DAVIDE FRANCO
4333 W. 12TH STREET
WATSONVILLE, CA 95076
TEL: 831-851-1234
E-MAIL: dfranco@franco.net

PROJECT:
THREE CONDOS
OVER SEMI-SUBTERRANEAN
GARAGE

DATE: 3/22/14 PLANNING
3/26/14 PLANNING
4/6/14 SUBMITTAL PLAN
8/6/14 re-SUBMITTAL Plan
9/2/14 Permit application
2/1/15 Add front Lit.
3/6/15 info to the engineer
3/24/15 print for plan con

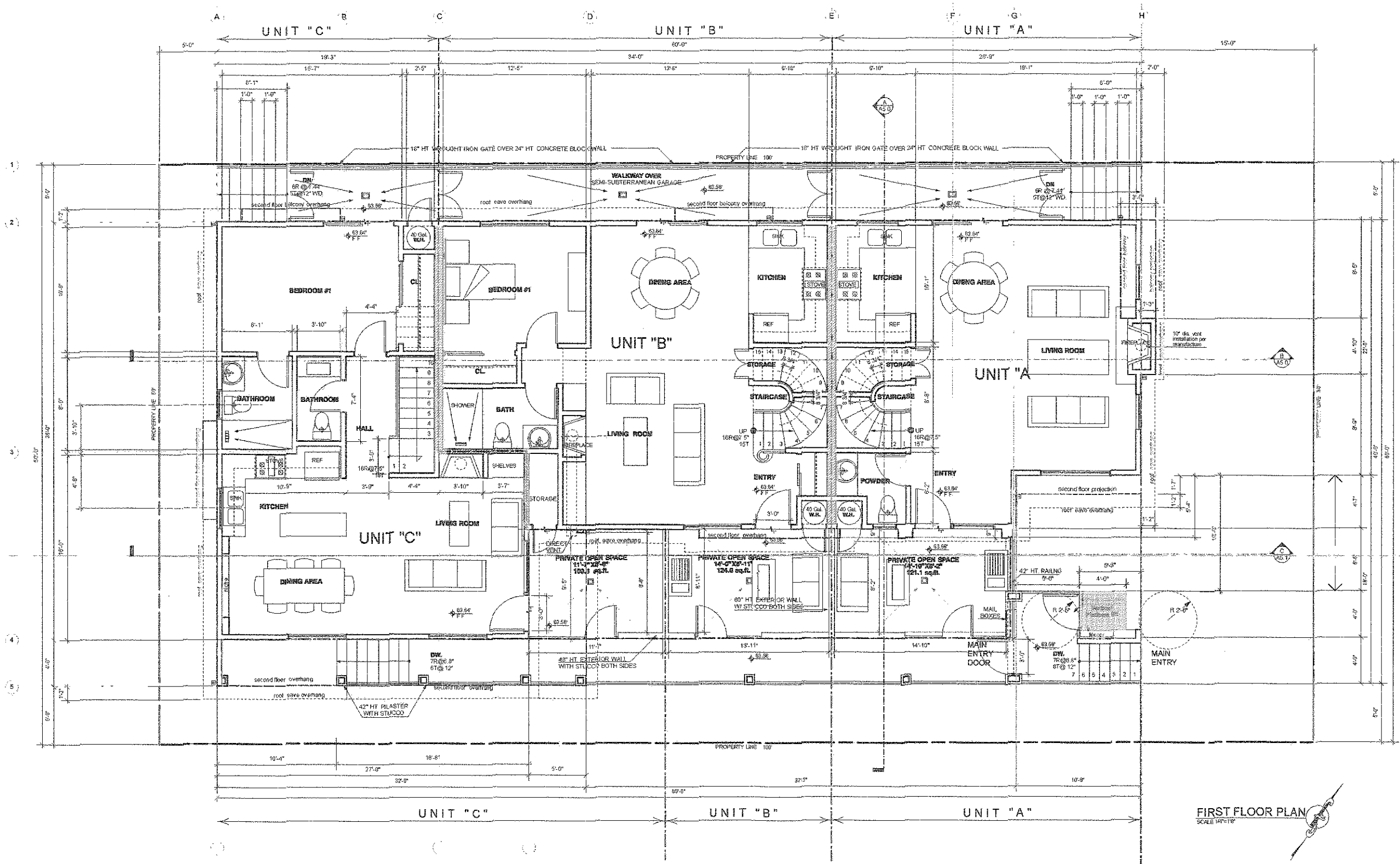
REVIEWED BY:
PLANNING DEPARTMENT

DRAWN BY:
H. FRANCO

SHEET NAME:
1ST FLOOR PLAN

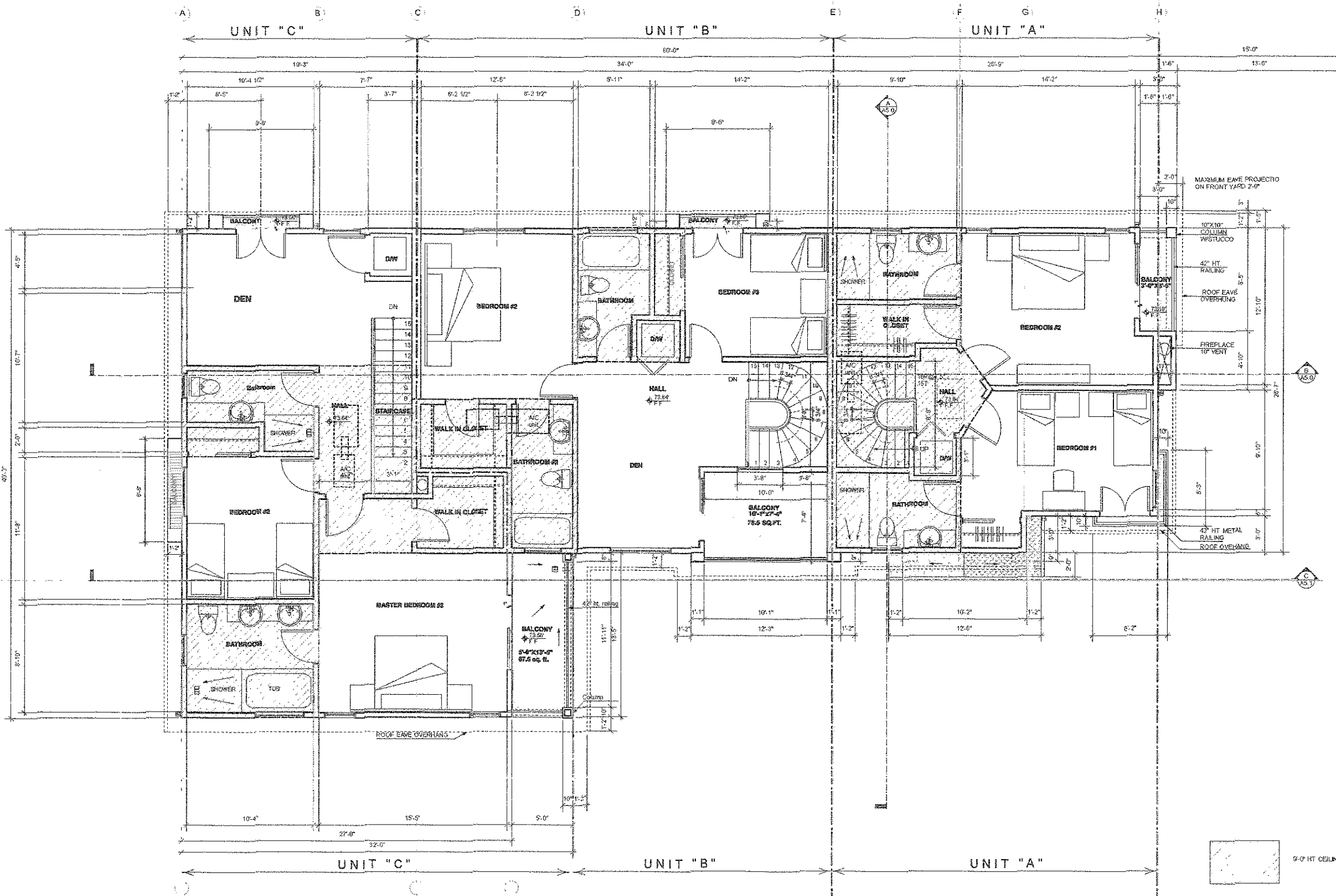
SHEET

A3.1



FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

WALL SYMBOLS
1 HR. FIRE RATED WALL
TYP. WALLS



SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

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OWNER
Indy Park Arms
310-588-4553

