

1 RESOLUTION NO. 2008-R____

2 A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CULVER CITY,
3 CALIFORNIA UPHOLDING THE PLANNING COMMISSION'S APPROVAL OF
4 AN APPLICATION FOR A CONDITIONAL USE PERMIT (CUP) FOR THE
5 CONVERSION OF AN EXISTING MOTEL INTO AN EMERGENCY FAMILY
6 SHELTER LOCATED AT 12841 WASHINGTON BOULEVARD IN THE
7 COMMERCIAL GENERAL (CG) ZONE.

8 (Conditional Use Permit, CUP P-2007112)

9 WHEREAS, on July 5, 2007, David Snow for Upward Bound House, as the
10 applicant, filed a Conditional Use Permit application to convert an existing two-story motel
11 into an emergency family shelter on the project site described more fully as lot 46, 47, 48 and
12 49 of tract no. 5951, in the City of Culver City, County of Los Angeles, State of California as
13 per map recorded in book 77 page 72 of maps, in the Office of the County Recorder of said
14 County in the Commercial General (CG) zone; and

15 WHEREAS, on October 24, 2007, after conducting a duly noticed public
16 hearing on the subject application, the Planning Commission adopted a Negative Declaration
17 and adopted Resolution No. 2007-P016, approving Conditional Use Permit, CUP P-2007112;
18 and
19

20 WHEREAS, Michael Feeney, a Culver City resident, submitted a timely appeal
21 to the City Clerk on November 8, 2007, requesting the Planning Commission approval of the
22 project be overturned and the project denied; and
23

24 WHEREAS, on January 14, 2008, the City Council conducted a duly noticed
25 public hearing on the appeal of the Planning Commission decision, fully considered the
26 application, plans, staff report, environmental information and all testimony presented and
27 the City Council by a vote of _ to _ (i) determined that no new information has become
28 available and no changes in the proposed project have been made since the Planning
29

1 Commission adopted the Negative Declaration and, therefore, no additional environmental
2 analysis is required; (ii) denied the appeal upholding the Planning Commission's decision;
3 and (iii) approved the Conditional Use Permit, CUP P-2007112 with additional conditions of
4 approval.

5
6 NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CULVER CITY,
7 CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

8 **SECTION 1.** The City Council finds that no new information has become
9 available and no changes in the proposed project have been made since the Planning
10 Commission adopted the Negative Declaration and, therefore, no additional environmental
11 analysis is required.
12

13 **SECTION 2.** Pursuant to the foregoing recitations and the provisions of the
14 Culver City Municipal Code (CCMC) Section 17.530.020 required findings for a Conditional
15 Use Permit, and subject to all conditions of approval contained in Planning Commission
16 Resolution No. 2007-P016 and the conditions of approval set forth herein, the following
17 findings are hereby made:
18

19 **A. The proposed use is allowed within the subject zoning district with the approval**
20 **of a Conditional Use Permit and complies with all applicable provision of this**
21 **Title and CCMC.**

22 The existing Commercial General (CG) zoning designation allows the proposed use of
23 an emergency shelter subject to a Conditional Use Permit as outlined in CCMC
24 Section 17.220.015. As conditioned, the proposed shelter complies with all other
applicable development standards.

25 **B. The proposed use is consistent with the General Plan and any applicable**
26 **Specific Plan.**

27 The proposed emergency shelter use is consistent with the "General Corridor"
28 General Plan Land Use Designation and with Objective 3 of the Land Use Element of
29 the General Plan, which states that the City should "encourage the provision of
housing opportunities for all members of the community." Further, Policy 3.B of this

1 objective states that the City should "provide housing assistance programs for
2 moderate-, low-, and very low-income groups." The proposed emergency shelter for
3 homeless families with children aims to fulfill the above objective, by providing
4 temporary housing opportunities to an important segment of the community. The
proposed shelter also implements the above policy (3.B) through use of a non-profit
organization's housing assistance program.

5 **C. The design, location, size and operating characteristics of the proposed use are**
6 **compatible with the existing and future land use in the vicinity of the subject**
7 **site.**

8 The design and appearance of the site will not change substantially as a result of the
9 emergency shelter. The two existing buildings will remain in place, as will the parking
10 and landscaping areas. Improvements to the parking area, repainting of the buildings
11 onsite, the addition of landscaping, the replacement of the existing fencing and the
12 removal of the existing pole sign will improve the appearance of the site and make it
13 more compatible with the neighboring uses. The emergency shelter will be compatible
14 with the multiple-family neighborhoods and the nearby commercial uses in that it is a
use similar to the existing motel. In addition, the shelter operations, its rules and
requirements, and the conditions of approval will ensure that parking, traffic, noise,
and crime impacts will be minimal, and thus the proposed shelter operations as
conditioned will be compatible with the existing and future land uses.

15 **D. The subject site is physically suitable for the type and intensity of use being**
16 **proposed, including access, compatibility with adjoining land uses, shape, size,**
17 **provision of utilities and the absence of physical constraints.**

18 The subject site is currently developed as a motel. The emergency shelter will make
19 use of the same buildings and facilities with only minor changes to the site overall.
20 The access to the site will be adequate in that a full service driveway shall remain
21 along Beethoven Street and further access will be provided via the alley to the north.
22 The existing building is compatible with the adjoining multiple family residential and
23 commercial uses, in that it has a commercial appearance, it meets or exceeds the
24 setback, parking and landscaping requirements, and its height is compatible with that
of the neighboring uses and the height permitted by the zoning code. The existing
building is currently served by all the required utilities that will serve the proposed
shelter as well. In sum, the proposed use shall not substantially change the physical
condition of the site and therefore the site is physically suitable for this use.

25 **E. The establishment, maintenance or operation of the proposed use will not be**
26 **detrimental to the public interest, health, safety or general welfare or injurious to**
27 **persons, property or improvements in the vicinity and zoning district in which**
the property is located.

28 The proposed use shall meet all the applicable development standards for emergency
29 shelters in the CG zone, including parking, landscaping, fencing, setback and height

standards. In addition, the rules and requirements of the proposed shelter, set strict limitations on the conduct of the shelter's residents, in order to avoid detrimental impacts to the community and to be a good neighbor. Furthermore, the conditions of approval in this resolution shall ensure that the operations of the proposed shelter do not have significant traffic, parking, noise, or crime impacts. Finally, the establishment of the proposed use and any related construction shall be subject to the review of the Culver City Building Safety Division, the Fire Prevention Division, and other City Departments, which will ensure that construction is consistent with all City and State the rules and regulations.

SECTION 3. Pursuant to the foregoing recitations and findings, the City Council of the City of Culver City, California, hereby approves Conditional Use Permit, CUP P-2007112, subject to all conditions of approval contained in Planning Commission Resolution No. 2007-P016 and the following conditions of approval:

1. Prior to occupancy in the facility, all adult residents will be required to sign the Code of Conduct referenced above. There shall be a 9 p.m. to 6 a.m. curfew to which residents will agree as a condition of living at the site. This curfew will require residents to be home in their units. (Modifies Condition No. 18 of Planning Commission Resolution No. 2007-P016)
2. A security camera system shall be installed, operated and maintained in good working order to enable the on-site staff to monitor the common areas of the facility consistent with governing rights of privacy. The security cameras shall operate 24 hours a day. (Modifies Condition No. 21 of Planning Commission Resolution No. 2007-P016)
3. The rules and requirements referenced as "Exhibit A" to Planning Commission Resolution No. 2007-P016 shall be modified to prohibit foil and any other material on the windows, with the exception of curtains or screens.
4. All planted areas shall be landscaped, irrigated and maintained pursuant to CCMC Title 17 – Chapter 17.310 Landscaping. Prior to issuance of the building permit, a minimum of three (3) sets of detailed landscape and irrigation plans separate from the final working drawings shall be submitted to the Planning Division for review and approval. Said landscape plan shall indicate appropriate plants along the perimeter that will screen the wrought iron fencing. (Modifies Condition No. 9 of Planning Commission Resolution No. 2007-P016)

///

///

///

- 1 5. No more than one family (of up to four persons) shall occupy any unit. Although 72
2 beds shall be allowed within the facility, no more than 60 residents (including adults
3 and children) shall be served by the facility at any one time. The maximum age of
4 resident children shall be 16. (Modifies Condition No. 15 of Planning Commission
Resolution No. 2007-P016)

5 APPROVED and ADOPTED this 14th day of January, 2008.

6
7
8 ALAN CORLIN, Mayor
9 City of Culver City, California

10 ATTESTED BY:

APPROVED TO AS FORM:

11
12 CHRISTOPHER ARMENTA, City Clerk

13 CAROL SCHWAB, City Attorney
14 for
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29

1 RESOLUTION NO. 2007-P016

2
3 A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
4 CULVER CITY, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT, CUP
5 P-2007112 TO ALLOW CONVERSION OF AN EXISTING MOTEL INTO AN
6 EMERGENCY FAMILY SHELTER AT 12841 WASHINGTON BOULEVARD IN
7 THE COMMERCIAL GENERAL (CG) ZONE.

8 (Conditional Use Permit, CUP P-2007112)

9 WHEREAS, on July 5, 2007, David Snow for Upward Bound House, as the property
10 owner of 12841 Washington Boulevard, filed a Conditional Use Permit application to convert
11 an existing two-story, 7,763 square foot motel into an emergency family shelter on the project
12 site described more fully as lot 46, 47, 48 and 49 of tract no. 5951, in the City of Culver City,
13 County of Los Angeles, State of California as per map recorded in book 77 page 72 of maps,
14 in the Office of the County Recorder of said County in the Commercial General (CG) zone;
15 and,
16

17 WHEREAS, on October 24, 2007, the Planning Commission conducted a duly noticed
18 public hearing on these applications, fully considering the application, plans, staff report,
19 environmental information and all testimony presented; and
20

21 WHEREAS, in accordance with the California Environmental Quality Act (CEQA), the
22 Planning Commission has determined the project will not have significant impacts on the
23 environment, and that a Negative Declaration finding is appropriate; and,
24

25 WHEREAS, following conclusion of the public discussion and thorough deliberation of
26 the subject matter, the Planning Commission determined by a vote of 3 to 1 that Conditional
27 Use Permit, CUP P-2007112 should be conditionally approved as set forth herein below.
28
29

1 NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF CULVER
2 CITY, CALIFORNIA, RESOLVES AS FOLLOWS:

3 SECTION 1. Pursuant to the foregoing recitations and the provisions of Culver City
4 Municipal Code (CCMC) Section 17.530.020 on the required findings for conditional use
5 permit, and subject to the Conditions of Approval herein, the following findings are hereby
6 made:

7 **A. The proposed use is allowed within the subject zoning district with the approval**
8 **of a Conditional Use Permit and complies with all applicable provision of this**
9 **Title and CCMC.**

10 The existing Commercial General (CG) zoning designation allows the proposed use of
11 an emergency shelter subject to a Conditional Use Permit as outlined in CCMC
12 Section 17.220.015. As conditioned, the proposed shelter complies with all other
13 applicable development standards.

14 **B. The proposed use is consistent with the General Plan and any applicable**
15 **Specific Plan.**

16 The proposed emergency shelter use is consistent with the "General Corridor" General
17 Plan Land Use Designation and with Objective 3 of the Land Use Element of the
18 General Plan, which states that the City should "encourage the provision of housing
19 opportunities for all members of the community." Further, Policy 3.B of this objective
20 states that the City should "provide housing assistance programs for moderate-, low-,
21 and very low-income groups." The proposed emergency shelter for homeless families
22 with children aims to fulfill the above objective, by providing temporary housing
23 opportunities to an important segment of the community. The proposed shelter also
24 implements the above policy (3.B) through use of a non-profit organization's housing
25 assistance program.

26 **C. The design, location, size and operating characteristics of the proposed use are**
27 **compatible with the existing and future land use in the vicinity of the subject**
28 **site.**

29 The design and appearance of the site will not change substantially as a result of the
emergency shelter. The two existing buildings will remain in place, as will the parking
and landscaping areas. Improvements to the parking area, repainting of the buildings
onsite, the addition of landscaping, the replacement of the existing fencing and the
removal of the existing pole sign will improve the appearance of the site and make it
more compatible with the neighboring uses. The emergency shelter will be compatible
with the multiple-family neighborhoods and the nearby commercial uses in that it is a
use similar to the existing motel. In addition, the shelter operations, its rules and

1 requirements, and the conditions of approval will ensure that parking, traffic, noise,
2 and crime impacts will be minimal, and thus the proposed shelter operations as
conditioned will be compatible with the existing and future land uses.

3 **D. The subject site is physically suitable for the type and intensity of use being**
4 **proposed, including access, compatibility with adjoining land uses, shape, size,**
5 **provision of utilities and the absence of physical constraints.**

6 The subject site is currently developed as a motel. The emergency shelter will make
7 use of the same buildings and facilities with only minor changes to the site overall.
8 The access to the site will be adequate in that a full service driveway shall remain
9 along Beethoven Street and further access will be provided via the alley to the north.
10 The existing building is compatible with the adjoining multiple family residential and
11 commercial uses, in that it has a commercial appearance, it meets or exceeds the
12 setback, parking and landscaping requirements, and its height is compatible with that
of the neighboring uses and the height permitted by the zoning code. The existing
building is currently served by all the required utilities that will serve the proposed
shelter as well. In sum, the proposed use shall not substantially change the physical
condition of the site and therefore the site is physically suitable for this use.

13 **E. The establishment, maintenance or operation of the proposed use will not be**
14 **detrimental to the public interest, health, safety or general welfare or injurious to**
15 **persons, property or improvements in the vicinity and zoning district in which**
16 **the property is located.**

17 The proposed use shall meet all the applicable development standards for emergency
18 shelters in the CG zone, including parking, landscaping, fencing, setback and height
19 standards. In addition, the rules and requirements of the proposed shelter, set strict
20 limitations on the conduct of the shelter's residents, in order to avoid detrimental
21 impacts to the community and to be a good neighbor. Furthermore, the conditions of
22 approval in this resolution shall ensure that the operations of the proposed shelter do
23 not have significant traffic, parking, noise, or crime impacts. Finally, the establishment
24 of the proposed use and any related construction shall be subject to the review of the
25 Culver City Building Safety Division, the Fire Prevention Division, and other City
26 Departments, which will ensure that construction is consistent with all City and State
27 the rules and regulations.

28 **SECTION 2.** Pursuant to the foregoing recitations and findings, the Planning
29 Commission of the City of Culver City, California, hereby approves Conditional Use Permit,
CUP P-2007112, subject to the following conditions:

1 A. CONDITIONAL USE PERMIT

2 GENERAL CONDITIONS

3 **Planning Division:**

- 4 1. The final working drawings shall conform to the preliminary development plans, color
5 renderings, and materials sample board [i.e., colors, textures and finishes], presented
6 to and reviewed and approved by the Planning Commission at its meeting on October
7 24, 2007, except as noted below.
- 8 2. The resolution approving Conditional Use Permit CUP P-2007112 and the Conditions
9 of Approval shall be referenced on the cover sheet, and repeated in full on attached
10 additional sheets of the final working drawings.
- 11 3. The applicant or the property owner shall provide the construction contractor(s) and
12 each subcontractor related to the Project a copy of the final project Conditions of
13 Approval. These conditions shall be enforceable through all legal and equitable
14 remedies, including the imposition of fines against each and every person who
15 conducts any activity on behalf of the property owner or the applicant on or near the
16 Project site. The applicant, property owner, and general construction contractor are
17 ultimately responsible for all actions or omissions of a subcontractor.
- 18 4. Conditions of approval herein shall apply to the applicant, the contractor/builder of the
19 project, the property owner, and any successor property owner that may legally
20 assume benefit of this Conditional Use Permit.
- 21 5. The City reserves the right to periodically inspect the premises without prior
22 notification, to ensure ongoing compliance with all conditions of approval.
- 23 6. This Conditional Use Permit CUP P-2007112 will expire if not used within one year
24 after the date it becomes effective, unless a written extension request with the
25 required filing fee is submitted by the applicant prior to the expiration date and the
26 Community Development Director or his/her designee grants said extension.
- 27 7. Final inspections will be scheduled and/or a certificate of occupancy for the approved
28 project will be issued only upon completion of all required site improvements and
29 satisfaction of all conditions of approval relating to non-operational conditions.
8. The applicant, property owner and contractors shall use all reasonable efforts to
reuse and recycle construction and demolition debris, to use environmentally friendly
materials, and to provide energy efficient buildings, equipment and systems.
9. All planted areas shall be landscaped, irrigated and maintained pursuant to CCMC
Title 17 – Chapter 17.310 Landscaping. Prior to issuance of the building permit, a
minimum of three (3) sets of detailed landscape and irrigation plans separate from the

1 final working drawings shall be submitted to the Planning Division for review and
2 approval.

- 3 10. In addition to the screening requirements for onsite parking areas including loading
4 areas, refuse storage / trash compacter facilities, and Fire Department connections,
5 the following items shall be screened from surrounding and nearby public and private
6 properties in a manner consistent with City standards and suitable to the subject
7 development as approved by the Planning Manager. In general, the height of any
8 required screening device shall be no lower on any side than the height of the highest
9 feature requiring screening and:

10 A. All exteriors of the proposed buildings shall be free of all un-aesthetically
11 treated, exposed elements (i.e., plumbing pipes, electrical conduits, and
12 National Pollution Discharge Elimination System (NPDES) elements) which
13 shall be placed within the exterior walls. Where exposed wall-mounted features
14 or equipment may be necessary (i.e., ventilators and utility meters), recessed
15 wall mounted cabinets or other similar devices shall be constructed within the
16 wall, whenever possible, to accommodate such features and equipment so that
17 they are flush with and do not project out from the main exterior wall plane.
18 With or without recesses, the exposed portions of such features or equipment
19 shall be of a color to blend, not contrast, with the adjoining finished building
20 color, subject to the approval of the Planning Manager;

21 B. All roof-mounted mechanical equipment, duct vents and the like shall not
22 project above the horizontal plane of the building's lowest primary opaque
23 architectural feature(s) (i.e., parapet walls, penthouse structures or screening
24 walls); and

25 C. All ground-mounted equipment (i.e., transformers and air conditioners) shall be
26 located within the building or in underground vaults if the equipment is located
27 within a street facing setback, or it shall be screened with walls and/or
28 landscaping if not located within a street facing setback. Ground-mounted
29 equipment shall not be located in the landscaped areas fronting any public right-
of-way.

11. All refuse containers assigned to or otherwise used by the facility shall be stored on-
site in the trash enclosures.

12. The project and its operations shall comply with all applicable local, special district or
authority, county and federal statutes, codes, standards, and regulations including,
but not limited to, Building Safety Division, Fire Department, Planning Division and
Public Works Department code requirements and it shall comply with all applicable
comments and code requirements as determined during the City's building permit
review process.

- 1 13. The applicant and/or property owner shall enforce the Upward Bound House program
2 rules and requirements as listed in Exhibit A of the resolution. Any changes to said
3 rules and requirements shall be subject to the review and approval of the Planning
4 Manager.
- 5 14. By taking any benefit of this approval, the applicant and the property owner jointly
6 and severally hereby agrees to indemnify, defend and hold harmless the City, and the
7 City's elected and appointed officials, officers, employees, agents, contractors and
8 consultants from and against any and all claims, demands, lawsuits, judgments,
9 liability, injury or damage which may result from or arise in connection with third party
10 challenges to the City's approval of the project.
- 11 15. No more than one family (of up to four persons) shall occupy any unit. No more than
12 55 residents (including adults and children) shall be served by the facility at any one
13 time. The maximum age of resident children shall be 16. The number of teenage
14 boys in this residential facility shall be limited to a maximum of three at any given
15 time.
- 16 16. On-site staff will reside at the facility and at least one staff member shall be on-site 24
17 hours a day, seven days a week.
- 18 17. No intake of families will be done on-site. All interviewing, intake and screening of
19 new families will be performed at one or more off-site locations. Only families that
20 have been pre-screened and accepted for enrollment in the program will be accepted
21 at the facility.
- 22 18. Prior to occupancy in the facility, all adult residents will be required to sign the Code
23 of Conduct referenced above. There shall be a 9 p.m. curfew to which residents will
24 agree as a condition of living at the site. This curfew will require residents to be
25 home in their units.
- 26 19. The program operation shall provide each resident family with daily case
27 management counseling services with a social worker or other trained professional
28 Monday through Friday.
- 29 20. All existing motel signage will be removed. There will be no signage indicating that
the facility will be used as an emergency family shelter. This condition will not
prevent the naming of the facility, including for donors or sponsors, provided any such
naming does not include reference to its use as an emergency family shelter.
21. A security camera system shall be installed, operated and maintained in good
working order to enable the on-site staff to monitor the common areas of the facility
consistent with governing rights of privacy.
22. Hot plates or other similar appliances shall not be allowed in the units. No cooking
will be allowed in the units. Re-heating of prepared meals in microwave ovens is

1 allowed. This condition shall not apply to the on-site staff apartment units, which may
2 be equipped with standard residential ranges/ovens.

3 23. The existing driveway providing vehicular access to the property directly from
4 Washington Boulevard shall be removed. Vehicular access to on-site parking shall
5 occur via Beethoven Street and the alley.

6 24. Program staff shall conduct daily inspections of the units to ensure that there are no
7 drugs or alcohol on the premises, no hot-plates or other cooking equipment, and to
8 ensure that the rooms are neat, well-maintained and that the trash is removed daily.

9 25. Residents of the emergency family shelter shall stay no more than 90 days at the
10 facility.

11 26. The applicant shall submit to the Planning Manager at six months and one year after
12 Final Certificate of Occupancy and yearly thereafter a written status report that
13 evaluates the facility's compliance with the conditions of approval. If it is determined
14 that the facility is not in compliance with the conditions of approval, the Planning
15 Manager shall refer the Conditional Use Permit back to the Planning Commission for
16 consideration of additional and/or modified conditions or revocation of the Conditional
17 Use Permit.

18 **PRIOR TO THE ISSUANCE OF ANY DEMOLITION, GRADING, EXCAVATION, AND/OR**
19 **BUILDING PERMIT:**

20 **Planning Division:**

21 27. All exterior lighting shall be developed pursuant to CCMC Title 17, Chapter 17.300,
22 General Property Development and Use Standards. The applicant or property owner
23 shall submit to the Planning Manager for approval of an exterior light fixture plan.
24 The plan shall identify the location and type of all exterior light fixtures. All lighting
25 shall be directed onsite and light sources shall be shielded so as not to be intrusive to
26 surrounding properties.

27 **Public Works Department - Engineering Division:**

28 28. Prior to the issuance of any building permits, two (2) sets of Site Improvement Plans
29 prepared by a civil engineer registered in the State of California, shall be submitted to
30 the Engineering Division for review, approval, and permitting. Among other things,
31 the Site Improvement Plan shall include detailed drainage and grading of the site
32 indicated by topographical lines and spot elevations, and indicate all proposed and
33 existing utilities.

34 29. The existing driveway located along Washington Boulevard shall be closed and a full
35 width concrete sidewalk and curb shall be reconstructed in its place per American
36 Public Works Association Standard Plan.

- 1 30. Drainage devices, concrete curb and gutter, sidewalk, drive approach, and roadway
2 pavement shall be designed to the latest edition of the American Public Works
3 Association Standard Plans. Roof drainage shall extend through the street curb or to
4 an onsite drainage inlet. All onsite drainage inlets shall convey pre-treated storm
5 water underground through the street curb.
- 6 31. Prior to the commencement of any excavation and/or construction, the applicant shall
7 install a temporary construction fence around the site. The height and fence material
8 is subject to approval by the City Engineer.
- 9 32. Due to the change of use, this project may be subject to the City's Sewer Facility
10 Charge as determined by the City Engineer. This charge shall be paid prior to the
11 issuance of any permit.
- 12 33. The corner curb return at the street intersection of Washington Boulevard and
13 Beethoven Avenue shall be reconstructed to have a minimum radius of
14 25-feet, a corner cut-off, and a new access ramp per APWA Standard Plans.
- 15 34. The corner cut off at the northeast corner of Beethoven Avenue and Washington
16 Boulevard shall be dedicated for street purposes.
- 17 35. A trash enclosure with minimum inside dimensions of 10' x 12' shall be provided.
18 However, the appropriate size of the trash enclosure, location, and required number
19 of bins for the proposed development must be approved by the Public
20 Works/Sanitation Division Manager, (310) 253-6400. The proposed trash enclosure
21 shall include a minimum eight feet wide clear opening, six inch concrete curb along
22 the perimeter wall of the trash enclosure, exterior finish to match exterior finish of
23 building, and a gate.
- 24 36. Per CCMC Section 5.01.010, Ordinance No. 2201-011 Solid Waste Management, the
25 Culver City Sanitation Division has the exclusive franchise for all solid and recyclable
26 waste material handling within the City limits. To arrange for waste management
27 activities, contact a Sanitation representative at (310) 253-6400.

28 **Fire Department:**

- 29 37. A manual and automatic fire alarm detection system shall be provided, to include
National Fire Protection Association 72 device locations. The system shall include
photo electric smoke detection throughout all buildings.
38. An address sign viewable and legible from the public way at all times shall be
provided. Address shall be provided with lighting 24 hours a day, seven days a week.
39. Full National Fire Protection Association 13 Fire Sprinkler coverage shall be provided.
40. A Fire Sprinkler Monitoring system shall be provided.

