

ORDINANCE NO. 2026-_____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CULVER CITY, CALIFORNIA, APPROVING THE FOX HILLS SPECIFIC PLAN, ZONING CODE AMENDMENT AND ZONING CODE MAP AMENDMENT, P2026-0100-SP, -ZCA, -ZCMA, AMENDING TITLE 17 – ZONING CODE OF THE CULVER CITY MUNICIPAL CODE (CCMC) TO INCOPORATE THE FOX HILLS SPECIFIC PLAN

(Specific Plan, Zoning Code Amendment, Zoning Code Map Amendment P2026-0100-SP, -ZCA, -ZCMA)

WHEREAS, on August 26th, 2024, the City adopted the Culver City General Plan 2045, establishing higher density mixed use in the Fox Hills neighborhood; and

WHEREAS, the Culver City General Plan 2045 identifies the Fox Hills Neighborhood as a special study area that would benefit from closer analysis and specific policy interventions such as the creation of a specific plan; and

WHEREAS, the City retained Studio One Eleven to create the Fox Hills Specific Plan and to implement a development framework covering the Fox Hills neighborhood (the “Project”); and

WHEREAS, to implement the proposed Project, approval of the following applications is required:

1. Fox Hills Specific Plan P2026-0100-SP: to adopt the specific plan; and
2. Zoning Code Amendment P2026-0100-ZCA: to update the Culver City Zoning Code to implement the Fox Hills Specific Plan; and
3. Zoning Code Map Amendment P2026-0100-ZCMA: to update the Culver City Zoning Map to implement the Fox Hills Specific Plan; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the Project requires that the Planning Commission recommend the City Council consider an Addendum to

1 the General Plan 2045 Program Environmental Impact Report (PEIR), and find that the
2 Addendum properly discloses only minor technical changes or additions to the PEIR; and

3 WHEREAS, on May 13, 2026, after conducting a duly noticed public hearing on the
4 subject application, including full consideration of the project documents, staff report,
5 environmental information and all testimony presented, the Planning Commission, by a vote of
6 4 to 0, recommended the City Council approve the Fox Hills Specific Plan, Zoning Code
7 Amendment and Zoning Code Map Amendment P2026-0100-SP, -ZCA, -ZCMA, and
8 recommended that the hotel height incentive not be included, as set forth herein below;

9
10 WHEREAS, on May 26, 2026, after conducting a duly noticed public hearing on the
11 subject application, including full consideration of the project documents, staff report,
12 environmental information and all testimony presented, the City Council, by a vote of 3 to 0,
13 adopted an Addendum to the Culver City General Plan 2045 Environmental Impact Report
14 (EIR) under the California Quality Act (CEQA) pursuant to CEQA Guidelines Section 15164,
15 and introduced an ordinance approving the Fox Hills Specific Plan, Zoning Code Amendment,
16 and Zoning Code Map Amendment P2026-0100-SP, -ZCA, -ZCMA, incorporating the City
17 Council's direction to remove the hotel height incentive zone (the "Ordinance"), as set forth
18 herein below; and
19
20

21 WHEREAS, on June 8, 2026, the City Council, by a vote of _ to _ adopted the Ordinance
22 as set forth below.
23

24 NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CULVER CITY,
25 CALIFORNIA, DOES HEREBY ORDAIN, as follows:
26

27 SECTION 1. Pursuant to the foregoing recitations and the provisions of the Culver City
28 Municipal Code (CCMC), the following findings are hereby made:
29

1 As outlined in CCMC Title 17, Section 17.570.020, the following required findings for Specific
2 Plan adoption are hereby made:

- 3 **1. The proposed Fox Hills Specific Plan is consistent with the objectives, policies,**
4 **general land uses, and programs of the General Plan and other adopted goals and**
5 **policies of the City.**

6 The proposed Fox Hills Specific Plan is consistent with Goal LU-7 in the General Plan,
7 which aims to make Fox Hills a vibrant, mixed use neighborhood that promotes the
8 activation of streets and open spaces and establishes a cohesive, walkable center that is
9 well-connected to its surrounding neighborhoods. Furthermore, Fox Hills is identified as a
10 Special Study Area in the General Plan, which are areas in the City that would benefit from
11 a closer analysis and specific policies and programs, such as the creation of a Specific
12 Plan.

13 As outlined in CCMC Title 17, Section 17.620.030, the following required findings for Zoning
14 Code Map Amendments are hereby made:

- 15 **1. The proposed amendment ensures and maintains internal consistency with the**
16 **goals, policies, and strategies of all elements of the General Plan, and, in the case**
17 **of a Zoning Code amendment, will not create any inconsistencies with this Title.**

18 The proposed Zoning Code Text Amendment (ZCA) and a Zoning Code Map Amendment
19 (ZCMA), together known as the Zoning Code Update, were prepared to implement the Fox
20 Hills Specific Plan ("Plan"). The major objective of this Zoning Code Update (ZCU) is to
21 establish the Specific Plan zoning districts and development standards to correspond with
22 the proposed Specific Plan vision. The ZCU is consistent with the densities and floor area
23 ratios established in the General Plan Land Use Map. The ZCU also implements policies
24 and programs from the General Plan 2045, such as Goal LU-7 of the Land Use Element,
25 which envisions Fox Hills as a vibrant, mixed use area that is walkable and well-connected
26 to its surrounding neighborhoods.

- 27 **2. The proposed amendment would not be detrimental to the public interest, health,**
28 **safety, convenience or welfare of the City.**

29 This amendment was prepared to implement the Fox Hills Specific Plan, which aims to
improve and ensure the health, safety, and welfare of all members of the community with
policies throughout the plan such as complete street improvements that aim to improve
pedestrian and cyclist safety. The Specific Plan will also integrate a pedestrian paseo
network that mitigates the impacts of increased density and development by creating a
more connected and walkable neighborhood with added community amenities and green
space. A further goal of the Plan is to increase housing supply in the City with the
introduction of Specific Plan zoning districts, which is in the public interest of increasing
available housing types and reducing housing costs. Better integration and proximity
between commercial and residential uses will reduce the distance and number of

1 automobile trips and increase convenience and access to services and amenities for
2 residents.

3 **3. The proposed amendment is in compliance with the provisions of the California**
4 **Environmental Quality Act (CEQA).**

5 An Addendum to the General Plan 2045 Project Program Environmental Impact Report
6 (PEIR) was prepared in accordance with the California Environmental Quality Act (CEQA)
7 and adopted by the City Council on May 26, 2026. Pursuant to the provision of CEQA
8 Guidelines Section 15164 (Addendum to an EIR or Negative Declaration). The addendum
9 found that the project revision will not result in any potentially significant impact not already
10 analyzed in the PEIR.

11 As outlined in CCMC Title 17, Section 17.620.030.B, the following additional required finding
12 for a Zoning Code Map Amendment is hereby made:

13 **4. The site(s) is physically suitable (including access, provision of utilities,**
14 **compatibility with adjoining land uses and absence of physical constraints) for**
15 **the requested zoning designation(s) and anticipated land use development.**

16 The proposed Zoning Map is derived from the proposed General Plan Land Use Map. The
17 proposed zones reflected on the map are consistent with the General Plan Land Use
18 designations, including residential densities. The General Plan 2045 land use
19 designations, as well as the proposed zones and development standards, were thoroughly
20 audited to determine compatibility with existing development and parcel characteristics.
21 The City is fully connected with local and regional roadways and utilities. Site-specific
22 access, utility provisions, and physical constraints will be evaluated and determined as
23 individual development proposals are received.

24 SECTION 2. Pursuant to the foregoing recitations and findings, the City Council of the
25 City of Culver City, California, hereby approves the Ordinance adopting the Fox Hills Specific
26 Plan, Zoning Code Amendment and Zoning Code Map Amendment, P2026-0100-SP, -ZCA,-
27 ZCMA amending Culver City Municipal Code (CCMC) Title 17 – Zoning Code, to implement
28 The Fox Hills Specific Plan, as set forth in Exhibits A, B, and C attached hereto and made a
29 part thereof.

1 SECTION 3. Pursuant to Section 619 of the City Charter, this Ordinance shall take
2 effect thirty (30) days after the date of its adoption. Pursuant to Sections 616 and 621 of the
3 City Charter, prior to the expiration of fifteen days after the adoption, the City Clerk shall cause
4 this Ordinance, or a summary thereof, to be published in the Culver City News and shall post
5 this Ordinance or a summary thereof in at least three places within the City.
6

7 SECTION 4. The City Council hereby declares that, if any provision, section,
8 subsection, paragraph, sentence, phrase or word of this ordinance is rendered or declared
9 invalid or unconstitutional by any final action in a court of competent jurisdiction or by reason
10 of any preemptive legislation, then the City Council would have independently adopted the
11 remaining provisions, sections, subsections, paragraphs, sentences, phrases or words of this
12 ordinance and as such they shall remain in full force and effect.
13

14
15 APPROVED and ADOPTED this 8th day of June, 2026.
16

17
18

FREDDY PUZA, Mayor
19 City of Culver City, California

20 ATTESTED BY:

21 APPROVED AS TO FORM:

22
23

JEREMY BOCCHINO, City Clerk

24
25 
26

HEATHER BAKER, City Attorney
27
28
29

May 2026

Fox Hills

SPECIFIC PLAN



FOX HILLS SPECIFIC PLAN

ACKNOWLEDGEMENTS



City Council

Freddy Puza, Mayor
Bryan "Bubba" Fish, Vice Mayor
Yasmine-Imani McMorris, Council Member
Dan O'Brien, Council Member
Albert Vera, Council Member

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Jennifer Carter, Vice Chair
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Funded by:



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1. User Guide



- 1.1 Purpose
- 1.2 Authority
- 1.3 Specific Plan Area
- 1.4 How to Use This Plan
- 1.5 Project Review and Approval Process

1.1 PURPOSE

The Fox Hills Specific Plan is established to orchestrate private and public development in the Fox Hills Neighborhood. It sets forth the primary means of regulating land use, development, and mobility improvements within the Plan Area. It also establishes the primary means of planning City actions and investments in support of the growth of Fox Hills.

1.2 AUTHORITY

The Fox Hills Specific Plan is designed to meet the requirements of the State of California Government Code and the Culver City General Plan. It has been adopted under the authority of Article 5 of the Culver City Zoning Code, which establishes specific plans as an authorized mechanism for regulating land use and development standards for private and public development.

1.3 SPECIFIC PLAN AREA

The Plan Area is approximately 280 acres in size, and is located in the southeastern portion of Culver City, bounded generally by Slauson Avenue to the north, the I-405 freeway to the west, Centinela Avenue to the south, and the city limit to the east.



Vibes After 5 Event at Culver Pointe, Fox Hills, April 2025

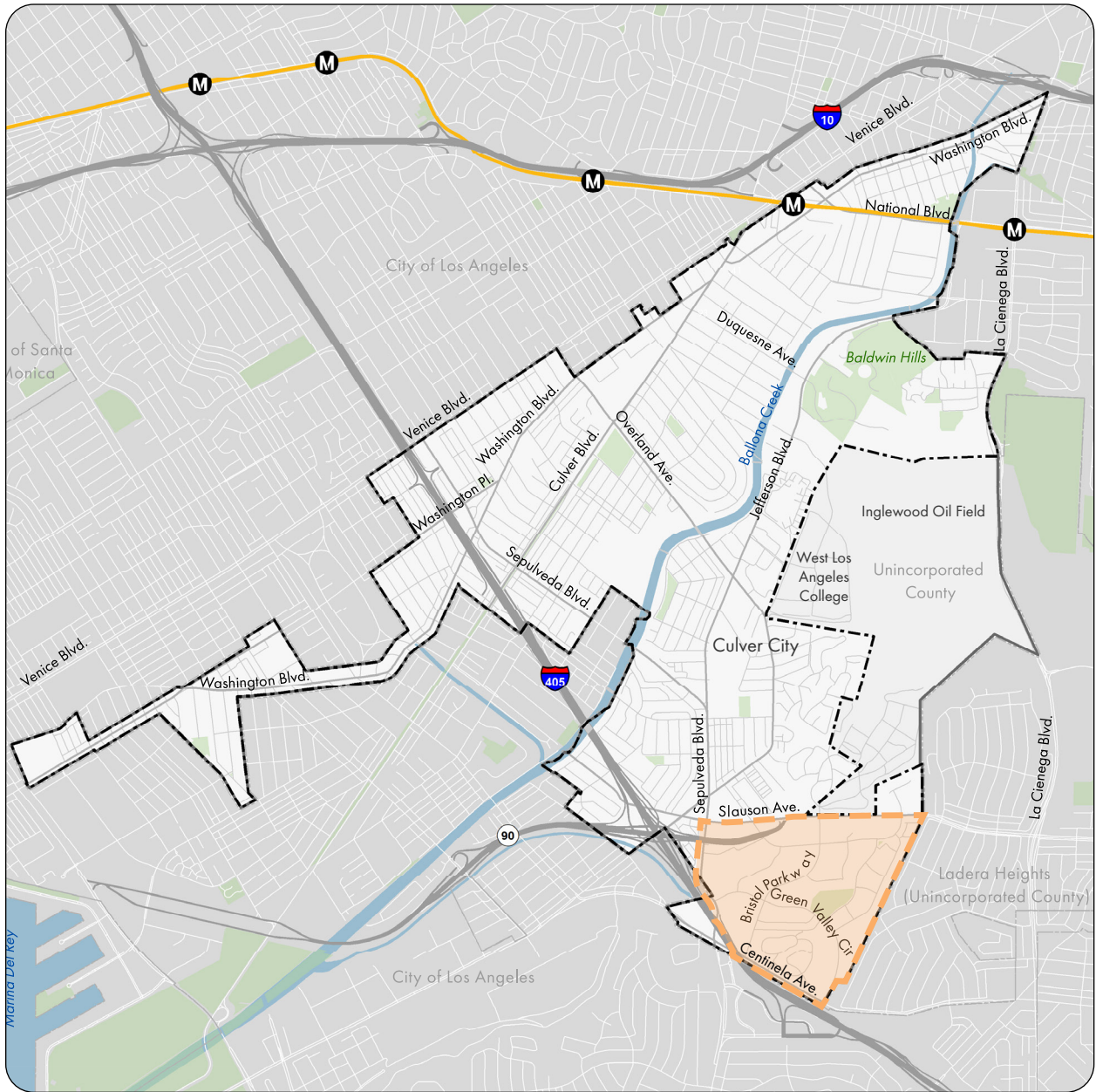


FIGURE 1.1

**FOX HILLS
SPECIFIC PLAN
AREA BOUNDARY**



0 0.25 0.5 1 MILE

- Culver City Limits
- Sphere of Influence
- Metro Station
- E Line (Expo)
- Major Roads
- Local Roads
- Parks and Open Space
- Waterbody
- Fox Hills Specific Plan Area Boundary

1.4 HOW TO USE THIS PLAN

Chapter 1 – User Guide establishes the authority of the Specific Plan, defines the Plan Area, and provides instructions for implementing the regulations of the Specific Plan.

Chapter 2 – Vision illustrates and describes the desired outcome of the plan. This section also includes desired future City actions which are optional. This section is for reference and is not regulatory.

Chapter 3 – Regulations establishes required regulations and standards that projects must comply with.

1.5 PROJECT REVIEW AND APPROVAL PROCESS

In order to receive planning clearance or approval, all projects within the Fox Hills Specific Plan Area shall conform with all plan regulations, including Land Use and Development Standards, Public Accessway Standards, and Complete Streets Standards, except Culver City governmental facilities are exempt from obtaining entitlements and may deviate from the required standards.

Land Use and Development Standards

The land use and development standards are established in the Culver City Zoning Map and Zoning Code, including entitlement processes and procedures.