3 CONDOMINIUM
3837 BENTLEY AVE. CULVER CITY, 90232

DESIGNER

HAYDE FRANCO
4571 N. DEER STREET
FRANCOFRANCE, CA 90230
310-588-4553
E: H.FRANCO@FRANCOFRANCE.COM

PROJECT

THREE CONDOS
OVER SEMI-SUBTERRANEAN
GARAGE

DATE

12/2/14 PLANNING
1/22/14 PLANNING
1/22/14 SUBMITTAL PLAN
1/22/14 SUBMITTAL PLAN
1/22/14 Permit Application
1/22/15 Add front LIT
1/22/15 info to the engineer
1/22/15 Permit for plan com

REVISED BY

PLANNING DEPARTMENT

DRAWN BY

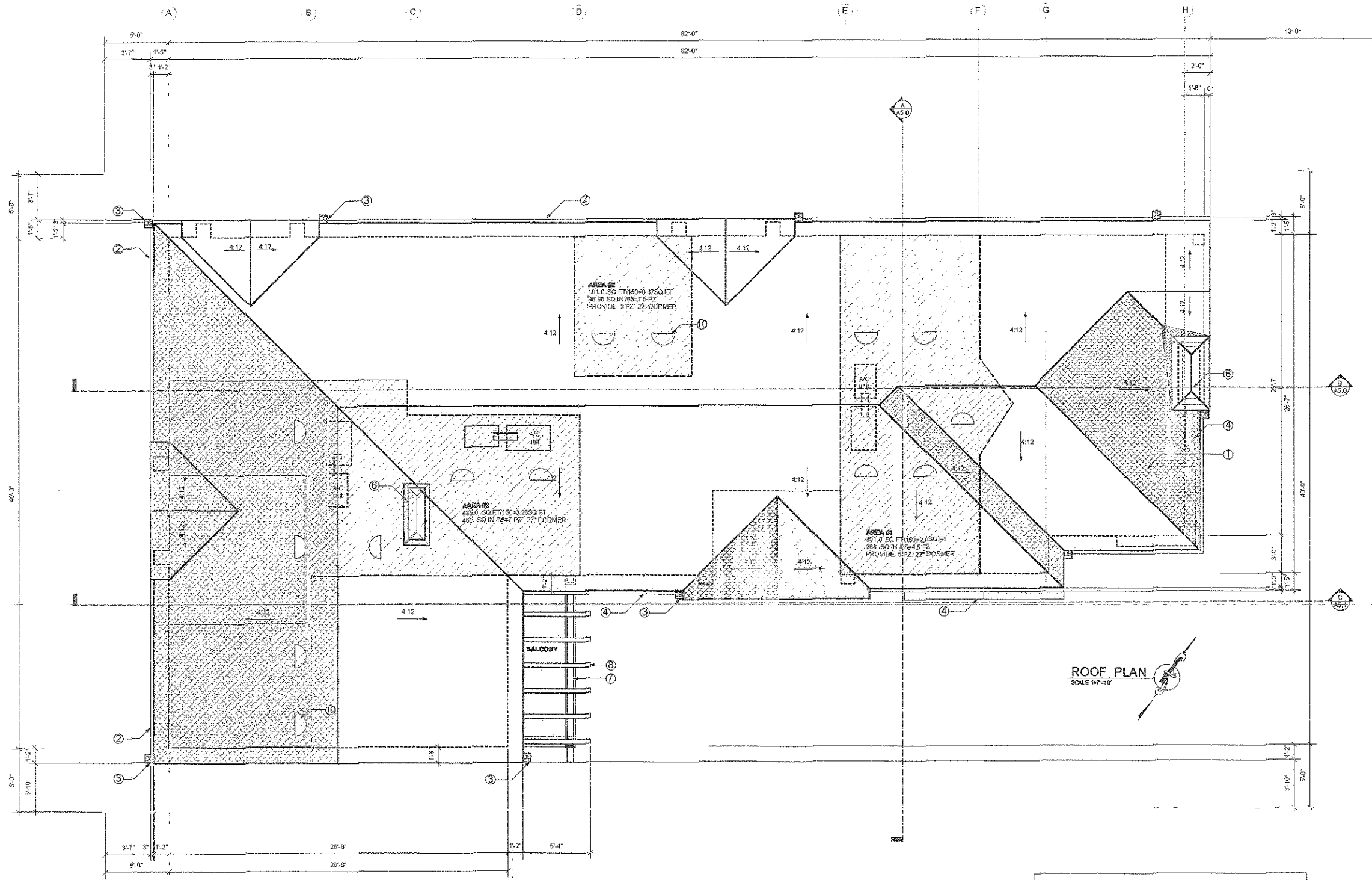
H.FRANCO

SHEET NAME

SECOND FLOOR PLAN

SHEET

A3.2



ROOF PLAN
SCALE 1/8"=1'-0"

- SYMBOLS**
- ① SPANISH RED TILE, CLASS "A" 25 YEARS MIN.
 - ② 3" GUTTER
 - ③ DOWN SPOUT
 - ④ 14" MAX. ROOF OVERHANG
 - ⑤ UNDER ROOF CONTINUOUS VENTILATION
 - ⑥ APPROVED FIRE ARRESTOR
 - ⑦ EXPOSED WOOD BEAM W/STAIN
 - ⑧ EXPOSED 4X6 TRELLIS W/STAIN
 - ⑨ CRICKET WITH 2% MIN. SLOPE
 - ⑩ 10" DIA. ROOF DORMER VENT
- ▨ 9'-0" HT. CEILING AREA to be vent

THESE DRAWINGS AND SPECIFICATIONS are the property and copyright of the owner. All drawings and specifications shall be kept on file by the owner. Any drawings and specifications shall be kept on file by the owner. Any drawings and specifications shall be kept on file by the owner.

Owner:
Indefinite Areas
310-966-4553

3 CONDOMINIUM
3837 BENTLEY AVE. CULVER CITY, 90232

DESIGNER:
WAYNE FRANCO
12345 STREET
CULVER CITY, CA 90230
310-441-8766
E: W.Franco@francofranco.com