- 1 41. Unobstructed access and an area for ambulance parking shall be provided. Said area
2 shall be posted and the curb painted red with white letters "Fire Lane No Parking."
3 42. No smoking shall be permitted inside any building onsite. The building shall be so
4 posted.
5 43. Bedridden and non-ambulatory individuals shall not be placed in units above the first
6 floor.

7 **DURING CONSTRUCTION:**

8 **Planning Division:**

- 9 44. During all phases of construction, information that includes contact names and
10 telephone numbers of the applicant, property owner, construction contractor(s), and
11 City, shall be posted at the project site so as to be visible to the public. These names
12 and telephone numbers shall be made available to adjacent property owners and
13 residents.
14 45. During all phases of construction, the applicant and property owner shall use their
15 best efforts to ensure that all construction workers and contractors park onsite or at
16 designated offsite locations approved by the City and not in the surrounding
17 neighborhood.
18 46. During all phases of construction and once the development becomes operational, all
19 graffiti shall be removed within 48 hours of its application.
20 47. Hours of Construction shall be limited to 8:00 A.M. to 8:00 P.M. Monday to Friday,
21 and 9:00 A.M. to 7:00 P.M. on Saturday, and 10:00 A.M. to 7:00 P.M. on Sunday.
22 48. The following noise standards shall be complied with at all times:
23 A. No construction equipment shall be operated without an exhaust muffler, and all
24 such equipment shall have mufflers and sound control devices (i.e. intake silencers
25 and noise shrouds) that are no less effective than those provided on the original
26 equipment;
27 B. All construction equipment shall be properly maintained to minimize noise
28 emissions;
29 C. If any construction vehicles are serviced at a location onsite, the vehicle(s) shall
be setback from any street and other property lines so as to maintain the
greatest distance from the public right-of-way and from Noise Sensitive
Receptors;

- 1 D. Noise impacts from stationary sources (i.e., mechanical equipment, ventilators,
2 and air conditioning units) shall be minimized by proper selection of equipment
3 and the installation of acoustical shielding as approved by the Planning
4 Manager and the Building Official in order that compliance with the CCMC
5 Noise Regulations and Standards is achieved; and
6
7 E. Stationary source equipment (i.e., compressors) shall be located so as to
8 maintain the greatest distance from the public right-of-way and from Noise
9 Sensitive Receptors.

10 **Public Works – Engineering Division:**

- 11 49. The construction contractor shall advise the Public Works inspector of the schedule
12 and shall meet with the inspector prior to commencement of work.
13
14 50. Dirt hauling and construction material deliveries or removal are prohibited during the
15 morning (7:00 A.M. to 9:00 A.M.) and afternoon (4:00 P.M. to 6:00 P.M.) peak traffic
16 periods.
17
18 51. All staging and storage of construction equipment and materials, including the
19 construction dumpster and storage containers shall be on-site only. The applicant
20 shall obtain prior written permission from adjacent property owners for any
21 construction staging occurring on adjacent property.

22 **PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY (CO):**

23 **Planning Division:**

- 24 52. All onsite and offsite landscaping and irrigation shall be completed to the satisfaction
25 of the City.

26 **Building Safety Division:**

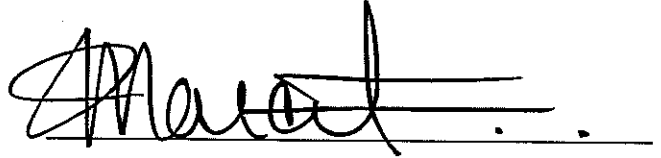
- 27 53. No partial or grand openings shall be permitted without the applicant applying for and
28 receiving approval of a Temporary Certificate of Occupancy application. Do not
29 schedule or advertise any partial or grand opening without City approval.

30 **Public Works – Engineering Division:**

- 31 54. The applicant or property owner shall at his or her expense to repair or replace any
32 damage to the public right-of-way caused by the construction of the proposed project.
33 Such repair or replacement shall be completed to the satisfaction of the City
34 Engineer.
35
36 55. All Public Works Department conditions of Approval shall be completed to the
37 satisfactory of the City Engineer.

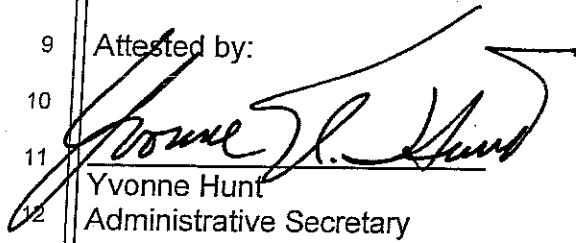
1 APPROVED and ADOPTED this 24th day of October 2007.
2
3
4
5

6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29



MARCUS TIGGS, CHAIRPERSON
PLANNING COMMISSION
CITY OF CULVER CITY, CALIFORNIA

Attested by:



Yvonne Hunt
Administrative Secretary

Upward Bound House
Emergency Family Shelter

Program Rules & Requirements

Upward Bound House
1104 Washington Avenue
Santa Monica, CA 90290
Telephone 310.458.7779
Facsimile 310.458.7289
dsnow@upwardboundhouse.org
www.upwardboundhouse.org

**UPWARD BOUND EMERGENCY FAMILY SHELTER
12841 WASHINGTON BOULEVARD
CULVER CITY, CA 90066**

EMERGENCY FAMILY SHELTER PROGRAM AGREEMENT

The undersigned acknowledges and understands that he/she is/are entering an Emergency Housing Program provided by Upward Bound House. This is NOT a LEASE, but a Program Agreement. As a benefit of this program, living space is being provided to you and your child(ren). The undersigned and his/her child(ren) shall reside in the facility in the capacity of program client/resident lodger and not as a tenant. No possessor's right is granted or intended by this agreement or by participation in the Emergency Family Shelter program. In the event that the undersigned shall fail to abide by policies, rules and regulations provided by the Emergency Family Shelter program, he/she agrees to immediately vacate the living space assigned and to do so without requirement of legal process and in an orderly and peaceful manner.

THIS AGREEMENT BY AND BETWEEN Upward Bound House, "UBH", and _____, "Client", from this _____ day of _____, 20_____, until the completion or termination of the program.

UPWARD BOUND HOUSE allows Client the use of the premises known as: Upward Bound Emergency Family Shelter, Unit _____.

Premises shall be occupied only by the following named person(s):

_____ Name	_____ Birth Date	_____ Name	_____ Birth Date
_____ Name	_____ Birth Date	_____ Name	_____ Birth Date
_____ Name	_____ Birth Date	_____ Name	_____ Birth Date

PROGRAM RULES AND REQUIREMENTS:

1. Clients and their families are to cooperate with Upward Bound Emergency Family Shelter staff at all times. Clients failing to cooperate with Upward Bound's Emergency Family Shelter staff as per the terms of the agreement and the Program Rules and Regulations at any time will be dealt with by the proper authorities and/or terminated from the program.
2. Possession of weapons is not allowed on Upward Bound Emergency Family Shelter premises at any time. This is cause for immediate termination.
3. Clients and their families shall not commit any acts of violence and/or threats of violence in or around Upward Bound Emergency Family Shelter premises. Invading personal space of or screaming at a Emergency Family Shelter employee, neighbor or another Family Shelter resident with the intent of intimidating them, will be treated as a threat to their safety and be dealt with accordingly. The use of obscenities when dealing with an Emergency Family Shelter staff person, neighbor, or other resident will not be tolerated. This is cause for immediate termination.
4. Meet on a daily basis with your assigned Case Manager. Not meeting with your Case Manager daily, without an excuse, or not following the case management plan is cause for immediate termination from the program.
5. All Residents must participate in the GAIN/Welfare to work program and/or Chrysalis and/or secure Employment within Thirty (30) days
6. Residents are not allowed to have visitors/outside guests at any time without the written permission of their Case Manager. Upward Bound's Emergency Family Shelter property is for the sole use of Program clients/families. No adults who are not on the agreement may spend the night.
7. Residents are not allowed to visit in other client's units.
8. Curfew is 9:00 PM nightly. Requests for curfew extension must be submitted to case manager in writing for approval.
9. No children are allowed in the parking lot or on the balconies unless they are coming or going to their living space with parent(s).
10. Children shall not be left alone at any time or supervised by anyone under the age of fourteen (14).
11. Each client shall sign out each time he/she is leaving the facility regardless of the expected time that said client will be absent. Each client shall also sign in each time he/she is returning to the facility.

12. No soliciting of any kind is allowed on Upward Bound Emergency Family Shelter premises.
13. Clients, including children, must be fully clothed at all times while on Upward Bound Emergency Family Shelter premises. Housecoats, robes, nightgowns, pajamas, and bare feet are forbidden outside of clients units.
14. Shelter staff will, without notice, inspect all units, for compliance of house/program rules, building and safety, health, and fire violations. At that time please report any unit problems or damages.
15. Upward Bound's Emergency Family Shelter may deliver a notice to immediately vacate the premises upon the failure of the Client to stay in compliance with the Program Rules.
16. Clients must inform the staff of domestic violence history, any current threats to their safety or any acts of violence committed against the resident while involved in the Emergency Family Shelter Program.
17. Acts of domestic violence committed while involved in the Emergency Family Shelter program are grounds for immediate termination from the program for the perpetrator. The victim may be required to cooperate with the Upward Bound staff by moving to another appropriately safe shelter.
18. The Upward Bound Emergency Family Shelter program is for the exclusive use of homeless families with minor children. At least one adult on this agreement must have legal custody of at least one of the minor child(ren) (17 years of age or younger) listed on the agreement. That minor child must be in the physical possession of an adult on this agreement and the adult must be the primary custodian of the child. At least one child on the agreement must be living with the adult on the Emergency Family Shelter grounds at all times during their participation in the program (except during visits to non-custodial parent(s) approved by the court and approved child custody arrangements or approved by Emergency Family Shelter case management staff). Loss of custody or physical possession of children listed on this agreement is grounds for immediate termination from the program.

UNITS AND GROUNDS:

1. Foil will not be permitted on windows at any time.
2. Security improvements, including locks, window, and door bars may not be installed by clients. Upward Bound Emergency Family Shelter maintenance personnel must install all extra security devices.
3. Clients shall be held liable for all damages to Upward Bound's Emergency Family Shelter, its common areas, individual units, stairways and hallways caused by client or their children. The parent(s) will pay all damage caused by children such as crayon marks, broken windows, or marred walls.
4. Clients and their families must give immediately, notice to the assigned Case Manager of any accident or injury to any person, or of any damage to the premises or furnishings.
5. Clothing, towels, rugs, mops, etc. shall not be hung outside any window or balcony.
6. Clients are not allowed to change oil, wash, or do repair work on cars on the Upward Bound's Emergency Family Shelter property.
7. No trash, bottles, or papers shall be left on the balconies or other common area of the complex. All trash must be placed in designated containers.
8. The client shall be responsible for reporting change in family size or composition to assigned Case Manager.
9. Management (Upward Bound House) is not responsible for the loss of a client's personal property and/or is not held liable for the actions of client/client's family or any disaster natural or self caused.
10. "Quiet Time" will begin at 8:00PM nightly. After 8:00PM, TV, radios, and voices must be kept at a level that is not heard in the parking lot, balconies, or other apartments. (During the day, TV, voices, and radios must be kept at reasonable levels and turned down if requested by a staff member.) Curfew is 9:00 PM nightly.
11. This is a sober living facility. There is absolutely no drinking of alcoholic beverages allowed in or around the Upward Bound's Emergency Family Shelter property at any time; this includes client living spaces and the public/common areas of the property. Clients shall not be under the influence of alcohol or drugs at any time.
12. No skateboarding, bicycling, rollerblading will be allowed on the premises (except for tricycles).
13. Smoking is not allowed in client living spaces or common areas at any time.

14. Each client is responsible for keeping assigned living space and immediate grounds (including balconies and parking area) clean and free of trash and debris at all times. Trash shall be removed once per day by clients from their unit and placed in the designated trash area.
15. The parents must thoroughly clean their living space immediately before departure from the Upward Bound's Emergency Family Shelter Program.
16. No pets are permitted on the premises; this includes dogs, cats, birds, hamsters, snakes, turtles, fish, etc.

NOISE AND CONDUCT:

1. Clients and their families shall not make or allow any disturbing noises in their living space, or permit any actions by such persons, which will interfere with the rights, comforts or conveniences of other residents, staff or neighbors.
2. All musical instruments, television sets, stereos, radios, etc. are to be played at a volume, which will not disturb other persons.
3. No loud noise disturbing to other clients or neighbors will be allowed at any time.
4. If a child is crying or upset, or if anyone in the living space is raising his or her voice, the doors and windows to the apartment must be closed immediately. They must stay closed until the individual calms down and is quiet enough not to disturb neighbors.
5. Clients are NOT to discuss noise complaints with members of the community. This includes, but is not limited to, yelled comments across the parking area or fences. Instead, go to the staff member on duty and give him or her the details of the incident so that they can document them in a formal report.

TRASH:

1. Containers for refuse and garbage have been placed in a central location. All garbage must be disposed of in plastic bags with ties to avoid any unwanted pests around the trash area as well as around the building or in client's living spaces.
2. Individual trashcans must be stored in client living spaces. Trash must be emptied daily.

New rules, regulations, amendments, or terms to these rules may be adopted by Upward Bound's Emergency Family Shelter at will and will go into effect immediately. These rules and any changes or amendments have a legitimate purpose and are not intended to be arbitrary or work as a substantial modification

of Client's rights. They will not be unequally enforced. Client is responsible for the conduct of their family and adherence to these rules and regulations at all times. Violation of these rules and regulations or any provision of the agreement may result in immediate termination from the program.

The undersigned hereby expressly releases Upward Bound House, its staff, agents, and assigned from any and all liability for injury or damage arising out of Resident Lodger's participation in the program, Upward Bound House is not responsible for your personal property, and will hold it for only two (2) weeks after you leave the program.

I HAVE READ AND RECEIVED A COPY OF THIS AGREEMENT, RULE AND REGULATIONS, AND INVENTORY LIST. I UNDERSTAND THAT IF I VIOLATE THE TERMS AND CONDITIONS OF THIS AGREEMENT, I MUST VACATE MY LIVING SPACE, AND MY ENROLLMENT IN THE PROGRAM WILL END AT THAT TIME.

Client Signature

Date

Client Signature

Date

Case Manager

Date

Culver CITY

PLANNING DIVISION

9770 CULVER BOULEVARD CULVER CITY, CA 90232-0507
 (310) 253-5710 FAX (310) 253-5721
 WEBSITE: www.culvercity.org

Project Application

Planning Case File No.:

Date received: 11-08-07

Application type: (please check all applicable)

☐ Administrative Use Permit (AUP)
Proposed Use:

- ☐ Tentative Parcel Map
- ☐ General Plan Amendment - Map
- ☐ General Plan Amendment - Text
- ☐ Lot Line Adjustment
- ☐ Site Plan Review - Administrative
- ☐ Site Plan Review - Planning Commission

☐ Conditional Use Permit (CUP)
Proposed Use:

- ☐ Tentative Tract Map
- ☐ Zoning Code Amendment - Text
- ☐ Zone Change - Map
- ☐ Administrative Variance
- ☐ Variance
- ☒ Other: APPEAL OF CUP 2007-112

Applicant Information

Name: Michael Feeney
 Address: 4054 Moore St.
Los Angeles, CA 90066-5118
 Phone: 310-822-7767
 Fax No.: 310-822-7767
 E-mail: Feeneymike@hotmail.com

Applicant Representative Information

Name: _____
 Address: _____
 Phone: _____
 Fax No.: _____
 E-mail: _____

Property Owner(s) Information

Name: _____
 Address: _____
 Phone: _____
 Fax No.: _____
 E-mail: _____

Property Information

Site address(es): _____
 Assessors Parcel Number(s): _____ Lot No(s): _____ Tract No.: _____
 Zoning: _____ Overlay Zone: _____
 Site size (square feet): _____ General Plan Designation: _____
 Existing building area (gross square feet): _____ Redevelopment Area: _____
 Existing Use: _____

Proposed Project Information

Project name (or request): SUNBAY 7 Motel Conversion - APPEAL
 Major cross streets: Beethoven + Washington Blvd.
 Other agencies required to review/approve project (City, County, State, Federal): N/A
 List previous environmental documents or technical studies prepared for this site: N/A (no)
 Detailed project description: (attach additional sheets as necessary) See attached docs for justification of APPEAL.
 Building Height (feet): See docs Number of off street parking spaces: _____
 Percent (%) of site paved for parking: _____ Project valuation: \$ _____
 Proposed project scheduling, including phasing: (if applicable) _____

CULVER
CITY
RESIDENT

PROJECT APPLICATION (continued)

Preliminary Environmental Information		Yes	No	Unknown (please attach explanation)
Are the following items applicable to the project or its effects? (If yes is checked, please attach separate sheet with explanation.)				
Change in existing features of hillsides or substantial alteration of ground contours?				/
Change in scenic views or vistas from existing residential areas or public lands or roads?				/
Change in pattern, scale or character of general area of project?				/
Significant amounts of solid waste or litter generated?				/
Change in dust, ash, smoke, fumes or odors in vicinity?				/
Change in stream or ground water quality or quantity, or alteration of existing drainage patterns?				/
Drainage swales border or cross the site?				/
Substantial change in existing noise or vibration levels in the vicinity?				/
Will grading be required? If yes, # of cubic yards, if known _____				/
Site on filled land or on slope of 10% or more?				/
Geotechnical study prepared for site? (If yes, please attach copy.)				/
Is the site in the Alquist -Priolo Special Study Zone for earthquake fault movement?				/
Use or disposal of potentially hazardous materials, such as toxic substances, flammables or explosives?				/
Substantial change in demand for municipal services (police, fire, water, sewage, etc.)?			/	/
Traffic study prepared for the site or has it been included in another traffic study?			/	/
Site surveyed for historical, paleontological or archaeological resources?				/
Environmental Setting				
Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. (Attach additional sheets as necessary.)				
Sunbay 7 is an existing motel - and it is proposed for sale to Upward Bound Homeless Shelter (for conversion to a shelter).				
Describe the surrounding properties (north, south, east & west), including information on plant and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (single or multi-family, shops, department stores, etc.), and scale of development (height, frontage, setbacks, etc.). (Attach additional sheets as necessary.)				
E W commercial businesses N S residential				
Property Owner's Statement		Applicant's Statement		
I declare that I am the owner of the property described in this application, or am legally empowered to act on behalf of the owner, and that the information submitted is true, complete, and correct to the best of my knowledge. In addition, I give consent to the applicant to proceed with the above application.		As the applicant, I will adhere to the terms and conditions of the application if an approval is granted. In addition, I understand that while it is the City's policy to provide notice during the application process, it is the applicant's responsibility to track the dates of any hearing or approval expirations.		
Signature of Property Owner		Signature of Applicant		
Date		Date		



CITY OF CULVER CITY

9770 Culver Blvd
Culver City, CA 90232

PAID
\$ 1505.92
NOV 08 2007/5:16 PM
02-013306

PLANNING DIVISION RECEIPT

Receipt Number: PF20070266

Account Summary for Fees and Payments

11/08/2007

Treasurer	Account Title	Account Number	Total Fees	Amount Paid
2010	Technology Surcharge	41251500.321100	57.92	57.92
2201	Planning Permit Fees	10152100.364100	1,448.00	1,448.00

Total Amount Paid: \$1,505.92

Description:

Appeal of planning commission decision (October 24,2007)
CUP P2007112, Resolution No. 2007 P016
Applicant: Michael Feeney
Site: 12841 Washington Blvd Sunbay Motel conversion
App. Phone 310 822-7767

Thursday, November 8, 2007

RECEIVED

Mr. Paul Samaras
C/o The Culver City Planning Division
Culver City Hall
9770 Culver Boulevard
Culver City, CA 90232
310-253-5706
paul.samaras@culvercity.org

2007 NOV -8 PM 5: 19

CITY CLERK
CITY OF CULVER CITY

Re :
CUP
2007 - 112

Re: This, is part of the APPEAL process, with regards to the Proposed Temporary Homeless-Families Shelter at SunBay7 Motel ("Facility") – located at the corner of Beethoven St. and Washington Boulevard) Planning Commission Resolution (No. 2007-P106)

Declaration:

I, and many other neighbors that are residents of both Culver City and Los Angeles, REMAIN YET OPPOSED to transitioning the structure to a homeless shelter, Especially when having reviewed the existing Resolution tenets in its form as Submitted to me 11-07-07. – Michael Feeney

Dear Mr. Samaras,

As I had mentioned in earlier letters, my wife and I are residents of Culver City (4054 Moore Street, 90066-5118), located two blocks away from the proposed transition site. We've been residents for about eight years. We understand the need for housing for the homeless, and we are sympathetic to their cause and need for support, however, the Sunbay7 Motel remains an unsuitable site for us, and also for the perspective residents, as given by my sampling of the neighborhood residents, and as per EXHIBIT A of the Planning Commission Resolution (~~No. 2007-P106~~), and the Resolution itself (hereto forward termed the ("Resolution")).

2007-P016
MF

The objections fall into this order:

- 1) This deadline for response to this issue is inadequate and unfair, that is November 8, 2007. The decision came down less than ten days ago. **There needs to be at least a month** to gather data, and signatures, to properly show the feelings and ideas of those who would be directly impacted in the neighborhood surrounding the Sunbay7 structure.
- 2) **The APPEAL FEE of \$1505.00 is totally unfair**, and without merit. Los Angeles appeals run about 100.00. This sum should be reevaluated, and we citizens that are appealing should be reimbursed accordingly, should a reasonable sum be estimated, posted, and explained.
- 3) **The dissemination of information regarding this property issue has been appalling.** People have not been properly informed, and thus valuable feedback has not been forthcoming, though we struggle to deal with your

manner of handling this matter, such as with this November 8th, overly short deadline, and fee payment. According to the Resolution, the property was purchased in July of this year. It is incumbent on Culver City to let people know what is going on more effectively, at least all of the Culver City residents.

- 4) **Upward Bound did not once contact me, or my neighbors to discuss this issue, nor did I see any posting that I could understand that would inform me and my neighbors about the proposed site transition. This is not a good neighbor policy, but one seemingly based on deception.**
- 5) **Why wasn't a "purpose built" structure discussed. This is a much more preferable issue to consider, when you view the many inadequacies of the facility site on Beethoven and Washington.**
- 6) **This is a "Conditional Use" site, meaning that it's not zoned for such use. What other sites were evaluated? I never came across any other selections as put forward by Upward Bound or the Culver City Planning Division. This is inadequate, and requires further evaluation to be fair to both parties. What about the many available structures on Jefferson Blvd.? This was not addressed. The resolution is premature for this reason.**
- 7) **The City Council meeting on October 24th was totally inadequate.** It was a packed house, yet, since the Upward Bound people have experience in prior city council meetings, they came early and stacked the roster, knowing the clerk would call names on first come first serve basis. It wasn't until an hour to an hour and a half later, on a Wednesday evening, that people could properly air their views, and facts. Many people had to go home to their lives. **The fact that speaking submissions were not submitted in a PRO and CON form, even if taken from stacks on a first come first served basis, and then called in an alternate manner, marks the event as unbalanced and unfair.** Another, follow-up meeting should have been called considering the massive turn out, yet one was not scheduled.
- 8) There were not real statistics nor any Culver City Planning Division data showing the real impact of this site, or it's real feasibility. It is claimed that charts were shown, but on October 24, I didn't see any. Culver City was remiss in its responsibility to show what is planned for the area, with surrounding properties, and other important information such as traffic patterns (Beethoven, Washington, the alley behind Sunbay), in order to provide a clear picture for impact evaluation.
- 9) **Regarding the October 24th meeting, that evening there was presented a one-sided media (DVD) presentation that set an unfair balance for the evening.** The Council Members should have asked if those opposing the site transition also had an audiovisual presentation, and if there wasn't one to show, then the one presented by Upward Bound should have been skipped over. It was, by all accounts, an anecdotal and manipulating presentation, hardly adding to the facts of the matter regarding the feasibility of the proposed site. It should have been negated. Also, media presentation procedure should be refined on the part of the City Council. It would be better for everyone all the way around.