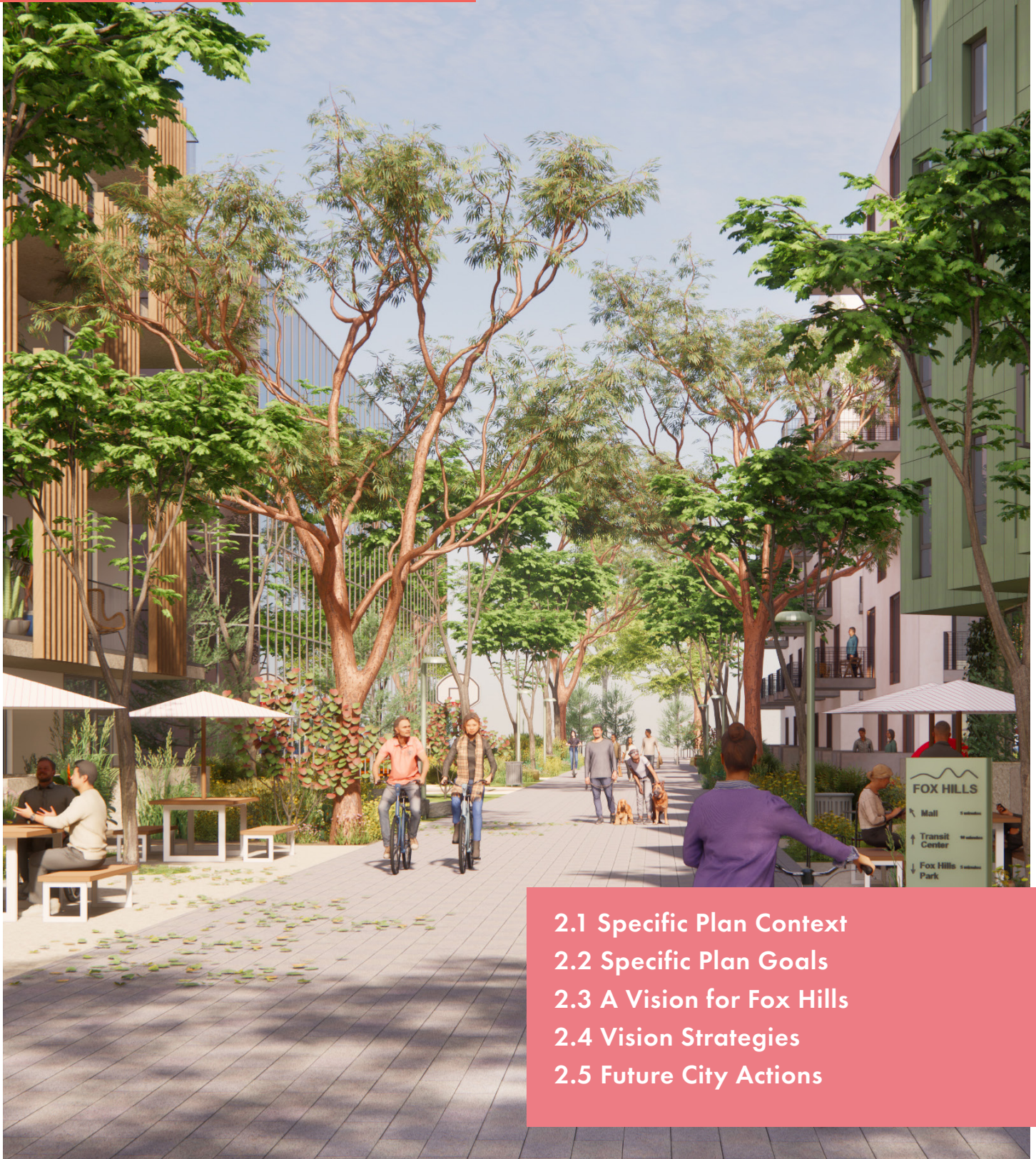
Public Accessways Standards

This section establishes the regulatory procedures, standards, and requirements for mobility improvements related to Public Accessways. This is not part of the Zoning Code but a mobility and safety requirement.

Complete Streets Standards

This section establishes the regulatory procedures, standards, requirements, and processes for mobility improvements related to complete streets improvements. This is not part of the Zoning Code but a mobility and safety requirement.

2. Vision



- 2.1 Specific Plan Context
- 2.2 Specific Plan Goals
- 2.3 A Vision for Fox Hills
- 2.4 Vision Strategies
- 2.5 Future City Actions

2.1 SPECIFIC PLAN CONTEXT

2.1.1 EXISTING CHARACTER

Fox Hills today is a neighborhood defined by three separate areas that coexist with limited cohesion: the Westfield Culver City (Fox Hills Mall) and surrounding commercial zone with hotels and retail; the office park area made up of low-rise campuses and surface parking; and the mid-density residential neighborhoods that remain some of Culver City’s most desirable places to live. Each area largely serves a single use, with limited walkability and separation that is further reinforced by large blocks, wide streets, and auto-oriented development patterns.



Westfield Culver City



Office Parks



Fox Hills Park

Fox Hills Existing Character



Residential

2.1.2 GENERAL PLAN UPDATE

The adoption of Culver City’s updated General Plan has set the stage for change. The General Plan Goal LU-7 specifies “A vibrant, mixed use Fox Hills area supports the redevelopment of surface parking, introduction of mixed use, and activation of streets and open spaces, establishing a cohesive, walkable center that is well-connected to its surrounding neighborhoods.”

As such, much of Fox Hills has been rezoned for mixed use and higher-density development, reflecting citywide goals to meet housing needs and support more walkable, sustainable neighborhoods. Significant transformation is anticipated first on the office park properties south of Hannum Avenue, where older buildings and large parking areas present clear redevelopment opportunities. As of January 2026, several plans for redevelopment have been submitted to the City by property owners and developers interested in building high-density multi-family housing. Over time, similar change may occur at the Westfield Culver City as retail trends shift and large commercial sites transition toward more diverse uses.



Figure 2.1 Fox Hills Specific Plan Area - Existing Streets and Development Patterns

2.1.3 THE NEED FOR A SPECIFIC PLAN

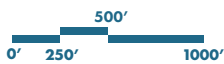
In this context, the General Plan identifies Fox Hills as a “Special Study Area” and the Fox Hills Specific Plan is both needed and timely. The City requires a Specific Plan to ensure that future development occurs in a coordinated and predictable way, guiding private investment while supporting public goals specific to the Fox Hills neighborhood. The Specific Plan will establish a clear framework for land use, mobility, open space, and infrastructure, providing a unified vision and set of standards.

The Specific Plan focuses on how new density will be experienced and guided. It aims to ensure that growth strengthens the qualities that make Fox Hills appealing today — including its greenery, sense of safety, and residential character — while adding the amenities and connections needed for the neighborhood’s future. Through this guidance, the Specific Plan seeks to support Fox Hills’ transition from a set of isolated districts into a more complete, mixed, and connected neighborhood where new development contributes meaningfully to everyday life and overall livability.



FIGURE 2.2

**GENERAL PLAN
LAND USE MAP
(ADOPTED 2024)**



- - - Culver City Limits
- · - · Fox Hills Specific Plan Boundary
- Medium Density Housing
- High Density Housing
- Mixed Use Medium
- Mixed Use High
- Parks and Open Spaces
- Cemetery

2.2 SPECIFIC PLAN GOALS

The Fox Hills Specific Plan establishes a framework to guide growth in a way that supports both existing and future residents. As the neighborhood transitions to mixed use and higher-density development, the Plan focuses on meeting three primary goals:

GOAL 1: BREAK UP LARGE BLOCKS TO IMPROVE ACCESS AND MOBILITY

The current street network creates large blocks with inconvenient routes for walking, biking, and emergency access. The Specific Plan introduces a network of new Public Accessways — the promenade and paseos — that reduce block size, increase walkability, and create a safer and more accessible environment for all users.

GOAL 2: PROVIDE COMMUNITY AMENITIES THAT SUPPORT DAILY LIFE

As new development occurs, the Specific Plan encourages the inclusion of spaces and facilities that serve the neighborhood — such as community spaces, accessible open and green areas, and planning for locally-serving retail where feasible — so that growth is paired with improvements to local services and quality of life.

GOAL 3: CREATE A COHESIVE AND CONNECTED MIXED USE NEIGHBORHOOD

The Specific Plan supports livable density, along with better transit access that links to jobs and services throughout Culver City and the region. By integrating land use, mobility, and public realm improvements specific to the neighborhood's character and conditions, the Specific Plan aims to shape Fox Hills into a more unified and connected place.



Examples illustrating Specific Plan goals: Top - Public Accessways; Middle - Community Center; Bottom - Mixed use neighborhood

2.3 A VISION FOR FOX HILLS

The Specific Plan Vision reflects citywide goals and is informed by community input and the opportunities created by updated land use policies. It outlines the desired future character of Fox Hills and establishes the foundation for the strategies and standards that follow.

Fox Hills is at a moment of transition. Long defined by separated uses and auto-oriented patterns, the neighborhood now has the opportunity to evolve into a more complete and connected place. This vision recognizes that change is coming, and that the role of the Specific Plan is not simply to accommodate growth, but to shape it in a way that improves everyday life for those who live, work, and spend time in the neighborhood.

At its core, **the vision is about making density livable.** New housing and mixed use development are paired with improvements to the public realm—streets that feel safe and comfortable, open spaces that invite daily use, and amenities that support community life. Growth is guided to strengthen what already works in Fox Hills: its green character, its park-centered identity, and its residential quality of life.

Over time, this approach will transform Fox Hills from a set of disconnected uses into a cohesive neighborhood with a clear sense of place. As development occurs incrementally, each project contributes to a larger framework—one that balances change with continuity and ensures that the benefits of growth are shared across the community.



Fox Hills Specific Plan Open House, October 2025

2.3.1 VISION STATEMENT

The Specific Plan will guide the evolution of Fox Hills into a **connected, green, and livable mixed use neighborhood**. It will focus on measures to preserve quality of life for existing residents, as well as ways to shape new development to create a distinct character and sense of place. With requirements for safe and inviting streets, green open spaces, and community amenities, the Plan will foster improved well-being and a desirable, healthy neighborhood in the future.

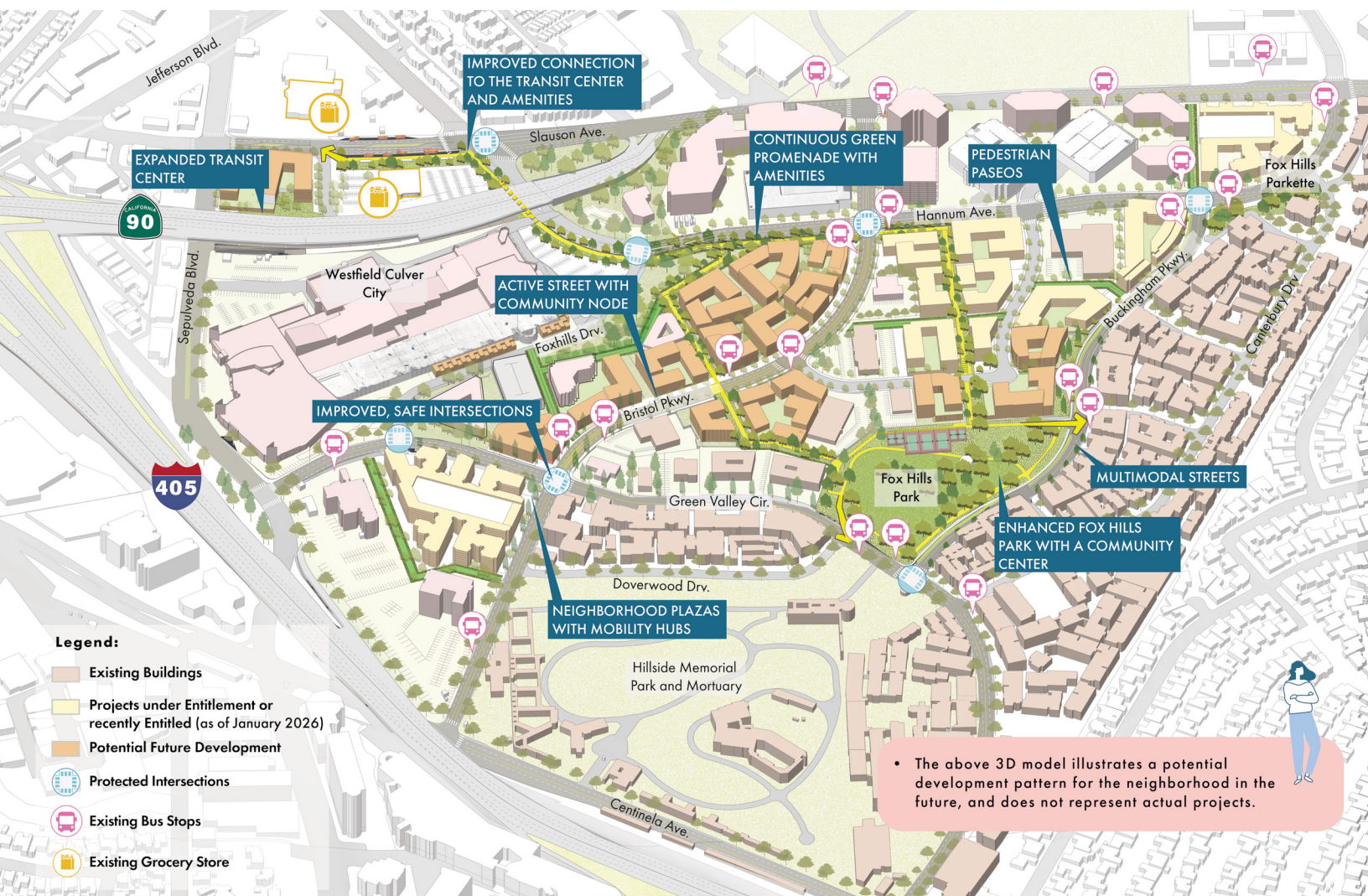


Figure 2.3 Fox Hills Specific Plan Vision - Potential Future Development

2.4 VISION STRATEGIES

The Fox Hills Specific Plan advances five strategies that guide how the neighborhood will grow and change over time. Together, these strategies translate the vision into clear outcomes for the public realm, mobility, development form, and neighborhood identity — ensuring that new density enhances livability and quality of life.

1. Build a Connected Green Network

Link new developments to Fox Hills Park, Transit Center and the mall through a new network of Public Accessways that includes landscaping, greening and amenities. These connections will break down existing superblocks, creating shorter and more intuitive walking and biking routes that make it easier to move through the neighborhood without a car.

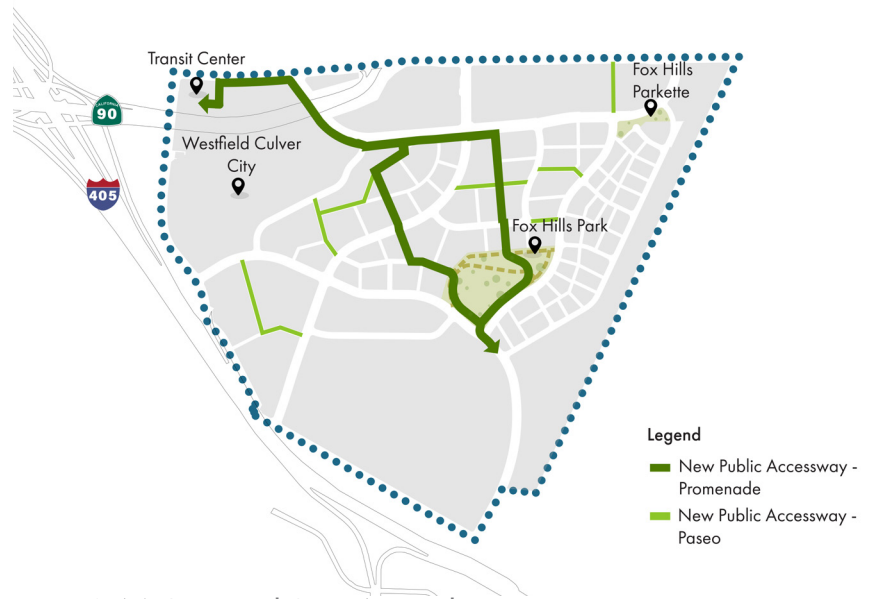


Figure 2.4 A Connected Green Network

2. Make it Easy and Safe to Get Around

Mitigate traffic, improve street safety, expand access to transit and sustainable mobility options. By improving street design, strengthening first- and last-mile connections, and coordinating mobility investments, Fox Hills can support growth while reducing reliance on driving and enhancing comfort for all users.

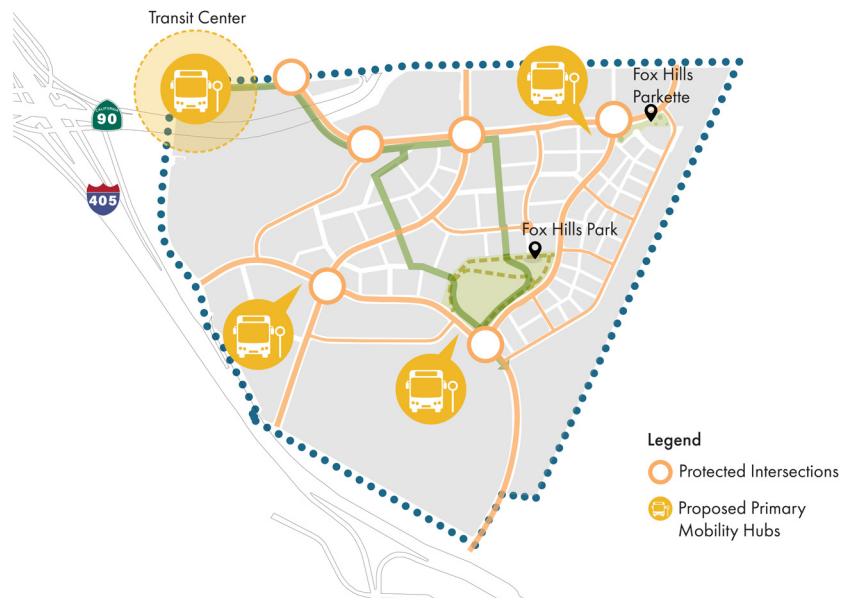


Figure 2.5 Mobility Improvements

3. Plan for More Neighborhood Amenities

Strengthen daily life in Fox Hills through community-oriented spaces and public amenities. By integrating publicly accessible amenities into both public and private projects, the neighborhood can ensure that growth results in tangible benefits that enhance quality of life for existing and future residents.