PROJECT:
THREE CONDOS
OVER SUBTERRANEAN
GARAGE

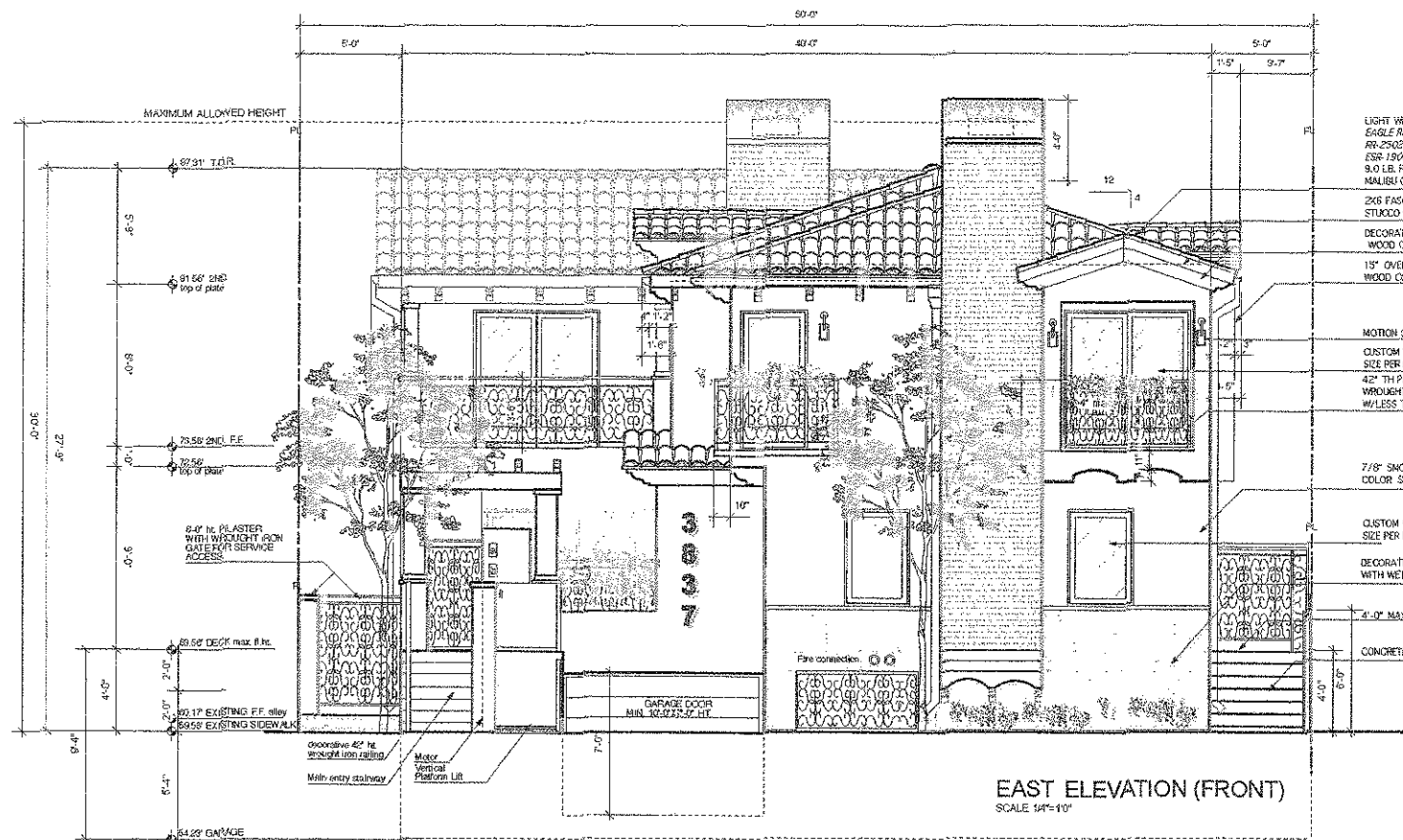
DATE: 3/22/14 PLANNING
3/26/14 PLANNING
4/8/14 SUBMITTAL PLAN
4/10/14 SUBMITTAL PLAN
5/26/14 Final application
7/11/16 Add front lift
8/23/15 INFO to the engineer
5/24/16 Print for plan.com

REVISED BY:
PLANNING DEPARTMENT

DRAWN BY:
H. FRANCO

SHEET NAME:
ROOF PLAN

SHEET



EAST ELEVATION (FRONT)
SCALE 1/4"=1'-0"

LIGHT WEIGHT TILE, CLASS "A" (25 YEARS MIN.) BY
EAGLE ROOFING PRODUCTS
RR-25021
ESR-1900
9.0 LB. PER SQ. FT. MAX.
MALIBU OR CARISTRANO STYLE OR SIMILAR
2X6 FASCIA BOARD COVERED WITH
STUCCO SMOOTH FINISH
DECORATIVE 42"x96" O.C.
WOOD COBBES WITH STAIN FINISH
15" OVERHANG WITH DECORATIVE 42"x
WOOD COBBES WITH STAIN NATURAL COLOR

MOTION SENSOR EXTERIOR LIGHT
CUSTOM WOOD DOOR OR WINDOW
SIZE PER PLAN
42" TH PARAPET AND DECORATIVE
WROUGHT IRON RAILING
W/LESS THAN 4" ROD SEPARATION

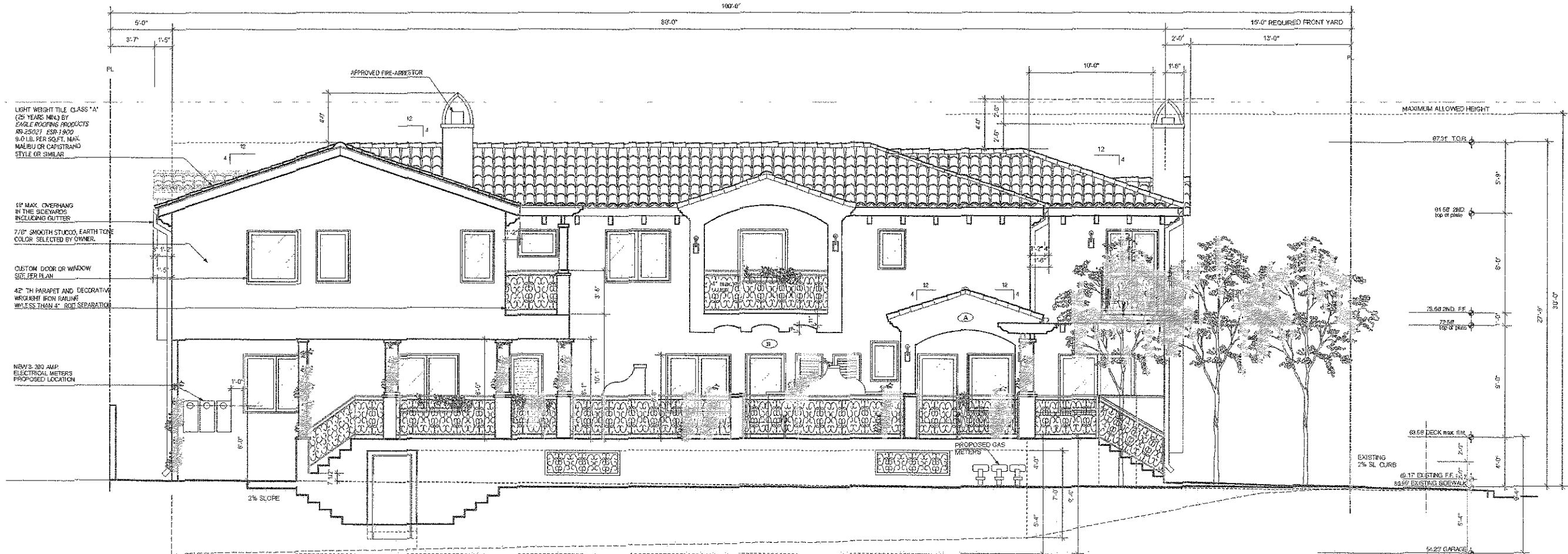
7/8" SMOOTH STUCCO, EARTH TONE
COLOR SELECTED BY OWNER

CUSTOM WOOD DOOR OR WINDOW
SIZE PER PLAN

DECORATIVE FLAT STONE
WITH WET LOOK SEALER

4'-0" MAX. CONCRETE DECK

CONCRETE STEPS



SOUTH ELEVATION
SCALE 1/4"=1'-0"

LIGHT WEIGHT TILE, CLASS "A"
(25 YEARS MIN.) BY
EAGLE ROOFING PRODUCTS
RR-25021 ESR-1900
9.0 LB. PER SQ. FT. MAX.
MALIBU OR CARISTRANO
STYLE OR SIMILAR

12" MAX. OVERHANG
IN THE SIDEWAYS
INCLUDING GUTTER

7/8" SMOOTH STUCCO, EARTH TONE
COLOR SELECTED BY OWNER

CUSTOM DOOR OR WINDOW
SIZE PER PLAN

42" TH PARAPET AND DECORATIVE
WROUGHT IRON RAILING
W/LESS THAN 4" ROD SEPARATION

NBWB-300 AMP
ELECTRICAL METERS
PROPOSED LOCATION

THESE DRAWINGS and
specifications
are the property and copyright
of the owner.
writing dimensions shall take
precedence over scaled
dimensions and shall be verified
on the job site. Any
discrepancy shall be brought to
the notice of the contractor
prior to the commencement of
any work.