- 10) I personally have sent you two letters, Mr. Samaras, yet I had to call you in order to receive the Resolution and Exhibit documentation – just yesterday! That alone shows an unfair and untimely dissemination of information.
- 11) **The businesses in the immediate vicinity will be negatively impacted** by the facility, with the exception of the coin wash, the 99 Cent store, and the fast food places. This is not going to UPLIFT our ALREADY DEPRESSED neighborhood.
- 12) **As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, A FEASIBLE TRAFFIC STUDY WAS NEVER SUBMITTED**, to my knowledge, and the massive use of Beethoven (increase of use up 25%) is a major consideration, when you consider the narrowness of the street, and when you especially consider that the major entrance/exit way planned is on the Beethoven Street side. This is totally objectionable. Beethoven is one of FOUR ARTERIAL, THROUGHFARE or TRAFFIC LIGHT CONTROLLED ROUTES, the four being: Lincoln, Redwood, Beethoven, and Centinela. For such a critical arrangement, Beethoven is infeasible. This particularly when you consider the massive development of multi unit residential condos on Redwood, and on Glencoe. The massive influx of people to the area will place undue pressure upon Beethoven, particularly at the Washington juncture.
- 13) **As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document and the RESOLUTION (received 11-07-07), when I spoke with you Mr. Samaras yesterday, you said that the documents were still being altered, or worked on in some form or fashion, so by that admission, the deadline date of today, November 8th, is not at all fair. We need to see those alterations, to know what is going on.**
- 14) **As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, I THINK THAT CULVER CITY SHOULD BE A CO-SIGNER TO THIS CONTRACT. This is a Conditional Use deal, and you should stand by your choices, if you deem it allowable that Upward Bound would occupy these premises.**
- 15) **As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, I think that Upward Bound House SHOULD BE RESPONSIBLE for the activities and welfare of the inhabitants at the proposed Sunbay7 establishment, NOT RELEASED FROM LIABILITY. They must be held responsible for the impact on the neighborhood, since they are pushing for this facility.**
- 16) **As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, the inhabitants should not be signing an AGREEMENT, but a CONTRACT, and the “Clients” should be “Contractees”, legally held bound to this agreement. This is a serious matter, and if Upward Bound does their screening, they should have no problem with this. The Contractees should also be OBLIGATED TO adhere to the tenets of the Rules and Requirements. Likewise, there should be a “failure of compliance” applied to these Rules and Requirements, to specify concretely violations.**

- 17) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, minors must be under the direct supervision and responsibility of their parents, as per #18.
- 18) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, WHAT IS THE DURATION OF THE SO-CALLED AGREEMENT OF THIS FACILITY. What happens should the project fail, or should the neighborhood reject it? What recourse do people who live in Venice, or Mar Vista have regarding a Culver City deal? This has not been made clear.
- 19) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, what is the end period for the curfew? This is not determined. What hour, exactly.
- 20) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, is there going to be twenty-four hour video surveillance of the facility? I think this is necessary, and is not clear.
- 21) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, why is there only ONE STAFF member on the premises in any twenty-four hour period, why not two or more?
- 22) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, if there is immediate expulsion from the premises, due to drugs, alcohol, or violence, how is that person or persons handled by one staff member? This is inadequate planning.
- 23) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, who exactly composes the STAFF? This is not clear. How would this information be made available to others, like neighborhood members? This is not clear.
- 24) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, there isn't any mention of a "NEUTRAL ROOM" where parents – estranged – and meet their children. Allowing couples to meet that are unstable should not occur within the single unit that also houses the sibling.
- 25) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, be LESS specific than "foil" covering the windows, prohibit any material other than curtains.
- 26) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, Units and Grounds, there should be an electronic door sensor system to notify STAFF if any doors are opened, to stay on top of the facility's inhabitants. This is necessary for better security. Perhaps use an ADT like motion sensor system.
- 27) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, Units and Grounds, #9, Management and Upward Bound must be held responsible for the actions of it inhabitants and their family or friends, as the neighborhood demands it.
- 28) As per the UPWARD BOUND PROGRAM RULES & REQUIREMENTS document, who is the case manager, and how does his work mesh with the STAFF of Upward Bound. This is not clear

- 29) As per the **UPWARD BOUND PROGRAM RULES & REQUIREMENTS** document, **WHAT IS THE TEENAGER AGE LIMIT (#18)?** It is unclear as to whether it is sixteen (in the Resolution) and 17 in the Program Rules and Requirements.
- 30) As per the **UPWARD BOUND PROGRAM RULES & REQUIREMENTS** document, what happens when somebody comes back after curfew time, or if the facility is filled to capacity, where do the people turned away go? This is not made clear whatsoever. Do we want them on the streets in our neighborhood? No.
- 31) As per the **UPWARD BOUND PROGRAM RULES & REQUIREMENTS** document, what happens when one is told to **VACATE** the premises. What is the plan then? Where are they to go? Will they receive further assistance? This is not made clear whatsoever. Other places, in subsequent order must be listed, and be available on a twenty-four hour basis.
- 32) As per the **UPWARD BOUND PROGRAM RULES & REQUIREMENTS** document, what about campers, and vans that people might occupy when coming to visit those who inhabit the facility? We do not want to see our street filled with vehicles that ruin the parking balance in our neighborhoods.
- 33) As per the **UPWARD BOUND PROGRAM RULES & REQUIREMENTS** document, there is confusion as to how many people would occupy the units, is it four, or three? This is not resolved. I think that **NO MORE THAN TWO** people should occupy the units.
- 34) As per the **UPWARD BOUND PROGRAM RULES & REQUIREMENTS** document, there are only 16 existing parking spaces, and this in **NO WAY** is enough for the mentioned 55 occupants of the facility. **THERE IS NO ROOM FOR THE CHILDREN TO PLAY** even given the facility dimensions as things exist. This is another reason why the site is infeasible for transition. Many people think that Culver City is trying to jam this transition down their throats, or over their heads, despite the fact that the facility has insurmountable, inherent problems for the inhabitation designs.
- 35) As per the **UPWARD BOUND PROGRAM RULES & REQUIREMENTS** document, **PARKING** has not been adequately addressed, as there is obviously not enough space inside of the facility. Since this has not been properly addressed, the proposal is immature in its assessment or environmental impact upon the neighborhood.
- 36) As per the **RESOLUTION NO. 2007-P016** document, it is unclear as to what the peripheral fence would look like. Would it be 100% secure? How would this work with the entranceway, regarding cars? This is not clear.
- 37) As per the **RESOLUTION NO. 2007-P016** document, the fence should be covered with some greenery, so as to avoid looking like a minimum-security establishment.

- 38) As per the RESOLUTION NO. 2007-P016 document, the quality of landscaping is not clear, what the place would look like. This is not acceptable. What does the face-lift entail? It is not clear.
- 39) As per the RESOLUTION NO. 2007-P016 document, it has never been made clear what funding efforts Culver City has done to gather State and Federal funds. With matching funds, you might be able to create a "purpose built" facility, which is a much better idea. This is unacceptable.
- 40) As per the RESOLUTION NO. 2007-P016 document, what benefits are there for Culver City for participating in this project, beyond "good will". Does the city receive any tax breaks, or any funding?
- 41) As per the RESOLUTION NO. 2007-P016 document, what is the arrangement with this Santa Monica based group, Upward Bound, what are their guarantees of back-up support? They are not clear in the Program Rules and Requirements.
- 42) As per the RESOLUTION NO. 2007-P016 document, this location to be transformed is called an "emergency shelter", what does that mean? For what duration would it be designated as such, since it is going through process in Culver City? I think this is a misnomer, regarding the classification of this facility (and I do not refer to the emergency of homelessness, but a permanent facility in our neighborhoods).
- 43) As per the RESOLUTION NO. 2007-P016 document, "B", we do not have the GENERAL PLAN for this CORRIDOR. We do not know what is planned with the former Baldwin Hotel site. This is not clear. People do not know what "Objective 3" means, nor has Culver City been sufficient in explaining to anyone that I know.
- 44) As per the RESOLUTION NO. 2007-P016 document, yes, it is fine that Culver City provide housing assistance for low-income groups, but this is not the place to do it. As I had mentioned, other locations were not properly discussed, even in Culver City (Jefferson Blvd.). This is unfair to the neighbors in the area.
- 45) As per the RESOLUTION NO. 2007-P016 document, "traffic" has not adequately been addressed. Beethoven is way too busy for this proposed site, and too important of an artery for the excessive foot and auto traffic that will result from the function of this facility. IT IS NOT GOING TO BE LIKE A MOTEL, AS THE RESOLUTION ALLUDES. THIS SITE WILL BE MUCH MORE BUSY AS IT IS A DEDICATED SITE SET TO BE INHABITED AT FULL CAPACITY. THIS IS NOT THE CASE WITH THE MOTEL AS IT STANDS, OR ANY MOTEL. THIS IS A FALSE REPRESENTATION IN THE RESOLUTION CHARTER.
- 46) As per the RESOLUTION NO. 2007-P016 document, "D", access is not compatible. Putting the main entrance on Beethoven is a mistake, as I had mentioned earlier in this letter, because the street is way too narrow and way too busy.
- 47) As per the RESOLUTION NO. 2007-P016 document, how will Culver City stay on top of developments at the proposed facility? How will you be able to assess its effect on the neighborhood, besides direct feedback

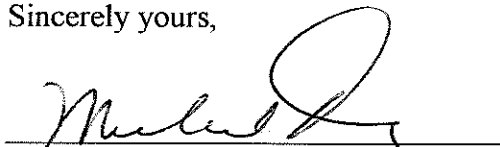
from the neighbors? This is not clear, and the set up looks problematic at best.

Please choose a better site for the Upward Bound project, or better yet, build a site specific facility for the Upward Bound people's sake and that of this or any other neighborhood. This effort is all together too clouded, and too rushed.

Again, more time is needed to evaluate this effort, for the many reasons mentioned above.

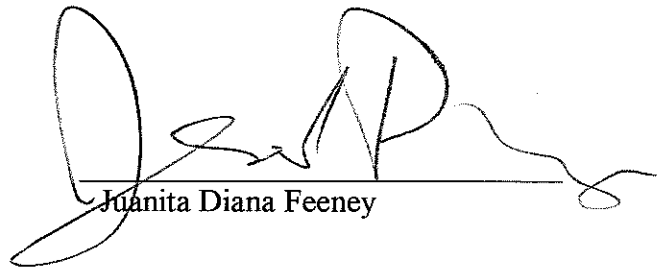
Thank you for your time.

Sincerely yours,



Michael Feeney
4054 Moore Street
Los Angeles, CA 90066-5118
310-822-7767

(yes, we are on the Culver City side of the street)



Juanita Diana Feeney

Thursday, October 25, 2007

Mr. Paul Samaras
C/o The Culver City Planning Division
Culver City Hall
9770 Culver Boulevard
Culver City, CA 90232
310-253-5706
paul.samaras@culvercity.org

RECEIVED
2007 NOV -8 PM 5:19

CITY CLERK
CITY OF CULVER CITY

*Earlier
letter
sent by
Mike
Geary*

Re: We attended the meeting for the Proposed Temporary Homeless-Families Shelter at SunBay Motel – (Located at Beethoven St. and Washington Boulevard)
And we are still AGAINST transitioning the structure to a homeless shelter.

Dear Mr. Samaras,

Like I had mentioned in an earlier letter, my wife and I are residents of Culver City, located two blocks away from the proposed transition site. We've been residents for about eight years. We understand the need for housing for the homeless, and we are sympathetic to their cause and need for support, so that people can get back on their feet. We have no problem with that part of the story – but, then, **THIS IS NOT THE MAIN ISSUE ON THE TABLE**. The Culver City Council should have identified this fact and directed the proceedings accordingly.

The issue that *should have been focused upon* is whether or not this the best place to put the proposed transition house for all parties concerned. That question was not aired with efficacy, and so, the meeting was a bust. **That's why we still say "NO"** to the transition house being installed on the corner. We do know that the area is depressed - right now, today - and we don't need more transient housing in this zone to aggravate the situation.

Beethoven and Washington, for one thing, is just a bad place for kids, fence or no fence, and the traffic is too heavy. The organization promised to add a facelift, 24-hour camera surveillance, drug testing, off-site screening, and a 9 PM curfew – but that doesn't speak well of the challenges that the residents will **REALLY** have to put up with. You see, the neighborhood is already *maxed out* with homelessness, and with difficult social dynamics, and the pressure is getting to be too much all by itself. The transition house is the wrong ingredient to add to the already exhausted neighborhood.

The direction of our neighborhood is not to become a laboratory for life repair. Everyone has a full plate already.

That's why I am very disappointed at the proceedings Wednesday evening (Oct. 24th). It wasn't a hearing; it was a lopsided, ineffectual waste of time.

The deck was stacked last night, at this meeting. The queue for citizens who wanted to voice their opinion was blatantly unfair, and totally imbalanced. The clock was ticking

for people to go home, to return to their lives, but we had to be subjected to several of the Upward Bound people, I guess because they got there earlier on, before many of the folks who actually live in the neighborhood arrived so they were much delayed in giving their two cents. What, was it a case of *first come first called*? That is wrong.

When the applause burst out by the time one woman finally got up to tell the council and the Upward Bound Entourage that the site selected isn't such a good idea – this told me that affairs were not on the level. There were plenty of people there that opposed the site transition, or at least wanted to know why they shouldn't oppose it.

Tell me, with the clock ticking, **don't you think that it would have been a good idea to have PRO and CON cards, so you can call people up alternately?** Also, why wouldn't you request a show of hands from the crowd assembled, prior to heading off the evening's proceedings, to see if they wanted to see a DVD presentation that is emotionally biased, and one that doesn't really address the real issues at hand? It's a question of time, efficacy, and balance of representation.

I feel slighted as a citizen of Culver City. It is my feeling that the hearing was amateurish at best. Really, what is the council's function, other than to listen? Shouldn't they take it upon themselves to guide the proceedings so as to achieve fair representation, as there was no doubt a full house in attendance last night.

I missed these questions, not to mention their answers:

Why this corner, when it's an auto haven? (I can guess that it's access to CC schools, the *Speedwash*, buses, fast food, and forcible community insertion, but that's not good enough. It was described as an "ideal" location, but ideal for whom? Not the locals.)

What about alternate locations in Santa Monica? Venice? What about other parts of Culver City? What are the secondary, tertiary, or quaternary choices for site locations? What's in it for Culver City, really? Are there any deals at hand for increased federal or state funding? CAFR?

What's in it for us – the neighborhood denizens - to take this program insertion upon our shoulders? What benefits do you offer the neighborhood denizens? Why would taking on more neighborhood pressure be a good thing for the neighbors when fair assessment of other locales has not been illuminated properly?

Why so soon for this transition deal? What's the rush (I am talking about the time it would take to make the correct evaluation, not a one-sided approach. It's understood that homelessness is a pressing issue.)?

What alternative location choices might better serve all parties involved?

What about the nearby empty lots that await development? What are CC's plans for their use?

Why not build a new structure?

Where were the Culver City Developers, to explain to the people present why this was the only site to consider?

What is the plan for the area, besides further concentration of the tax & sales base?

Don't you think the multi-unit concentration is already at an excessive level?

Why add more multiple unit dwellers?

Isn't the 99 Cent Store, the AA Meeting place, the parolee work furlough program, mobile homes, shopping carts full of trash, and heavy traffic enough for the neighborhood already?

One speaker in favor of the site mentioned that "we may never get another chance" at obtaining a location? What does that mean? Is that true? What is really substantiated?

We don't know. That's the problem. We have only been hit with the emotional need for the service, and not the *physical feasibility* of the proposed program's site selection.

We don't have to be reminded of the fact that homelessness is real. We see it every day. I walk my dogs every day, dodging human feces and derelict shopping carts. Broken down trailer homes roll in over night just about every other week, and they are not especially nice to have around in a residential zone. We have to fight to keep ourselves from homelessness, as we are paying rent or mortgages on our property, and it's tough to make the payments – but we do it. That is not the issue.

The issue is: it's too much. Your convenience is not our goal, but rather, Culver City or Los Angeles County should do more open up other more suitable sites.

How about:

3861 Vinton Ave

Los Angeles, California 90034

County: Los Angeles

No. Units: 26

(Welcome to One of Many Properties on LoopNet)

or

4212 Overland

Culver City, California 90230

County: Los Angeles

No. Units: 4

9051 Hubbard St.

Culver City, California 90232

County: Los Angeles

No. Units: 5

6059 BRISTOL PY

CULVER CITY, California 90230

County: Los Angeles\

Primary Type: Office

Office Building

Building Size: 12,000 SF

Price: \$4,740,000

9540 WASHINGTON
Culver City, California 90232
County: Los Angeles

5936 WASHINGTON
Culver City, California 90232
County: Los Angeles

4000 Madison (Corner of Culver and Madison)
4000 Madison
Culver City, California 90230
County: Los Angeles

Certainly, companies like *Cwift Appraisal* might have a number of building sites that might be suitable for conversion in Culver City – to give but one example.

http://www.cwift.com/Service_Area/CA/California/Los_Angeles/Culver_City.asp

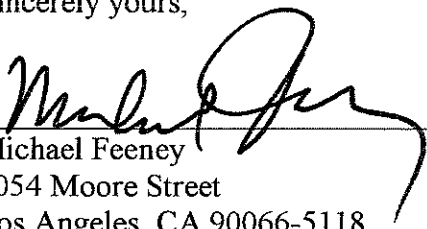
There are plenty of other Real Estate agencies that service the CC area as well.

Help us out here, will you? Why did, and should the City Council member just not sit there, and shouldn't they be prepared and bring ideas to the table as well?

That's "no" to the proposed site. We don't need to have our emotions manipulated; we need facts, to help us, and Upward Bound as well. Like we say, we are open to the idea of Upward Bound doing their good work, but what might be more suitable for both parties? That's the issue.

Thank you for your time.

Sincerely yours,


Michael Feeney
4054 Moore Street
Los Angeles, CA 90066-5118
310-822-7767

(yes, we are on the Culver City side of the street)

Juanita Diana Feeney

Tuesday, October 23, 2007

Mr. Paul Samaras
C/o The Culver City Planning Division
Culver City Hall
9770 Culver Boulevard
Culver City, CA 90232
310-253-5710
paul.samaras@culvercity.org

2nd Earlier
letter
sent
by
Mike
Feine

Re: We are **AGAINST** the Proposed Temporary Homeless-Families Shelter at
SunBay Motel – (Located at Beethoven St. and Washington Boulevard)

Dear Mr. Samaras,

My wife and I are residents of Culver City, located two blocks away from the proposed site. We understand the need for housing for the homeless, and we want to see our fellow denizens find shelter, however, this zone is already full! This is not a case of “not in my backyard,” but rather, “my backyard’s full already, how about someplace else?”

We have great reservations about the proposed re-designation of this property because we are already dealing with a load of transients, whether they move on foot or in motor homes. There are two schools on either side of us, and the noise and the graffiti is just about as much as we can handle.

Basically, setting up a Homeless Families Shelter nearby would not do the neighborhood well for the following reasons:

- 1) There is already an AA meeting hall, and a 99 Cent store, and a work-furlough business for parolees in the immediate neighborhood. We don't need more foot traffic that would block the flow of regular traffic.
- 2) We don't need more crime in the area, a side effect that is sure to follow the increased influx of people coming around – with dispositions of want.
- 3) No significant renovations are planned for this rundown Motel.
- 4) It will house 16 parents and up to 64 children in 16 small rooms
- 5) There are no cooking facilities planned for this motel.
- 6) All children will be enrolled in and attending Culver City Schools.
- 7) There aren't enough appropriate facilities for children to play on the premises.
- 8) The intended stay for these families is 90 days, creating a constant flux of indigent tenants. This will lead to more crime in the area.
- 9) The motel is on a major commercial corridor badly in need of rehabilitation.
- 10) As I had already mentioned, there is an AA and a 99 Cent store nearby, and we don't need any more parolees, or transients.
- 11) The non-profit that is initiating the project (Upward Bound) is very reputable, but the proposed project is significantly different from their existing Santa Monica Facility (That facility has twenty-two, one-bedroom apartment building units

located on a side street that's occupied by needy families for 9-12 months). This arrangement has not been undertaken before – and frankly we don't desire to be part of an experiment with the level of taxes we're paying.

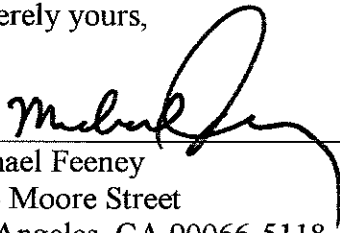
Look, it's getting very gritty and dense here right now, especially with the increasing number of living units being put in on Glencoe, and Redwood. The dust and grime is getting to be a breathing hazard. We don't need any greater concentration of activity in this relatively tight zone. Move in, move out, move in, and move out. That pressure is going to become a huge drag – especially on Beethoven which is an unusually narrow street for traffic as it is.

We need a break from this housing experiment. Can't Santa Monica find someplace else? Why would Culver City take this on any way?

This whole deal looks to be untenable. We say NO.

Thank you for your time.

Sincerely yours,



Michael Feeney
4054 Moore Street
Los Angeles, CA 90066-5118
310-822-7767

(yes, we are on the Culver City side of the street)

Juanita Diana Feeney

11-08-07

Addition Residents
That are Part of The Sunbag
Conversion

Appeal

APPEAL

EFFORT

CUP

2007-11

- 1 by Mike Feeney - Culver City Resident
- 2 Hans the Baker
- 3 Gary the cleaner / Barouet
- 4 Lupe the hairdresser
- 5 Beta business owner
- 6 Donna neighbor
- 7 Tom + Barbara residents
- 8 Mario Condo owner
- 9 Richard Heller Gallery
- 10 David + Bethy Moore
- 11 Erica Horstmeier
- 12 Frederick Rosenberg
- 13 Mark business + Culver City resident

LETTER FROM
RESIDENT ON
LYCEUM. RE: SUNBAY

http://bl111fd.bl111.hotmail.msn.com/cgi-bin/getmsg?msg=A6A...

PAGE
1 of 2

MSN Home | My MSN | Hotmail | Shopping | Money | People & Chat | [Sign Out](#) Web Search: Go



CAPELLA UNIVERSITY
FREE UNIVERSITY GUIDE

23 doctoral specializations,
all focused on advancing your career.





Hotmail

Today

Mail

Calendar

Contacts

Options | Help

feeneymike@hotmail.com

Free Newsletters

Reply | Reply All | Forward | Delete | Junk | Put in Folder | Print View | Save Address

From : Richard Heller <hellergallery@earthlink.net>
Sent : Thursday, November 8, 2007 5:58 PM
To : "M Feeney" <feeneymike@hotmail.com>
Subject : Re: 12841 Washington Blvd - Sunbay Motel conversion to Emergency Shelter

| | | | Inbox

Hi Mike,

I think that if they try to put this project in place we should demand the following of the city:

24 hour physical security.
No more than two to a unit. (we should check into what the current max occupancy rate is and it should not be exceeded) Fire Hazard?
A hedge rather than a huge iron fence, something less unsightly.
No parking on out streets.
Any other ideas that we have to lessen the impact on our neighborhood.

Hopefully there is still time to stop the project. Culver City is really foisting this on a Los Angeles neighborhood.
I am sure it is much easier for them to do this in our neighborhood than near their own downtown where their own constituents might complain.

Best,
Richard Heller

On Nov 7, 2007, at 9:00 PM, M Feeney wrote:

Thanks for your call, Richard. I'll try my best.
-Mike Feeney
4054 Moore Street
LA, CA 90066-5118
310-822-7767

From: "Samaras, Paul" <paul.samaras@culvercity.org>
To: <feeneymike@hotmail.com>
Subject: FW: 12841 Washington Blvd - Sunbay Motel conversion to Emergency Shelter Date: Wed, 7 Nov 2007 17:17:27 -0800

Hello Mr. Feeney,

I've attached a copy of the draft resolution presented to the Planning Commission on October 24. We are currently making changes to this document to reflect two additional conditions required by the Commission. The two additional conditions require a) a periodic review of the facility's operations by City Staff and b) a maximum 90-day stay for the facility's residents. Also attached is a copy of the facility's rules and requirements (Exhibit A of the resolution), and a copy of the planning application form. Please note that the appeal fee for a

FROM:
Resident
Richard
Heller

Re
appeal.
re:
Sun Bay 7
Motel
Transition

PAGE
2 of 2

conditional use permit reviewed by the Planning Commission is \$1,505.92.

In addition to filling out the application form, include a separate statement/letter explaining in detail the reasons for the appeal application. The deadline to file an appeal for this project is November 8, 2007.

Sincerely,

Paul Samaras

Associate Planner

Planning Division

Culver City

You keep typing, we keep giving. Download Messenger and join the i'm Initiative now. <http://im.live.com/messenger/im/home/?source=TAGHM>
<12841WashingtonBlvdraftResolution.pdf><12841WashingtonProgramRules.pdf><ProjectApplication.doc>



| | | | Inbox

Get the latest updates from MSN

[MSN Home](#) | [My MSN](#) | [Hotmail](#) | [Search](#) | [Shopping](#) | [Money](#) | [People & Chat](#)

[Feedback](#) | [Help](#)

© 2007 Microsoft TERMS OF USE Advertise TRUSTe Approved Privacy Statement GetNetWise Anti-Spam Policy

- #1 Stated square footage is incorrect
It is 8370 sq not 7763 sq
4 people to a room too many
- #2 Negative Impact to existing businesses
- #3 Negative Impact to community - neighbors
- #4 Insufficient Parking
No schools
No apartments not motel
- #5 Inadequate staffing
- #6 Wrong place for this
Traffic
Narrow Street
Major artery
Established business already there
uses
- #7 Not consistent with general plan or adjacent land uses
- #8 Not a neighborhood asset
- #9 No clear upon security provided for the neighborhood
- #10 Detrimental to the Health, safety + general welfare of the neighborhood
- #11 We the neighbors want to have conditions applied. Like less people
- #12 As a former neighbor of St Joseph Center they have not been a good neighbor
more parking + many many more

Tuesday November 8, 2007

P-2007112

PAGE
2 OF 5

Appeal of Planning Commission approval re conversion of the
Sun Bay Motel

A Not sure it is true

B Not consistent

C { The 18 rooms are in 6370 #, not 7763

{ There are presently 16 parking spaces only.

Not compatible with the multi-family neighborhood and
nearby commercial uses. The business nearby will not derive
income (revenue) nor customers from this use. This will be
a hardship on the businesses.