Figure 2.6 More Neighborhood Amenities

4. Guide New Development to Preserve and Enhance Neighborhood Character

Ensure new development complements existing scale and identity. This strategy emphasizes context-sensitive design rather than applying a one-size-fits-all approach to density. Through thoughtful building form, transitions, and attention to the public realm, new development can reinforce a cohesive neighborhood character while accommodating growth.

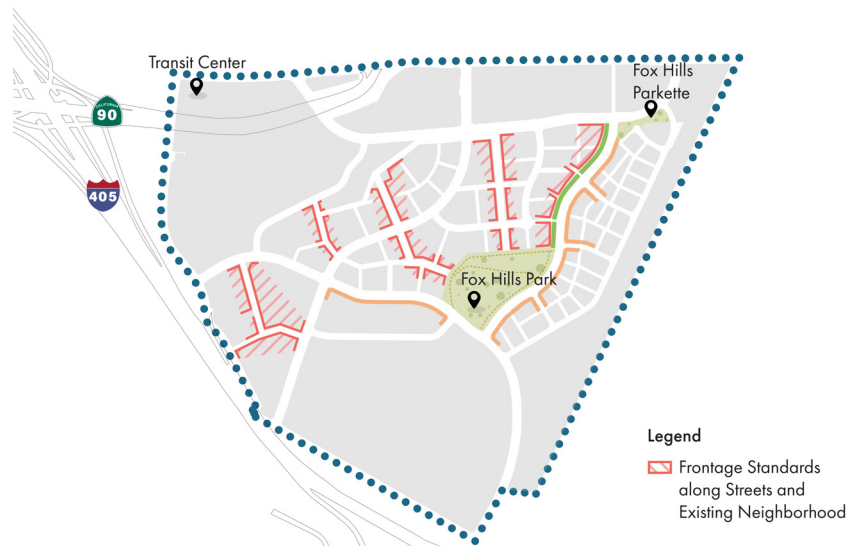


Figure 2.7 Guidelines for New Development

5. Strengthen Gateways and Identity

Create distinctive gateways at key entrances to Fox Hills that signal arrival and express the neighborhood's character. Over time, these gateways can reinforce Fox Hills' green character, improve wayfinding, and contribute to a more legible and recognizable neighborhood identity.

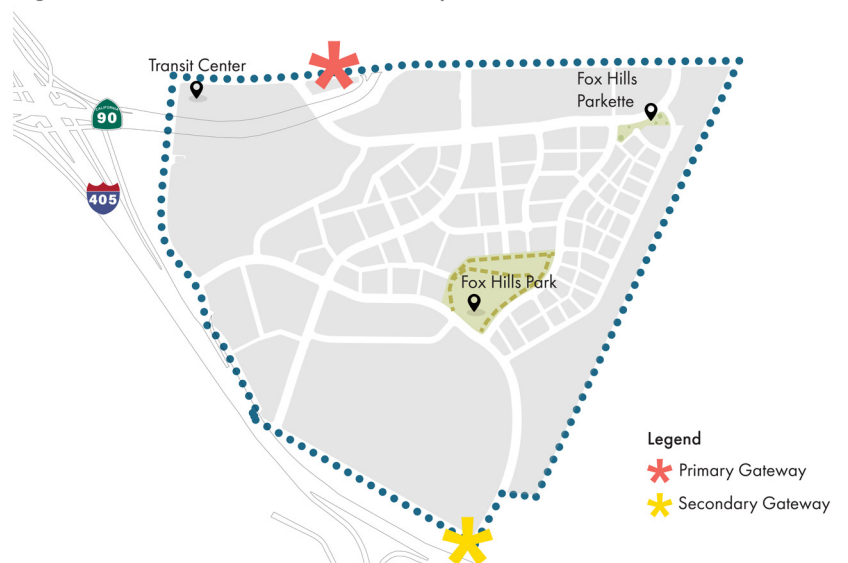


Figure 2.8 Potential Neighborhood Gateways

2.4.1 BUILD A CONNECTED GREEN NETWORK

Consistent with and Implements General Plan Land Use Goals:

- LU-7.2: Walkable Streets in Fox Hills
- LU-7.4: Park and open space

As commercial parcels redevelop, a new connected green network will break up the existing large city blocks and reshape how people move through and experience Fox Hills. It will do more than link places — it will provide more places to walk and bike, and stay active within the neighborhood, integrate landscaping and shade, add neighborhood amenities and social spaces, and accommodate essential infrastructure like fire lanes. Together, these improvements will create a continuous network of paths that are safe, more connected to nature, and usable by everyone.

Break down existing large blocks with new Public Accessways

Today's large blocks limit direct movement and everyday walkability. As properties redevelop, a fine-grained network of Public Accessways (new paseos and a looped promenade)—secured through public easements—will transform superblocks into a series of shorter, more intuitive walking routes, creating safer, more legible connections for daily life.



Figure 2.9 Breaking Down Large Blocks through Required Public Accessways

Link new development to Fox Hills Park, the Transit Center, and the mall

These new pedestrian and bicycle connections along a looped Promenade will connect new and existing development to the neighborhood's most important destinations, making Fox Hills Park, the Transit Center, and Westfield Culver City easier and more inviting to reach without a car. These links help strengthen access to recreation, transit, and services while supporting a more convenient, less auto-dependent pattern of neighborhood trips.

Integrate landscaping, trees, and green walkways into development and public spaces

The required Public Accessways will be designed as green, landscaped open spaces rather than purely paved corridors. Landscaped setbacks along these Public Accessways will frame the walking environment, allowing room for trees, planting areas, and outdoor activity that alleviate park pressure, while extending Fox Hills' established green character into new development.



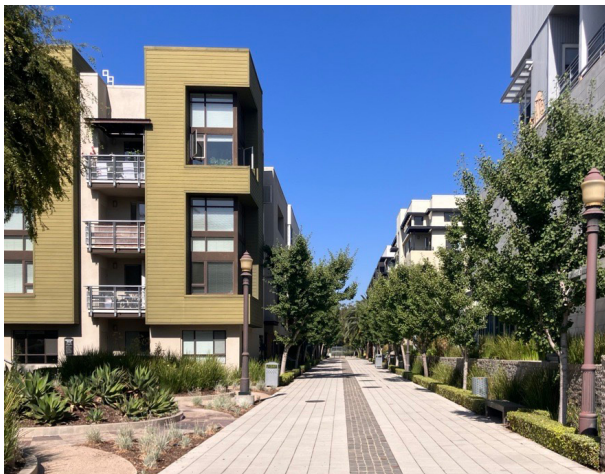
Figure 2.10 Proposed Network of Public Accessways (Promenade and Paseos)



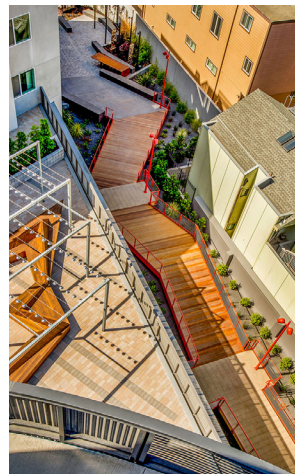
Figure 2.11 Conceptual Rendering of Proposed Public Accessway



Farragut Connector, Culver City - California
25-foot-wide right-of-way designed to optimize bike and pedestrian access between major corridors.



Westgate Apartments, Pasadena - California
A pedestrian paseo that connects residential units to the surrounding urban environment.



Dogpatch Rope Walk, San Francisco - California
Elevated boardwalk designed to connect north-south link across Tennessee Street in Dogpatch neighborhood.



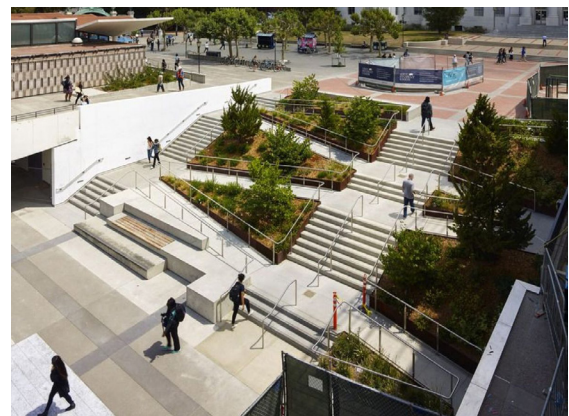
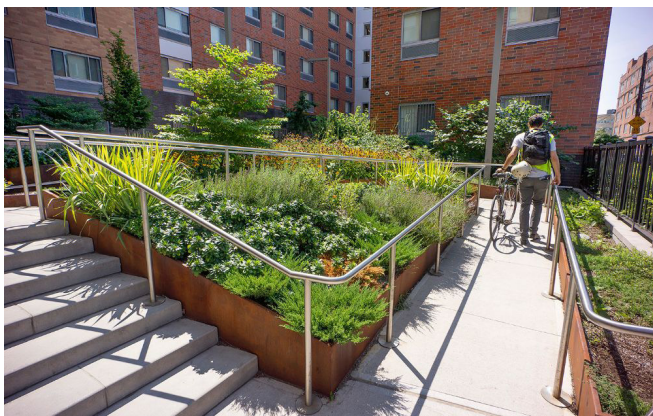
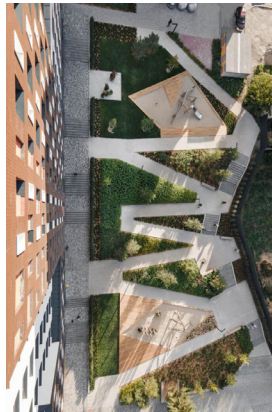
Juri Commons, San Francisco - California
A neighborhood park nestled between Guerrero Street and San Jose Avenue, featuring a children's play structure and a fully accessible network of pathways, seating, and bicycle amenities.



Precedents for Design of Public Accessways

Designing for Accessibility

Public Accessways will be designed as universally accessible routes that comfortably serve people of all ages and abilities, consistent with the intent of the Americans with Disabilities Act. Changes in grade will be thoughtfully integrated through a combination of ramps, stairs, and, where appropriate, elevators, ensuring continuous and equitable access across the Promenade network. Rather than treating accessibility as a technical requirement alone, these elements will be incorporated as part of a cohesive landscape and public realm design—using planting, landform, and spatial organization to create paths that are intuitive, gracious, and visually integrated. Well-designed accessible connections will contribute to a more inclusive, legible, and enjoyable experience for all users while reinforcing the identity of the network as a green, people-first system.



Options for Ramped Walkways that Integrate Public Stairs and Landscape



Option for Ramped Walkway Only

Option for Public Elevator With Exterior Stairs

Precedent for Design of Public Accessways with Running Slopes Greater Than 5%

2.4.2 MAKE IT EASY AND SAFE TO GET AROUND

Consistent with and Implements General Plan Land Use Goals:

- LU-7.2: Walkable Streets in Fox Hills
- LU-7.5: Surface Parking Reuse

As Fox Hills grows, the ability to move safely and comfortably through the neighborhood becomes essential to livability. The Specific Plan envisions a connected system of streets and mobility options that make it easy and enjoyable to get around — on foot, by bike, by transit, or through shared mobility. Together, these improvements demonstrate how thoughtful mobility design can support growth while reducing reliance on driving.

Create streamlined standards for safe and complete streets

Updated street design standards translate the Safer Fox Hills plan and the City’s adopted Complete Streets policies into clear, consistent requirements that prioritize walking, biking, transit, and everyday safety. Expanded sidewalks, street trees, lighting, and improved crossings will enhance comfort and accessibility, while standardized expectations for roadway improvements and sidewalk dedications ensure that private development contributes to a cohesive, people-oriented, and multimodal street network over time.

Plan for expansion of the Transit Center and new neighborhood-scale mobility hubs

Enhancing the Transit Center and introducing neighborhood-scale mobility hubs with amenities for multi-modal travel will increase transit capacity, improve safety and access, and strengthen regional



Figure 2.12 Transit Center Expansion under SR-90 Freeway

connectivity. Expansion of the existing bus transit facility will require coordination with adjacent private properties and may include expansion in its current location, relocation to the right-of-way beneath the SR-90 freeway, or use of the public right-of-way along Slauson Avenue. In addition, key locations for neighborhood-scale mobility hubs—consistent with General Plan recommendations—have been identified for future City-led improvements that support first- and last-mile connections.

Provide policies and incentives for shared public parking

Policies and incentives will encourage shared parking arrangements between private development and Fox Hills Park to support park access while reducing the need for standalone public parking facilities. By leveraging underutilized parking at different times of day and week, shared parking strategies can better balance park, transit, and neighborhood-serving needs, improve access to open space, and free land for more active, community-oriented uses.

Explore circulator or micro transit connections to regional destinations

The Specific Plan highlights the potential for new local and regional circulator services that strengthen Fox Hills’ connections to nearby job centers and destinations. Future on-demand or fixed-route circulator routes could link Fox Hills with Downtown Culver City, and Los Angeles International Airport, offering residents and workers convenient, low-emission alternatives to driving.

These services would build on the City’s broader mobility goals outlined in the General Plan, complementing existing transit and bike networks while enhancing first- and last-mile access to the Transit Center.



Figure 2.13 Conceptual Rendering of Corner Plaza/Mobility Hub at Bristol Parkway

2.4.3 PLAN FOR MORE NEIGHBORHOOD AMENITIES

Consistent with and Implements General Plan Land Use Goals:

- LU-7.4: Park and open space
- LU-7.3: Fox Hills main streets

As Fox Hills grows, access to shared public amenities becomes essential to maintaining quality of life. The Specific Plan envisions a neighborhood supported by civic, recreational, and publicly accessible spaces that foster daily use and social connection. These amenities ensure that growth translates into tangible benefits for both existing and future residents.

Plan for a new Community Center for Fox Hills Park

The Specific Plan envisions a community center that complements Fox Hills Park and expands opportunities for programs, events, and neighborhood services. Potential approaches may include partnering with private development adjacent to the park to incorporate community-serving space at the ground floor of a new mixed use building, as well as pursuing land acquisition for a standalone facility. In either case, flexible indoor and outdoor spaces would strengthen the park's role as a civic heart and everyday gathering place for the Fox Hills community.



Figure 2.14 Conceptual Rendering of Potential Community Center with New Development Adjacent Fox Hills Park

Incentivize publicly accessible recreational amenities on private properties

New development will be encouraged to include publicly accessible recreational amenities—such as plazas, small open spaces, fitness areas, or play spaces—that extend and complement the neighborhood’s park system. To maximize usability and public benefit, these spaces should be directly accessible from public streets or the Public Accessways, helping activate the public realm and provide additional, welcoming places for residents and visitors to spend time outdoors.

Encourage neighborhood-serving destinations through temporary activations

The Specific Plan explores City-supported temporary activations as a way to create neighborhood-serving destinations and test new uses within the community. While permanent neighborhood-serving uses such as brick-and-mortar retail are largely market-driven and may emerge incrementally over time, temporary activations can help build activity, visibility, and demand in the interim. Activations such as food pop-ups, workshops, and neighborhood markets are envisioned along key park edges, paseos, promenades, and other high-visibility locations to help animate the public realm. Potential tools—including a Community Facilities District or Property-Based Business Improvement District (PBID)—can fund and manage these efforts, informing the long-term introduction of permanent uses.