OWNER
Indep/Int Assoc
310 308 4555

3 CONDOMINIUM
3837 BENTLEY AVE. CULVER CITY, 90232

DESIGNER:

HAYDE FRANCO
4333 W. 134TH STREET
TREATMONT, CA 90250
310 308 4555
CELL 310 308 4555
E: H.Franco@haydefranco.net

PROJECT
THREE CONDOS
OVER SEMI-SUBTERRANEAN
GARAGE

DATE
3/23/14 PLANNING
3/24/14 PLANNING
4/09/14 SUBMITTAL PLAN
7/05/14 re-SUBMITTAL Plan
7/23/14 Permit application
7/11/15 Add front LR
5/08/15 Add to the engineer
12/4/15 Print for plan.com

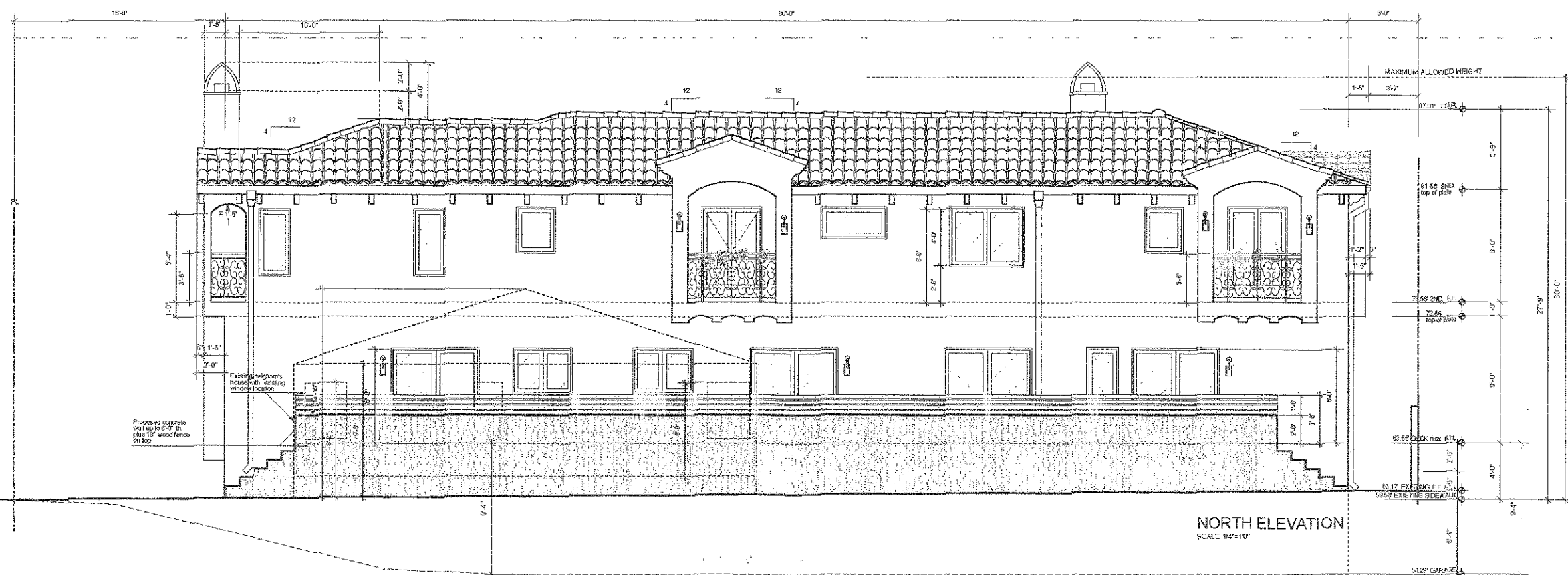
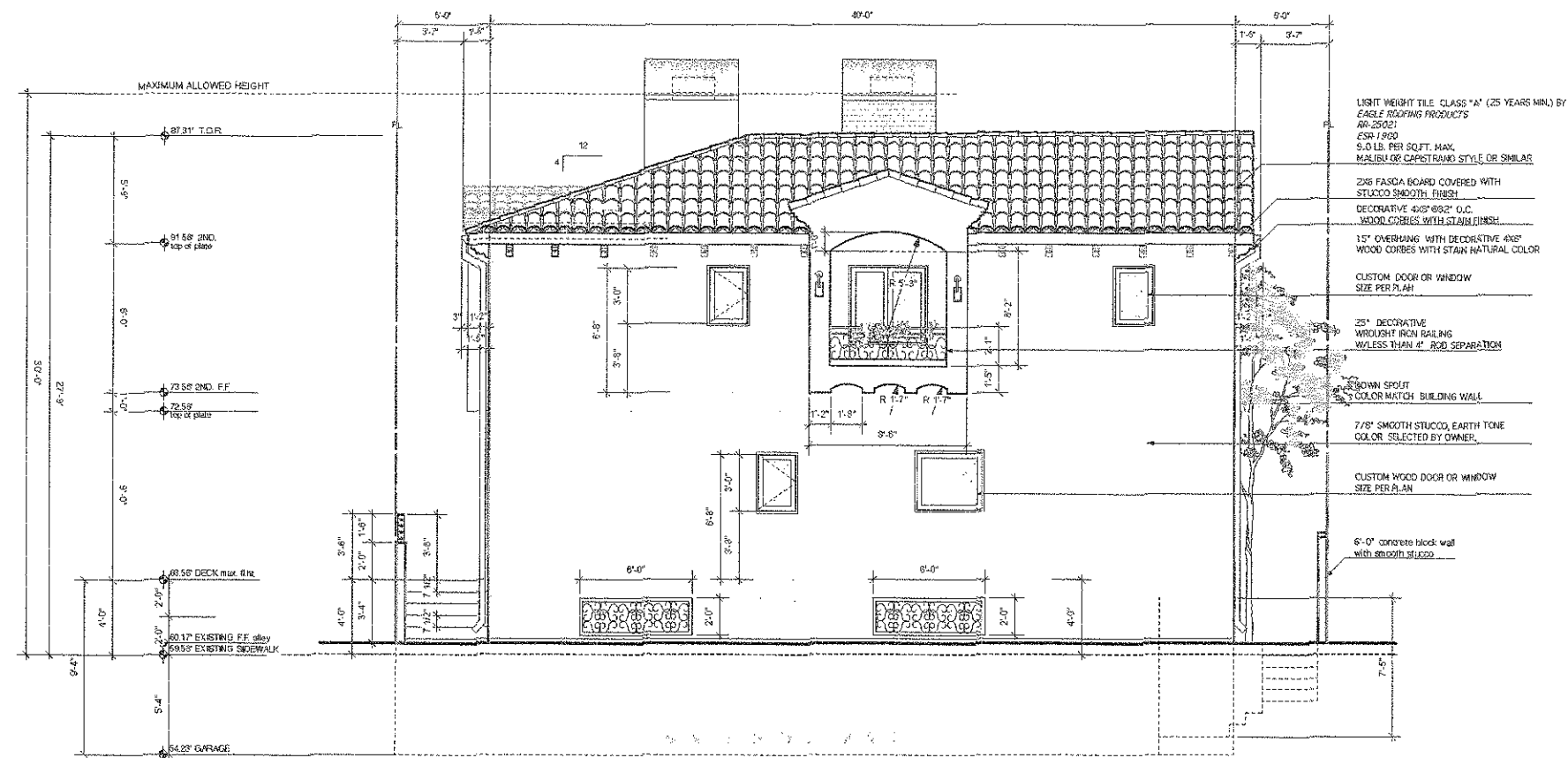
REVIEWED BY
PLANNING DEPARTMENT

DESIGNED BY
H.FRANCO

SHEET NAME
SOUTH AND EAST ELEVATIONS

SHEET

A4.0



BENTLEY AVE.