The parking will be a major problem. Where will the food
trucks park? Where will deliveries park? Where will the
people park? Where will the staff park?
Where will the children play?

There will be excess noise, parking problems, traffic added
and crime that will be a major impact to the neighbors.

D This site is not physically suited for the type + intensity
of use. Access is bad.

Not compatible with adjoining land uses, shape size
and there are physical constraints.

The site is not physically suited for the proposed use.
Beethoven busy street. Major artery. Street narrows at the
motel. Traffic is horrendous.

Does not meet parking requirements. 3 month stay is an
apartment versus a motel 1-2 night stay.
4 people to a room for a long period of time.

No play area for children

Not compatible - Will not promote business for the adjacent business.

#E It will be detrimental to the public interest, health, safety & general welfare & could be injurious to persons, property or improvements in vicinity & zoning district in which the property is located. There will be significant traffic, parking, noise and crime impacts.

Culver City has not assigned Police at this corner & we need 2 Culver City Police. The businesses have requested help from Culver City with the problems in the area right now and have not been helped. We need a patrol in that area. We also need a clean up crew when they start their operation.

We need rules & a place for the clients to go if they are declined help. As these clients were on the street and in the cars we don't want them remaining in our neighborhood because they have no place to go. Can they go to the Methodist Church & the Christian Alliance? We will need their address.

The businesses on the block will lose clients & suffer hardships & Culver City will lose tax revenue. This shelter will not generate business for the businesses. The businesses need to make a living so they can pay their taxes so you can give the money to the social programs.

We will not know which clients are parolees (armed robbery, petty thieves), sex offenders, wife beaters or the wife of one, gang member etc.

We have 2 elementary schools & one high school within blocks of the Shelter.

Tom & Barbara Gibson
310-823-7028
residential owner

October 24, 2007 November 8, 2007

Attn: Paul Samaras PAGE 40

CUP 2007112

Dear Planning Commission

I am writing to express my opposition to the emergency family shelter at Beethoven & Washington at the Sun Bay Motel.

The site is inappropriate for children as there is no place for them to play as there is an alley & a busy intersection. There is lots of traffic there as Beethoven is one of our major streets to Santa Monica or even to turn left onto Washington Blvd. Also you have a photo signal there so a lot of slamming of brakes & near miss accidents.

There is a liquor store in that block so there is a potential for fights & drunkenness.

Also if there are teenagers who is going to drug test them. Are these people going to have a licensed or a licensed security guards posted one on site & another roaming the neighborhood to protect the neighbors or are the Culver City Police going to have a sub station there? These units are going to have up to 4 people & there are no kitchens. This will be very transient & not good for a neighborhood. Who will be monitoring all of this.

We have 3 schools nearby
Venice High School 2 Blocks
Beethoven Elementary 5 Blocks
Short Avenue Elementary 2 Blocks

While Washington Blvd is Commercial all around it. Residential homes & condominiums & apartments for the sake of our children in the neighborhood & our elderly please do not put this in our neighborhood. It should be where the residential neighborhood is not

impacted.
 we already have a caravan of campers that are parked
 behind the 99 & store. This is thanks to Bill Broadahl,
 our Councilman who the rumor has it has invited all the
 campers from all over California to come to Venice & I
 guess now that Venice is getting tired of being dumped
 on Mar Vista is the next area.
 This entire operation is going to hurt people in the
 neighborhood & the people's quality of life will be
 jeopardized. We are entitled to a quiet, safe place
 to live.

Do we know who the pedophile's are?
 Do we know who the mentally ill are?
 Do we know which women will be hiding
 from a man who is aggressive & beats her up or
 wants to beat her up?
 Do we know who the alcoholics are? The liquor store
 is down the block
 Do we know who the drug addicts are?
 Do we know who the gang members are?
 Do we know who the adults & their dependents?
 will there be drug testing for adults & their dependents?

Please don't grant this conditional use permit
 also that wrought iron fence is not going to make
 that place enhance the neighborhood.
 I thought Culver City was doing a revitalizing
 of the neighborhood. This will only cause more
 deterioration.

Sincerely Gibson
 Barbara
 310-823-7028
 Alla Road Resident

Calver City Planning Division
To Whom It May concern:

11/8/07
C4P 2007112

PAGE
1 OF 2
(SEE
back)

I attended and spoke at the unbelievably
one sided city council meeting regarding the transition
of the Sunbay 7 Motel. We endured a video, kids
to pull at the heart strings and many church
people from Santa Monica.

I have worked on this block for over 25
years. This is an incredibly challenged area in
due need of repair. We were promised by CC
planning that "The New Calver City" would extend
all the way to Lincoln. Nothing has changed!
We got a 99¢ store. We have a work for/argh
program. My concerns are many but I'll
condense. 1) As a business person, how can this
help our business increase? Who would want to open
a new business near an empty lot and a homeless
shelter? 2) The devaluation of property. There is
no way this could increase property value. 3) The
homeless problem is already out of control. People
(turn over)

Sleep in Winnebago's, mini vans, wrecked cars, etc
 all over this neighborhood. Not to mention the
 public ~~usage~~ urinals in the alleys and surrounding
 areas. Ugliness breeds ugliness. Please understand
 there are other areas that can handle this.
 How about on Jefferson, east of Daquesne where
 there are huge lots that can handle kids playing.

Sincerely,

Gary Thorken

Donations to
 Appeal

are: Gary Thorken (Baronet Cleaners)
 Hans Rockenwagner (Rockenwagner Bakery)
 Marathon Rent a Car
 Sage Salon
 MAXIMO Salon

City of Culver City, California
Planning Commission Agenda Item Report

Meeting Date: October 24, 2007	Item Number: <u>PH-2</u>
AGENDA ITEM: Conditional Use Permit to Allow Conversion of an Existing Motel into an Emergency Family Shelter on Property Located at 12841 Washington Boulevard.	
Contact Person/Dept.: Paul Samaras	Phone Number: (310) 253-5706
Public Hearing: ☒	Action Item: ☐ Attachments: ☒
Public Notification: On October 2, 2007, notices were mailed to all the property owners and occupants within a 300-foot radius of the site, extended to the end of City block and the notice was emailed to the Master Notification List.	
Planning Approval: Thomas Gorham, Planning Manager 10/11/07	
<u>RECOMMENDATION:</u> That the Planning Commission: 1. Adopt a Negative Declaration based on the Initial Study finding that the project will not have a significant adverse impact on the environment (Attachment No. 4); 2. Approve Conditional Use Permit, CUP P-2007112, subject to the Conditions of Approval as stated in Resolution No. 2007-P016 (Attachment No. 5); <u>PROCEDURES:</u> 1. Chair calls on staff for a brief staff report and Commission poses questions to staff as desired. 2. Chair opens the public hearing, providing the applicant the first opportunity to speak, followed by the general public. 3. Chair seeks a motion to close the public hearing after all testimony has been presented. 4. Commission discusses the matter and arrives at its decision. <u>BACKGROUND:</u> <u>Request</u> The proposed request is a Conditional Use Permit, CUP P-2007112 to allow conversion of an existing two-story, 7,763 square-foot motel into an emergency shelter for families with children. The project site for this application is located at 12841 Washington Boulevard in the Commercial General (CG) zone.	
Page 1 of 10	

City of Culver City, California
Planning Commission Agenda Item Report

General Information

See Attachment No. 1, Project Summary

Existing Conditions

The project site located at the northeast corner of Washington Boulevard and Beethoven Street is approximately 10,780 square feet (107'8" x 100') in area. The existing use on the site is a motel business consisting of two detached two-story buildings. Attachment No. 6 contains a site plan (Sheet A100) illustrating the building locations, the parking and landscaping. A 17-foot wide alley runs along the north property line, which separates the site from multiple-family residential uses in the City of Los Angeles to the north. The uses east of the site are primarily neighborhood commercial businesses, including a bakery, a dry-cleaning establishment and a hair salon. South of the site (across Washington Boulevard) is a fast-food restaurant and an automotive repair business, and west of the site is a car rental business and a medical supply store.

Project Data

The proposed project consists of remodeling the existing buildings without increasing their floor area. The existing 18 motel rooms in the main building will be converted into units for the homeless families. Up to two adults and two children will occupy each unit. The second building will contain two units for the onsite management and security staff. In addition, the manager's building will have a community room with a small library and computer stations, and a separate meeting room. The two buildings together measure approximately 7,763 square feet (of which 3,519 s.f. on the first and 4,244 s.f. on the second floor). The project will provide 11 parking spaces, including one handicap accessible space and one loading space, and two bicycle parking spaces. The site currently has 470 square feet of landscaping, primarily adjacent to the manager's building, but also between the parking area and the main building. The project involves the addition of 279 square feet of landscaping along both property frontages and in the site interior. The new landscaping along Washington Boulevard will replace the existing driveway, which will be closed as part of the project. Two access points to the site will remain, one along Beethoven Street and one along the alley.

The applicant has provided an Executive Summary (Attachment No.7) that explains in detail all aspects of the proposed project.

City of Culver City, California
Planning Commission Agenda Item Report

DISCUSSION:

Land Use and Zoning

The proposed project is consistent with the zoning designation and the General Plan designation for the area. The project site is located in the Commercial General (CG) zone and has a General Corridor General Plan Land Use designation. An emergency family shelter is a permitted use in the CG zone upon approval of a Conditional Use Permit.

In addition to the zoning designation, the proposed project is consistent with the City's General Plan. Objective 3 of the Land Use Element of the General Plan regarding affordable housing, states that the City should "encourage the provision of housing opportunities for all members of the community." Further, Policy 3.B of this objective states that the City should "provide housing assistance programs for moderate-, low-, and very low-income groups." The proposed emergency shelter for homeless families with children aims to fulfill the above objective, by providing temporary housing opportunities to an ignored segment of the community. The proposed shelter implements the above policy (3.B) through use of a non-profit organization's housing assistance program. In addition, the City's Housing Division supports emergency shelter facilities, such as the one proposed by Upward Bound House. This type of housing helps to meet the Division's goal of enhancing access to affordable decent, safe and healthy housing for all income levels especially those that are most vulnerable. An emergency housing facility, such as the one proposed, will help to remove families with children off the street and place them in a secure, safe, and healthy supportive housing environment where they will have twenty-four (24) hour access to supportive services that will assist in removing the barriers that cause their homelessness.

Architectural Design

The existing buildings onsite have a simple architectural style. The building exteriors consist of flat, plaster covered walls and mansard style tile roofs. The maximum building height is 21 feet. The proposed project will make some improvements to the buildings' exterior. One of the changes is a new metal and wood screen that will be installed on the second floor of the manager's building that will cover a portion of the building façade along Washington Boulevard. The other changes include repainting, minor repairs and removal of existing signs. The site currently has a pole sign at the southwest corner of the site and a roof parapet wall which has previously served as a sign area. At the request of staff, the applicant will remove both of these features. No new signs are proposed for

City of Culver City, California
Planning Commission Agenda Item Report

this site. The project will not contain signage as the project is a residential facility.

Landscaping and Walls

The site currently includes 470 square feet of landscaping at the ground level, which is located in planters along the Beethoven Street and Washington Boulevard frontage and between the main building and the parking area. These landscape planters vary in width from two to six feet. A new landscape planter will be located along the Washington Boulevard frontage between the two buildings onsite. Additional planters will be installed on the east side of the manager's building and next to the main building adjacent to the stairs leading to the second level. Finally, new planters will be installed between the main building and the Beethoven Street frontage. These planters will be sufficient in size to allow planting of vines that will be trained to cover the west elevation of the main building. The new planters will add approximately 279 square feet of landscaping which will bring the total landscaped area to 749 square feet.

Due to the poor condition of the existing plants, the applicant will remove all the existing plants and re-design the landscaping of the entire site. The proposed plant material is shown on the preliminary landscaping plan attached to this report (Attachment No. 6). The applicant will be required to submit a final landscape plan to the Planning Division for review prior to the issuance of building permits for this project.

The project also involves replacement of an existing 6-foot high chain link fence along the alley with a wrought iron fence. The fence will serve to enclose existing electrical service equipment and a children's play area proposed as part of the project. A new four-foot wrought iron fence will be installed along Washington Boulevard and Beethoven Street with a pedestrian and vehicular gate to provide better control of access to the site. The new fence will meet the Zoning Code fence height requirements, it will be an improvement on the existing fencing, and will help make the facility more secure.

Parking

The project parking meets the parking requirements of the Zoning Code for emergency shelters, including the total number of vehicle and bicycle spaces, the dimensions of those spaces, and the drive aisle width. The project is required to provide six standard parking spaces, one for every three resident units. The project instead will provide 11 parking spaces. Those spaces include six spaces

City of Culver City, California
Planning Commission Agenda Item Report

for the facility resident units (18 units), three spaces for the two onsite manager units, one space for the office in the manager's building, a loading and a handicap accessible space. The loading space use is limited to the hours between 10 AM and 4 PM, which allows its use as a parking space for residents at night and early morning. The loading space is 18' x 8'6", which can accommodate small trucks; larger trucks are not anticipated to be used for the project. An emergency parking area is identified onsite at the request of the Fire Department to ensure that it remains clear for use by emergency vehicles. Two bicycle parking spaces are provided next to the main building close to the Washington Boulevard frontage.

Due to the nature of the proposed use, the need for parking is reduced compared to the existing motel business. Residents of emergency shelters tend not to own personal automobile vehicles. Furthermore, the proposed shelter meets the number of parking spaces required by the Culver City Zoning Code (one per three residents units). However, to ensure that the facility's operation does not create a parking problem, the proposed resolution includes a condition limiting the number of families residing at this facility that own personal vehicle. The facility operator shall be responsible for screening potential residents to ensure that the number of vehicles owned by the residents and the staff does not exceed the number of parking spaces available.

Traffic and Circulation

The proposed family shelter is not anticipated to generate more traffic than the existing motel use. The applicant has indicated that its existing clients and the overall homeless population does not own as many personal vehicles as the general population. The applicant has indicated that its clients make regular use of public transportation, thereby limiting the traffic generated from these uses. In addition, the applicant has indicated that bus tokens are provided for its clients to facilitate the use of buses, and a bus stop is located directly in front of the subject site. As a result, the traffic generated by the proposed use is not expected to exceed that generated by the existing motel.

Primary access to the site will be provided via a two-way driveway on Beethoven Street, which will allow left and right turns in and out of the site. A second driveway along Washington Boulevard will be closed to provide space for the required van accessible handicap parking space and the bicycle spaces. The closure of this driveway and curb cut will eliminate a pedestrian circulation conflict and provide additional landscaping along Washington Boulevard. Three of the existing parking spaces onsite will continue to be accessed via the alley along the north side of the property.

City of Culver City, California
Planning Commission Agenda Item Report

Circulation on the site will be provided via a 27-foot wide drive aisle, which will allow vehicles to maneuver adequately in and out of parking spaces. In summary, the proposed family shelter is not anticipated to have significant traffic or circulation impacts. The circulation on and off the site is adequate and the traffic generated will be limited.

Area Compatibility

The design and appearance of the site will not change substantially as a result of the emergency shelter. The two existing buildings will remain in place, as will the parking and landscaping areas. Improvements to the parking area, repainting of the buildings onsite, the addition of landscaping, the replacement of the existing fencing and the removal of the existing pole sign will improve the appearance of the site and make it more compatible with the neighboring uses. The emergency shelter will be compatible with the multiple-family neighborhoods and the nearby commercial uses in that it is a use similar to the existing motel. In addition, the shelter operations, its rules and requirements, and the conditions of approval will ensure that parking, traffic, noise, and crime impacts will be minimal, and thus the proposed shelter operations as conditioned will be compatible with the existing and future lands uses.

Operations

Upward Bound House is a nonprofit organization that provides transitional and emergency housing to homeless families and low income seniors. Its sources of funding include private donations and government funds. The primary sources will be local governments (including the cities of Los Angeles, Santa Monica and Beverly Hills) and the Los Angeles County. Additional funding sources include the State and Federal government, private foundations, and contributions of corporations and individuals. Five government-funding sources audit the organization through reports and on-site visits, however, they are not the primary regulatory agencies for the shelter.

Primary responsibility for regulating the proposed shelter rests with the City of Culver City. Therefore, the operations of the emergency shelter will be regulated by Culver City Municipal Code, which includes the zoning code and the standards of the CG zone for emergency shelters, the Building Code, the conditions of approval that the Planning Commission may impose on the project, and the Upward Bound House program rules and requirements (which are part of the proposed resolution of approval).

City of Culver City, California
Planning Commission Agenda Item Report

The operations of the proposed shelter are designed to minimize any impacts to the nearby community and to assist the residents in reaching financial stability and finding permanent housing. The goal of the Upward Bound House program is to find permanent housing for these residents within 60 to 90 days.

The shelter's residents will typically be families with small children. They are usually referred to Upward Bound House by other non-profit or governmental agencies that work with the homeless. Upward Bound House staff initially screen and then interview applicant families prior to selecting them. The selection/intake process will not take place on the subject site. Intake activities will take place at the facilities of referral agencies. The proposed resolution includes a condition prohibiting the applicant from conducting intake activities at the site. Families that are selected will agree to follow the facility's rules and requirements, violation of which results in termination from the program. The rules and regulations are attached to this report (Attachment No. 7). The rules include provisions regarding the behavior of adults and children, proper maintenance of the residents' units, and rules regarding noise and trash. The proposed resolution includes a condition requiring the applicant to enforce these rules and requirements. Any changes to these rules shall be reviewed and approved by the Planning Manager prior to taking effect. In response to input from staff and the public, the applicant has indicated that a maximum of 55 residents will be served by the facility at any one time (an average of three per unit).

Children will have access to two recreation areas on the site, one of which will be outdoors between the main building and the alley. This play area will be enclosed with a six-foot wrought iron fence and will be configured with a soft impermeable surface over the asphalt paving and a canopy to provide shade for children and adults using the area. A second recreation area was added to the plans at staff's request and in response to input from the residents at a community meeting. A community room will be located on the first floor of the manager's building, which will have a small library and computer stations for the facility residents. Facility staff will make arrangements for children to attend local schools during their stay at the shelter. This will include bus tokens and agreements with other agencies that can provide transportation to needy populations. Children will be supervised at all times and all residents will be subject to a 9:00 PM curfew nightly.

Adults will be required to meet with their case managers daily to help them find permanent housing and jobs if they are unemployed. They will also be required to participate in 'welfare to work' programs to help them achieve financial stability. In general, the program staff will work closely with the residents on a daily basis to ensure that residents find permanent housing and achieve self-

City of Culver City, California
Planning Commission Agenda Item Report

sufficiency. At the same time the facility operations and rules help to minimize any negative impacts to the neighbors.

The residents will not have full kitchens in their units and cooking will not be permitted in them. The units will have a mini-refrigerator to store perishables and a microwave oven for heating the meals delivered by staff. Upward Bound House has an existing pantry (food storage) at their facility in Santa Monica and it works with a lot of organizations and businesses that will donate food for the Culver City facility. Staff will prepare three meals a day at the Santa Monica facility and will distribute them to the residents in the Culver City facility. Furthermore, case managers will link the residents to other food distribution resources and government food programs to help supplement those meals.

Safety and Security

Upward Bound House will use various means to secure the facility and ensure will not be a nuisance to the neighborhood. First, the facility will be completely enclosed by a wrought iron fence. The fence will be four feet tall along the property frontage on Washington Boulevard and Beethoven Street and six feet tall in the rear portion of the property along the alley. The fence will have secured pedestrian gates along Beethoven Street and the alley. An automated vehicular gate will be installed at the Beethoven Street entrance. A security gate has been proposed at the project staff parking area at the rear of the lot to ensure that it does not create nuisance conditions adjacent to the alley. Security cameras will complement the fencing. Cameras will be installed throughout the site to effectively monitor access in and out of the property. In addition to the fencing and security cameras, Upward Bound House staff will be onsite 24 hours a day to monitor the residents, provide security, and enforce the facilities rules and requirements.

The facility rules and requirements are an additional means of securing the residents and ensuring that they will not be a nuisance to the neighbors. The facility has a set of strict rules of conduct, violation of which can result in termination from the program. The rules include, but are not limited to: 1) prohibiting outside visitors without the prior written permission of the case manager, 2) prohibiting visits of residents to other residents' units, 3) a 9:00 PM nightly curfew, 4) requiring residents to sign in and out whenever they leave and return to the facility, 5) prohibiting violence or threats of violence, use of profanity with staff, and use of drugs or alcohol. Finally, staff can perform inspections of the resident units and drug tests without prior notice. A full copy of these rules is included in the Upward Bound House Executive Summary attached to this report

City of Culver City, California
Planning Commission Agenda Item Report

(Attachment No. 7). Overall, the facility operations will help ensure the security of its residents and that of the nearby neighbors.

Community Meeting

During the application review period, Planning Division staff asked the applicant to hold an informational community meeting for the neighbors living near the project. The applicant held a meeting on September 20, 2007, at the Culver Park West building. Attachment No. 8 is summary of the meeting attendees' questions and comments. In response to the input from the community and City staff, the applicant has indicated that an advisory body may be formed after the shelter begins its operations. This body will be composed of Upward Bound House staff, neighborhood residents and other stakeholders, and its purpose will be to provide input and feedback on the facility operations on a regular basis.

Written Comments

Staff has received written comments from the public on the proposed project. Those comments are attached to this report (Attachment No. 9).

ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) guidelines a Negative Declaration has been prepared; the project has been determined to have less than significant impacts on the community.

CONCLUSION:

Based on the above analysis staff believes the findings for a Conditional Use Permit can be made as outlined in proposed Resolution No. 2007-P016 (Attachment No. 5).

City of Culver City, California
Planning Commission Agenda Item Report

ALTERNATIVE OPTIONS:

The following alternative actions may be considered by the Planning Commission:

1. Approve the application with the recommended conditions of approval if the application is deemed to meet the required findings.
2. Approve the application with additional or different conditions of approval, if deemed necessary to meet the required findings and mitigate any new project impacts identified at the meeting.
3. Disapprove the application if it does not meet the required findings.

ATTACHMENTS:

1. Project Summary
2. Area Map
3. Aerial Photo
4. Draft Initial Study/Negative Declaration dated October 2, 2007
5. Resolution No. 2007-P016 (CUP P-2007112)
6. Development Plans Date Received October 11, 2007
7. Upward Bound House Executive Summary and Program Rules
8. September 20, 2007 Community Meeting Summary
9. Written Comments

PROJECT SUMMARY

APPLICATION TITLE & CASE NO:	
Conditional Use Permit, CUP P-2007112 to allow conversion of an existing 2-story, 7,763 square foot motel into an emergency family shelter on property located at 12402 Washington Place in the Commercial General (CG) Zone.	
PROJECT ADDRESS/LOCATION:	APPLICANT INFORMATION:
12841 Washington Boulevard Culver City, CA 90066	David Snow – Upward Bound House 1104 Washington Avenue Santa Monica, CA 90403 (310) 458-7779
PERMIT/APPLICATION TYPE:	
☐ Administrative Use Permit ☒ Conditional Use Permit ☐ Administrative Site Plan Review ☐ Site Plan Review ☐ Administrative Variance ☐ Variance ☐ Master Sign Program ☐ Certificate of Appropriateness ☐ Certificate of Exemption ☐ DOBI	☐ Tentative Parcel Map ☐ Tentative Tract Map ☐ Lot Line Adjustment ☐ Zoning Code Amendment - Text ☐ Zoning Code Amendment - Map ☐ General Plan Amendment - Text ☐ General Plan Amendment - Map ☐ Planned Unit Development ☐ Specific Plan ☐ Other:
APPROVAL BODY: ☒ Public Hearing ☐ Public Meeting ☐ Administrative	
☐ Administrative ☒ Planning Commission ☐ City Council	☐ Redevelopment Agency ☐ Other:
ENVIRONMENTAL DETERMINATION AND NOTICING:	
CEQA Determination	☐ Categorical Exemption, Class ☒ Negative Declaration or ☐ Mitigated Negative Declaration ☐ Environmental Impact Report, Type: _____
CEQA Noticing	☐ Notice of Exemption (w/in 5 days of decision) ☒ Notice of Intent to Adopt (21 days prior to decision) ☒ Notice of Determination (w/in 5 days of decision) ☒ Fish & Game Certificate of Fee Exemption (w/in 5 days of decision) ☐ Notice of Preparation ☐ Notice of Availability ☐ Notice of Completeness

PROJECT SUMMARY

PUBLIC NOTIFICATION:		
Mailing Date: 10/2/07	☒ Property Owners ☒ Occupants ☐ Adjacent Property Owners & Occupants	☐ w/in 300' foot radius ☒ w/in 300' foot radius / Extended ☐ Other:
Posting Date:	☐ Onsite ☐ Offsite	☐ Other:
Publication Date:	☐ Culver City News	☐ Other:
Courtesy Date: 10/2/07	☒ City Council ☒ Commissions ☒ Master Notification List ☐ Culver City Website ☐ Cable Crawler	☐ Press Release ☒ HOA /Neighborhood Groups ☐ Culver City Organizations ☒ Other: Chamber of Commerce, Tom Camerella, Marta Zaragoza, & Downtown Business Association.