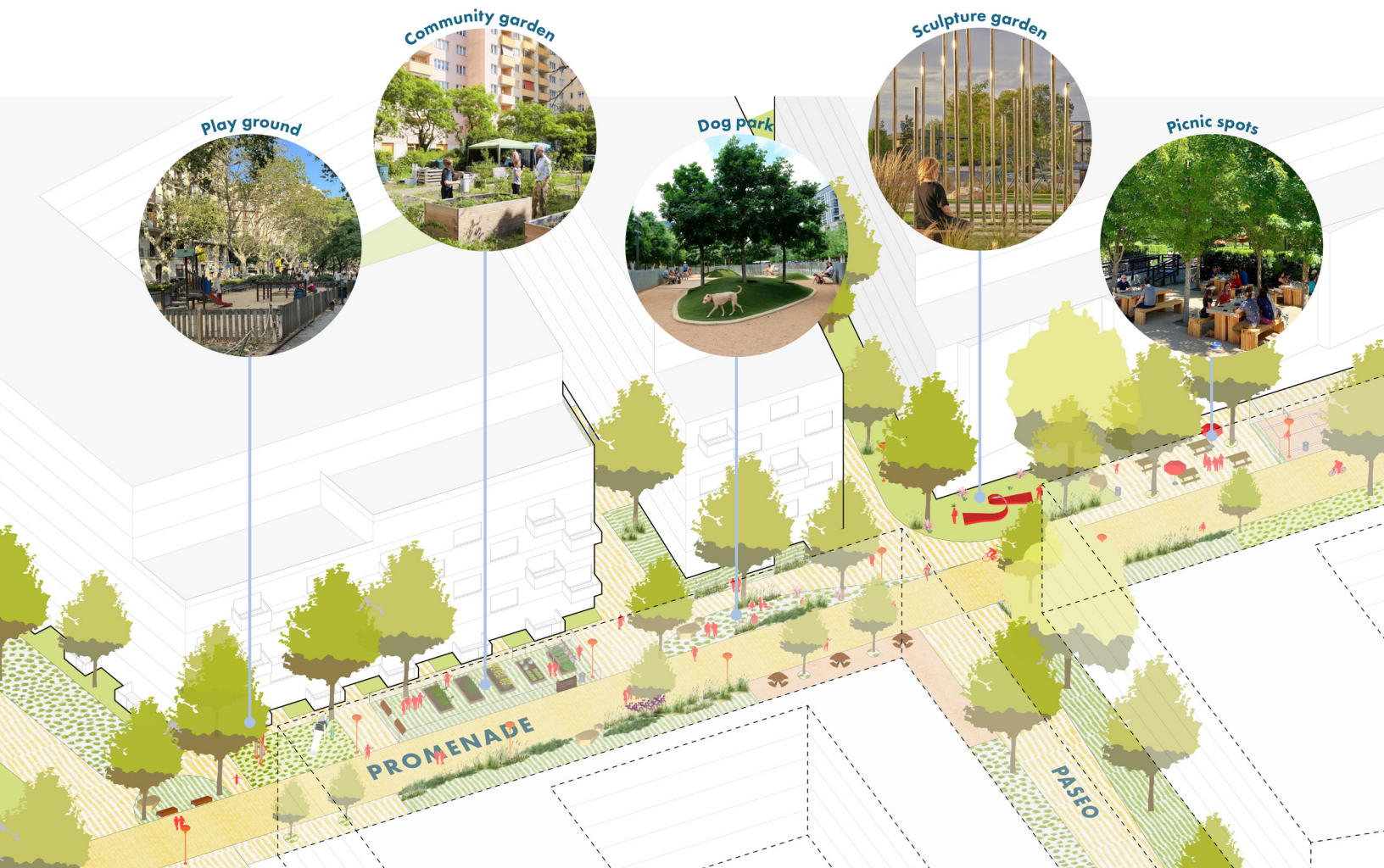


Figure 2.15 Illustration of Future Open Space Amenities along Proposed Public Accessways



Formosa 1140, LA - Multifamily housing development designed by LOHA architects, featuring a publicly-managed pocket park on a privately-owned residential development site in the City of West Hollywood.



Redwood Square, Downtown Sunnyvale - A 1.5-acre park programmed around a central heritage redwood grove, featuring flexible event lawns, play areas, and a perimeter of active retail/dining to foster continuous civic engagement.

Precedent Images of Private Development that Incentivize Publicly Accessible Recreational Amenities

2.4.4 GUIDE NEW DEVELOPMENT TO PRESERVE AND ENHANCE NEIGHBORHOOD CHARACTER

Consistent with and Implements General Plan Land Use Goals:

- LU-7.3: Fox Hills main streets

New development in Fox Hills will be guided by the neighborhood’s existing scale, landscape, and street structure. The Specific Plan establishes design principles and standards to ensure that growth complements surrounding residential areas and contributes positively to the public realm. Rather than applying a single approach to density, the Specific Plan emphasizes context-sensitive design that responds to location, frontage type, and adjacent uses. Together, these standards are intended to support a walkable, human-scaled neighborhood that evolves thoughtfully over time.

Provide standards to create a walkable, human-scaled neighborhood

The Specific Plan establishes development standards for the Fox Hills–Specific Mixed Use Zones that respond to the neighborhood’s unique context and the scale of development being proposed today. New mixed use projects — typically six to seven stories with high-density housing — will be shaped by requirements that emphasize pedestrian comfort, building articulation, and integration with streets and Public Accessways. These standards ensure that increased density contributes to an environment that feels walkable and approachable at the ground level, even as buildings grow taller.

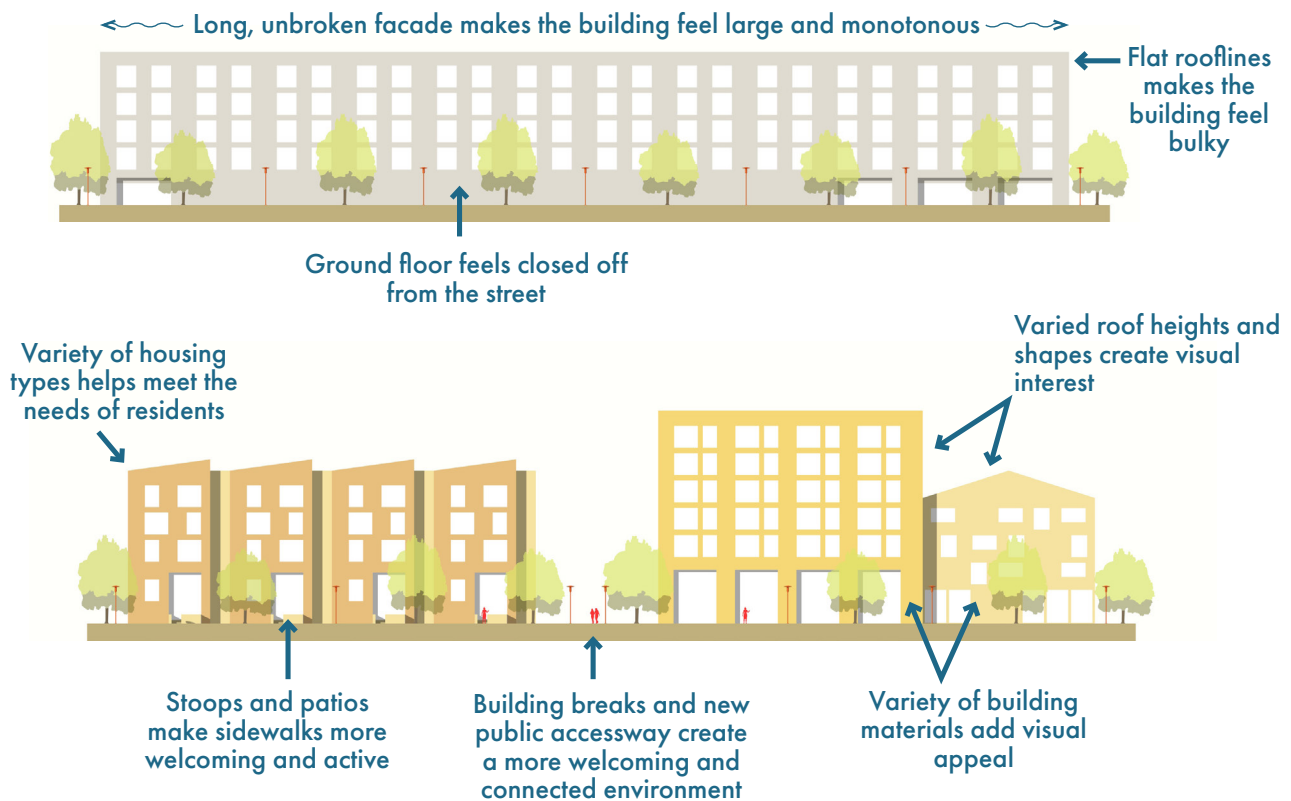


Figure 2.16 Illustration of Design Regulations to Create a Welcoming, Pedestrian-friendly District

Modulate development scale next to existing residential and the new Public Accessways

To avoid long, uninterrupted building fronts and preserve a sense of openness, the Specific Plan prioritizes variation, porosity, and pedestrian-oriented interfaces along the public realm. Height, massing, and setbacks will be modulated to create transitions near existing residential neighborhoods and along new Public Accessway frontages. These design approaches reduce the perception of bulk, allow light and air to reach the street, and create inviting edges that encourage walking, lingering, and social activity.

Create conditions for an active street along Bristol Parkway

Along Bristol Parkway, the Plan establishes requirements to support a more active and engaging street environment over time. Ground-floor design standards will promote pedestrian-oriented building forms, including frequent entrances, stoops, and increased transparency along facades. Ground-floor spaces will be designed with flexibility in mind, allowing residential or other interim uses to transition to active uses — such as neighborhood-serving retail or community spaces — as market conditions evolve.



Different roof forms provide more variety and interest



Stoops and raised porches create active edges to the street



Taller live/work units on the ground floor



Breaks in buildings improve the pedestrian experience



Height stepbacks reduce building scale at the street
Precedents for Building Character



Variation in facades makes the street feel more interesting

2.4.5 STRENGTHEN GATEWAYS AND IDENTITY

As Fox Hills changes, a clearer sense of arrival and identity will help unify the neighborhood and express its evolving character. The Specific Plan identifies opportunities to establish distinct gateways at key entry points, using landscape, design, and public realm improvements to signal entry into Fox Hills.

A primary gateway opportunity exists on city-owned open space at Slauson Avenue and Hannum Avenue, where enhanced landscaping and design features could mark a prominent neighborhood entrance. Secondary gateway elements along Slauson Avenue and Centinela Avenue can reinforce identity at additional access points through consistent materials, signage, planting, or public art.

Together, these gateway elements will help create a more legible and recognizable neighborhood — one that reflects Fox Hills’ green character and supports a stronger sense of place as the area grows.



Precedents for Gateway Public Art

2.5 FUTURE CITY ACTIONS

A menu of future City actions identified as part of the implementation of the Specific Plan will help translate the Specific Plan Vision into tangible projects and partnerships that respond to community and City priorities, while remaining adaptable to future conditions. City staff will coordinate across departments and work jointly with private sector partners and other public agencies to further the following priorities —

- Expand the Culver City Transit Center
- Designate and improve curbside mobility hubs
- Identify and implement circulator and micro-transit connections
- Implement complete streets improvements
- Study and adopt incentives for shared parking to serve Fox Hills Park
- Plan for a new community center for Fox Hills Park
- Plan for neighborhood gateway elements with public art
- Explore creating a Community Facilities District or Property-Based Improvement District (PBID) to fund temporary activations

The City may identify other opportunities as economic and development conditions change over time. Nevertheless, these future projects are important in carrying out the vision of the Fox Hills Specific Plan.

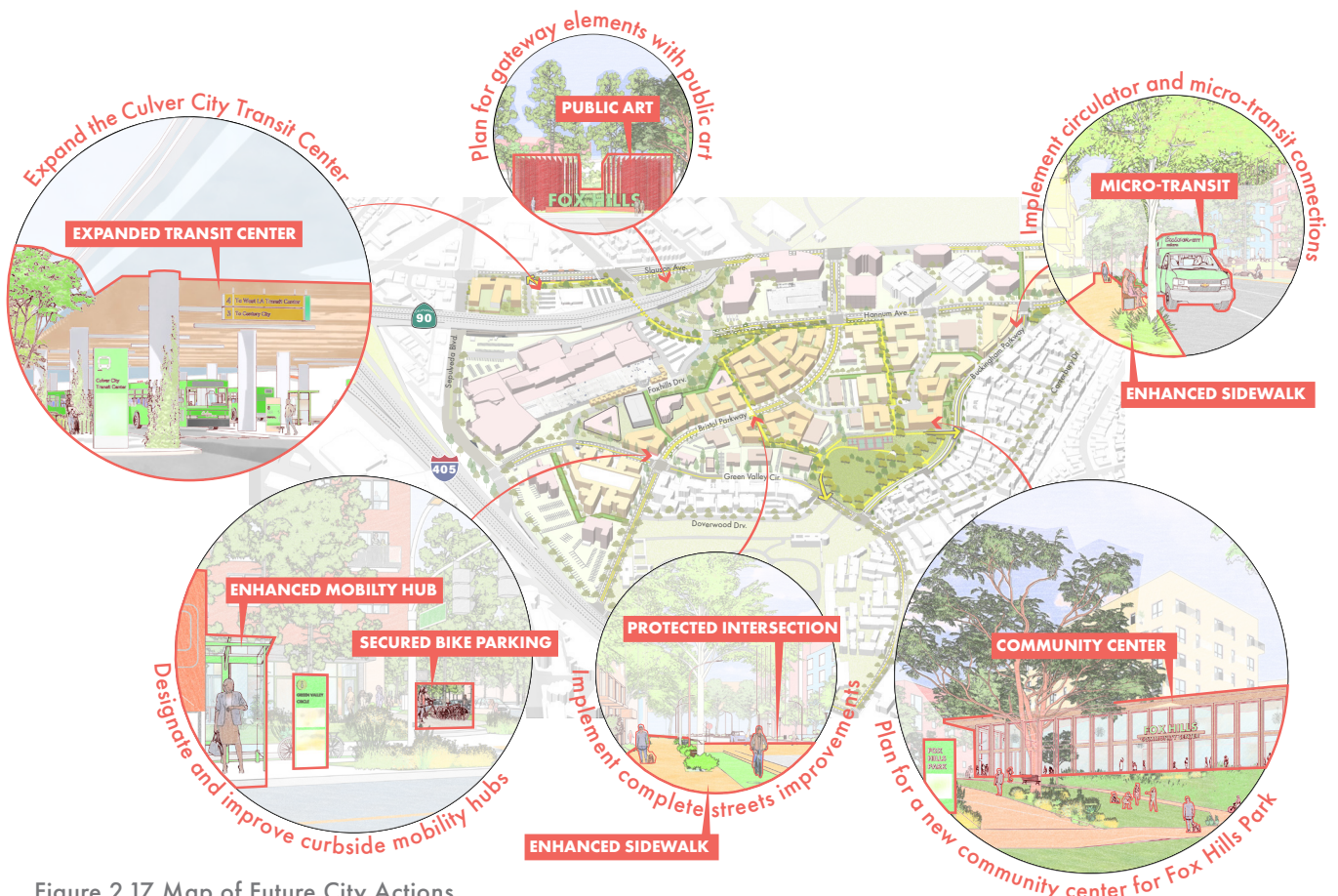


Figure 2.17 Map of Future City Actions

2.5.1 PLAN FOR A NEW COMMUNITY CENTER FOR FOX HILLS PARK

City Departments and Key Stakeholders:

- Parks, Recreation & Community Services
- Planning and Development Department
- Public Works Department
- Economic Development Office
- Finance Department
- Private Property Owner(s) as applicable

As Fox Hills evolves to accommodate new residential density and mixed use development, the demand for accessible community-serving space is expected to increase. The Culver City's Parks Plan identifies the need and potential for a community center at Fox Hills Park. Consistent with that policy direction, the City should evaluate the feasibility and implementation of a new community center as a future City action to support recreational programs, cultural activities, community meetings, and neighborhood services.

The Specific Plan identifies several potential delivery approaches that may be explored through future feasibility analysis, partnership discussions, and funding identification.

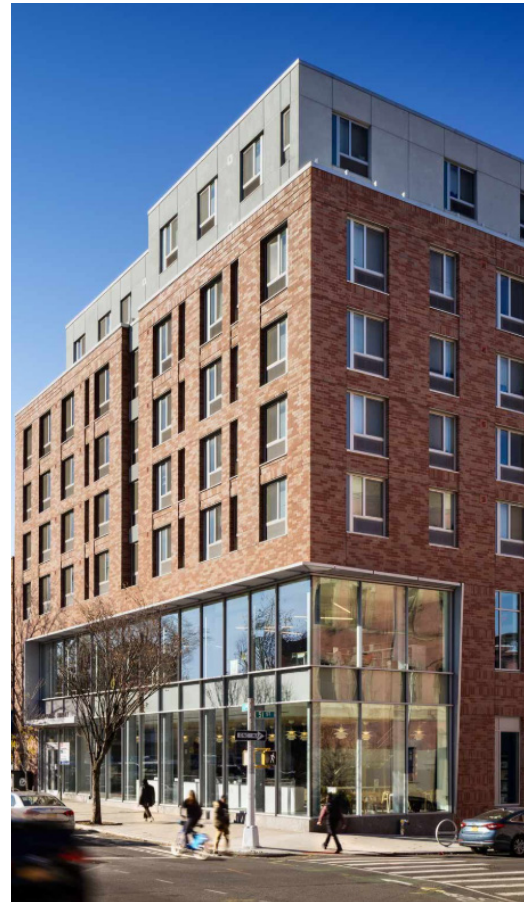
A. Joint Development Opportunity



Northtown Public Library and Apartments, Chicago



Independence Public Library and Apartments, Chicago



Sunset Park Public Library, NYC

Examples of Private Development with Housing Above Public Uses on the Ground Floor.

One potential approach is a joint development model in partnership with private development adjacent to Fox Hills Park. Under this model, community-serving space could be integrated into the ground floor of a new mixed use building, allowing the facility to activate the park edge and surrounding streets while delivering publicly accessible indoor space.

This approach could allow for shared development costs and more efficient implementation. The facility could be operated by the Parks, Recreation & Community Services Department or through another agreed-upon management structure.

B. Standalone Facility Acquisition

Another approach would involve acquiring land for a standalone community center facility within or adjacent to Fox Hills Park. This option would provide full public control of the site and programming but may require additional land acquisition, capital funding, and longer implementation timelines.