THESE DRAWINGS and specifications are the property and copyrights of the owner. Writing dimensions shall take preference over scaled dimensions and shall be verified on the job site. Any discrepancy shall be brought to the notice of the contractor prior to the commencement of any work.

owner
 Daniel West
 310-366-4553

3 CONDOMINIUM
33837 BENTLEY AVE. CULVER CITY, 90232

DESIGNER

HAYRRE PRANCO
1330 N. 13TH STREET
MINNAPOLIS, MN 55405
C 310 341 8736
O 310 676 7907
E hf design@hayspranco.net

PROJECT

THREE CONDOS
OVER SEMI-DETACHED
GARAGE

DATE	
3/22/14	PLANNING
3/24/14	PLANNING
4/02/14	SUBMITAL PLAN
4/02/14	re-SUBMITAL Plan
5/23/14	Formal application
7/17/15	Add front Lift
8/09/15	Info to the engineer
8/26/15	Print for plan .com

REVISED BY
PLANNING DEPARTMENT
DRAWN BY
H. FRANCO

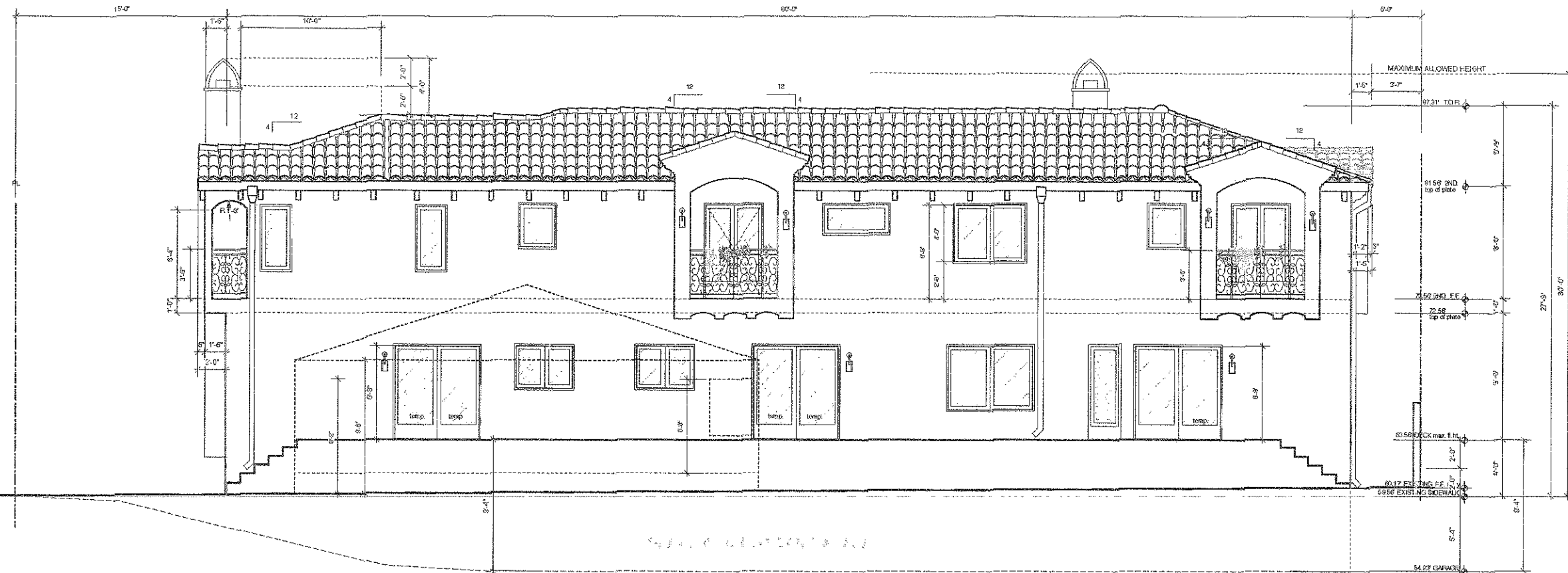
SHEET NAME: _____
WEST & NORTH ELEVATIONS

STREET

A4.1

BENTLEY AVE.

2% SL TO CURV



NORTH ELEVATION
SCALE 1/4"=1'0"

THESE DRAWINGS and specifications are the property and copyright of the owner. Writing dimensions shall take preference over scaled dimensions and shall be verified on the job site. Any discrepancy shall be brought to the notice of the contractor prior to the commencement of any work.

Indigent Areas
3103884553

3 CONDOMINIUM
3837 BENTLEY AVE. CULVER CITY, 90232

DESIGNER:

MADE FRANCO
 4535 W. 132TH STREET
 HAWTHORNE, CA 90250
 C-310 341 8736
 O-310 676 7907
 E: hf_design@earthlink.net

PROJECT

THREE CONDOS
OVER SEMI-SUBTERRANEAN
GARAGE

DATE _____

4/22/94	PLANNING
4/24/94	PLANNING
4/28/94	SUBMITAL PLAN
4/28/94	RE-SUBMITAL (Plan)
4/28/94	Format adaptation
4/11/94	Add front Lift
4/28/94	Info to the engineer
4/24/94	Print for plan com.
4/24/94	Planning site plan

REVISION 2Y

PLANNING DEPARTMENT

DRAWN BY

H. FRANCO

SPECY NAME

SHEET

A4.2

Plan and Design...
for water conservation and beauty from the start

Create Practical Turf Areas...
of manageable sizes, shapes, and appropriate grasses.

Select Low Water Plants...
and group plants of similar water needs together. Then experiment to
terminate how much and how often to water plants.

Use Soil Amendments...
like compost or manure as needed by the site and the type of plants used.

Use Mulches...
such as woodchips, to reduce evaporation & to keep the soil cool.

Irrigate Efficiently...
with property design system (including hose-end equipment) and by
applying the right amount of water at the right time

Maintains the landscape property...
by mowing, weeding, pruning and fertilizing.

LANDSCAPE NOTES:

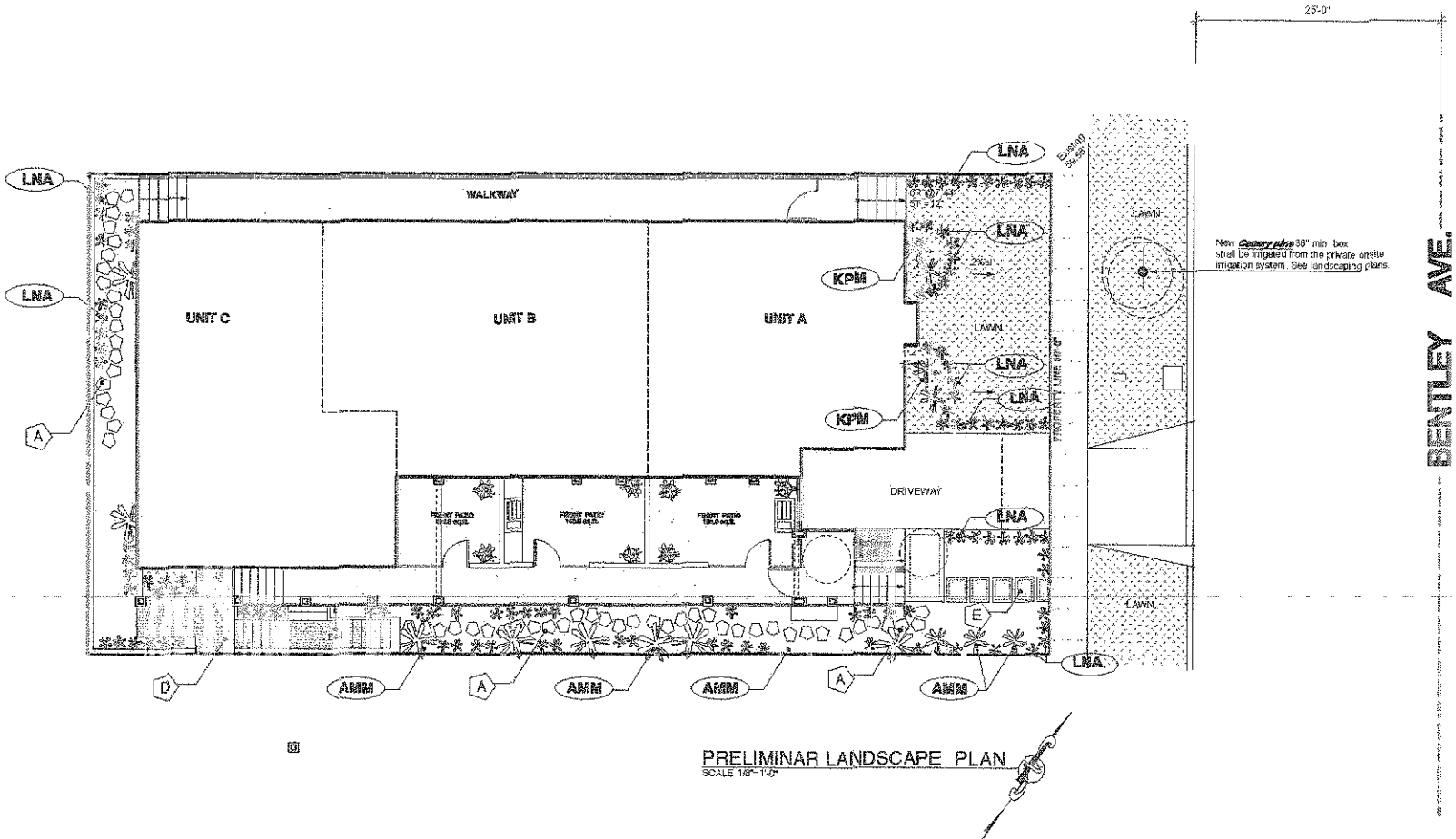
All existing and new trees shall be supplied with irrigation
water from the overall site irrigation system which include a
timer and a rain sensor. The property owner shall maintain all
trees. All existing and new trees shall be indicated on the
landscaping drawings submitted as part of the overall building
permit application.