GENERAL INFORMATION:	
General Plan General Corridor	Zoning Commercial General (CG)
Redevelopment Plan Area #4	Overlay Zone/District NA
Legal Description LOT 46, 47, 48 AND 49 OF TRACT NO. 5951, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 77 PAGE 72 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY	Existing Land Use Motel

ADJACENT ZONING AND LAND USES

<u>Location</u>	<u>Zoning</u>	<u>Land Use</u>	
North:	LA/Residential	Multiple family residential	
South:	CG	Fast food and auto-repair	
East:	CG	Dry Cleaners and hair salon	
West:	CG	Car rental and medical supply store	
<u>Project Data</u>	<u>Existing</u>	<u>Proposed</u>	<u>Required/Allowed</u>
Lot Area	10,780 S.F.	10,780 S.F.	N/A
Building Coverage:	3,519 S.F.	3,519 S.F.	No max.
Landscaped Area:	470 S.F.	749 S.F.	No min.
Dwelling size:	None	N/A	N/A
Density:	N/A	N/A	N/A

PROJECT SUMMARY

<u>Project Data</u>	<u>Existing</u>	<u>Proposed</u>	<u>Required/Allowed</u>
Parking:			
Standard	16	6	6 (one per three residential units)
		1 (1 st floor manager's studio)	0
		2 (2 nd floor manager's apt)	0
		1 (office area)	0
Tandem	0	0	0
Handicapped	0	1	1
Loading	0	1	1*This space also serves as a standard parking space
Total:	16	11	6
Building Height:	21 feet	21 feet	56 feet max
Building Setbacks:			
Front	2'5"	2'5"	0'
Rear	3'7"	3'7"	0'
Side (North)	9'8"	9'8"	10' to mid-alley
Side (South)	2'3"	2'3"	0'

ESTIMATED FEES:

☐ New Development Impact: <u>N/A</u>	☒ School District: <u>TBD</u>	☒ Plan Check: <u>TBD</u>
☐ In Lieu Parkland:	☐ Art: <u>N/A</u>	☒ Sewer: <u>TBD</u>

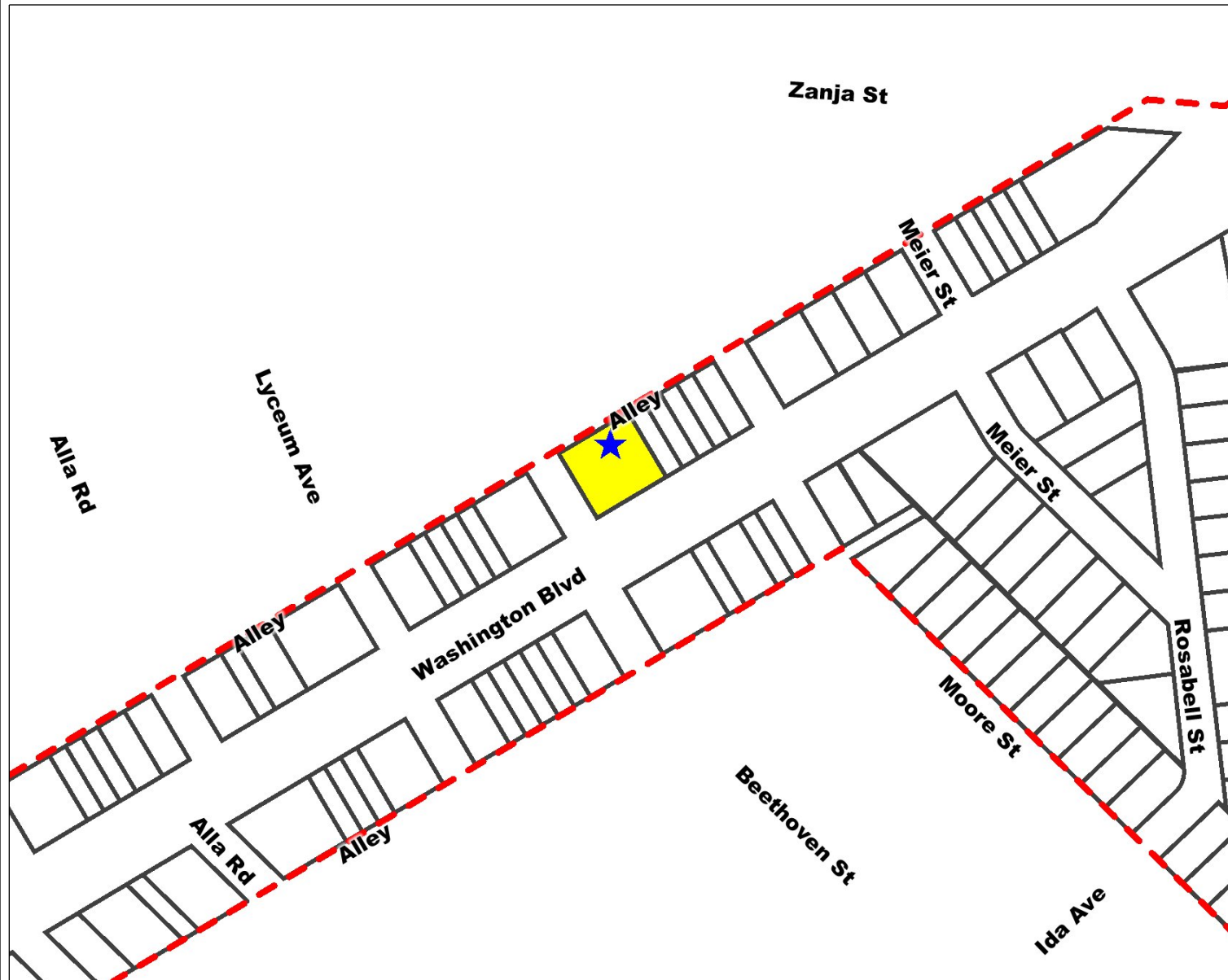
INTERDEPARTMENTAL REVIEW:

Planning, Engineering, Building & Safety, Fire Prevention, Redevelopment Agency, and City Attorney reviewed the project. Comments have been incorporated into the plans or where made part of the recommended conditions of approval.

ART IN PUBLIC PLACES:

N/A

Attachment No. 2
AREA MAP



**12841
WASHINGTON
BOULEVARD**

CUP P-2007112

Legend



Selected Properties

City of Culver City
Planning Division
Map Created: Oct 4, 2007
Meeting Date: October 24, 2007

0 125 250 ft.

Scale: 1:2,500



Attachment No. 3
AERIAL PHOTO



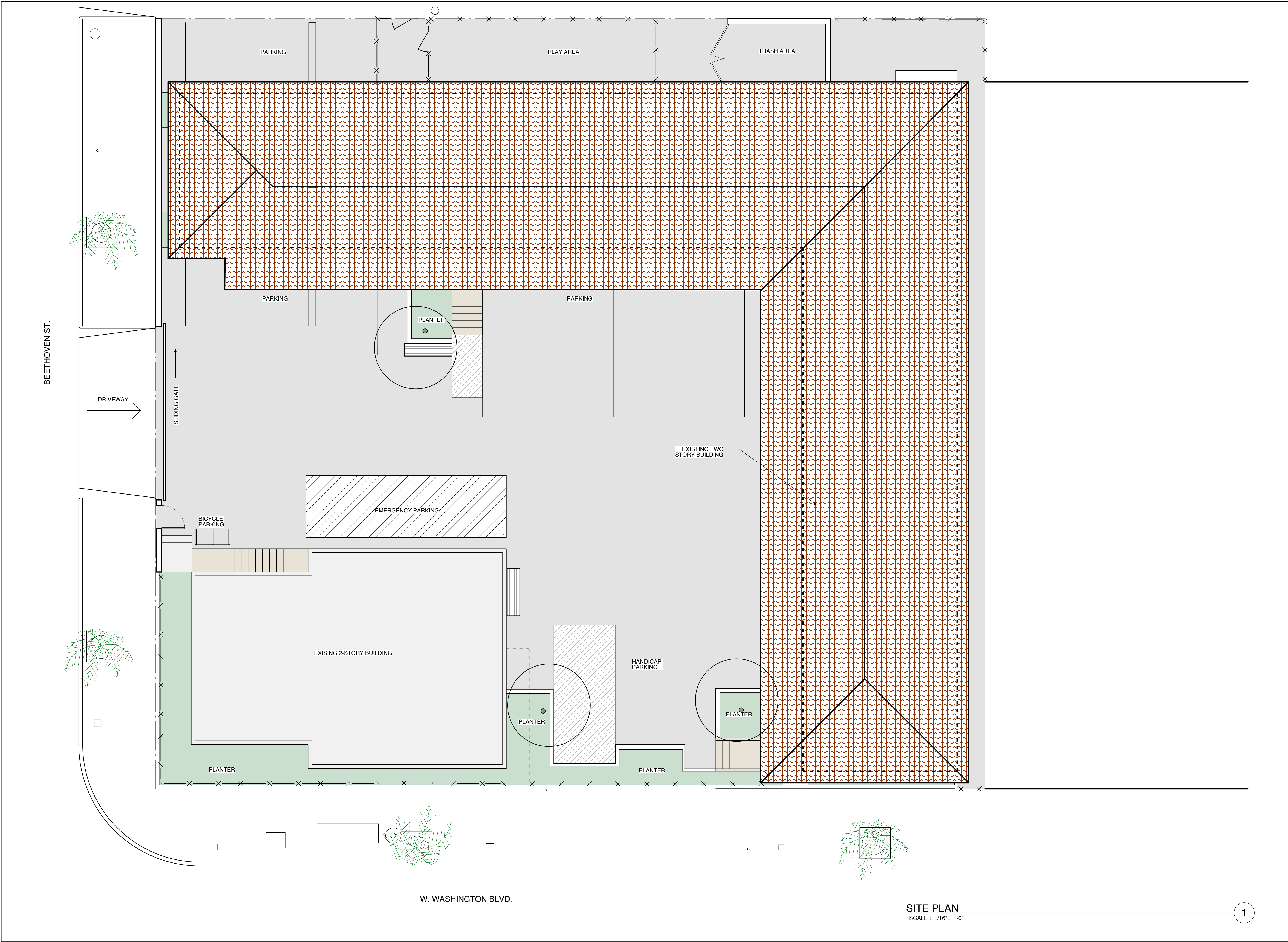
**12841
WASHINGTON
BOULEVARD**

CUP P-2007112

Legend
Place Names
Streets
Water
Parcels
City Boundary
Imagery 2002

City of Culver City
Planning Division
Map Created: October 11, 2007
Meeting Date: October 24, 2007

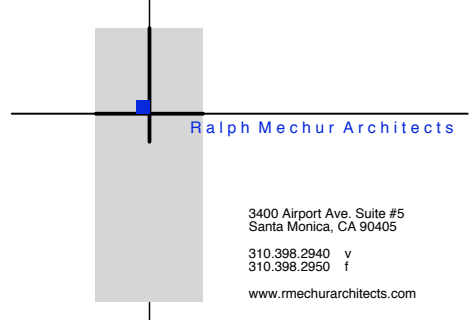




SUN BAY MOTEL

12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

UPWARD BOUND
12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

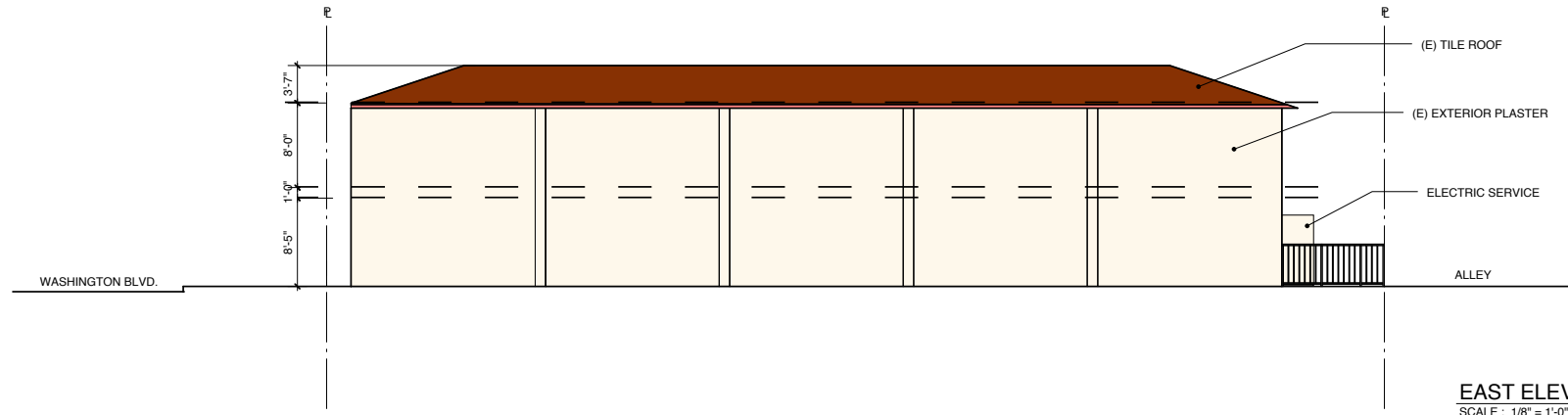


REVISIONS:	

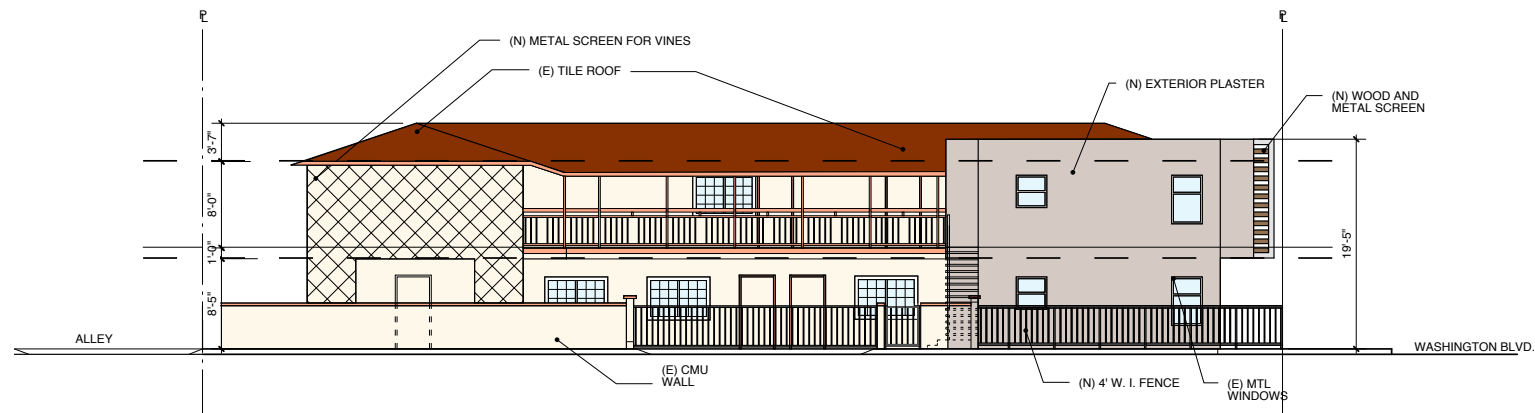
JOB NO:	01050.01
DATE:	10.09.07
SCALE:	AS NOTED
SHEET TITLE:	

SITE PLAN

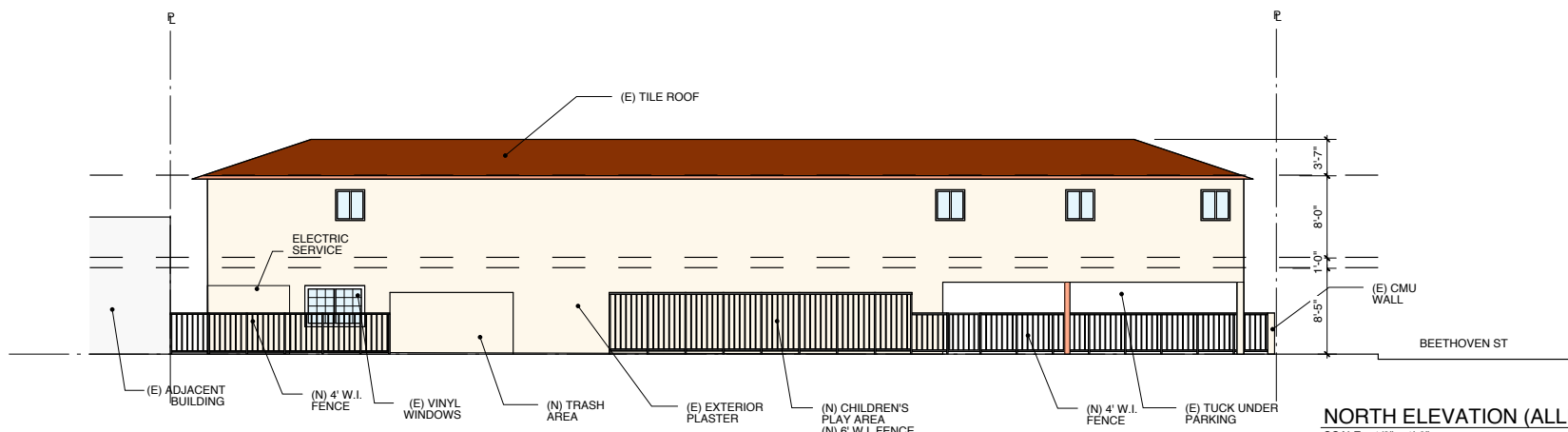
SHEET NUMBER:



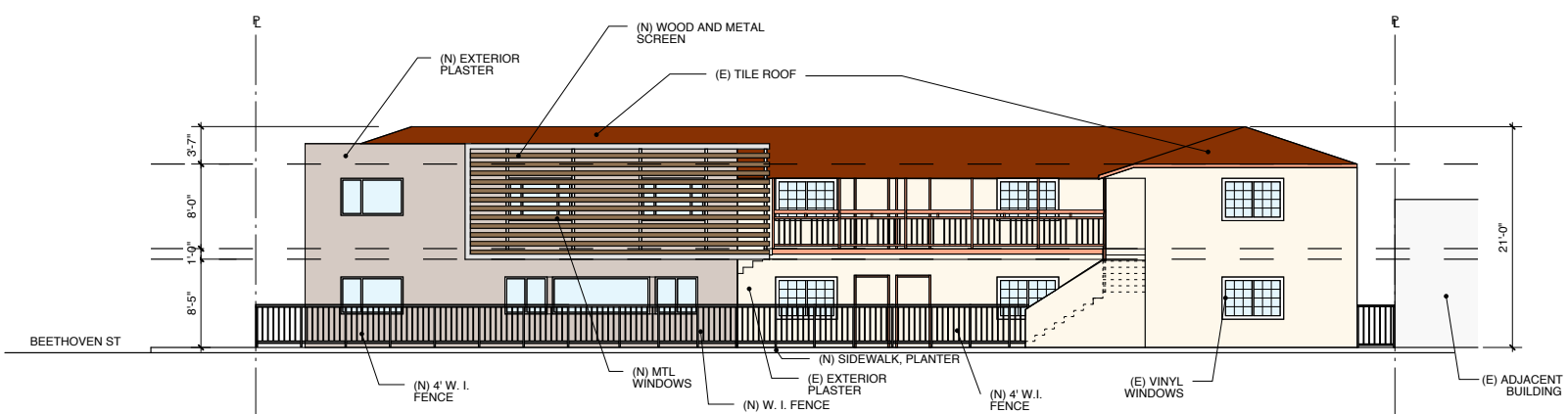
EAST ELEVATION
SCALE : 1/8" = 1'-0" A1



WEST ELEVATION (BEETHOVEN ST)
SCALE : 1/8" = 1'-0" B1



NORTH ELEVATION (ALLEY)
SCALE : 1/8" = 1'-0" C1



SOUTH ELEVATION (WASHINGTON BLVD)
SCALE : 1/8" = 1'-0" D1

NOTES

1. XXX

SUNBAY MOTEL
12841 W. WASHINGTON BLVD
CULVER CITY, CA. 90066

UPWARD BOUND
12841 W. WASHINGTON BLVD
CULVER CITY, CA 90066

Ralph Mechur Architects
3400 Airport Ave. Suite #5
Santa Monica, CA 90405
310.398.2940 v
310.398.2950 f
www.rmechurarchitects.com

REVISIONS:

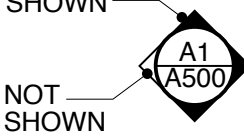
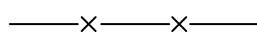
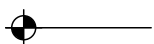
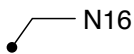
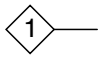
JOB NO: 01050.01
DATE: 10.09.07
SCALE: AS NOTED
SHEET TITLE:
Proposed Site Elevations
SHEET NUMBER:

A301

VICINITY MAP

The vicinity map illustrates the project's location at the intersection of Washington Blvd and Beethoven St. The map shows a network of roads including Venice Blvd, Washington Pl., S Centinela Ave, Culver Blvd, Lincoln Blvd, and W Algrove Ave. Highway markers for 405 and 90 are present. A north arrow and the text "PROJECT NORTH" are located in the bottom right corner.

ARCHITECTURAL SYMBOLS

	DETAIL		SECURITY OPENING
	BUILDING SECTION		ACCESSIBLE PATH OF TRAVEL
	WALL SECTION		PAY PHONE
	INTERIOR ELEVATION		TRACT FENCE
	EXTERIOR ELEVATION		DRINKING FOUNTAIN
	ELEVATION MARK		EXIT SIGN
	NOTE		ALIGN FINISHES
	WINDOW MARK		FLOOR MATERIAL CHANGE REFER TO FINISH SCHED.
	DOOR MARK		SMOKE DETECTOR
	WALL TYPE		FIRE EXTINGUISHER
	WORK POINT		

PROPERTY MAP

NOTE:

1. REPLACE FOUR SECTIONS OF SIDEWALK.
2. AUTOMATIC FIRE SPRINKLER SYSTEM W/MONITORING. TO BE INSTALLED BY REQUIREMENTS OF CCFDD.
3. HARDWIRED SMOKE DETECTORS SHALL BE INSTALLED.
4. NOTE ON FIRE ALARM SYSTEM

SITE PLAN/ROOF PLAN

SCALE : 1" = 20'

1

0 10 20 40

PROJECT NORTH

ABV AFF ACT ADD ADH ADJ A/C ALT ALUM AB ANOD ARCH AD ASPH	ABOVE ABOVE FINISHED FLOOR ACOUSTICAL TILE ADDENDUM ADHESIVE ADJACENT AIR CONDITIONING ALTERNATE ALUMINUM ANCHOR BOLT ANODIZED ARCHITECT (URAL) AREA DRAIN ASPHALT	OPT CSMT CLG CEM CM CT CIR CIRC CLR COL CONC CMU CONT CONTR CJT CORR CTR BET CRS	CARPET (ED) CASEMENT CEILING CEMENT CENTIMETER CERAMIC TILE CIRCLE CIRCUMFERENCE CLEAR (ANCE) COLUMN CONCRETE CONCRETE MASONRY UNIT CONTINUOUS OR CONTINUE CONTRACT (OR) CONTROL JOINT CORRUGATED CENTER CENTERLINE COURSE (S)	E ELEC EL ELEV EMER EQ (E) EXP EXT	EAST ELECTRIC (AL) ELEVATION ELEVATOR EMERGENCY EQUAL EXISTING EXPOSED EXTERIOR	LAM LAV L	LAMINATE (D) LAVATORY LENGTH	RAD REF R RD RM RO	RADIUS REFERENCE RISER ROOF DRAIN ROOM ROUGH OPENING
BSMT BEL BETWEEN BLK BLKG BD BS BW BOT BLDG	BASEMENT BELOW BLOCK BLOCKING BOARD BOTH SIDES BOTH WAYS BOTTOM BUILDING	DTH DIAG DIAM DIM DR DS D DWG DF	DETAIL DIAGONAL DIAMETER DIMENSION DOOR DOWNSPOUT DRAIN DRAWING DRINKING FOUNTAIN	GA GV GL GLB GB GB GYD BD	GAGE, GAUGE GALVANIZED GLASS, GLAZING GLASS BLOCK GRAB BAR GRADE, GRADING GYPSUM BOARD	OC OPG OPP OD OA	ON CENTER (S) OPENING OPPOSITE OUTSIDE DIAMETER OVERALL	TEL TV THK TOL T&G TSL TW T TYP	TELEPHONE TELEVISION THICK (NESS) TOLERANCE TONGUE & GROOVE TOP OF SLAB TOP OF WALL TREAD TYPICAL
		HWD HVAC	HARDWARE HARDWOOD HEATING / VENTILATION / AIR-CONDITIONING HEAVY-DUTY	HD HT HOR HB	HORIZONTAL HOSE BIBB	PLAM P PLYWD PT PTD PVC PL	PLASTIC LAMINATE PROPERTY LINE PLYWOOD POINT PAINTED POLY VINYL CHLORIDE PROPERTY LINE	VERT VCT	VERTICAL VINYL COMPOSITION TILE
				INS INT	INSULATE (D) (ING) INTERIOR	QT	QUARRY TILE	WC WP WWF W W WIN WO WD	WATER CLOSET WATER PROOFING WELEDDED WIRE FABRIC WEST WIDTH WINDOW WITHOUT WOOD

LIST OF DRAWINGS

G000 A100 A101 A200 A201 A300 A301 L-1	PROJECT INFORMATION EXISTING FIRST FLOOR PLAN EXISTING SECOND FLOOR PLAN PROPOSED FIRST FLOOR PLAN PROPOSED SECOND FLOOR PLAN EXISTING SITE ELEVATIONS EXISTING SITE ELEVATIONS PROPOSED PLANTING PLAN
---	---

PROJECT DIRECTORY

OWNER:	UPWARD BOUND 1104 WASHINGTON AVE SANTA MONICA, CA. 90403
ARCHITECT:	RALPH MECHUR ARCHITECTS 3400 AIRPORT AVE., SUITE 5 SANTA MONICA, CA 90405 TEL: (310) 398-2940/ FAX: (310) 398-2950

PROJECT INFORMATION

PROJECT ADDRESS:	12841 W. WASHINGTON BLVD. CULVER CITY, CA. 90066
ASSESSOR ID #:	4236-021-001
LEGAL DESCRIPTION:	LOT 49, TRACT TR5951
ZONE:	CG
(E) USE:	MOTEL
(P) USE:	RESIDENTIAL CARE FACILITY/ EMERGENCY FAMILY SHELTER
LOT AREA:	10,780 S.F.