C. Limited Facility Within Existing Park Footprint

The City could also consider developing a smaller-scale facility within the existing Fox Hills Park footprint, consistent with the Park Master Plan’s identification of need. However, this approach may reduce active park space and may not meaningfully expand community-serving space relative to projected neighborhood growth.



Figure 2.18 Conceptual Rendering of Potential Community Center with New Development Adjacent Fox Hills Park

Regardless of the delivery model ultimately pursued, the design of any community center should prioritize flexible indoor and outdoor spaces capable of accommodating a wide range of programs and events. Future implementation would be subject to detailed study, funding availability, and coordination among City departments and potential partners.

2.5.2 EXPAND THE CULVER CITY TRANSIT CENTER

City Departments and Key Stakeholders:

- Transportation Department
- Public Works Department
- Planning and Development Department
- Finance Department
- Regional Transit Agencies
- Caltrans
- Private Property Owner(s)

The expansion of the existing Transit Center is identified as a key future City action that supports the Fox Hills vision as a connected, accessible, and transit-supportive neighborhood. The existing Transit Center, located on privately owned property along the south side of Slauson Avenue, has limited capacity and constrained site design. With seven currently available bus bays, the center serves three bus agencies and seven different routes that transport approximately 2,800 average daily passengers. The Transit Center is limited by a neighboring bank and car dealership and is encircled by expansive surface parking lots, emphasizing the need for safety improvements. Expansion presents an opportunity not only to increase transit capacity, but also to improve neighborhood connectivity, safety, and the overall rider experience.

The Specific Plan identifies two conceptual approaches below for further study. The first approach involves relocating and expanding the Transit Center beneath the existing SR-90 freeway, while the second proposes a curbside Transit Center. A third potential approach could include expanding the Transit Center in its current location, if feasible to do so in partnership with private property owners. Expansion could include a mixed use redevelopment to provide other uses such as housing or commercial uses above a ground floor transit facility. The City should evaluate these and other potential options through detailed design, engineering analysis, and coordination with regional transit providers, Caltrans, affected property owners, and other relevant stakeholders.

Option 1 — Relocate and expand the Transit Center under the existing SR-90 freeway

This option proposes relocating and expanding the Transit Center within the Caltrans-owned right-of-way beneath the SR-90 freeway. It is recommended that this approach utilize Caltrans-owned right-of-way currently used for surface parking. Potential benefits include minimizing changes to existing circulation patterns, and enabling redevelopment opportunities for the private property where Transit Center is currently located. Additionally, proximity to Sepulveda Boulevard may allow for more efficient bus access and reduced travel times. Other benefits include easier transfers for bus riders across multiple routes, as well as closer proximity to the mall.

However, constraints include potential limitations related to freeway support columns, as well as challenges associated with safety, comfort, and visibility for transit users. These challenges may be addressed through high-quality design, enhanced lighting, wayfinding, and public art to ensure the space feels safe and inviting.

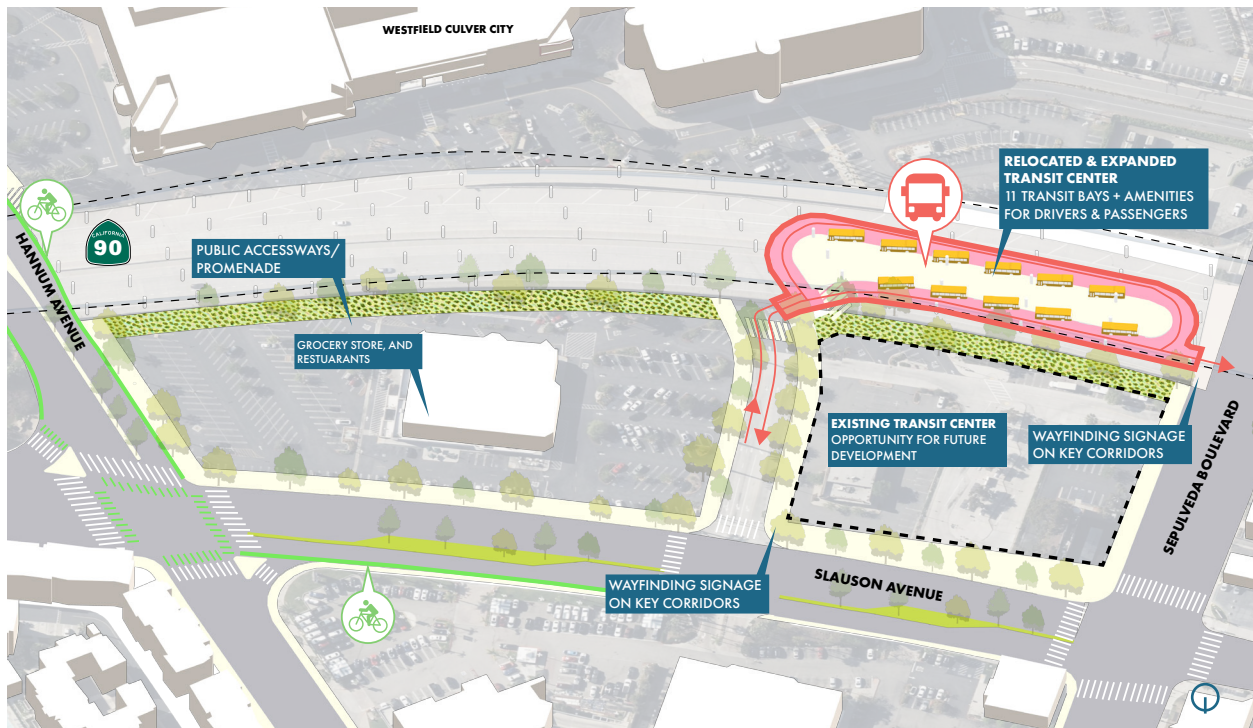


Figure 2.19 Transit Center Expansion - Option 1

Option 2 — Curbside Transit Center Along Slauson Avenue with Bus Layover Parking Beneath SR-90

This option would establish a curbside Transit Center along Slauson Avenue, with bus layover and operational functions located beneath the SR-90 freeway. This approach offers the opportunity to create a more pedestrian-oriented street frontage and provide high visibility and intuitive access for transit users. This option may also require less space within Caltrans' right-of-way than a fully consolidated transit facility as presented in Option 1, but will require a detailed study of vehicular volumes on Slauson Avenue to determine feasibility.

Constraints to implementation include engineering challenges on Slauson Avenue, longer travel distances for certain bus routes, particularly those operating along Sepulveda Boulevard, as well as potential conflicts between layover spaces and freeway support columns for bus layover zone. Implementation may require sidewalk easements, frontage dedication, and modification or closure of existing driveway curb cuts serving adjacent properties, and when compared to the current layout, this option would require longer walking distances for bus riders to make their transfers.

Regardless of the option ultimately selected, the City should pursue improvements that expand transit capacity and enhance the rider experience. Enhancements may include upgraded bus bays, shelters, real-time information displays, EV charging infrastructure, secure bicycle parking, and integrated public art.

Implementation can occur through coordinated capital improvement planning, development review processes where applicable, project phasing to ensure continuous Transit Center operations, and partnership with transit agencies, Caltrans, and adjacent property owners. The expanded Transit Center is intended to function not only as a mobility facility, but also as a civic gateway that reinforces neighborhood identity and supports Fox Hills' long-term mobility goals.

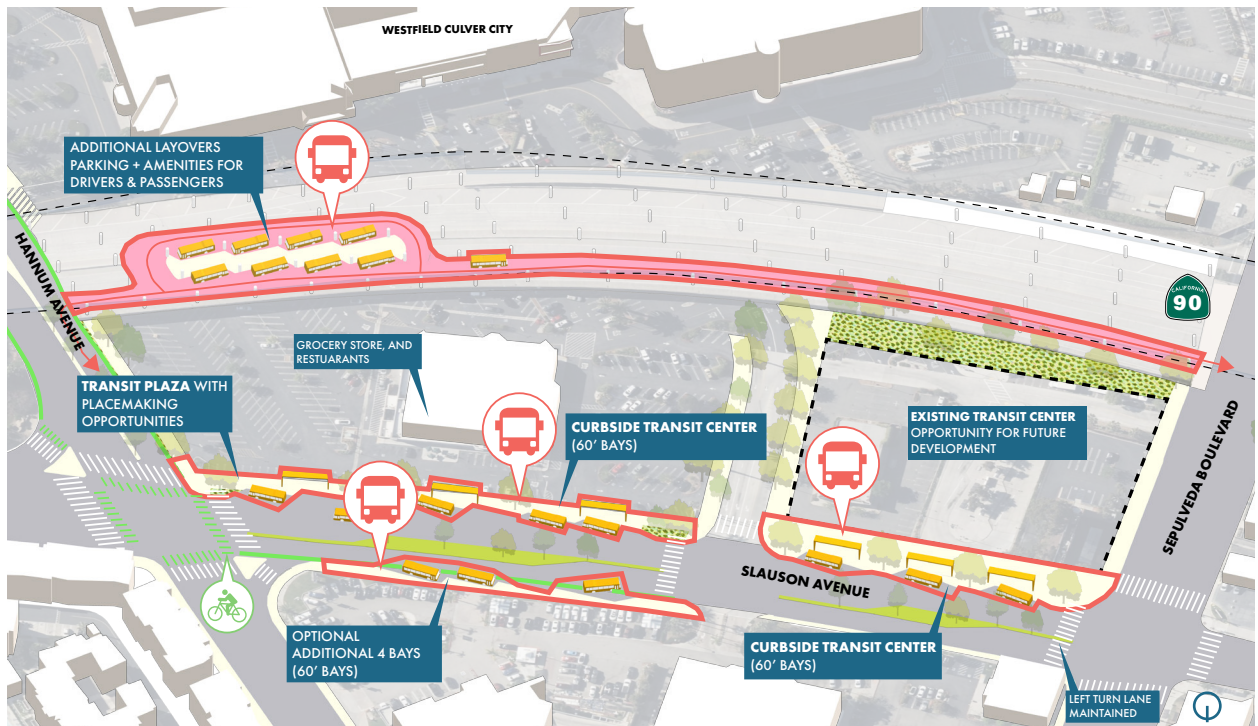


Figure 2.20 Transit Center Expansion - Option 2



Figure 2.21 Conceptual Rendering of Potential Curbside Transit Center on Slauson Avenue

2.5.3 DESIGNATE AND IMPROVE CURBSIDE MOBILITY HUBS

City Departments and Key Stakeholders:

- Transportation Department
- Public Works Department
- Transit Providers/Operators
- Planning and Development Department

The City will explore implementation of mobility hubs within the Fox Hills Specific Plan Area to improve first- and last-mile connectivity, expand travel options, and strengthen access to high-quality transit service. Mobility hubs should be consistent with the City's General Plan Mobility Element and other adopted transportation policies.

Within Fox Hills, mobility hubs should be planned as context-sensitive facilities that respond to surrounding land uses, transit service, and network connectivity. As development projects are reviewed, the City should consider coordinating with property owners, transit providers, and relevant agencies to identify priority hub locations and secure necessary right-of-way, frontage improvements, or site design accommodations to support future implementation.

The Transportation Department should consider a citywide study to further define mobility hub typologies and implementation strategies. Until that work is complete, the Specific Plan identifies potential locations (Figure 2.22) and conceptual hub typologies (Figure 2.23) to guide future coordination. Figure 2.24 also provides the rationale for the assigned mobility hub typology for each location. Depending on location and scale, mobility hubs may include enhanced transit stops, bicycle parking, micromobility facilities, EV charging infrastructure, circulator or micro-transit connections, and space for shared mobility services, as appropriate and feasible.

The City should coordinate implementation through development review, capital improvement programming, grant funding, and partnerships with regional transit providers. Mobility hubs should incorporate lighting, landscaping, and wayfinding, and should integrate public art and placemaking elements to create safe, welcoming, and identifiable neighborhood access points.



Multimodal Options at Intersections
Precedents for Curbside Mobility Hubs



Enhanced Bus Transit Amenities



FIGURE 2.22

**RECOMMENDED
MOBILITY HUBS
LOCATIONS**

- - - Culver City Limits
- - - Specific Plan Boundary
- Primary Priority Mobility Hub
- Secondary Priority Mobility Hub
- Preferred Area for Expanded Transit Center
- Proposed Public Accessway - Promenade Network
- Proposed Public Accessway - Paseo Easement

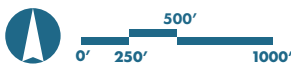


Figure 2.22 Recommended Mobility Hub Locations

Typology	Supporting Land Uses/ Features	Recommended Amenities
1	Regional Activity and Transit Centers	<ul style="list-style-type: none"> • Bus Stop • Parking for carshare/vanpool • TNC pick up/drop off zone • Micromobility stop • Bus stop amenities (more lighting, real-time bus arrival information, interactive mapping, seating, shade, wi-fi) • EV charging (with potential to become car share location) • Secure bike parking • Bike share location/readiness • Wayfinding • TAP/Ticket vending machines • Trash and recycling cans • Public art and/or placemaking • Play spaces and/or interactive elements • Restrooms • Dedicated vendor spaces (temporary or permanent)
2	Local Trip Generators/ Destinations	<ul style="list-style-type: none"> • Bus Stop • Micromobility stop • Bus stop amenities (more lighting, real-time bus arrival information, interactive mapping, seating, shade, wi-fi) • EV charging (with potential to become car share location) • Secure bike parking • Bike share location/readiness • Wayfinding • TAP/Ticket vending machines • Trash and recycling cans • Public art and/or placemaking
3	Neighborhood/Community Access	<ul style="list-style-type: none"> • Bus Stop • Micromobility stop • Bus stop amenities (more lighting, real-time bus arrival information, interactive mapping, seating, shade, wi-fi) • Secure bike parking • Bike share location/readiness • Wayfinding • TAP/Ticket vending machines • Trash and recycling cans • Public art and/or placemaking

Figure 2.23 Recommended Mobility Hub Typologies for Fox Hills

Location	Mobility Hubs Typology	Reasoning
Transit Center	1	<p>Serves as the multi-modal gateway to Fox Hills community; connects to major commercial zone; at corner of two major streets serving multiple transit lines.</p> <p>Consider Sepulveda Blvd./Slauson Ave. where Route 6/6R currently stop as part of this hub or locate additional hub there.</p>
Hannum/Buckingham	2	<p>Location of existing bus stop and some pedestrian amenities; adjacent to incoming housing developments; along two roadways slated for bike improvements per Safer Fox Hills and for a protected intersection.</p>
Green Valley/Buckingham	3	<p>Location of existing bus stop; along two roadways slated for bike improvements per Safer Fox Hills and for a protected intersection; adjacent to Fox Hills Park and several residential buildings.</p>
Green Valley/Bristol Parkway	3	<p>Location of existing bus stop; along two roadways slated for bike improvements per Safer Fox Hills and for a protected intersection; being considered as retail hub in Fox Hills Specific Plan.</p>
Slauson/Hannum	3 (Secondary Priority)	<p>Would be very close to upgraded Transit Center/Mobility Hub and possibly duplicative at that distance; very close to freeway on ramps. Does have close proximity to office spaces and bus.</p>
Slauson/Corporate Point	3 (Secondary Priority)	<p>Not along upgrade roadways for Safer Fox Hills or with bike facilities currently; fast-moving and vehicle-oriented roadway near to freeway on ramps. Does have existing bus stop, but seems like less of a priority location for additional amenities. Could consider for bus stop upgrades specifically.</p>

Figure 2.24 Recommended Locations and Reasoning for Mobility Hubs in Fox Hills

2.5.4 IDENTIFY AND IMPLEMENT CIRCULATOR AND MICRO-TRANSIT CONNECTIONS

City Departments and Key Stakeholders:

- Transportation Department
- Economic Development Office
- Planning and Development Department
- Finance Department
- Regional Transit Providers / Private Operators

The City will evaluate circulator and micro-transit services to support Fox Hills as a connected, accessible, and transit-supportive neighborhood. As the area continues to evolve into a denser, mixed use district, flexible transit options should be explored to address first- and last-mile gaps, expand mobility choices, and reduce reliance on private automobiles.

Consistent with the General Plan Mobility Element, the City will evaluate opportunities to establish or expand a micro-transit service area enhancing connectivity within Fox Hills as well as other nearby destinations. Community outreach conducted as part of the Specific Plan also identified interest in improved circulator connections to Downtown Culver City and regional employment centers. The City should consider these connections in future service planning efforts.

Prior to permanent implementation of a comprehensive micro-transit or circulator network, the City may pursue further study, which may include feasibility analysis, operational modeling, partnership opportunities, and potential pilot programs. Pilot services may be used to assess ridership demand, identify preferred routes and stop locations, evaluate operational performance, and refine long-term service strategies and funding approaches.

Circulator and micro-transit stops should be coordinated with designated mobility hubs and the expanded Transit Center to ensure a legible and integrated network. The Transportation Department would serve as the lead agency for planning and coordination, working with regional transit providers, private operators, and adjacent jurisdictions as appropriate.