THESE DRAWINGS and
specifications
are the property and copyright
of the owner.
Writing dimensions shall take
precedence over scaled
dimensions. If it is found that
any discrepancy shall be brought
to the notice of the contractor
prior to the commencement of
any work.

OWNER:
InterWest Assets
310-400-4555

3 CONDOMINIUM
3837 BENTLEY AVE. CULVER CITY, 90232

20'-0" ALLEY



MATERIAL LIST

- A** LIMESTONE "RATTLESNAKE" FLAGS (3'-4" LONG X 2'-3" WIDE ON AVERAGE
SET AT GRADE ON A TWO INCH DEEP DECOMPOSED GRANITE BASE.
- B** BROWN "CAFE" RIVER ROCK (WASHED, MEDIUM SIZE) ON WEED BARRIER FABRIC.
- C** DECOMPOSED GRANITE (AT THE THREE INCH DEPTH) ON WEED BARRIER FABRIC.
- E** STAMPED CONCRETE 3'-0" X 2'-6" SLAB AT 4" DEPTH SET AT GRADE
- D** PERMEABLE PAVEMENT SYSTEM INTERLOCK CONCRETE
PRODUCTS BROADMORE STYLE BEECHWOOD COLOR.
INSTALLATION PER MANUFACTURE.

PLAN LIST

- LAWN**
Native mix of California Aster, asteraceae, etc.
- KPA**
Knee Deep Permeable Area (Knee Deep Permeable Area)
- LNA**
Low Water Native Area (Low Water Native Area)

DESIGNER:
RAYDE FRANCO
ARCHITECT
3837 BENTLEY AVE. CULVER CITY, CA 90232
310-400-4555
RAYDE_FRANCO@GMAIL.COM

PROJECT:
**THREE CONDOS
OVER SEMI-BUTTERFLY GARAGE**

DATE: 1/22/14 PLANNING
1/24/14 PLANNING
1/26/14 SUBMITTAL PLAN
1/28/14 SUBMITTAL PLAN
2/1/14 Permit Application
2/1/14 Add Front Lift
2/2/14 Info to the Engineer
2/2/14 Preliminary Plan

REVIEWED BY:
PLANNING DEPARTMENT
CITY OF CULVER CITY

SHEET NAME:
**PRELIMINARY
LANDSCAPING PLAN**

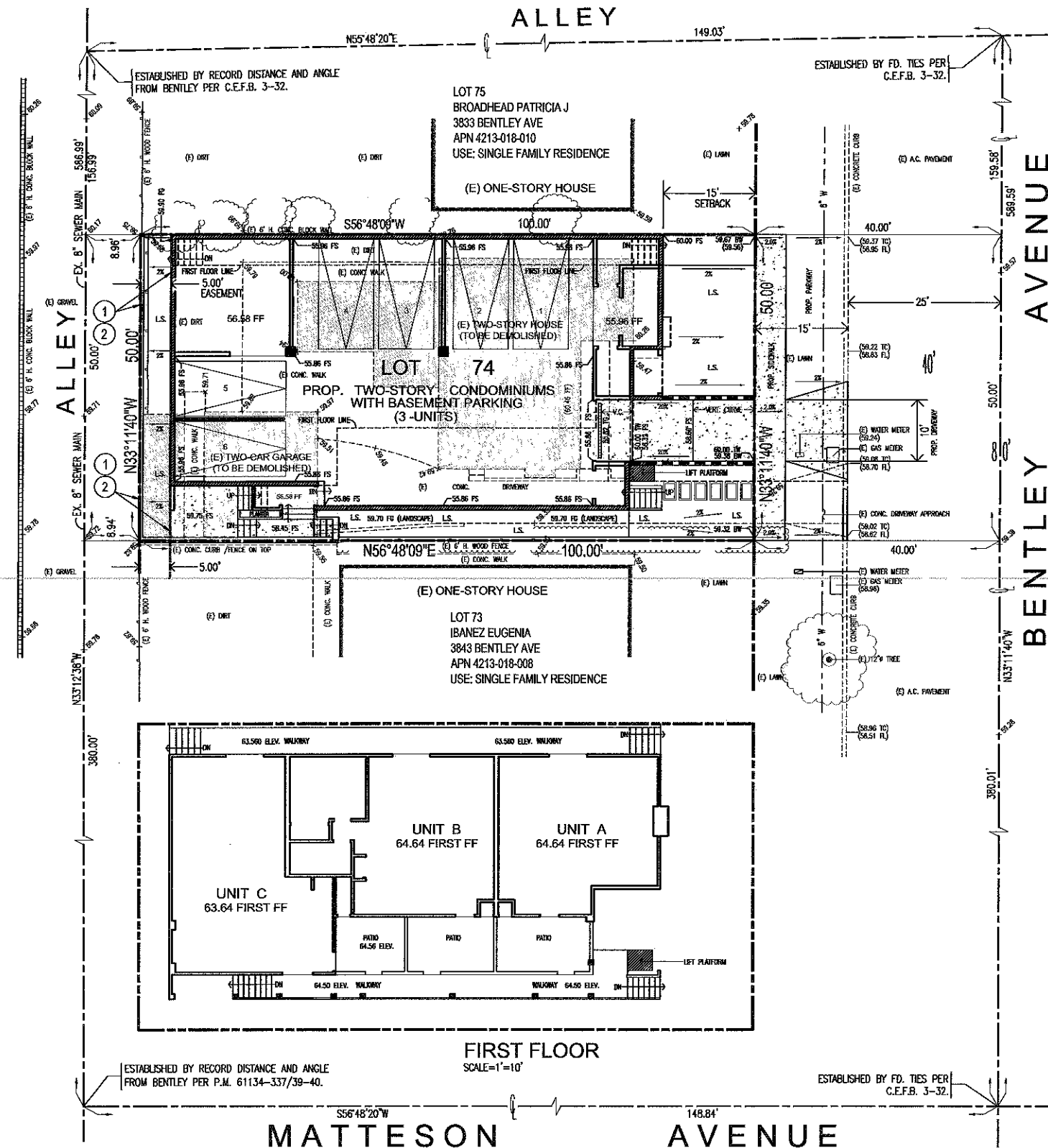
TENTATIVE PARCEL MAP NO. 73167

IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES

STATE OF CALIFORNIA

"FOR CONDOMINIUM PURPOSES"

3-UNITS



OWNER:
INDERJEET ARORA
3332 TILDEN AVENUE
LOS ANGELES, CA 90034

APPLICANT:
HAYDE FRANCO
11802-24 HAWTHORNE BLVD. SUITE 203
HAWTHORNE, CA 90250
TEL. 310-341-8736

SITE ADDRESS:
3837 BEVILEY AVENUE
CULVER CITY, CALIFORNIA 90232

ASSESSORS PARCEL NUMBER:
A.P.N. 4213-018-008

LEGAL DESCRIPTION

LOT 74 OF TRACT NO. 10356, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 152 PAGES 14 TO 16 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
A.P.N. 4213-018-008

- EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHT INCIDENTAL THERETO AS GRANTED IN A DOCUMENT:**
1. **PURPOSE:** PUBLIC UTILITIES
RECORDING NO.: BOOK 10749, PAGE 320, OF OFFICIAL RECORDS.
AFFECTS: REAR 5 FEET

2. **PURPOSE:** PUBLIC UTILITIES
RECORDING NO.: BOOK 16429, PAGE 125, OF OFFICIAL RECORDS.
AFFECTS: REAR 5 FEET

NOTES

EXISTING ZONING: A-2-1
PROPOSED ZONING: RM-1
GENERAL PLAN LAND USE DESIGNATION: MEDIUM DENSITY-MULTI-FAMILY
EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL
PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL (CONDOMINIUMS)
SEWAGE DISPOSAL: PUBLIC SEWER
METHOD OF DRAINAGE: CONTROLLED TOWARD THE STREET
WATER SUPPLY: PUBLIC WATER

THE PROJECT IS NOT WITHIN A KNOWN

HAZARDOUS AREA

THERE ARE NOT OAK TREES OR ANY PROTECTED SPECIES

AREAS

GROSS AREA = 5,000.00 SQ.FT. = 0.11 ACRES

NET AREA = 5,000.00 SQ.FT. = 0.11 ACRES

EARTHWORK QUANTITIES

DISTURBED AREA = 5,000.00 SQ.FT.