	EXISTING	PROPOSED
STORIES:	2	2
MAX. BLDG. HEIGHT:	±24'	± 24'
BUILDING AREA:		
1ST FLOOR:	3,519 S.F.	3,519 S.F.
2ND FLOOR:	4,244 S.F.	4,244 S.F.
SUBTOTAL:	7,763 S.F.	7,763 S.F.
LOT COVERAGE:	4,244/10,780= 39%	4,244/10,780 = 39%
CONST. TYPE:	V - N	V-N
BUILDING CODE:	2001 CBC	2001 CBC

	EXISTING	PROPOSED
STORIES:	2	2
MAX. BLDG. HEIGHT:	±24'	± 24'
BUILDING AREA:		
1ST FLOOR:	3,519 S.F.	3,519 S.F.
2ND FLOOR:	4,244 S.F.	4,244 S.F.
SUBTOTAL:	7,763 S.F.	7,763 S.F.
LOT COVERAGE:	4,244/10,780= 39%	4,244/10,780 = 39%
CONST. TYPE:	V - N	V-N
BUILDING CODE:	2001 CBC	2001 CBC

	EXISTING	PROPOSED
STORIES:	2	2
MAX. BLDG. HEIGHT:	±24'	± 24'
BUILDING AREA:		
1ST FLOOR:	3,519 S.F.	3,519 S.F.
2ND FLOOR:	4,244 S.F.	4,244 S.F.
SUBTOTAL:	7,763 S.F.	7,763 S.F.
LOT COVERAGE:	4,244/10,780= 39%	4,244/10,780 = 39%
CONST. TYPE:	V - N	V-N
BUILDING CODE:	2001 CBC	2001 CBC

	EXISTING	PROPOSED
STORIES:	2	2
MAX. BLDG. HEIGHT:	±24'	± 24'
BUILDING AREA:		
1ST FLOOR:	3,519 S.F.	3,519 S.F.
2ND FLOOR:	4,244 S.F.	4,244 S.F.
SUBTOTAL:	7,763 S.F.	7,763 S.F.
LOT COVERAGE:	4,244/10,780= 39%	4,244/10,780 = 39%
CONST. TYPE:	V - N	V-N
BUILDING CODE:	2001 CBC	2001 CBC

	EXISTING	PROPOSED
STORIES:	2	2
MAX. BLDG. HEIGHT:	±24'	± 24'
BUILDING AREA:		
1ST FLOOR:	3,519 S.F.	3,519 S.F.
2ND FLOOR:	4,244 S.F.	4,244 S.F.
SUBTOTAL:	7,763 S.F.	7,763 S.F.
LOT COVERAGE:	4,244/10,780= 39%	4,244/10,780 = 39%
CONST. TYPE:	V - N	V-N
BUILDING CODE:	2001 CBC	2001 CBC

	EXISTING	PROPOSED
STORIES:	2	2
MAX. BLDG. HEIGHT:	±24'	± 24'
BUILDING AREA:		
1ST FLOOR:		

SUN BAY MOTEL

12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

UPWARD BOUND
12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

Ralph Mechur Architects

3400 Airport Ave., Suite #5
Santa Monica, CA 90405
310.358.0565 F
310.358.2500 T
www.rmechurarchitects.com

REVISIONS:

JOB NO: 01050.01

DATE: 10.09.07

SCALE: AS NOTED

SHEET TITLE:
**COVER SHEET,
PROJECT INFO**

SHEET NUMBER:
G000

UPWARD BOUND
12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

PROJECT INFORMATION

PROJECT ADDRESS: 12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

ASSESSOR ID #: 4236-021-001

LEGAL DESCRIPTION: LOT 49, TRACT TR5951

ZONE: CG

(E) USE: MOTEL
(P) USE: RESIDENTIAL CARE FACILITY/ EMERGENCY FAMILY SHELTER

LOT AREA: 10,780 S.F.

	EXISTING	PROPOSED
STORIES:	2	2
MAX. BLDG. HEIGHT:	±24'	± 24'
BUILDING AREA:		
1ST FLOOR:	3,519 S.F.	3,519 S.F.
2ND FLOOR:	4,244 S.F.	4,244 S.F.
SUBTOTAL:	7,763 S.F.	7,763 S.F.
LOT COVERAGE:	4,244/10,780= 39%	4,244/10,780 = 39%
CONST. TYPE:	V - N	V-N
BUILDING CODE:	2001 CBC	2001 CBC
BUILDING AREAS:		
UNITS 1ST FL.		UNITS 2ND FL.
MANAGER UNIT 100	466 SF	MANAGER UNIT 200 679 SF
MEETING ROOM	205 SF	MEETING ROOM/ 314 SF
OFFICE/ LIBRARY	156 SF	COMMONT SPACE 320 SF
UNIT 101	264 SF	UNIT 201 325 SF
UNIT 102	269 SF	UNIT 202 325 SF
UNIT 103	269 SF	UNIT 203 325 SF
UNIT 104	269 SF	UNIT 204 325 SF
UNIT 105	269 SF	UNIT 205 360 SF
UNIT 106	305 SF	UNIT 206 362 SF
UNIT 107	362 SF	UNIT 207 364 SF
UNIT 108	367 SF	UNIT 208 224 SF
LAUNDRY	138 SF	UNIT 210 227 SF
FIRST FLOOR TOTAL	3339 SF	
SECOND FLOOR TOTAL	4,049 SF	
LANDSCAPE	(E) 470 SF	
	(N) 279 SF	

REQUIRED PARKING: 11 SPACES

PARKING PROVIDED:

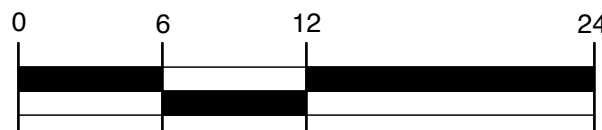
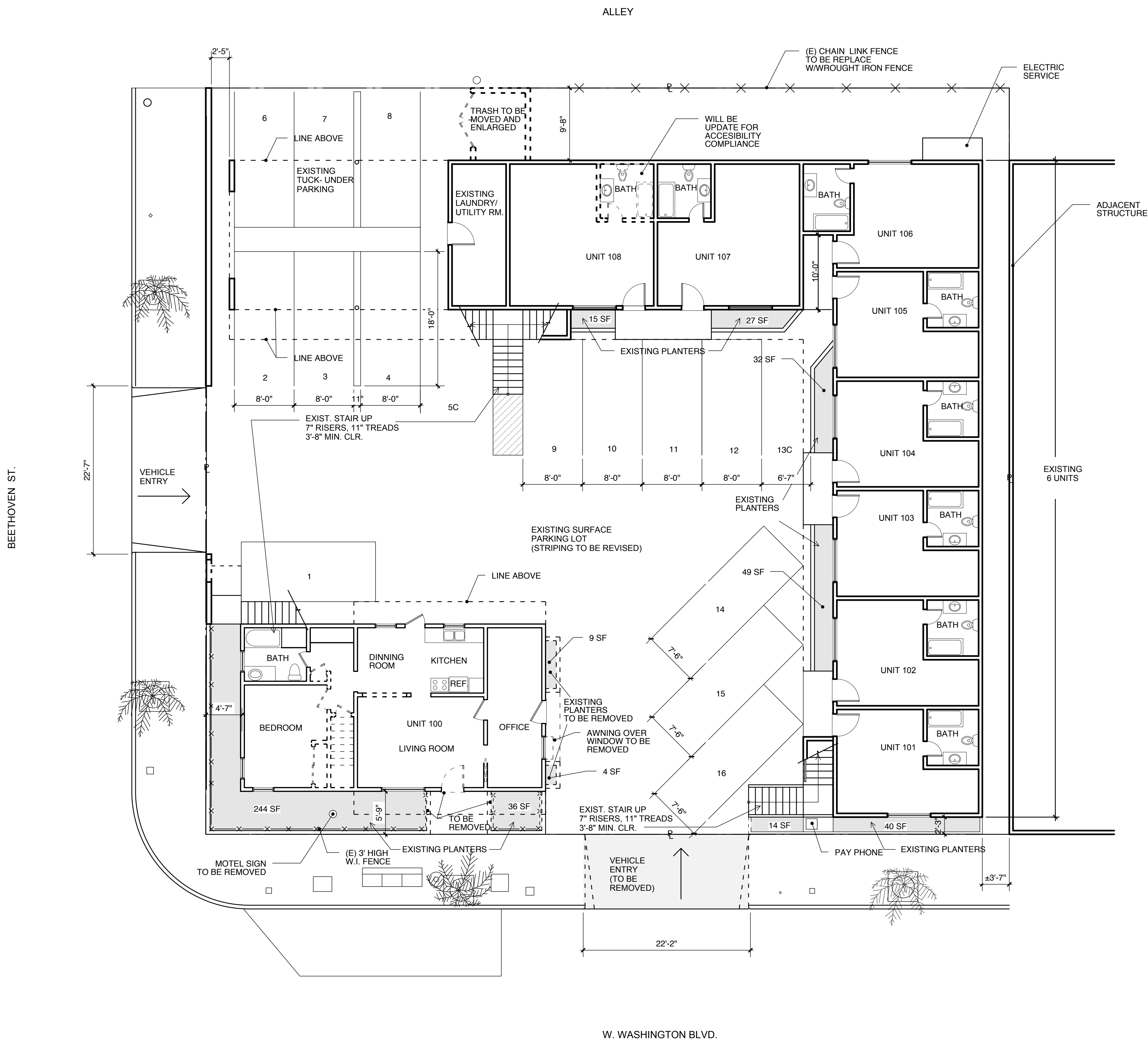
STANDARD: 10 (1 STANDARD SPACE TO SERVE AS LOADING SPACE FROM 10AM-4PM M-F)

HANDICAPPED: 1 SPACE

BREAKDOWN: 18 UNITS: 1 SPACE REQUIRED FOR EVERY 3 UNITS = 6 SPACES
+ 1 SPACE REQ. FOR MANAGER GROUND FLOOR + 2 SPACES
REQ. FOR MANAGER UNIT ON SECOND FLOOR + 1 SPACE REQ.
FOR OFFICE SPACE + 1 HANDICAPPED SPACE

REQUIRED BICYCLE PARKING: 10% OF 11 (REQUIRED PARKING) = 1.1 SPACES
BICYCLE PARKING PROVIDED: 2 SPACES

NOTES



EXISTING FIRST FLOOR PLAN
SCALE : 1/8" = 1' - 0"

D1

SUN BAY MOTEL

12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

UPWARD BOUND
12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066
PHONE

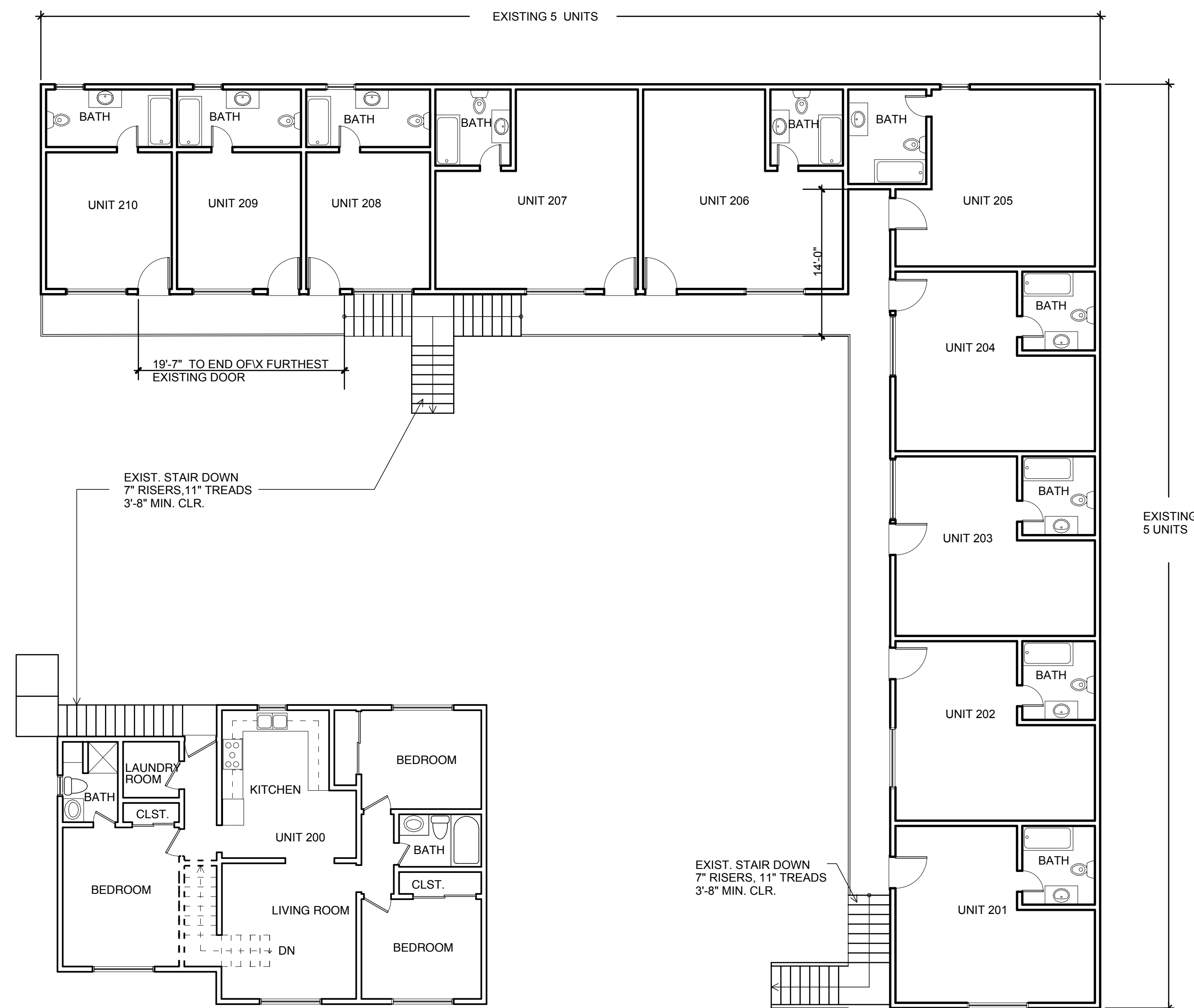
Ralph Mechur Architects
3400 Airport Ave, Suite #5
Santa Monica, CA 90405
310.398.2940 v
310.398.2950 f
www.rmechurarchitects.com

REVISIONS:

JOB NO: 01050.01
DATE: 10.09.07
SCALE: AS NOTED
SHEET TITLE:

Existing First Floor Plan

SHEET NUMBER:
A100



NOTES

SUN BAY MOTEL

12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

UPWARD BOUND
12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066
PHONE

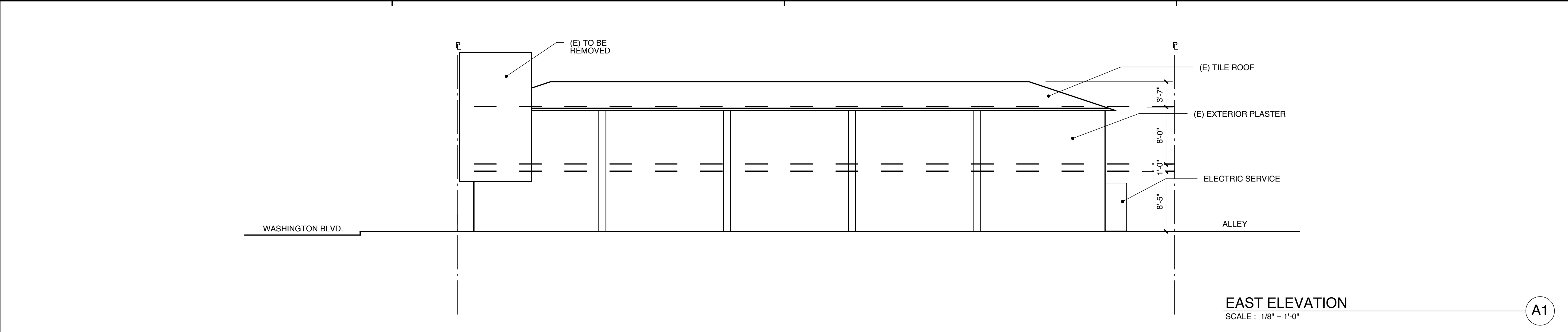
Ralph Mechur Architects
3400 Airport Ave, Suite #5
Santa Monica, CA 90405
310.398.2940 v
310.398.2950 f
www.rmechurarchitects.com

REVISIONS:

JOB NO: 01050.01
DATE: 10.09.07
SCALE: AS NOTED
SHEET TITLE:

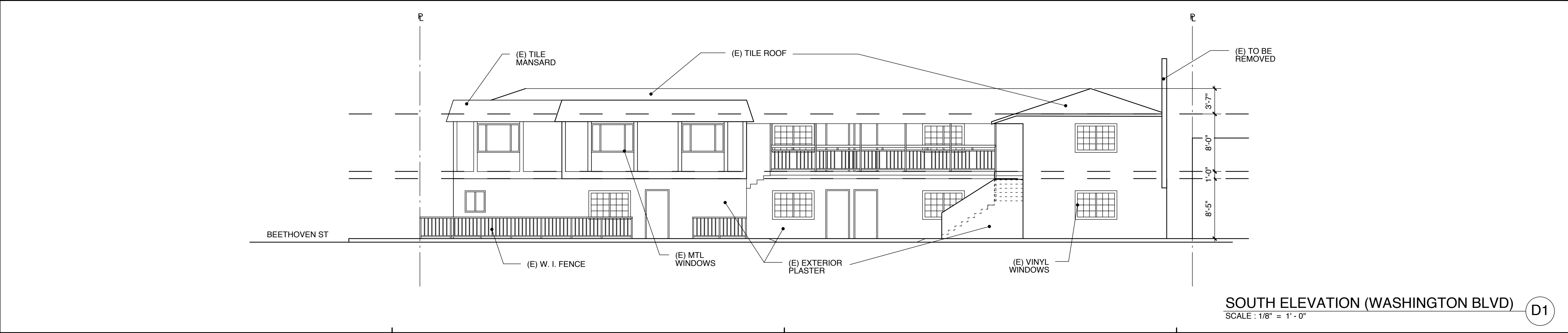
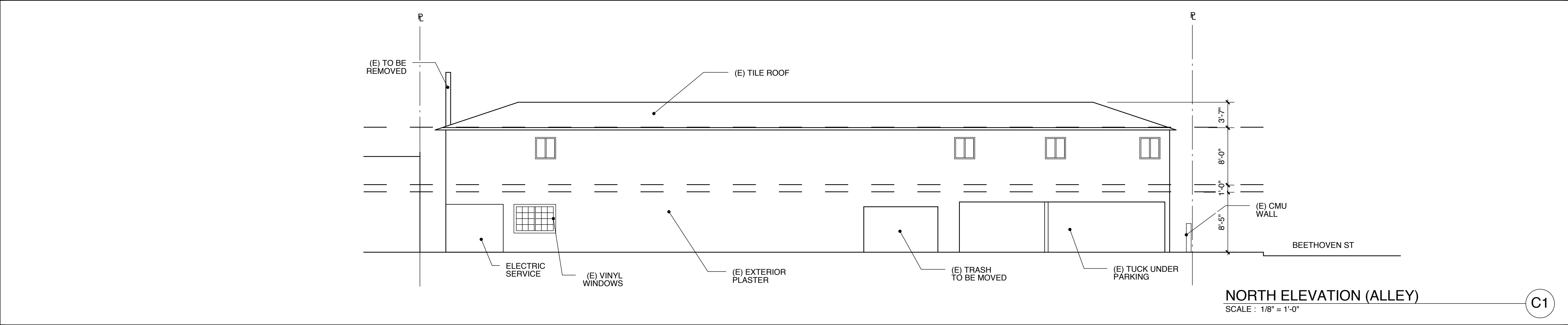
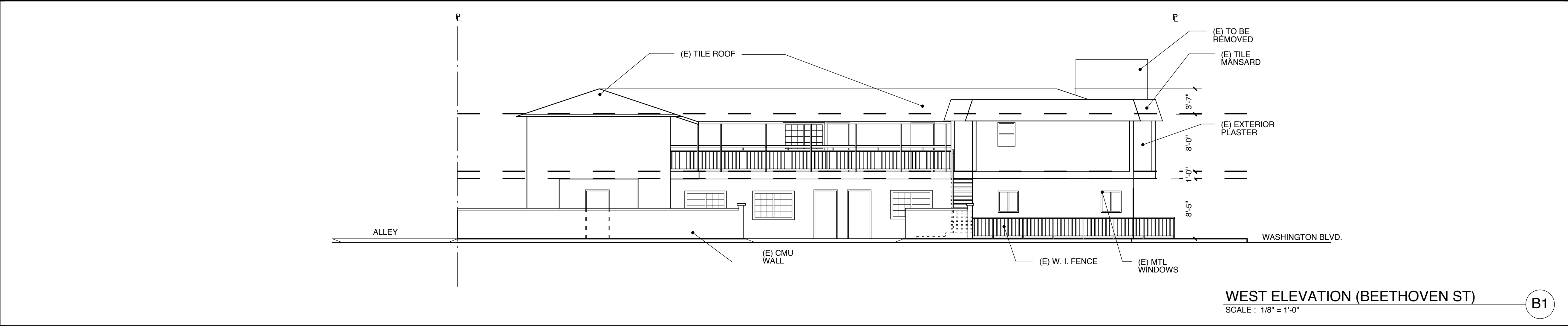
EXISTING SECOND FLOOR PLAN
SCALE : 1/8" = 1' - 0"

D1



NOTES

1. XXX



SUNBAY MOTEL

12841 W. WASHINGTON BLVD
CULVER CITY, CA. 90066

UPWARD BOUND
12841 W. WASHINGTON BLVD
CULVER CITY, CA 90066

Ralph Mechur Architects

3400 Airport Ave, Suite #5
Santa Monica, CA 90405

310.398.2940 v
310.398.2950 f
www.rmechurarchitects.com

REVISIONS:

JOB NO: 01050.01

DATE: 10.09.07

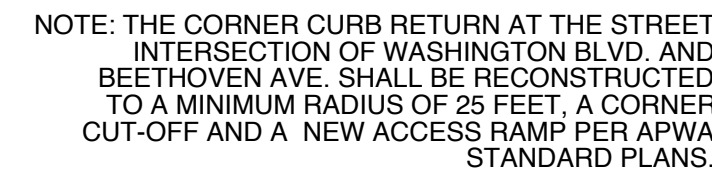
SCALE: AS NOTED

SHEET TITLE:

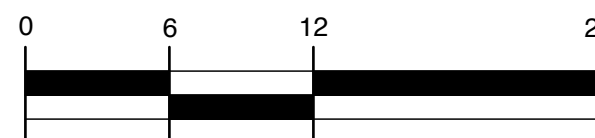
Existing Site Elevations

SHEET NUMBER:

A300



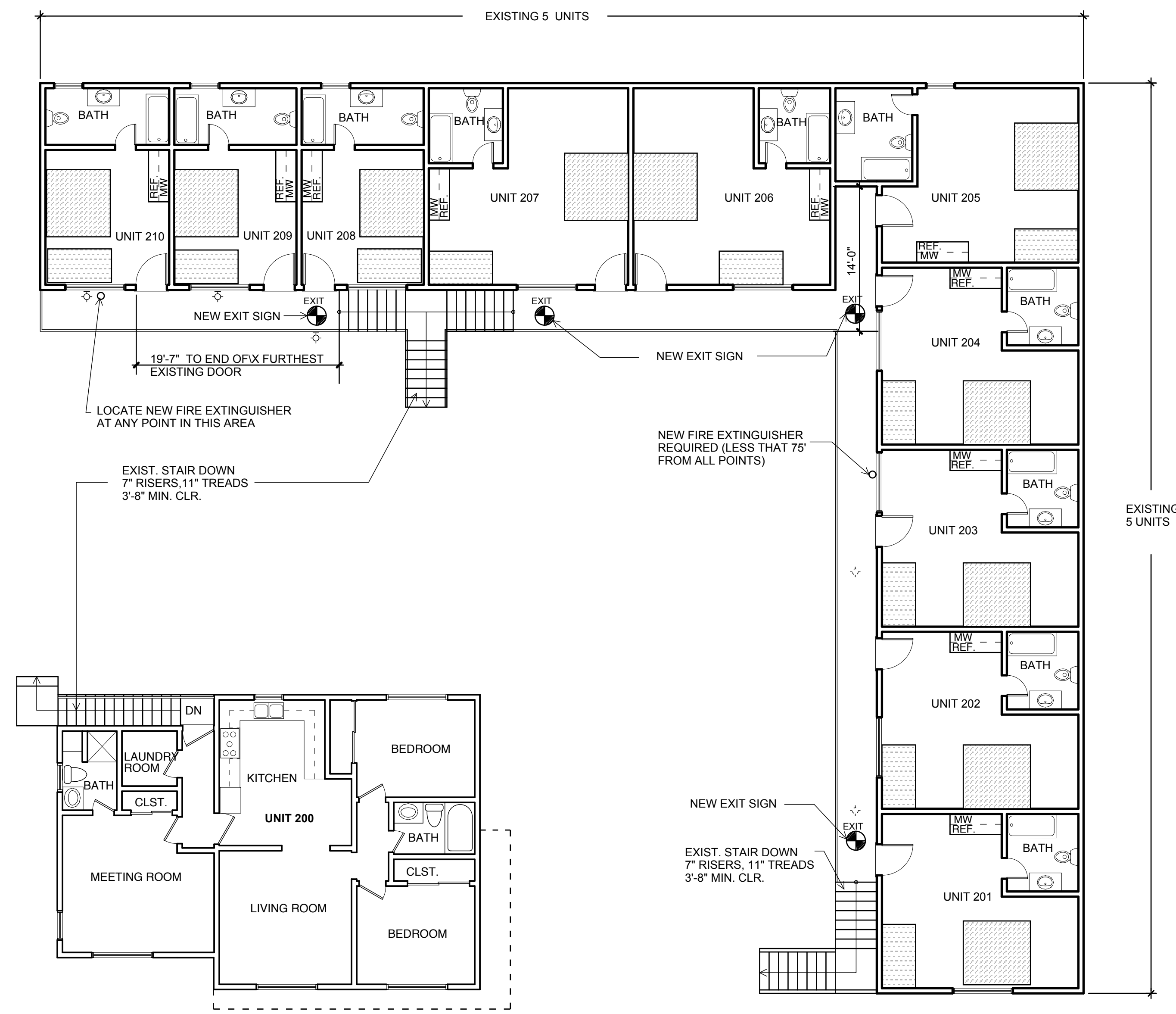
PROJECT
NORTH



PROPOSED FIRST FLOOR PLAN
SCALE : 1/8" = 1' - 0"

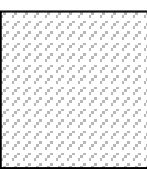
(D1)

A200

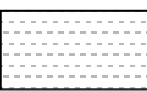


NOTES

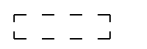
LEGEND



FULL/QUEEN
BED



BUNK TWIN BED



FLUORESCENT LIGHTING ABOVE



LIGHT FIXTURE ABOVE

SUN BAY MOTEL

12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066

UPWARD BOUND
12841 W. WASHINGTON BLVD.
CULVER CITY, CA. 90066
PHONE

Ralph Mechur Architects

3400 Airport Ave, Suite #5
Santa Monica, CA 90405

310.398.2940 v
310.398.2950 f

www.rmechurarchitects.com

REVISIONS:

JOB NO: 01050.01

DATE: 10.09.07

SCALE: AS NOTED

SHEET TITLE:

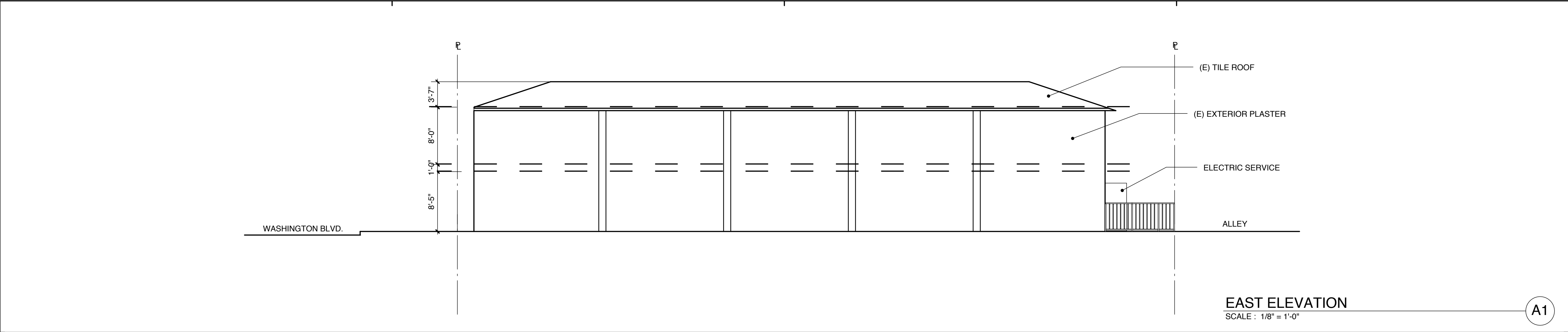
Proposed Second
Floor Plan

SHEET NUMBER:

A201

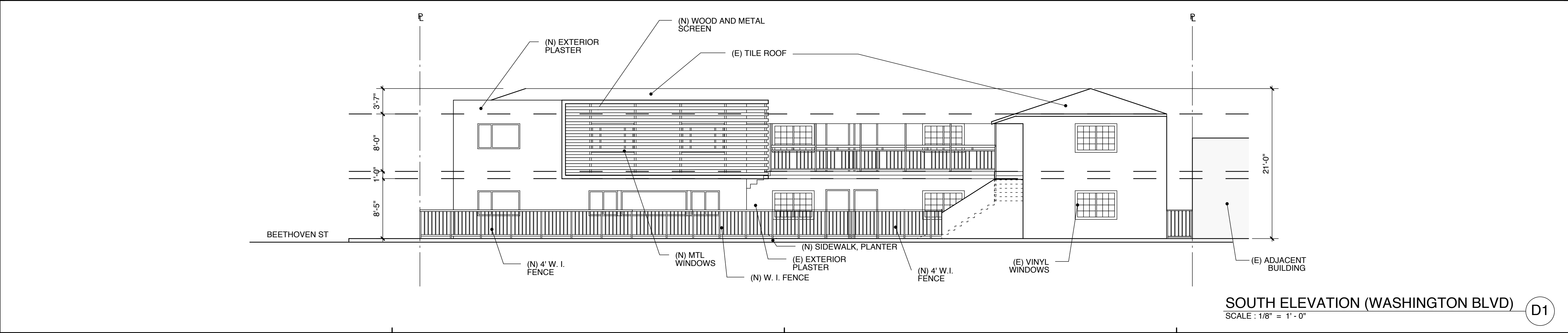
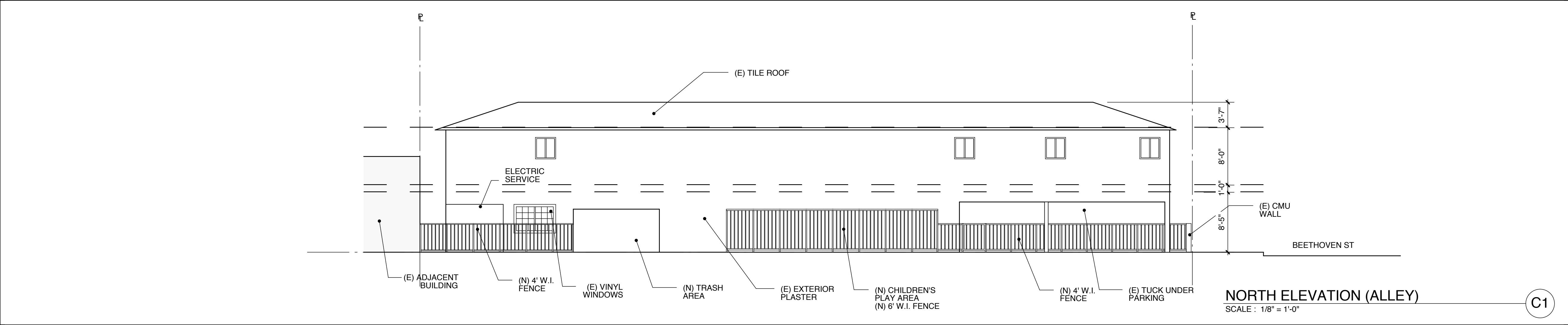
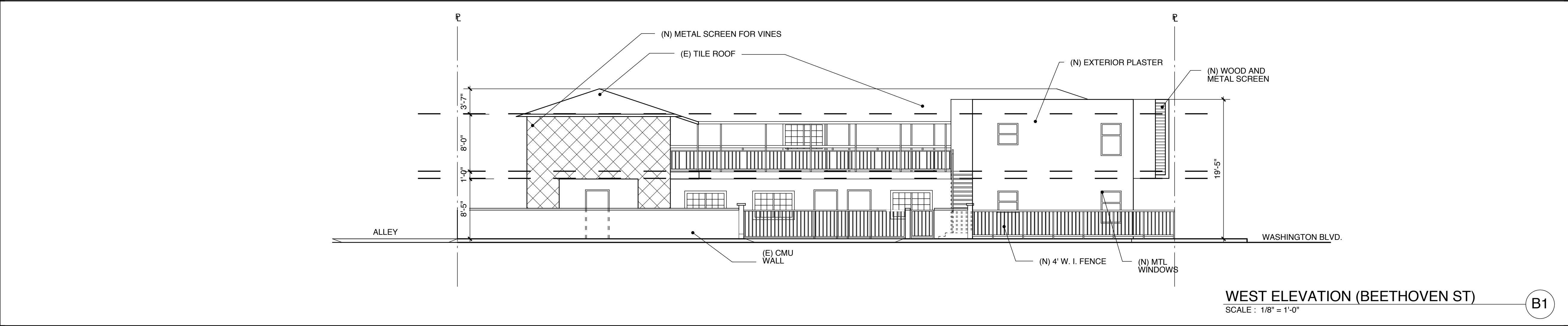
PROPOSED SECOND FLOOR PLAN
SCALE : 1/8" = 1'-0"

D1



NOTES

1. XXX



SUNBAY MOTEL

12841 W. WASHINGTON BLVD
CULVER CITY, CA. 90066

UPWARD BOUND
12841 W. WASHINGTON BLVD
CULVER CITY, CA 90066

Ralph Mechur Architects
3400 Airport Ave, Suite #5
Santa Monica, CA 90405
310.398.2940 v
310.398.2950 f
www.rmechurarchitects.com

REVISIONS:

JOB NO: 01050.01
DATE: 10.09.07
SCALE: AS NOTED
SHEET TITLE:
Proposed Site Elevations
SHEET NUMBER:

A301

Upward Bound House

Emergency Family Shelter Program
For the Conversion and Adaptive Re-Use of the
SunBay Motel in Culver City

Executive Summary

Prepared for
Culver City Planning Commission

Upward Bound House
1104 Washington Avenue
Santa Monica, CA 90290
Telephone 310.458.7779
Facsimile 310.458.7289
dsnow@upwardboundhouse.org
www.upwardboundhouse.org

PROJECT SUMMARY

Upward Bound House (UBH) plans to purchase the existing Sun Bay Motel, located at 12841 W. Washington Boulevard in Culver City, and change the use from a motel to an Emergency Family Shelter for minor children and their families. The existing motel building will be converted to this use, and the change in use fits into Culver City's existing General Plan and Zoning designations. UBH is seeking a Conditional Use Permit (CUP) from Culver City with appropriate conditions of approval reflecting the responsibilities of UBH and the families that will be served. Each family will have its own secure space where the children will be safe while the parents work daily with case managers to identify permanent housing solutions.

Key components of the project are highlighted below:

- 18 units for children and their parents, plus two units for on-site staff. No more than one family (of up to four persons) shall occupy any unit. No more than 55 residents will be served at any one time.
- Trained, experienced and dedicated UBH staff will live at the facility and be on-site 24 hours a day, seven days a week. There will be three on-site residential managers, with one on duty at all times.
- Before being selected to participate in UBH's Emergency Family Shelter, all applicants will undergo a thorough screening process – including drug testing and background checks – at other service providers such as St. Joseph's Center located in Venice. No intake of families will be done on-site. Because the need is great, UBH can be highly selective about the potential residents for its program.
- All residents will sign a detailed code of conduct and adhere to a 9 p.m. curfew as a condition of living at the site. The curfew requires residents to be quiet in their apartments.
- Residents will undergo daily case management, job skills training and more so that they can be relocated to permanent housing of their own within a maximum of 90 days. Case managers will also provide services and programs for children.
- The motel will be repainted and the existing motel signage removed. There will be no signage indicating that the facility will be used as an Emergency Family Shelter. Additional landscaping and attractive perimeter fencing will be added. Aesthetics, privacy and security are features that contribute to the success of our program and the successful integration of our residential facility with our neighbors. The UBH Emergency Family Shelter will be an attractive upgrade of the existing Washington Boulevard streetscape.
- The Emergency Family Shelter will include a sophisticated digital security camera system that will allow 24/7 visual monitoring of the facility's common spaces from both the facility's on-site office and from remote locations.

- No cooking will be allowed in the units. Food and meals will be provided by the agency's existing Food Pantry program. Each unit will have a mini fridge and microwaves, but all other cooking appliances will be strictly forbidden. Meals will be strictly for residents only.
- The Emergency Family Shelter will serve approximately 220 children and their parents each year, becoming a significant resource in the region's effort to place vulnerable children in safe, dignified housing.

PROJECT NEED

Based on the 2005 Greater Los Angeles Homeless Count issued by the Los Angeles Homeless Services Authority, UBH estimates that there are nearly 14,000 homeless children and their parents in Los Angeles County every night. No local options exist for families who have children enrolled in school or child care on the Westside.

Homeless families are typically less visible than chronically homeless adults, and are a unique subset of the overall homeless population. The population that UBH successfully has served for the past 10 years, and which the Emergency Family Shelter will serve, is homeless families with minor children who are not substance abusers or untreated mentally ill. They are families desperate to keep their families intact and move to permanent, self-sufficient housing as quickly as possible. They are not the chronically homeless who pan-handle or refuse social services. Rather, they are eager to take full advantage of the resources available to them to move their kids to stable environments as quickly as possible.

Currently, there are no family-specific emergency shelters on the Westside of Los Angeles with the exception of domestic violence shelters. The proposed project will provide homeless families with 18 units of emergency housing, safely sheltering up to 55 children and adults at any point in time with comprehensive services designed to stabilize the family and prevent a relapse into homelessness.

UPGRADES TO THE FACILITY

The current building is run as a budget motel, which has no control over the composition or conduct of its guests. UBH proposes to upgrade the facility and make it secure and safe for the residents and children. The current signage will be removed, the exterior will be repainted, existing deferred repairs will be made, and the building will be brought up to code. UBH will provide a dignified, private, safe, secure and positive environment for residents and their children to ensure a successful program. UBH also knows the importance of being a good neighbor, having done so for the past ten years at our Santa Monica facility.

Upgrades to the landscaping will ensure compatibility with the area and provide a measure of privacy, comfort and pride for the residents.

The site plan calls for several multi-purpose community and meeting spaces and a small, secure playground for children. On-site computers and study areas for the children performing their school homework will be provided.

SAFETY & SECURITY

As a part of the upgrades to the motel, UBH will install suitable attractive perimeter fencing, consistent with this residential use, including closing the current auto access directly onto Washington Boulevard. We will also install a sophisticated security camera system that will provide on-site and remote monitoring. All access to the facility will be controlled by on-site personnel.

Two units are reserved for on-site resident managers. UBH staff will have access to all resident's rooms, and will conduct daily inspections of the units to ensure that there are no drugs or alcohol on the premises, no hot-plates or other cooking equipment, and to ensure that the rooms are neat, well-maintained and that the trash is removed daily.

The agency requires in its Code of Conduct that children must be supervised by their parents at all times, and that no minor child will be in a unit unsupervised.

No unauthorized visitors are allowed at the facility. That said, consistent attention from trained case workers, on-site staff members and extensive volunteers and supporters will be provided.

UBH is committed to being a good and participatory member of the community. We hope to participate in the existing Neighborhood Watch Program, and have offered to create an Advisory Board that includes adjacent residents and local business owners to provide guidance and monitoring of the program and ensure our seamless integration with the neighborhood. The establishment of such a Board would provide an additional self-enforcing mechanism for ensuring UBH's compliance with all conditions of approval that might be adopted by the Planning Commission.

PROGRAM RULES & OPERATIONS

UBH's Emergency Family Shelter is for homeless families in custody of minor children. The maximum age of resident children is 17. However, most children will be between the ages of zero and eight years old. We have total control over the selection of appropriate families for enrollment in our program.

No client-in take will happen on-site. Primary outreach will occur through local social service agencies that may include the St. Joseph Center, Venice Family Clinic, DPSS, PATH, Beyond Shelter, CLARE Foundation, and other regional access centers. UBH will have a full time case manager who will work closely with referring agency staff to interview and process candidate families. This is a successful program we already use for Santa Monica's Family Place to ensure we are matched up with suitable families that we can help return to permanent housing and stable jobs through the proper guidance and support that we provide.

UBH staff will conduct an enrollment interview at the referring agency. No client in-take will occur on-site at the facility.

Before entry into the program, all residents will under-go background and criminal check. For the safety of the program's clients and staff, case managers will conduct a background criminal history check. UBH will also conduct a credit check on the custodial parent. In addition, all applicants will complete a social service and residency application form and an income declaration.

The facility is strictly clean and sober. As a condition of enrollment, all residents will be subjected to an initial non-invasive drug test, and be subject to random drug testing during their residency. In addition, we closely monitor all clients for compliance with any medications or programs (ie, AA meeting) to ensure they remain clean and sober. Problems are dealt with immediately and responsibly. UBH and the families we serve fully realize that the on-going success of our program depends on abstinence.

Clients must commit to fully participating in the program and to adhere to the strict code of conduct. Applicants must affirm in writing that they are willing to participate in UBH's intensive case management program including a willingness to accept the rules, regulations and other conditions of occupancy in effect at the building.

Our Sample Agreement is attached in Appendix 1. Highlights from the Code of Conduct (Appendix 2) are provided below:

- Residents are not allowed to have visitors/outside guests at any time without the written permission of their Case Manager.
- Curfew is 9:00 pm ('quiet time' begins at 8:00 pm). Requests for curfew extension must be submitted to case manager in writing for approval.
- Children shall not be left alone at any time or supervised by anyone under the age of fourteen.
- Each client will sign out each time he/she is leaving the facility regardless of the expected time that said client will be absent. Each client shall also sign in each time he/she is returning to the facility. This helps us ensure the safety and security of our residents.
- Shelter staff will, without notice, inspect all units, for compliance of house/program rules, building and safety, health, and fire violations.

- This is a sober facility. There is absolutely no drinking of alcoholic beverages allowed in or around the facility at any time. Our families understand the importance of this rule, and strict adherence is required.
- Smoking is not allowed in client living spaces or common areas at any time.

Restriction on total number of residents. While the maximum occupancy for each living space is set at four persons per unit, UBH will limit the total number of residents at any given time to a maximum of 55 persons. This reflects an average of three persons per unit. Based on UBH's ten years of experience serving homeless families with minor children, the typical family is a single parent (usually mother), with one or two children between the ages of zero and eight.

Each unit will have one queen or full-sized bed and a bunk bed. Accommodations will be made for families with babies or infants who require cribs.

In addition, UBH will limit the number of teenage boys in this residential facility to a maximum of three at any given time.

Meals at the Emergency Family Shelter. UBH will provide resident families with meals and food through the agency's existing food pantry. This program will only be available to existing UBH clients and will not be open to the public.

No cooking is allowed in the units. However, each unit will have a mini fridge and a microwave to enable resident to store perishables and re-heat their delivered meals.

UBH will provide cold meals for breakfast and lunch, and a hot meal for dinner. Meals will be prepared and bagged at Upward Bound's Santa Monica facility and transported to the Culver City facility by UBH staff.

The organization currently receives generous support from Whole Foods, Wild Oats, Trader Joes and Pavillions who donate canned and prepared foods to the UBH Food Pantry. UBH partners with the Westside Food Bank. The organization is also identifying local restaurants including "First Harvest" participants in Culver City, who will donate prepared foods.

In addition, case managers will direct residents to other Westside food distribution resources, and help link families to any government food programs. There are a few fast food restaurants, a bakery and an Albertson's Supermarket all in walking distance.

The Food Pantry Manager has thirty years of experience as a professional chef and has prior experience starting and running a food pantry. The Food Pantry Coordinator also has extensive experience in the restaurant and catering industry. Both the Manager and Coordinator will continue to leverage their extensive relationships with restaurants, distributors, and markets in the Los Angeles area to meet the expanding needs of the food pantry program.

All residents will be required to be employed or in school. All adult residents will be required to be employed or employable as a condition of participation in UBH's program. Case managers will work with residents to find new or higher-paying positions by leveraging on and off-site resources. On-site resources include job training classes; off-site partner agencies include Chrysalis, an agency focused on job training and placement.

All school-aged children will attend school. All efforts will be made to keep a child in their present school situation. UBH has already met with the Culver City School Homeless Liaison to coordinate efforts. Although parents will be responsible for getting their children to school, case managers will coordinate with School Districts Homeless Liaisons, in securing bus tokens and/or school bus passes for the children and their parents. Staff will monitor and assist with this requirement. Public transportation is already available immediately in front of this facility.

Case Managers will also assist children in accessing various after school activities, also coordinated through School Districts Homeless Liaisons.

Currently, UBH offers a tutoring program and homework academy, which is staffed by volunteers and the School on Wheels Program which we anticipate will be extended to the Emergency Family Housing Program.

UBH case managers will help families with younger children find pre-school or day care options. UBH has relationships with several Westside providers.

CASE MANAGEMENT

A central component of the program will be to provide participants with intensive case management focused on getting families moved into the regional continuum of care structure and placed in more suitable housing – permanent housing or transitional housing – within 90 days.

Every case management plan is designed to help our clients develop the skills, resources and confidence they need to 1) attend to the needs of their children and 2) establish an income stream, and 3) re-establish their families in permanent housing.

Each family will meet with their case manager every day to chart an individual plan and review progress towards short and long-term goals.

Case managers draw on a variety of resources provided by a network of public agencies, experienced social service organizations, volunteers, and private agencies.

Case management services for clients will be comprehensive, and will include:

- Screen, interview and evaluate applicants.
- Conduct individual assessment of children's needs.
- Design and implement case management plans for each client.
- Establish goals and objectives with each client.
- Monitor client progress and prepare monthly statistical reports.
- Maintain complete and accurate records/files for each client.
- Assist all clients in obtaining all benefits to which they are entitled.
- Assist all clients in obtaining permanent housing.
- Reporting any suspected child abuse to the Department of Child Services.
- Mediate conflict.
- Maintain client resource directory for referrals.
- Develop and maintain a network of community-based service agencies.
- Develop family budget for savings program and daily needs.
- Make arrangements for Life Skills and Parenting classes, if needed.

FOLLOW-UP HOUSING

Based on UBH's extensive experience working with homeless families, we estimate that 20% of the families participating in this program (14 families per year) will be candidates for a "Housing First" approach.

The UBH Emergency Family Shelter will have a limited budget for housing assistance. Families targeted for rapid placement into permanent housing will be those families with low barriers to overcome. An example would be families that can be moved successfully into permanent housing with modest financial assistance (first and last months rent). Typically, these families are homeless due to sudden circumstances, but are currently working and fully capable of getting on their feet rapidly with some help, usually with their credit history and some "key money" financial assistance. Stabilization of employment and income is generally the best form of assistance for us to provide.

UBH staff has developed strong working relationships with a wide range of homeless service and housing providers in Los Angeles County. Case managers will work with our partners in the regional continuum of care to access a variety of options available to facilitate the goal of placing families participating in the program in more suitable housing as quickly as possible.

In addition, UBH staff will work with eligible families to access Shelter Plus Care and Section 8 vouchers where available.

PROGRAM FUNDING

UBH will require approximately \$450,000 per year to operate its Emergency Family Shelter for families with minor children. Notably, this anticipates \$66,150 for meals through the food pantry, and \$42,000 for the Housing First component of the program.

UBH has received a pledge from the County to fund the initial years of the program, and anticipates additional on-going funding from the following sources:

- Los Angeles County Homeless Prevention Initiative Funds.
- Local Government Support.
- Federal and State Government Support.
- Private Foundations.
- Individuals & Corporations.

THE ORGANIZATION

UBH is a community-based, nondenominational, 501(c)(3) nonprofit social service agency designed specifically to deal with the unmet housing and social service needs of homeless families and very low-income elderly. Incorporated in 1990, UBH was developed as a response to the lack of affordable housing and services on the Westside of Los Angeles County. The Agency currently operates three projects:

- **Family Place** is Santa Monica's only transitional housing program for children and their parents (most of whom are single women). It offers 21 apartments of free housing and comprehensive support services to help dispossessed families transition into permanent housing. Most families stay six to ten months at Family Place before moving into their own apartments, which the staff helps them to locate. Proudly, the program can boast of a 95% success rate - of families remaining in permanent housing for at least one year after placement.
- **Senior Villa**, UBH's facility for very low-income seniors currently houses 90 seniors in 70 one-bedroom apartments. In addition to housing, Senior Villa provides its seniors with a network of services they need to remain living independently including medical care, transportation, food assistance and assistance for the disabled and frail elderly. Residents, both individuals and couples, are carefully screened to meet very low-income government guidelines.