Implementation should occur through phased planning, funding identification, and partnership coordination as development occurs and mobility needs evolve.



Existing Micro-mobility Options in Culver City

2.5.5 IMPLEMENT COMPLETE STREETS IMPROVEMENTS

City Departments and Key Stakeholders:

- Public Works Department
- Transportation Department
- Planning and Development Department
- Regional Transit Agencies (as applicable)

The City should advance the coordinated implementation of Complete Streets improvements within the Fox Hills Specific Plan Area as shown in figure 2.25, and consistent with the Safer Fox Hills Plan and the City's adopted Complete Streets Design Standards. These adopted documents establish the framework for safer, multimodal streets; the Specific Plan supports their realization by aligning development requirements, sidewalk dedications, frontage improvements, and streetscape standards with these policies.

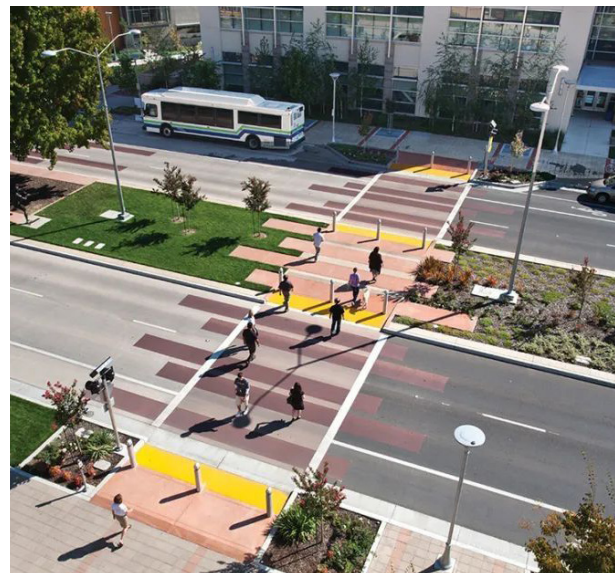
Through development review and capital improvement programming, the City will require and coordinate frontage and right-of-way improvements that contribute to a connected network of Complete Streets. Improvements may include widened and accessible sidewalks, enhanced and protected crossings, curb extensions, protected bicycle facilities, transit stop upgrades, traffic calming measures, landscaping, and street lighting, consistent with adopted standards and available funding.

The City should coordinate with regional transit providers and other relevant agencies to sequence private development improvements and public capital projects in a manner that incrementally builds a cohesive, safe, and multimodal street network. Implementation can occur over time as development occurs and as funding opportunities are identified.

Through this coordinated and phased approach, Fox Hills streets will progressively evolve into a connected Complete Streets system serving users of all ages and abilities.



Protected Bike lanes



Raised Crosswalk

Precedents for Complete Street Improvements

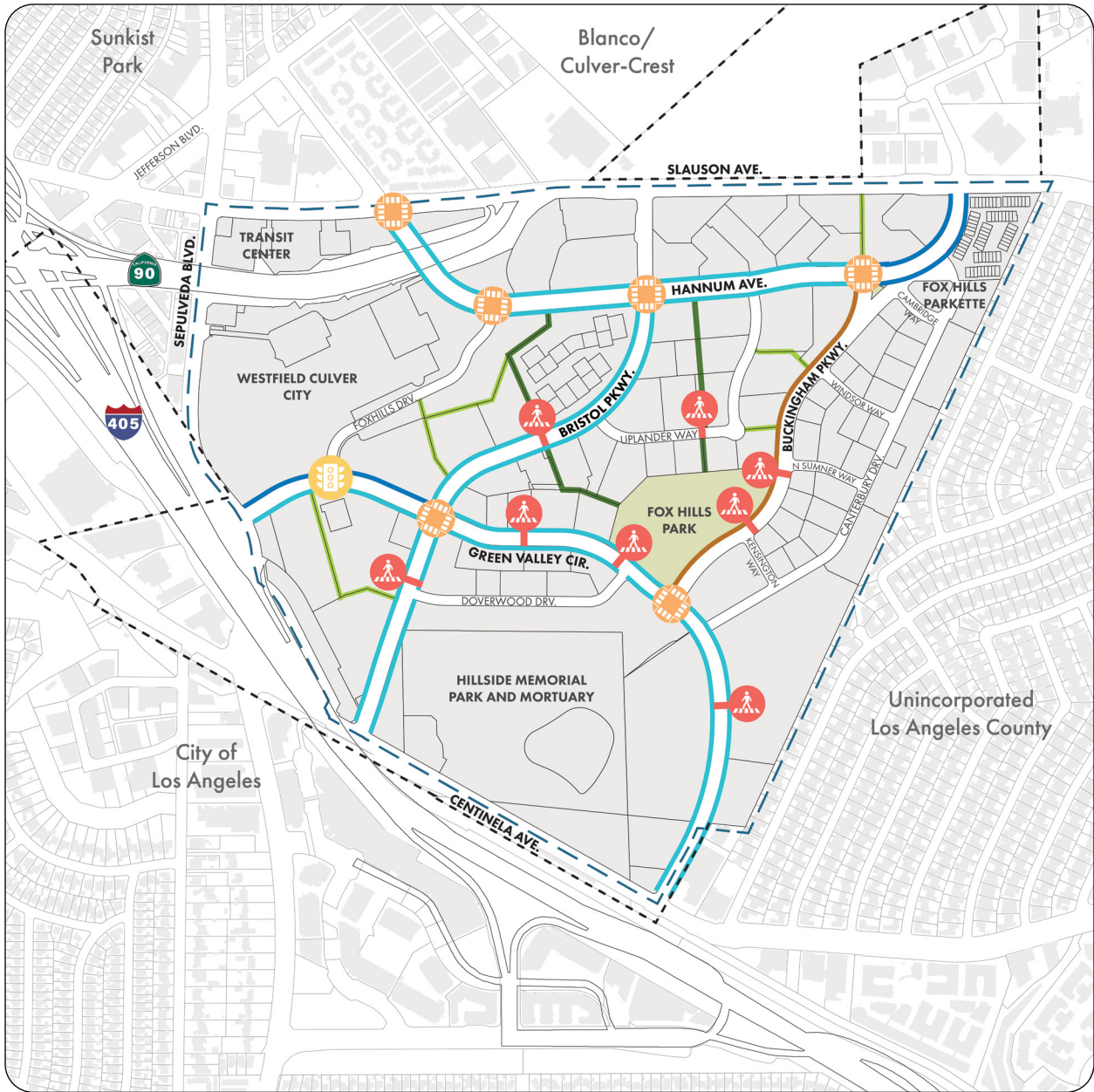
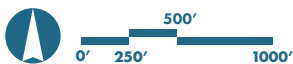


FIGURE 2.25

**FOX HILLS
COMPLETE STREETS
IMPROVEMENTS**



- Culver City Limits
- - - Specific Plan Boundary
- Protected Intersections
- New Traffic Signal
- New or Upgraded Crosswalk
- One-way Protected Bike Lane
- Two-way Protected Bike Lane
- Conventional Bike Lane
- Proposed Public Accessway (Promenade Network)
- Proposed Public Accessway (Paseo Network)

2.5.6 STUDY AND ADOPT INCENTIVES FOR SHARED PARKING TO SERVE FOX HILLS PARK

City Departments and Key Stakeholders:

- Transportation Department
- Planning and Development Department
- Finance Department
- Parks, Recreation & Community Services Department
- Participating Property Owners

The City should explore establishing a Shared Parking Strategy to support Fox Hills Park and a potential future community center. Shared parking allows proximate uses with different peak demand periods to utilize the same parking supply, reducing the total number of spaces constructed while increasing overall efficiency. By aligning parking demand across complementary land uses, shared parking can lower development costs, reduce land consumption, and support more active uses at the ground level.

The City can evaluate shared parking opportunities based on projected land uses, peak demand timing, and accepted methodologies such as Institute of Transportation Engineers (ITE) parking generation data or other industry-standard tools. Agreements should clearly define public access hours, operational responsibilities, signage and wayfinding requirements, and circumstances under which private property management retains control.

To encourage participation, the City should consider predictable and transparent incentives that provide financial or operational value to participating property owners. Incentive programs should be structured to minimize discretionary negotiation and provide clarity regarding eligibility and benefits.

Financial and Cost-Sharing Incentives

The City should evaluate financial tools that may offset the incremental costs of designing and operating shared public parking. Potential mechanisms may include:

- **Direct Capital Contributions:** Structured agreements in which the City contributes to a portion of construction or access-related costs (e.g., security, elevators, ADA upgrades) associated with making privately developed parking available for public use.
- **Public or Low-Cost Financing:** Access to bond financing, infrastructure financing districts, or other public financing mechanisms, where available and feasible.

Shared parking agreements should prioritize public access during peak park and community center hours while maintaining flexibility for private property operations. Through coordinated incentives and clear operational standards, shared parking can support public facilities while minimizing the need for standalone parking structures and preserving land for active uses.

2.5.7 PLAN FOR NEIGHBORHOOD GATEWAY ELEMENTS WITH PUBLIC ART

City Departments and Key Stakeholders:

- Public Works Department
- Planning and Development Department
- Transportation Department
- Cultural Affairs / Arts Program

The City should explore the planning and coordination of gateway improvements to define key entry points into the Fox Hills neighborhood. Establishing clear primary and secondary gateways will reinforce neighborhood identity, support placemaking, and enhance the experience of arrival along major corridors.

Two corridors have been identified for future gateway enhancements: **Slauson Avenue** and **West Centinela Avenue**. As streetscape and mobility improvements are implemented along these corridors, the City should coordinate gateway elements with public realm upgrades, public art planning, and wayfinding strategies.

Gateway improvements may include enhanced landscaping, coordinated signage, special paving, lighting, and public art installations designed to create visible and memorable markers of entry.

Primary Gateway – Slauson Avenue and Hannum Avenue

A primary gateway opportunity is identified at the intersection of Slauson Avenue and Hannum Avenue, a highly visible and publicly controlled location that serves as a key entry point into Fox Hills. Existing artwork at this location may be enhanced or expanded as part of a comprehensive gateway treatment.

This gateway could function as a landmark entry, incorporating bold public art, sculptural elements, landscape features, lighting, and integrated wayfinding. Public art should reflect the neighborhood's green character and identity and may involve local artists and community input to ensure it resonates with residents.

Secondary Gateway – Green Valley Circle and West Centinela Avenue

A secondary gateway opportunity is identified at Green Valley Circle and West Centinela Avenue to mark the transition from regional corridors into the Fox Hills neighborhood. This gateway may incorporate coordinated signage, landscaping, lighting, and public art elements that complement — but do not compete with — the primary gateway.

Together, these gateway improvements would create a clear sequence of arrival into Fox Hills and reinforce the neighborhood's identity in coordination with broader Complete Streets, mobility, and public realm enhancements. Implementation shall occur through phased capital planning, development review, public art programming, and partnership opportunities as funding becomes available.

2.5.8 EXPLORE CREATING A COMMUNITY FACILITIES DISTRICT OR PBID TO FUND TEMPORARY ACTIVATIONS

City Departments and Key Stakeholders:

- Economic Development Office
- Finance Department
- Planning and Development Department
- Parks, Recreation & Community Services Department
- City Manager's Office
- Participating Property Owner(s)

As Fox Hills continues to evolve, there is an opportunity to strengthen neighborhood identity and support local-serving activity through regular programming and temporary activation of Fox Hills Park and surrounding public spaces. In the absence of certainty about the long-term market for retail destinations, consistent community programming can help create visible nodes of activity, provide near-term benefits to residents, and test demand for future uses.

The Specific Plan identifies the exploration of funding tools — such as a Community Facilities District (CFD) and/or a Property-Based Business Improvement District (PBID) — as a potential future City action to support activation and placemaking efforts.

A **Community Facilities District** could be considered as a mechanism to generate funding from new development for neighborhood-serving improvements or services, which may include park enhancements, temporary programming, public art, mobility initiatives, or other public realm investments. Depending on structure and stakeholder interest, a CFD could support both one-time improvements and limited-term services.

A **Property-Based Business Improvement District** could also be explored as a more flexible tool to support place-based programming, temporary activations, cultural events, marketing, and neighborhood branding. A PBID may allow property owners to collectively fund initiatives that enhance vibrancy around Fox Hills Park and emerging activity areas.

The City's Economic Development Office could play a lead role in coordinating activation strategies and deploying funds generated through these or other mechanisms. Formation of a CFD or PBID would be subject to further feasibility analysis, property owner participation, and City Council approval.

By exploring flexible funding tools and partnership models, the City can create a framework for ongoing programming and activation that supports residents in the near term while allowing the neighborhood's longer-term retail and mixed use market to mature.



Vibes After 5 Event at Culver Pointe, Fox Hills, April 2025



Yoga Event at Culver City Steps



Farmers Market Event in Downtown Culver City



*Movie Screening Event at Culver City Steps
Community Events Organized in Culver City*

3. Regulations



- 3.1 Land Use and Development Regulations
- 3.2 Public Accessways Standards
- 3.3 Complete Streets Improvements

3.1 LAND USE AND DEVELOPMENT REGULATIONS

The land use and development regulations for the Fox Hills Specific Plan are established through the Culver City Zoning Map and zoning code section 17.270.

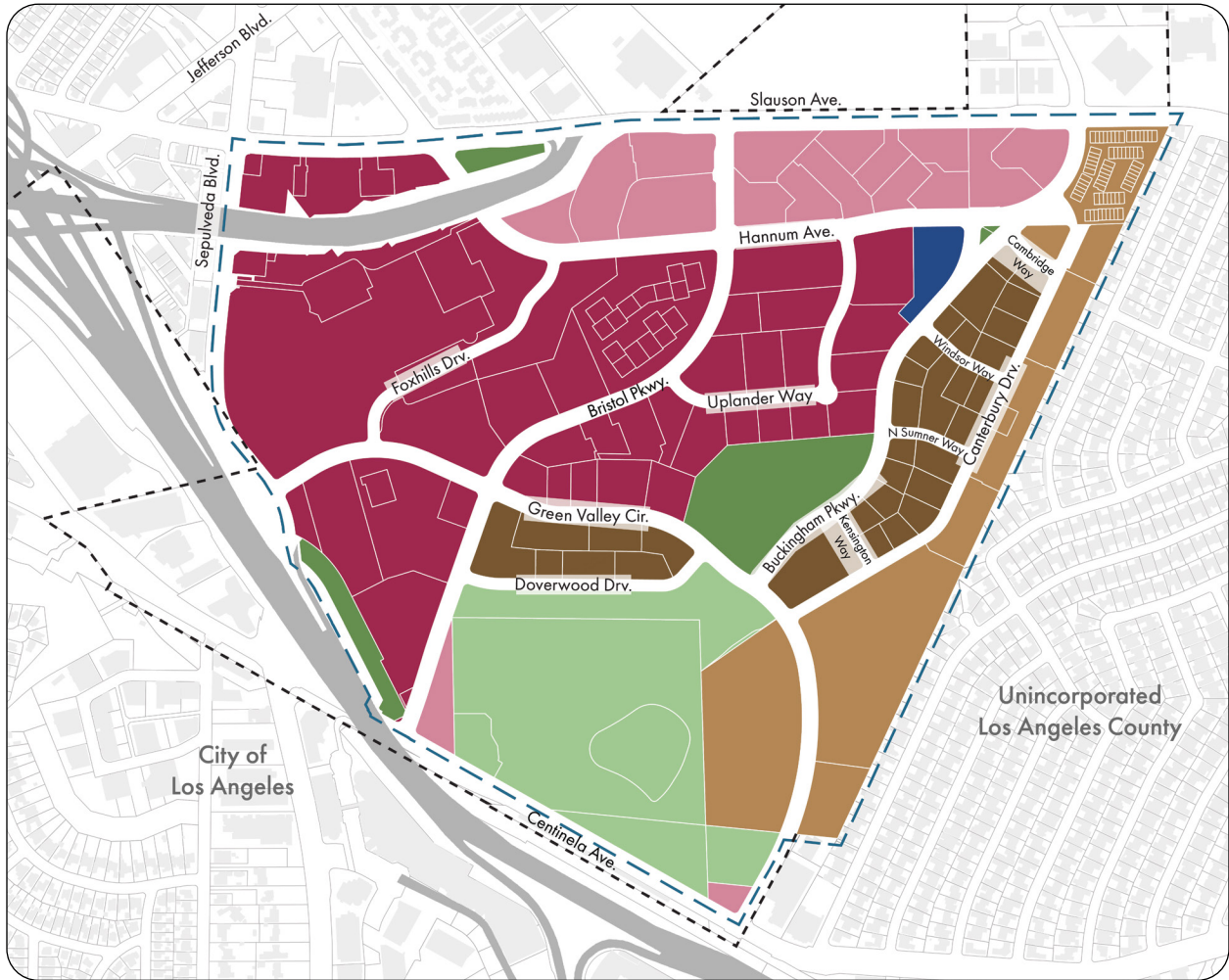
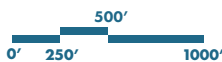


FIGURE 3.1

**FOX HILLS
PROPOSED
ZONING MAP**



- - - Culver City Limits
- - - Specific Plan Boundary
- RMD - Medium Density Multifamily
- RHD - High Density Multifamily
- FH-MD Fox Hills Mixed Use Medium
- FH-HD Fox Hills Mixed Use High
- OS - Open Space
- E - Cemetery
- T - Transportation
- Planned Development

3.2 PUBLIC ACCESSWAYS STANDARDS

3.2.1 PURPOSE

1. **Purpose.** Public Accessway Standards are intended to implement the Public Accessway Network shown in Figure 3.2. The Public Accessway Network provides needed connections for improved safety, health, and transportation throughout the Fox Hills neighborhood. Public Accessways improve safety by separating active transportation (such as biking and walking) from high vehicle roadway speeds, reducing the likelihood of accidents or fatalities. They improve health by providing more opportunities to access key destinations by biking and walking. They improve transportation efficiency by reducing the travel time needed by breaking down mega-blocks with direct routes.