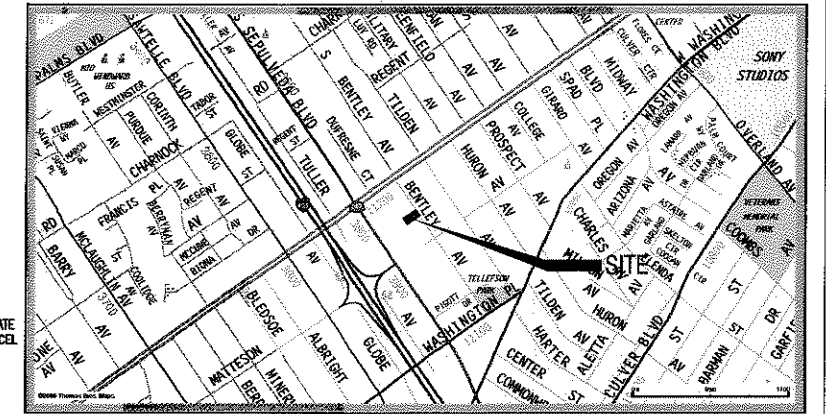
CUT = 578 CUBIC YARDS

FILL = 00 CUBIC YARDS

EXPORT = 578 CUBIC YARDS

UTILITY PURVEYORS:

ELECTRICITY: SOUTHERN CALIFORNIA EDISON (800) 611-1911
GAS: SOUTHERN CALIFORNIA GAS COMPANY (800) 427-2200
SEWER: COUNTY SANITATION DISTRICT OF LA COUNTY (562) 611-1911
REFUSE: CULVER CITY SANITATION (310) 263-6400
WATER: GOLDEN STATE WATER COMPANY (800) 999-4033
WATER AND POWER: LOS ANGELES DEPARTMENT OF WATER AND POWER (800) 342-5387
CABLE TV: TIME WARNER CABLE (800) TV CABLE
CABLE TV: DIRECT TV (877) 916-5137
CABLE TV: VERIZON (800) 483-1000
PHONE: 611
ATT: 611



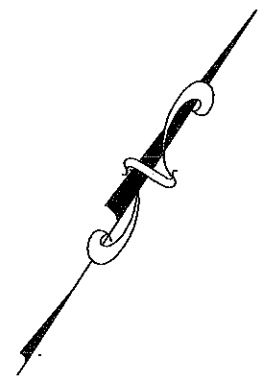
VICINITY MAP
T.G. 672 E-2

LEGEND

TE TRASH ENCLOSURE
NG NATURAL GRADE
L.S. LANDSCAPING
TC TOP OF CURB
FL FLOWLINE
TW TOP OF WALL
FF FINISH FLOOR
PE PAD ELEVATION
DN DOWN
P.A. PLANTING AREA
FS FINISH SURFACE
FG FRESH GRADE
G.B. GRADE BREAK
Ø DIAMETER
MIN. MINIMUM
H. HIGH
BW BACK OF WALK
TG TOP OF GRADE
BW INVERT ELEVATION
P.T. PALM TREE
T.T. TREE
DN DOWN
W.V. WATER VALVE
Ø DUCT VENTILATION

WROUGHT IRON FENCE
CHAIN LINK FENCE
CENTERLINE
PROPERTY LINE
PROPOSED STRUCTURAL RET. WALL
PROPOSED RET. WALL

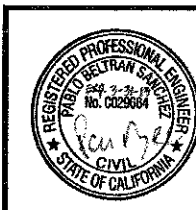
CONCRETE
EXISTING STRUCTURE TO BE DEMOLISHED



GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

Date: April 01, 2015



Land Creative Solutions Inc.
7340 Florence Ave, Suite 210
Downey, Ca 90240
P: 562-335-6848 C: 562-335-6848
Land Survey Civil Engineering Architectural Design
lcsLang@hotmail.com

Community Meeting Report

In this letter you will find a detailed description of the Community Meeting that was held at Tellefson Park on August 5, 2014 at 7:00pm.

The meeting was developed and hosted by Hayde Franco (designer). The property owner and assistant planner Gabriela Silva were also in attendance. The formal notice/ invitation was mailed on July 22, 2014. A total of 57 invitations for owners and tenants were sent to the north and south side of Bentley Ave. from Venice Blvd. to Mattson Ave. The first attendee to arrive was the north side adjacent property owner, and 4 more neighbors were present.

The presentation materials consisted of 6 colored plans and 3 renderings on 18"x24" presentation boards, which were displayed for attendees to review and question. In the first few minutes, the main concern expressed was about the 4'-0" ht. concrete "deck" on the north side of the property. The northerly neighbor was very surprised and asked if this detail is allowed by the city, we answered, "yes". She asked if we applied for a variance to get the concrete "deck" and we answered: "no". Gabriela gave a brief description of the City Zoning Code regulations allowing the feature without any variance or modification. The neighbor was very concerned about this issue, and she continued to ask about this "deck". I further explained the purpose and function of the "deck" and how it would interact with the adjacent property; I also showed her some similar pictures taken from one recent development project on Lincoln Ave. near Washington Blvd., and when she saw the picture she expressed a lessened concern.

Assistant Planner, Gabriela Silva, suggested we start the formal presentation and I started at about 7:15pm. I presented myself and the owner, and we shared the main intent of the development proposal is to build three (3) condominiums for sale. I explained we have been working with the City Planning Division for one year and we have all of the proposed design in line with the standard typical allowed construction.

The next step was the general description of the building, which will be a Mediterranean style, two-story building with red tile roof, smooth stucco, and stone details on the chimney's base. I showed them each floor plan and describe in detail each level of the building, the use and size of each space. The Site plan was described in detail, as well as the first and second floor, then the exterior and green/landscape areas, as well as the open patios and balconies. In the exterior areas we created a green garden on the south side of the building to have some privacy in the open patios facing this side.

The attendees were very interested in the size of the living spaces. In this building each condominium will be different size. After the presentation of the plans they ask about how many bedrooms each unit will have and how many bathrooms, etc. No major issues were asked.

I described the necessity for the, 4'-0" high by 5'-0", wide concrete "deck" at the north side of the building and explained to the neighbor that this area is not created specifically for recreation. I explained that it is a space created by the projection of the proposed semi-subterranean garage and is to be used as a secondary/emergency egress and for exterior service access. It was suggested that it would be appropriate to install some mobile long planters in this side of the building and abutting property owner agreed with this solution.

After this presentation we open a time for questions, which were as follows:

What time will the construction team start?

R: We will work just in the allowed time permitted by Culver City and the specific details will be part of the conditions of approval and construction plan as approved by the city.

One of the neighbors requested that at least on Saturdays construction start no early than. 8:00 am.

Could you have any control of the speed of cars when big trucks are present in the street?

R: Of course we will have some precautions with all the trucks which have to deliver or take any materials from the construction site, but this will be taken care of by a different construction team, not specifically by the owner or me.

What type of precaution will you take for the kids crossing this street and big truck are present?