- The **Intergenerational Center** is an innovative concept: it is at the same time a place, a set of programs and a nexus of relationships between three generations. Staffed by volunteers and professionals, the Center's activities include a host of services that have been established for the residents of UBH's two housing facilities and seniors from the surrounding community.

Staff services are supplemented by the sizeable efforts of community volunteers. In an average month, 72 volunteers provide close to 400 hours of services. These volunteer activities run the gamut from children's programming, academic tutoring, administrative services, life skills and money management instruction to public relations, fundraising and accounting. The extent of community commitment demonstrates the vitality of UBH's programs and their importance to the community's civic life.

UBH's organizational strength is further evidenced by its strong fundraising program and development record. Its successful capital campaign raised \$16.7 million in public and private funds for the construction of the two housing complexes and a large three-level subterranean garage, which were built on time and within budget. In addition, each year the organization successfully raises funds to meet its operating budget. Besides other smaller events that raise money and public awareness, UBH holds an Annual Dinner and Silent Auction that yields about \$100,000 in net profits and is attended by three hundred supporters.

Five government-funding sources (the U.S. Department of Housing and Urban Development, the Federal Home Loan Bank of San Francisco, the Emergency Food and Shelter Grant program, The County of Los Angeles and the City of Santa Monica) audit the organization through reports and on-site visits.

An independent Certified Public Accounting firm conducts an annual audit that is available to all funders.

APPENDIX 1

UPWARD BOUND EMERGENCY FAMILY SHELTER
12841 WASHINGTON BOULEVARD
CULVER CITY, CA 90066

EMERGENCY FAMILY SHELTER PROGRAM AGREEMENT

The undersigned acknowledges and understands that he/she is/are entering an Emergency Housing Program provided by Upward Bound House. This is NOT a LEASE, but a Program Agreement. As a benefit of this program, living space is being provided to you and your child(ren). The undersigned and his/her child(ren) shall reside in the facility in the capacity of program client/resident lodger and not as a tenant. No possessor's right is granted or intended by this agreement or by participation in the Emergency Family Shelter program. In the event that the undersigned shall fail to abide by policies, rules and regulations provided by the Emergency Family Shelter program, he/she agrees to immediately vacate the living space assigned and to do so without requirement of legal process and in an orderly and peaceful manner.

THIS AGREEMENT BY AND BETWEEN Upward Bound House, "UBH", and _____, "Client", from this _____ day of _____, 20_____, until the completion or termination of the program.

UPWARD BOUND HOUSE allows Client the use of the premises known as: Upward Bound Emergency Family Shelter, Unit _____.

Premises shall be occupied only by the following named person(s):

_____ Name	_____ Birth Date	_____ Name	_____ Birth Date
_____ Name	_____ Birth Date	_____ Name	_____ Birth Date

APPENDIX 2

PROGRAM RULES AND REQUIREMENTS:

1. Clients and their families are to cooperate with Upward Bound Emergency Family Shelter staff at all times. Clients failing to cooperate with Upward Bound's Emergency Family Shelter staff as per the terms of the agreement and the Program Rules and Regulations at any time will be dealt with by the proper authorities and/or terminated from the program.
2. Possession of weapons is not allowed on Upward Bound Emergency Family Shelter premises at any time. This is cause for immediate termination.
3. Clients and their families shall not commit any acts of violence and/or threats of violence in or around Upward Bound Emergency Family Shelter premises. Invading personal space of or screaming at a Emergency Family Shelter employee, neighbor or another Family Shelter resident with the intent of intimidating them, will be treated as a threat to their safety and be dealt with accordingly. The use of obscenities when dealing with an Emergency Family Shelter staff person, neighbor, or other resident will not be tolerated. This is cause for immediate termination.
4. Meet on a daily basis with your assigned Case Manager. Not meeting with your Case Manager daily, without an excuse, or not following the case management plan is cause for immediate termination from the program.
5. All Residents must participate in the GAIN/Welfare to work program and/or Chrysalis and/or secure Employment within Thirty (30) days
6. Residents are not allowed to have visitors/outside guests at any time without the written permission of their Case Manager. Upward Bound's Emergency Family Shelter property is for the sole use of Program clients/families. No adults who are not on the agreement may spend the night.
7. Residents are not allowed to visit in other client's units.
8. Curfew is 9:00 PM nightly. Requests for curfew extension must be submitted to case manager in writing for approval.
9. No children are allowed in the parking lot or on the balconies unless they are coming or going to their living space with parent(s).
10. Children shall not be left alone at any time or supervised by anyone under the age of fourteen (14).

11. Each client shall sign out each time he/she is leaving the facility regardless of the expected time that said client will be absent. Each client shall also sign in each time he/she is returning to the facility.
12. No soliciting of any kind is allowed on Upward Bound Emergency Family Shelter premises.
13. Clients, including children, must be fully clothed at all times while on Upward Bound Emergency Family Shelter premises. Housecoats, robes, nightgowns, pajamas, and bare feet are forbidden outside of clients units.
14. Shelter staff will, without notice, inspect all units, for compliance of house/program rules, building and safety, health, and fire violations. At that time please report any unit problems or damages.
15. Upward Bound's Emergency Family Shelter may deliver a notice to immediately vacate the premises upon the failure of the Client to stay in compliance with the Program Rules.
16. Clients must inform the staff of domestic violence history, any current threats to their safety or any acts of violence committed against the resident while involved in the Emergency Family Shelter Program.
17. Acts of domestic violence committed while involved in the Emergency Family Shelter program are grounds for immediate termination from the program for the perpetrator. The victim may be required to cooperate with the Upward Bound staff by moving to another appropriately safe shelter.
18. The Upward Bound Emergency Family Shelter program is for the exclusive use of homeless families with minor children. At least one adult on this agreement must have legal custody of at least one of the minor child(ren) (17 years of age or younger) listed on the agreement. That minor child must be in the physical possession of an adult on this agreement and the adult must be the primary custodian of the child. At least one child on the agreement must be living with the adult on the Emergency Family Shelter grounds at all times during their participation in the program (except during visits to non-custodial parent(s) approved by the court and approved child custody arrangements or approved by Emergency Family Shelter case management staff). Loss of custody or physical possession of children listed on this agreement is grounds for immediate termination from the program.

UNITS AND GROUNDS:

1. Foil will not be permitted on windows at any time.
2. Security improvements, including locks, window, and door bars may not be installed by clients. Upward Bound Emergency Family Shelter maintenance personnel must install all extra security devices.
3. Clients shall be held liable for all damages to Upward Bound's Emergency Family Shelter, its common areas, individual units, stairways and hallways caused by client or their children. The parent(s) will pay all damage caused by children such as crayon marks, broken windows, or marred walls.
4. Clients and their families must give immediately, notice to the assigned Case Manager of any accident or injury to any person, or of any damage to the premises or furnishings.
5. Clothing, towels, rugs, mops, etc. shall not be hung outside any window or balcony.
6. Clients are not allowed to change oil, wash, or do repair work on cars on the Upward Bound's Emergency Family Shelter property.
7. No trash, bottles, or papers shall be left on the balconies or other common area of the complex. All trash must be placed in designated containers.
8. The client shall be responsible for reporting change in family size or composition to assigned Case Manager.
9. Management (Upward Bound House) is not responsible for the loss of a client's personal property and/or is not held liable for the actions of client/client's family or any disaster natural or self caused.
10. "Quiet Time" will begin at 8:00PM nightly. After 8:00PM, TV, radios, and voices must be kept at a level that is not heard in the parking lot, balconies, or other apartments. (During the day, TV, voices, and radios must be kept at reasonable levels and turned down if requested by a staff member.) Curfew is 9:00 PM nightly.
11. This is a sober living facility. There is absolutely no drinking of alcoholic beverages allowed in or around the Upward Bound's Emergency Family Shelter property at any time; this includes client living spaces and the public/common areas of the property. Clients shall not be under the influence of alcohol or drugs at any time.
12. No skateboarding, bicycling, rollerblading will be allowed on the premises (except for tricycles).

13. Smoking is not allowed in client living spaces or common areas at any time.
14. Each client is responsible for keeping assigned living space and immediate grounds (including balconies and parking area) clean and free of trash and debris at all times. Trash shall be removed once per day by clients from their unit and placed in the designated trash area.
15. The parents must thoroughly clean their living space immediately before departure from the Upward Bound's Emergency Family Shelter Program.
16. No pets are permitted on the premises; this includes dogs, cats, birds, hamsters, snakes, turtles, fish, etc.
17. On-site parking is limited. If you have a vehicle, make sure it is parked on-site in a marked parking stall and register the vehicle with staff. Cars must be clean and in good working order.

NOISE AND CONDUCT:

1. Clients and their families shall not make or allow any disturbing noises in their living space, or permit any actions by such persons, which will interfere with the rights, comforts or conveniences of other residents, staff or neighbors.
2. All musical instruments, television sets, stereos, radios, etc. are to be played at a volume, which will not disturb other persons.
3. No loud noise disturbing to other clients or neighbors will be allowed at any time.
4. If a child is crying or upset, or if anyone in the living space is raising his or her voice, the doors and windows to the apartment must be closed immediately. They must stay closed until the individual calms down and is quiet enough not to disturb neighbors.
5. Clients are NOT to discuss noise complaints with members of the community. This includes, but is not limited to, yelled comments across the parking area or fences. Instead, go to the staff member on duty and give him or her the details of the incident so that they can document them in a formal report.

TRASH:

1. Containers for refuse and garbage have been placed in a central location. All garbage must be disposed of in plastic bags with ties to avoid any unwanted pests around the trash area as well as around the building or in client's living spaces.

2. Individual trashcans must be stored in client living spaces. Trash must be emptied daily.

New rules, regulations, amendments, or terms to these rules may be adopted by Upward Bound's Emergency Family Shelter at will and will go into effect immediately. These rules and any changes or amendments have a legitimate purpose and are not intended to be arbitrary or work as a substantial modification of Client's rights. They will not be unequally enforced. Client is responsible for the conduct of their family and adherence to these rules and regulations at all times. Violation of these rules and regulations or any provision of the agreement may result in immediate termination from the program.

The undersigned hereby expressly releases Upward Bound House, its staff, agents, and assigned from any and all liability for injury or damage arising out of Resident Lodger's participation in the program, Upward Bound House is not responsible for your personal property, and will hold it for only two (2) weeks after you leave the program.

I HAVE READ AND RECEIVED A COPY OF THIS AGREEMENT, THE PROGRAM RULES AND REGULATIONS, AND ACCOMPANYING INVENTORY LIST. I UNDERSTAND THAT IF I VIOLATE THE TERMS AND CONDITIONS OF THIS AGREEMENT, I MUST VACATE MY LIVING SPACE, AND MY ENROLLMENT IN THE PROGRAM WILL END AT THAT TIME.

Client Signature

Date

Client Signature

Date

Case Manager

Date

Attachment 8

12841 Washington Blvd – Upward Bound House Community Meeting
Culver Park West
September 20, 2007
7:30 PM

The community meeting was attended by approximately 15 community members. The applicant made a 10-minute presentation of the project and discussed the operations of the existing facility in Santa Monica. At that point the residents were invited to ask questions or make comments.

CONCERNS

The residents had a series of concerns about the proposal. The primary concerns and the applicant's responses follow:

- 1) The impact of the proposed shelter on property values.

The applicant stated that property values around the existing facility in Santa Monica have risen in the past few years. However, he was unsure what effect the new facility would have on the nearby Culver City properties' values.

- 2) The criminal element that a shelter could bring to the area.

The applicant explained that the residents at these facilities are families with children whose primary motivation is to find permanent housing quickly and to recover financially and they are unlikely to cause crimes. In addition, the applicant pointed out that the facility will have staff present at the facility on a 24-hour basis and that the facility has a strict code of conduct for its residents.

- 3) The impact on the Police Dept. resources from the increased population and potential increase in crime.

The applicant did not anticipate a significant impact on Police resources from the operation of the facility.

- 4) Whether the new residents had drug or alcohol problems.

The applicant explained that use of alcohol and drugs is strictly prohibited at the facility and violations of this prohibition result in termination from the program. In addition, the applicant pointed out that residents are tested for drugs before and while they are in the program.

- 5) The traffic impact from the new residents.

The applicant explained that the traffic impact would not be significant, because many of the program participants do not own cars.

- 6) Whether children will have a play area and whether they will be controlled.

The applicant indicated that a small area behind the facility will be fenced off to be used as a play area by children. He pointed out that children will go to schools during the day and when they are at the facility, they will be under the supervision of staff.

- 7) The number of people and the density.

The applicant did not believe that the maximum possible number of residents represented a significant increase in the population at the site and the neighborhood.

- 8) The improvements that the applicant would make to the facility to benefit the area.

The applicant pointed out that minor repairs and repainting would be done, some landscaping would be added along the street frontage, and that a perimeter wrought iron fence will be installed. He also pointed out that an existing pole sign will be removed.

- 9) Concern that the homeless shelter was not the type of use envisioned for this location by the residents. In addition, the City should not commit to a small improvement for a long term, but rather wait until a better use for the site and the area is identified.

The applicant explained that the facility would provide a necessary service for the immediate area and LA County in general. He added that the proposed facility would be an improvement over the existing use of the site.

- 10) Concern regarding the over-concentration of uses catering to socially disadvantaged populations.

The applicant explained in general that due to the operating rules and requirements of Upward Bound House, the proposed shelter would not have the impacts typically associated with such populations.

QUESTIONS

- 1) A resident asked how the applicant's organization finds the residents for its facilities.

The applicant explained that Upward Bound House works with other non-profits and governmental agencies that refer residents to them. The residents are then screened, interviewed and admitted to the program.

- 2) Resident asked how these people become homeless and where they come from.

The applicant explained that there are many thousands of homeless people in LA County, including families with children. Some of the reasons families become homeless are: domestic violence, medical emergencies that lead to bankruptcy, and general economic conditions. Many people/families live “check-to-check,” and don’t have the savings to help in cases of emergency.

3) Resident asked about the relationship of the applicant to the existing motel.

The applicant explained that Upward Bound House will be purchasing the motel property.

4) A resident asked how the organization finds permanent housing for its residents.

The applicant explained that Upward Bound House has working relationships with cities and other government agencies that assist low-income families find homes. In some cases, the organization is also able to subsidize its residents even after they leave their facility. The applicant explained that Upward Bound House always finds housing for its residents, even if they violate the facility’s code of conduct. They never send any of their residents back onto the street.

Attachment 8

12841 Washington Blvd – Upward Bound House Community Meeting
Culver Park West
September 20, 2007
7:30 PM

The community meeting was attended by approximately 15 community members. The applicant made a 10-minute presentation of the project and discussed the operations of the existing facility in Santa Monica. At that point the residents were invited to ask questions or make comments.

CONCERNS

The residents had a series of concerns about the proposal. The primary concerns and the applicant's responses follow:

- 1) The impact of the proposed shelter on property values.

The applicant stated that property values around the existing facility in Santa Monica have risen in the past few years. However, he was unsure what effect the new facility would have on the nearby Culver City properties' values.

- 2) The criminal element that a shelter could bring to the area.

The applicant explained that the residents at these facilities are families with children whose primary motivation is to find permanent housing quickly and to recover financially and they are unlikely to cause crimes. In addition, the applicant pointed out that the facility will have staff present at the facility on a 24-hour basis and that the facility has a strict code of conduct for its residents.

- 3) The impact on the Police Dept. resources from the increased population and potential increase in crime.

The applicant did not anticipate a significant impact on Police resources from the operation of the facility.

- 4) Whether the new residents had drug or alcohol problems.

The applicant explained that use of alcohol and drugs is strictly prohibited at the facility and violations of this prohibition result in termination from the program. In addition, the applicant pointed out that residents are tested for drugs before and while they are in the program.

- 5) The traffic impact from the new residents.

The applicant explained that the traffic impact would not be significant, because many of the program participants do not own cars.

- 6) Whether children will have a play area and whether they will be controlled.

The applicant indicated that a small area behind the facility will be fenced off to be used as a play area by children. He pointed out that children will go to schools during the day and when they are at the facility, they will be under the supervision of staff.

- 7) The number of people and the density.

The applicant did not believe that the maximum possible number of residents represented a significant increase in the population at the site and the neighborhood.

- 8) The improvements that the applicant would make to the facility to benefit the area.

The applicant pointed out that minor repairs and repainting would be done, some landscaping would be added along the street frontage, and that a perimeter wrought iron fence will be installed. He also pointed out that an existing pole sign will be removed.

- 9) Concern that the homeless shelter was not the type of use envisioned for this location by the residents. In addition, the City should not commit to a small improvement for a long term, but rather wait until a better use for the site and the area is identified.

The applicant explained that the facility would provide a necessary service for the immediate area and LA County in general. He added that the proposed facility would be an improvement over the existing use of the site.

- 10) Concern regarding the over-concentration of uses catering to socially disadvantaged populations.

The applicant explained in general that due to the operating rules and requirements of Upward Bound House, the proposed shelter would not have the impacts typically associated with such populations.

QUESTIONS

- 1) A resident asked how the applicant's organization finds the residents for its facilities.

The applicant explained that Upward Bound House works with other non-profits and governmental agencies that refer residents to them. The residents are then screened, interviewed and admitted to the program.

- 2) Resident asked how these people become homeless and where they come from.

The applicant explained that there are many thousands of homeless people in LA County, including families with children. Some of the reasons families become homeless are: domestic violence, medical emergencies that lead to bankruptcy, and general economic conditions. Many people/families live “check-to-check,” and don’t have the savings to help in cases of emergency.

3) Resident asked about the relationship of the applicant to the existing motel.

The applicant explained that Upward Bound House will be purchasing the motel property.

4) A resident asked how the organization finds permanent housing for its residents.

The applicant explained that Upward Bound House has working relationships with cities and other government agencies that assist low-income families find homes. In some cases, the organization is also able to subsidize its residents even after they leave their facility. The applicant explained that Upward Bound House always finds housing for its residents, even if they violate the facility’s code of conduct. They never send any of their residents back onto the street.

REGULAR MEETING OF THE
PLANNING COMMISSION, CITY OF CULVER CITY,
CALIFORNIA

October 24, 2007
7:00 P.M.

Call to Order & Roll Call

Present: Marcus Tiggs, Chair
David Rockwell, Vice Chair
John Kuechle, Commissioner
Andrew Weissman, Commissioner

Absent: Linda Smith-Frost, Commissioner
(excused)

o0o

Pledge of Allegiance

The Pledge of Allegiance was led by Thomas Gorham.

o0o

Public Comment for Items Not on the Agenda

Chair Tiggs invited public participation.

o0o

The order of the Agenda items was changed. PH-2 was
discussed first followed by PH-1.

PH-2

Conditional Use Permit to Allow Conversion of an Existing Motel
into an Emergency Shelter for Families located at 12841 Washington
Boulevard.

Paul Samaras, Associate Planner, gave a brief summary of the
project.

Present for the applicant was David Snow.

Public Speakers:

Upward Bound Residents

Lucia Smulovitz
Jerry Terveer
Kiara Terveer (daughter)

Public Speakers in Support of the Project:

Patrie Sardo	Cindy McQuade	Cheryl Handel
Dick Ramsdell	Sue McCabe	Tom McCabe
Connie Rand	Rev. Doris Davis	Howard Hackett
Cherlyn Martin	Bruce Rankin	Anne Finestone
Richard Crawford	Mary Crawford	Barbara Brown
Daniel Palo	Phyllis Johnson	David Rosenman
Katherine Stanfill	Kristina Andersen	Bob Lench
James Gibson	Disa Lindgren	Roger Eaton
Cindy Burg	Margaret Lindgren	Eileen Brown
Patricia Gordon	Tom Wilson	Rina Shapiro
Booker Pearson	Paul Jacobs	Ronda Meister
Jody Reichel	Jim Krause	Janet Krause
Jane Spiegel	Rabbi Jeff Marx	Kita Curry
Michelle Burchell	Jeffrey Pelton	Victoria Rosenfield
Cindy McQuade	Mary Singaus	Debbie Breen
Sheila Thomas		

Public Speakers In Opposition of the Project:

Edwina Magaña	Alex Reitman	Linda Guagliano
Catherine Manzella	Dana Markee	Murray Airhart, Sr.
Reta Mosea	Claus Nordahl	Barbara Gibson
Hans Rockenwagner	Donna Leventhal	Lea Sasslo (location only)
Audrey Brantner	Doug Merrill	Kimberly/Glen Johnson
Patricia Housen	Ellie Bertnell	Lydia Lucciola
Debby Bohn-Holly	Gary Moskowitz	

Public concerns regarding the project:

- Insufficient acreage
- Property is unsafe and too small
- Crime
- Transient population
- Wrong location to house families
- No kitchen facilities
- Teenage population on the property
- Parking

- Public schools are not close to the project site
- Approval of the project would not consider residents' of the area
- Location is inappropriate for children regarding traffic safety and lack of playing area
- Transient population property damage
- Project does not revitalize the neighborhood
- Lowering of property values
- Traffic study needs to be conducted

Motion to close the public hearing was moved by Vice Chair Rockwell, seconded by Commissioner Kuechle.

Motion to receive and file correspondence was moved by Commissioner Weissman, seconded by Vice Chair Rockwell.

Motion to continue Site Plan Review and Tentative Parcel Map for the Construction of Three Condominium Townhouses located at 4048 Lincoln Avenue to November 14, 2007 was moved by Commissioner Kuechle, seconded by Commissioner Weissman (as the first item on the agenda).

Motion to reopen the Public Hearing was moved by Vice Chair Rockwell, seconded by Commissioner Kuechle.

Comments from the following were read into the record:

Brian Davis	Marie Keating/Linda Terlizzi
Carolyn DeVinny	Juan Aguilar
Angie Simon	Carrie Oliver
George Yamada	Jessica Asher
Dena Bouskos	William Asher
Valerie Trevino	Tamara Gould
Jahan Stanizai	Michelle Weiner
Catherine Fritz	Sandy & Michael Banks
Mario Collura	

Motion to close the Public Hearing was moved by Commissioner Weissman, seconded by Commissioner Kuechle.

Sol Blumenfeld

- Addressed land use concerns
- Project is truncated by the zoning code
- "Open space" in the area is restricted to residential properties
- Are revitalization upcoming in projection

Comments and Concerns of Commissioners:

Commissioner Weissman

- Supports the project.
- Concerns about the "let out" space and wall.
- Should add condition that limits the stay at the project site to a maximum of ninety (90) days.

Commissioner Kuechle

- Concern about whether the project can be legally classified as "emergency shelter".
- More input needed from staff regarding the lack of kitchen facilities with respect to the Code.
- Not comfortable with granting the CUP for this project.
- Negative impact on schools; land use concerns regarding project would be more suitably located near area schools.

Vice Chair Rockwell

- Supports project
- Safety and security questions were addressed in neighborhood meetings by the applicant

Chair Tiggs

- Project meets the code
- Emergency shelters serves the public interest
- Property remaining as a motel would generate more traffic.

Following review and discussion of the project a motion to adopt the Conditional Use Permit was moved by Vice Chair Rockwell, seconded by Commissioner Weissman.
Vote: 3-1. (Negative Vote by Commissioner Kuechle)

Consent Calendar

o0o

Item C-1

Secretary's Report

THAT THE PLANNING COMMISSION APPROVE THE SECRETARY'S REPORT WAS MOVED BY COMMISSIONER WEISSMAN, SECONDED BY COMMISSIONER KUECHLE.

o0o

ITEMS FROM STAFF

Thomas Gorham, Planning Director gave staff comments regarding the upcoming Commission meetings:

November 14, 2007	4048 Lincoln Avenue
November 28, 2007	Star Prep Academy

o0o

ITEMS FROM COMMISSIONERS

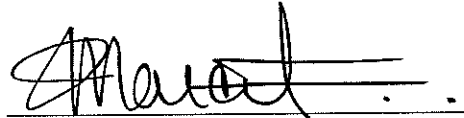
Commissioner Kuechle had the following concerns:

- Monday was the agreed upon day to receive packets
- Commissioner should receive an electronic copy of the packet
- Resolutions should be emailed to Commissioners prior to final signature by the Chair

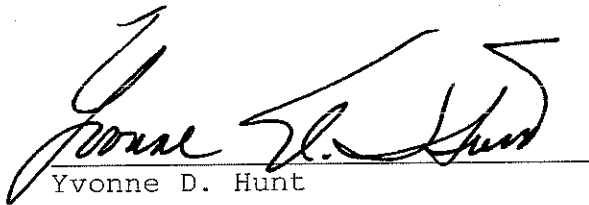
Staff agreed to provide the Commissioners with an electronic version of the resolutions prior to final signature when there are multiple revisions; turnaround time will be two days.

Adjournment

There being no further business, at 12:15 A.M., the Planning Commission adjourned its meeting to an Adjourned Regular Meeting to be held on November 14, 2007.

A handwritten signature in black ink, appearing to read "Marcus Tiggs", written over a horizontal line.

Marcus Tiggs, Chair
City of Culver City
Planning Commission

A handwritten signature in black ink, appearing to read "Yvonne D. Hunt", written over a horizontal line.

Yvonne D. Hunt
Administrative Secretary