As demonstrated in the Public Accessways analysis, the public accessways are a necessary mobility requirement to improve health and safety impacts. Furthermore, there is a direct and proportional nexus between new proposed development and the need for the public accessways. Therefore, the public accessway mobility improvements are not eligible for a local or state density bonus waiver or concession

3.2.2 APPLICABILITY

1. **Threshold.** The threshold for requiring a new Public Accessway easement includes the construction of a new primary use building on properties that abut or include a Public Accessway as identified in Figure 3.2: Fox Hills Public Accessway Network.
2. **Easement Standard.** Private parcels shall be required to provide a Public Accessway in such a manner as to create an easement in, over, under, along, and across the portion of that lot based upon the overall dimensions and standards specified in Chapter 3 of the Fox Hills Specific Plan. Easements shall be mapped as a condition of project approval, and the easement area shall be dedicated and improved prior to the issuance of a certificate of occupancy, for such proposed new construction.
3. **Density.** The area of the easement may be included when calculating the overall density of a parcel.
4. **Open Space.** The open space provided within the easement may count toward the required open space of a development containing said easement.
5. **Dedication Instrument.** Easements shall be memorialized by an easement agreement in a form approved by the City Attorney and recorded by the City with the Office of the Los Angeles County Recorder.
6. **Timing of Easement.** As required by this Section, the recordation of the easement with the Office of the Los Angeles County Recorder shall occur prior to issuance of a certificate of occupancy.
7. **Revocable Easement.** In the event that an applicable building permit is deemed expired, withdrawn, or void and an easement has been recorded at the Office of the Los Angeles County Recorder in accordance with this Section, the easement dedication shall be deemed null and void. Any application for new development or redevelopment after building permit expiration shall require the execution and recording of a new revocable easement

agreement prior to issuance of a new building permit.

8. **Exceptions.** Full or partial relief from the standard requirements prescribed in this section may be granted by the Planning and Development Director or his or her designee, provided that the only finding required to grant relief is that the easement or improvement is physically impractical, or that the cost of the dedication or improvement is proportionally excessive when compared to the impacts caused by the project.

3.2.3 LOCATION AND ALIGNMENT

1. **Alignment.** Required Public Accessways locations and general alignments are shown on Figure 3.2.
2. **Adjustments.** Final alignment may be adjusted during project review to respond to site conditions, provided that:
 - a. The Public Accessway maintains equivalent connectivity and access is within 200 feet of the location shown in figure 3.2
 - b. The adjustment is approved by the Planning and Development Director.

3.2.4 EASEMENTS

1. **Easements.** Development subject to the Public Accessway Easement requirements, as shown in 3.2: Fox Hills Public Accessway Network, shall be responsible for dedicating a Public Accessway easement if a completed Public Accessway that connects two separate right-of-ways does not yet exist. A property that features a Public Accessway easement shall serve as the primary development of the Public Accessway. The development immediately adjacent to the Public Accessway shall act as the secondary development of the Public Accessway.
 - a. A Public Accessway shall feature an easement width of 20 feet.
 - b. A Public Accessway that is also utilized as a fire aisle shall have a minimum easement width of 25 feet.
 - c. If a development project includes both sides of a designated Public Accessway, the project shall apply the easement along one of the two parcels.

3.2.5 GENERAL STANDARDS

1. **Access.** Public Accessways shall be accessible from the public sidewalk, a Public Accessway (existing or proposed in Figure 3.2) or another publicly-accessible open space, such as a park.
 - a. Public Accessways shall feature a minimum 10-foot wide paved pathway for pedestrian and bicycle use.
 - b. Public Accessways may also double as a fire lane. If a Public Accessway is utilized as a fire lane, the Public Accessway shall feature a minimum 20-foot wide paved path.
 - c. A maximum of 50 percent of the Public Accessway area shall be paved in standard concrete, textured and colored concrete, decorative pavers, and/or concrete with exposed or special aggregate. Asphalt is prohibited. If the Public Accessway is used as a fire lane, the paved area shall meet Fire Department Standards.

2. **Accessibility.** Public Accessways shall be designed to be ADA compliant.
3. **Landscaping.** Public Accessways shall be landscaped. A minimum of 25 percent of a Public Accessway shall be planted with trees, ground cover, and/or shrubs, or provided via planters, unless the Public Accessway also serves as a fire lane, in which case a minimum of 15 percent of the Public Accessway shall feature landscaping. Landscape design, installation, and maintenance shall comply with Chapter 17.310 (Landscaping).
 - a. A minimum of one tree shall be planted per 600 square feet of the Public Accessway area.
 - b. Standard planters shall have a minimum soil area of 8 cubic feet (2 x 2 x 2 feet)
 - c. Tree planters shall have a minimum soil area of 40 cubic feet (5 x 4 x 2 feet)
4. **Walls.** Freestanding walls shall not be sited along the boundary of a Public Accessway easement, unless the easement is sited along a slope of significant grade (>5% running slope).
5. **Features.** Public Accessways shall include all of the following:
 - a. Seating at the ratio of one seat per 200 square feet of Public Accessway area shall be provided, in addition to any permitted outdoor dining, in dispersed locations throughout the space. Seating shall be either movable chairs, or fixed seats or benches, where such seats shall be construed to be 18 lineal inches each. Movable seating is strongly encouraged.
 - b. At least one bike rack shall be provided per Public Accessway.
 - c. At least one pet waste station shall be provided per Public Accessway.
 - d. At least one waste receptacle per connection to the public-right-of-way shall be provided per Public Accessway.
 - e. Public Accessways shall be well-illuminated, and feature pedestrian-scaled light fixtures not exceeding 10 feet in height, and may include low-level bollard lights, pole-mounted fixtures, or overhead wall mounted fixtures for a well illuminated area.
6. **Operations and Maintenance.**
 - a. The property owner or their agent shall maintain open space and landscaping within the Public Accessway open space.
 - b. Public Accessways shall be "open-to-public" at a minimum from dawn to dusk; public access hours shall be indicated on signage as required below.
 - c. Signage shall identify the Public Accessway for the public use.
 - d. Security fences, walls, or entry gates shall not block passage of the Public Accessway.
 - e. Vehicular access, loading, and parking uses shall be prohibited within Public Accessways.

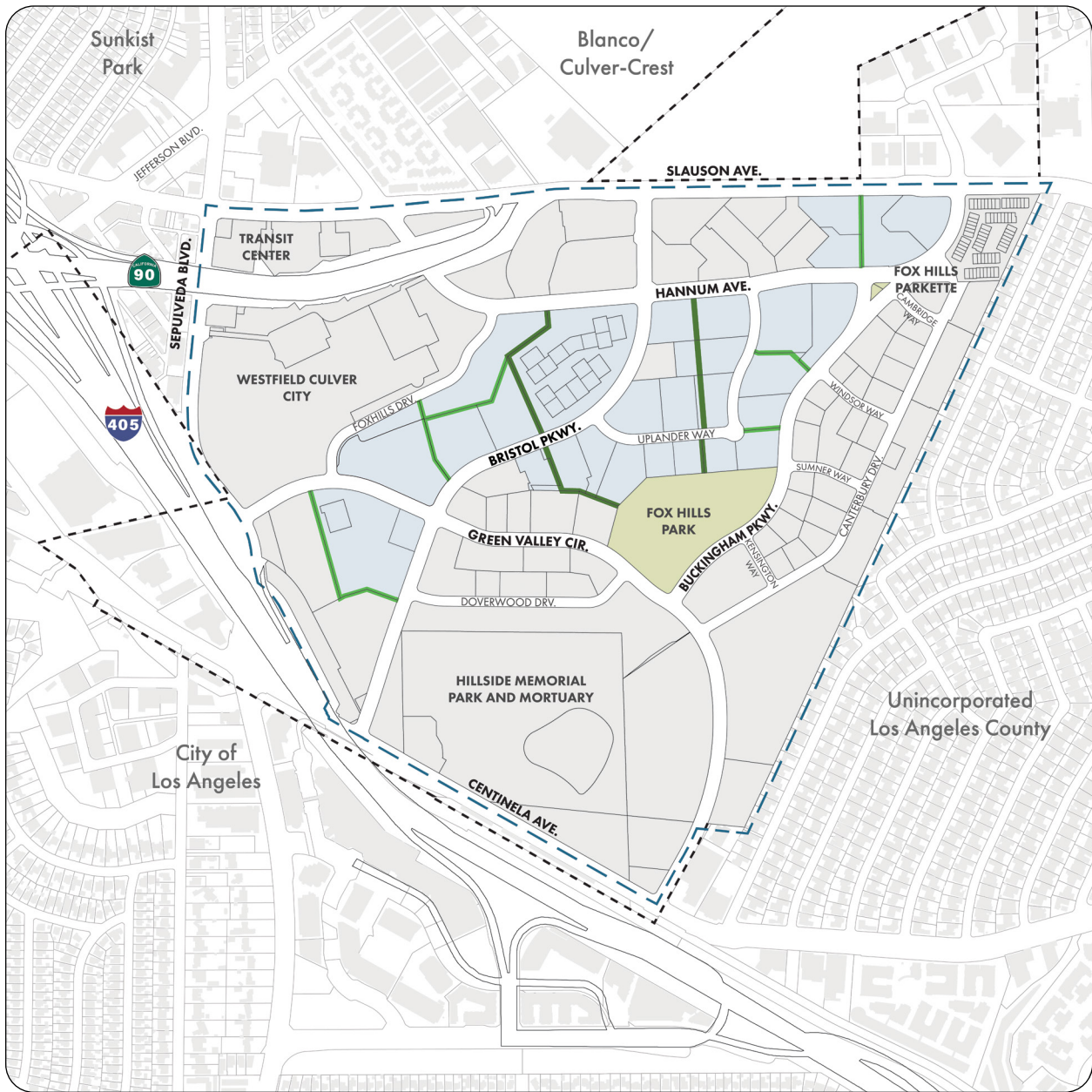
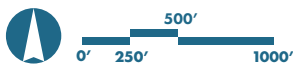


FIGURE 3.2

FOX HILLS PUBLIC ACCESSWAY NETWORK

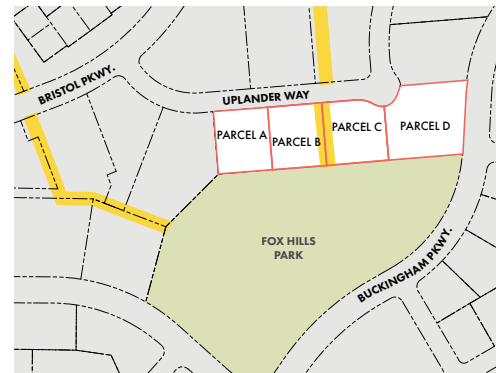
- - - Culver City Limits
- - - Specific Plan Boundary
- █ Public Accessway (Promenade)
- █ Public Accessway (Paseo)
- █ Parcels subject to the Public Accessway Easement requirement. Where multiple parcels are shown, the easement location may occur along any highlighted parcel, subject to Section 3.2.2.



FLEXIBLE PUBLIC ACCESSWAYS IMPLEMENTATION SCENARIO



Existing Conditions



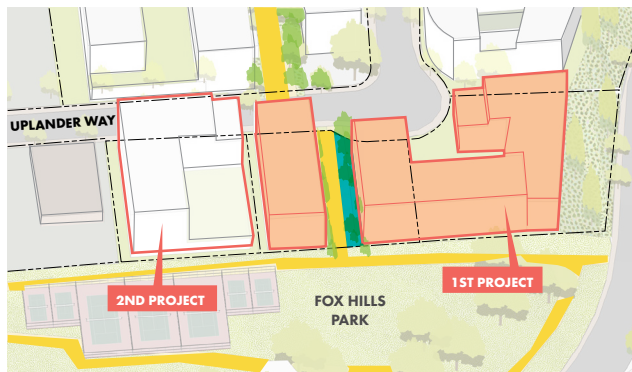
Key Plan

LEGEND

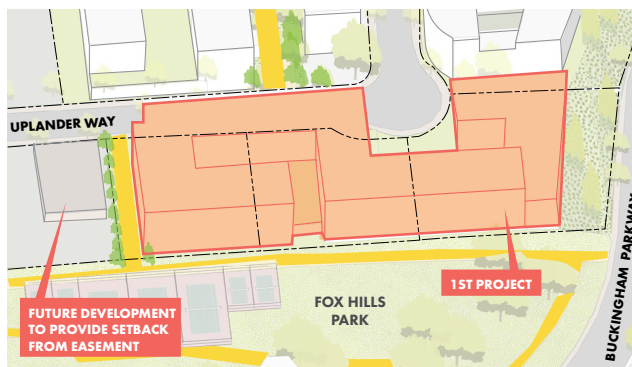
- PUBLIC ACCESSWAY EASEMENT
- 20' SETBACK
- PARCEL BOUNDARY



Scenario 1: Public Accessway between Two Projects



Scenario 2: Public Accessway Bisects Combined Parcels

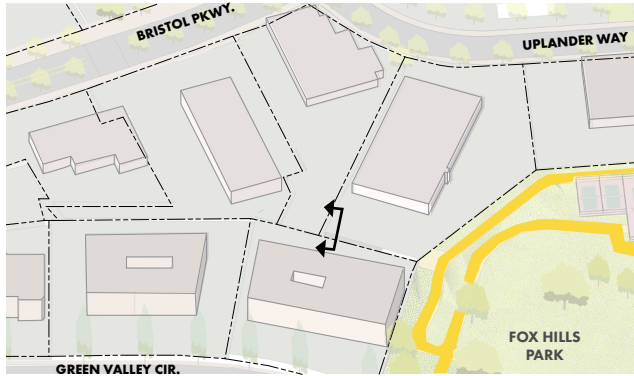


Scenario 3: Public Accessway between New Project and Existing Development

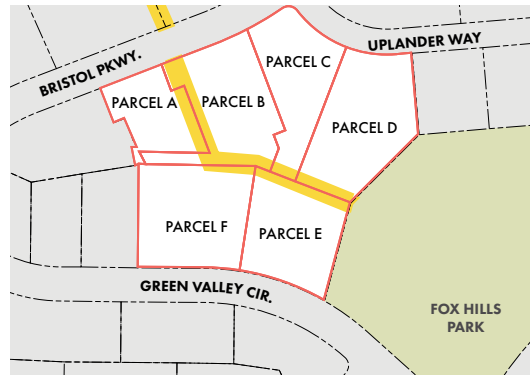
The above 3D model illustrates a potential development pattern for the neighborhood in the future, and does not represent actual projects.



FLEXIBLE PUBLIC ACCESSWAYS IMPLEMENTATION SCENARIO



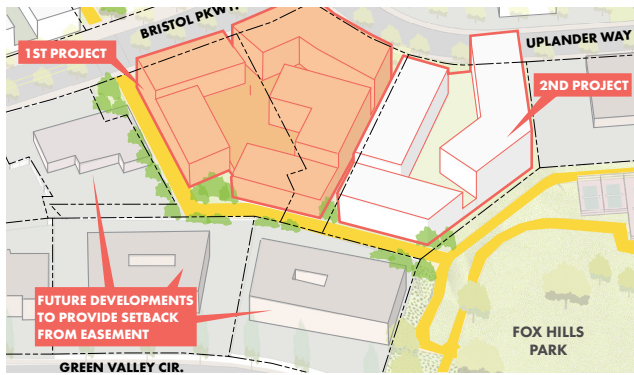
Existing Conditions



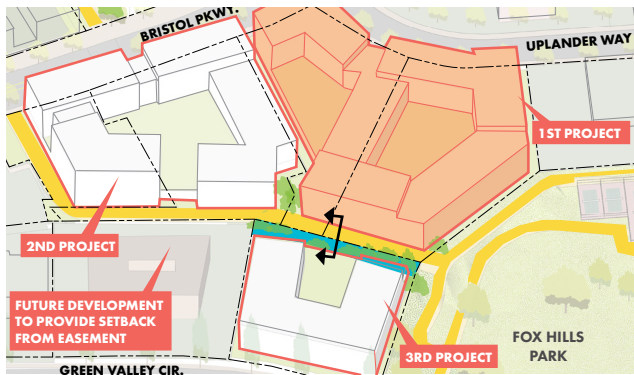
Key Plan

LEGEND

- PUBLIC ACCESSWAY EASEMENT
- 20' SETBACK
- PARCEL BOUNDARY

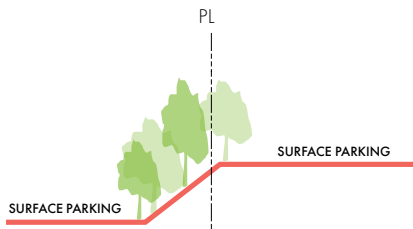


Scenario 1: Public Accessway Aligned across Bristol Parkway

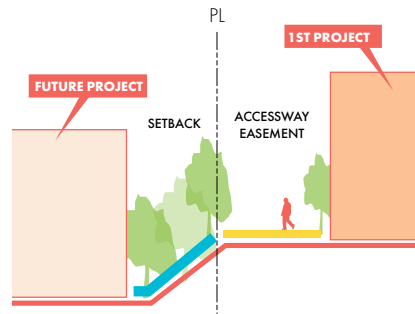


Scenario 2: Public Accessway Jogs at Bristol Parkway

The above 3D model illustrates a potential development pattern for the neighborhood in the future, and does not represent actual projects.