R: By code, a construction site requires minimum a 6'-0" high chain link fence all around the property in the demolition and construction time. The construction team will have to take care of all the required pedestrian protection on the site. I request a lot of patience and consideration during construction time because this is at least 8 month of dirty and noisy process, but is necessary for this type of building/project.

The attendees, agreed and they accept to be reasonable with the construction team.

Why is the "deck" proposed to be built to the property line?

R: This feature is allowed by the Culver City Zoning Code, via the regulations for semi-subterranean parking structures, which allows such a structure to project into a required side yard, with a maximum of 4'0" in height. The secondary effect has been the creation of this elevated walkway.

The parking area needs to be located in the side yard in order to meet the minimum stall dimensions and circulation clearances.

How deep will the parking area be (below grade)?

R: The proposed parking will be from 4'-6" to 5'-6" below the natural grade.

Will we have any problem with the sewer as soon the building id done?

R: No, because we will upgrade the sewer connection to be perfectly working with the three proposed condos. We will create a plumbing plan which will have the new size of the sewer required by this building per code and this never will affect any neighbor property.

Finally they wished us good luck in all the process and said it is a nice design and this building will increase the value of the property and the neighborhood. No more questions or comments at this time. I provided attendees with a form containing my and the owner's information for any additional question or concern regarding the project. The meeting concluded around 7:50 pm.

A copy of the attendance sheet with name and information of the attendees of the meeting is attached.

Hayde Franco de Perez 4461w. 132 nd . Street Apt. #11 Hawthorne, Ca 90250
--

3837 Bentley Avenue
2nd Community Meeting Report

In this letter you will find a detailed description of the 2nd Community meeting held on November 13, 2014 at 7:00pm at 11048 Washington Blvd. Suite 217, Culver City, CA 90232.

This 2nd community meeting was requested by the Culver City Planning Division in order to reach additional community members interested in the project, this time using a wider notification radius. The meeting was developed by Hayde Franco (designer) and the property owners. The formal 2nd invitation was revised and approved by assistant planner Gabriela Silva and 357 invitations were sent by mail on October 30, 2014 to owners and occupants within a 500 ft. radius; an invitation was also sent (via the Culver City Planning Division) to the local homeowners association. The persons who attended are noted in the attached sign-in sheet.

At 7:00 pm Ms. Silva and I were in the community room and the first neighbor to arrive (Mr. Desmond Burns) began to comment that he never received an invitation for the first community meeting. Ms. Silva listened to this comments, she ask about where he lives, and explained that notification for the first meeting was based on a more focused area (i.e. properties on the same block on both the north and south sides) and unfortunately since Mr. Burns lives on the next block an invitation for the first meeting was not sent to him. He also made a point to share his disapproval of the location of the first meeting, stating the park is dark, can be noisy, and is unsafe for a meeting. I expressed our experience during the first meeting in the park was very nice, we felt safe, we had enough natural light and we never have any problem with the noise. He told us he contacted the city and requested the second meeting in an enclosed building and wanted his objections regarding the first meeting reflected in the record. Mr. Burns started to ask questions about the renderings and Ms. Silva recommended waiting a couple minutes to start the formal presentation and allow people to arrive. At 7:10pm the owners, Inderjeet and Namita Arora, arrived and Joyce Mundle too; after them, Patricia Brodhead and Joseph Eastburn, the northerly side neighbors, arrived. The presentation began at 7:15pm with 4 attendees, the owners, Ms. Silva and me.

The presentation consisted of 6 colored floor plans and 3 renderings on 18"x24 laminated bond presentation boards, as used in the first community meeting. A few minutes were taken to explain the overall proposal, the size of the units, semi-subterranean garage level, first floor and second floor. The exterior shape and materials used in the proposed new building was expressed in the renderings, which were briefly explained to the attendees. Mr. Burns indicated that concerns existed regarding privacy and quality of life issues. The project was further described to demonstrate the proposal was sensitive to these concerns. I specified that the project was in scale with the transitioning multi-family neighborhood. After this, the north side neighbors show a letter with 3 specific concerns/petitions. They start to read the letter, noting: The first petition was about the privacy between their house and the new building as it related to locations of windows and doors, as they do not want new windows to align with the 3 existing windows of their single family one story house. It was explained that during design we took care of this issue and analyzed the conditions, locations of windows and doors of the northerly neighbor were taken into account so that those the proposed building do not directly align with the neighbor's. To illustrate this matter, the project plans included a floor plan and

north elevation which show the exact location of the proposed and existing windows and doors, which also show there is a 4'-0" difference in height between new and existing windows. Similarly, the second petition was about privacy between the new building and their yard; this issue was a comment in the first community meeting and the conclusion at that time was to provide long planters in the walk way area to screen the view, which Ms. Silva indicated could be incorporated in writing in the proposed conditions of approval if the project were approved. They requested adding a lattice or similar "barrier" perhaps with vines, on top of the proposed wall and guardrail. It was explained that the wall and rail we already at the maximum allowed by the City, but that if allowed by the City, the project team would consider this request.

The third request was about the existing 10 year old rear yard trees. Mr. Eastburn and his wife noted that there are various trees along their southerly property line, abutting the northerly property line of the project site, and requested that when construction commenced all possible steps be taken to protect/preserve the trees and their root systems, which may be under the property of the project site. Mr. Burns suggested that the property owners of the project site should replace the damaged trees for new ones with same species, size, and years old. I took part and I suggested it is not feasible to replace these big old trees for others same size; if such trees could be found it will be an expensive replacement. I shared that in my experience, if you lose one big tree, you replace or plant new 3 small trees (5gal.) of the same kind, but never to replace a 10 years old tree with another of the same size and age. The owner, Namita Arora, intervened and stopped this suggestion. She expressed that because this suggestion will have extra cost and expenses she needed to discuss with her husband to determine what they can promise regarding any request. She requested to review the petitions and she will answer with a letter about the 3 issues. Mr. Desmond took part and insisted and described an expensive procedure to remove and re-plant the existing trees, but Mrs. Arora stopped again the suggestion and asked for time to think about it, analyze, and respond to the petitions in writing.

One more neighbor came around 7:45pm.

Mr. Burns ask when they want to demolish the existing house. Mrs. Arora proposed to start the demolition at the end of November because the demolition permit is approved. But they have to consider the best time to do it.

After these comments, the north side neighbors said it was late and they had to leave, it was around 8:00 pm and they promise to send a copy of the letter of petitions to Ms. Silva and they left the original copy of petitions with Mrs. Arora (property owner). Mr. Arora (property owner) promised them an answer as soon as possible.

A copy of the sign-in sheet with names, address, phone numbers and e-mail address is attached for reference.

Hayde Franco de Perez 4461w. 132 nd . Street Apt. #11 Hawthorne, Ca 90250
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3833 Bentley Avenue
Culver City, CA 90232
November 13, 2014

Hayde Franco (designer)
Hf_design@sbcglobal.net
And Arora Family (owners)

My wife, Patricia Brodhead, and I own and live on the property next door (north) of the proposed development at 3837 Bentley Avenue; our address is 3833 Bentley Avenue.

We attended the first community meeting in the park, have seen the designs, and have spoken to the designer, the owner and the city representative. As we've thought about the proposed condominiums, we wanted to register our concerns. They are as follows:

1. We request that the contractor of the proposed building use every effort to *not* put windows or doors directly opposite, or looking down into our bedroom and bathroom windows (all three windows on the south side of our house on the first floor).
2. We request that the contractor of proposed building use every effort to *not* put windows or doors overlooking our back yard. Privacy is a concern. Especially as an elevated walkway will come directly up to our property line with back doors into the units. Perhaps the designer would consider installing lattice or some sort of barrier that will allow us to continue to have our privacy, and afford your occupants the same rights.
3. We were told that the existing cement block wall between our properties was going to be replaced with a new wall. We request that all possible care be taken not to injure the seven existing trees on our property that are very close to the wall. For instance, when you're dismantling the existing wall, digging footings, and constructing the new wall, we ask that the root systems of our existing trees be considered and not just destroyed to build the wall. We understand that you are allowed to trim any branches from our trees that hang over the existing (and future) wall into your space.

Thank you for taking these concerns into consideration.

Sincerely,

Joseph Eastburn