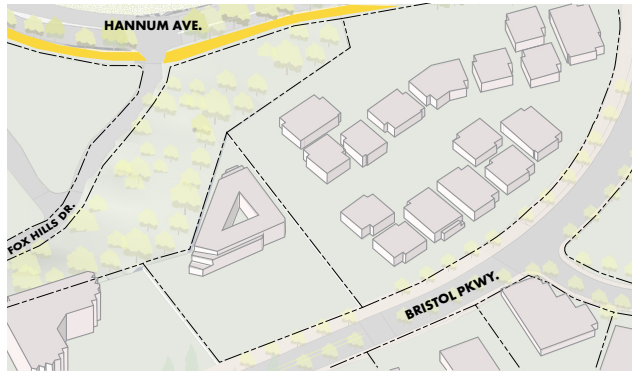
Existing Conditions Section Diagram



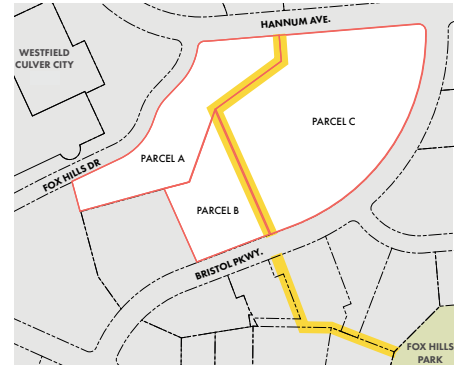
Scenario 2: Potential Implementation Section Diagram

Figure 3.4 Potential Scenarios for Public Accessway between Fox Hills Park and Bristol Parkway

FLEXIBLE PUBLIC ACCESSWAYS IMPLEMENTATION SCENARIO



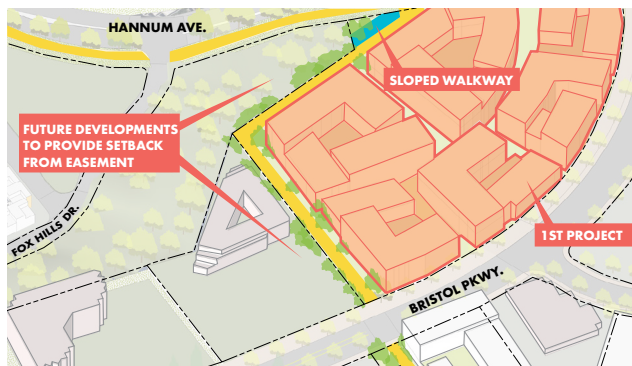
Existing Conditions



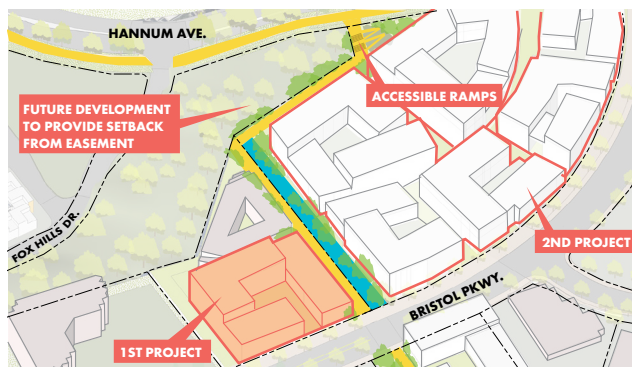
Key Plan

LEGEND

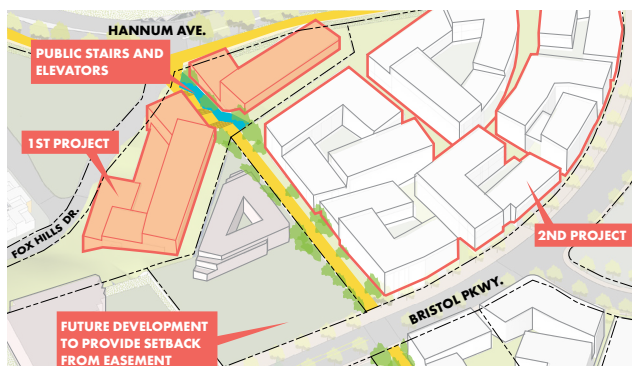
- PUBLIC ACCESSWAY EASEMENT
- 20' SETBACK
- PARCEL BOUNDARY



Scenario 1: Sloped Walkway Connects to Hannum Avenue



Scenario 2: Ramps Used to Descend Slope



Scenario 3: Combination of Public Stairs and Elevator

The above 3D model illustrates a potential development pattern for the neighborhood in the future, and does not represent actual projects.



3.3 COMPLETE STREETS IMPROVEMENTS

3.3.1 PURPOSE

1. **Purpose.** Street dedications are intended to implement the Complete Streets Improvements shown in Figure 3.6: Fox Hills Required Street Dedications. The Complete Streets Improvements benefit safety, health, and transportation throughout the Fox Hills neighborhood. They improve safety by separating active transportation (such as biking and walking) from high vehicle roadway speeds. They improve health and transportation efficiency by providing more opportunities to access key destinations by biking and walking.

3.3.2 APPLICABILITY

1. **Threshold.** The threshold for requiring new street dedications includes the construction of a new primary use building on properties that abut a public street as identified in Figure 3.6: Fox Hills Required Street Dedications.
2. **Dedication Standard.** Private parcels shall be required to provide a land dedication in such a manner as to create a public street across the portion of that lot based upon the dimensions and standards set forth in Chapter 3 of the Fox Hills Specific Plan. Dedications shall be mapped as a condition of project approval, and the dedication area shall be recorded and improved prior to the issuance of a certificate of occupancy, for such proposed new construction.
3. **Density.** The area of dedication may be included when calculating the overall density of a parcel.
4. **Dedication Instrument.** Dedications shall be memorialized in a form approved by the City Attorney and recorded by the City with the Office of the Los Angeles County Recorder.
5. **Timing of Dedication.** As required by this Section, the recordation of the dedication with the Office of the Los Angeles County Recorder shall occur prior to issuance of a Certificate of Occupancy.
6. **Revocable Dedication.** In the event that an applicable building permit is deemed expired, withdrawn, or void and a dedication has been recorded at the Office of the Los Angeles County Recorder in accordance with this Section, the dedication shall be deemed null and void. Any application for new development or redevelopment after building permit expiration shall require the execution and recording of a new revocable dedication agreement prior to issuance of a new building permit.
7. **Exceptions.** Full or partial relief from the standard requirements prescribed in this section may be granted by the Public Works Director or his or her designee, provided that the only finding required to grant relief is that the dedication or improvement is physically impractical, or that the cost of the dedication or improvement is proportionally excessive when compared to the impacts caused by the project.

3.3.3 COORDINATION WITH PUBLIC WORKS

While this Specific Plan establishes the intended character, function, and public-realm priorities of streets, final roadway design—including lane configurations, striping, traffic control, utilities, and engineering specifications—shall be subject to review, permitting, and approval through the City's Public Works Department.

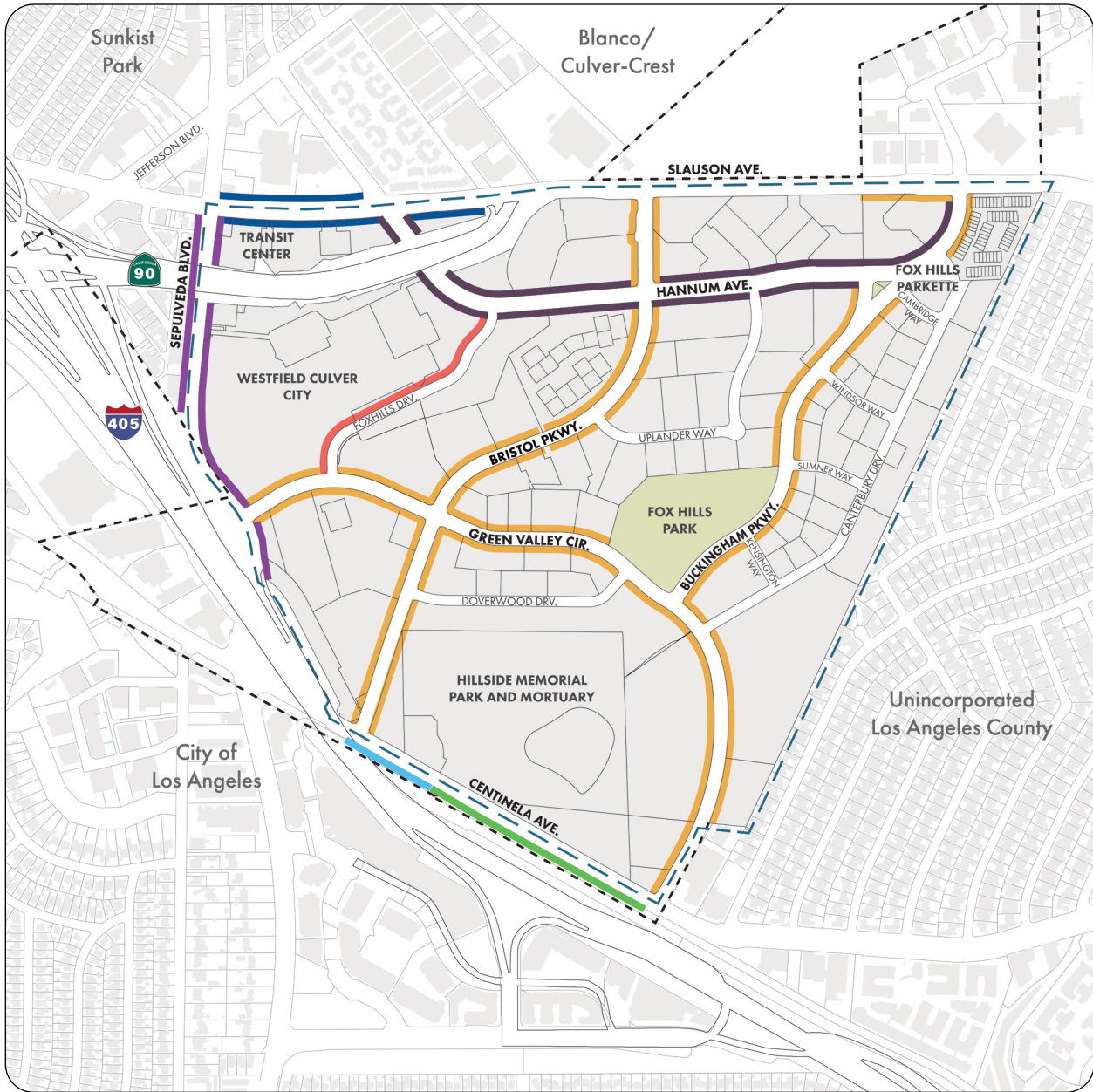
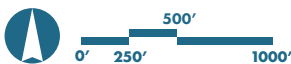


FIGURE 3.6

**FOX HILLS
REQUIRED STREET
DEDICATIONS**

- Culver City Limits
- - - Specific Plan Boundary
- 14' Dedication
- 11' Dedication
- 10'6" Dedication
- 10' Dedication
- 6'6" Dedication
- 5' Dedication
- 3' Dedication



Note: Areas within Caltrans right-of-way are subject to Caltrans review and approval.

3.3.4 STREET-SPECIFIC IMPROVEMENTS & RIGHT-OF-WAY WIDTHS

The following section identifies planned improvements and ultimate right-of-way for individual streets within the Plan Area. For each corridor, the Specific Plan establishes the intended street classification, functional role, and key public-realm and multimodal improvements, informed by existing conditions, anticipated redevelopment patterns, and City mobility goals from the General Plan, Complete Streets Design Standards, and the Safer Fox Hills Project.

Existing and proposed street plan diagrams illustrate the desired transformation of each street over time and are intended to convey the primary design intent. Final roadway design—including lane configurations, striping, and traffic control—shall be determined through subsequent engineering design and approval by the City’s Public Works Department.

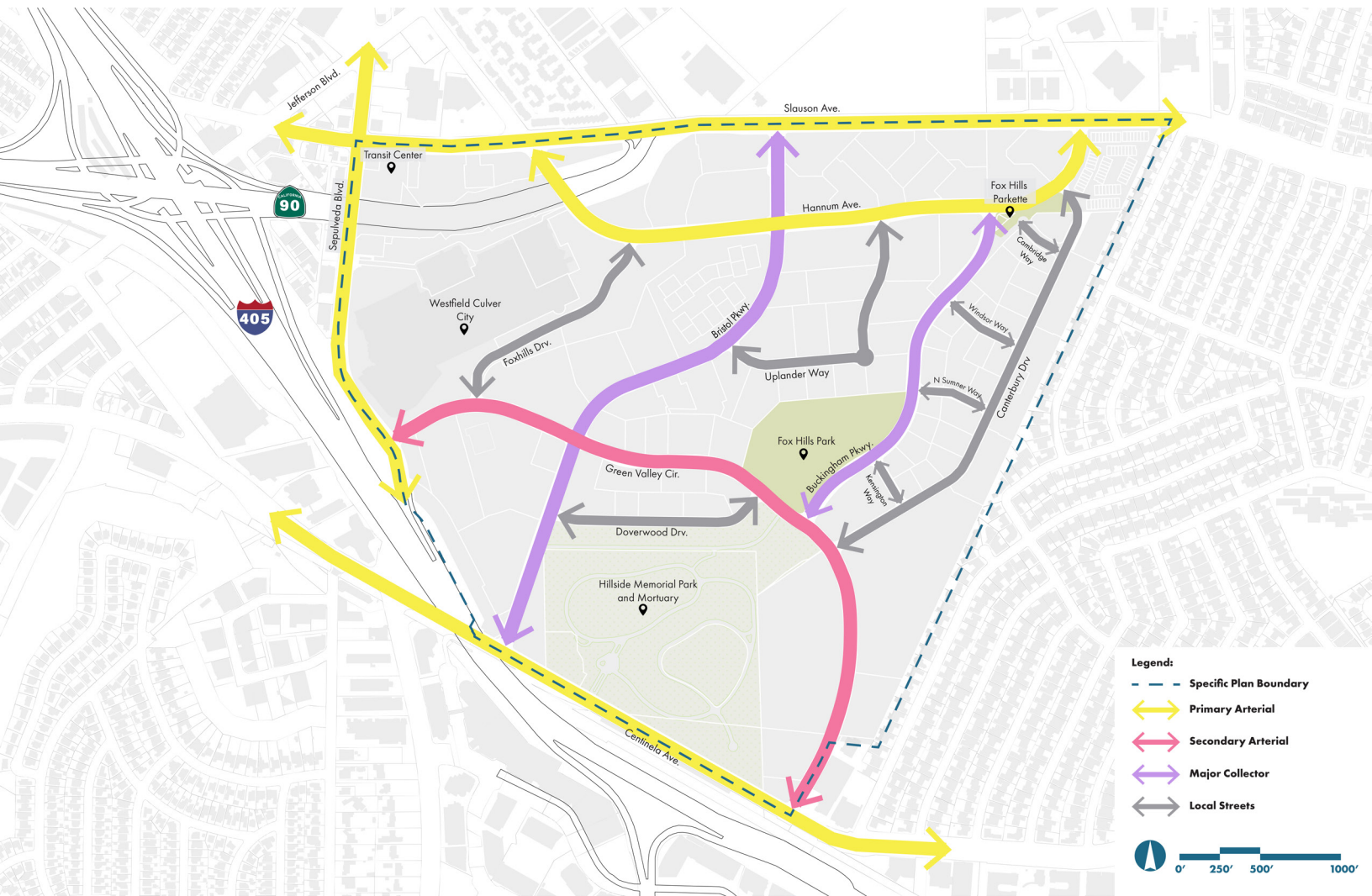


Figure 3.7 Fox Hills Street Classifications

Bristol Parkway (Hannum Avenue to Centinela Avenue)

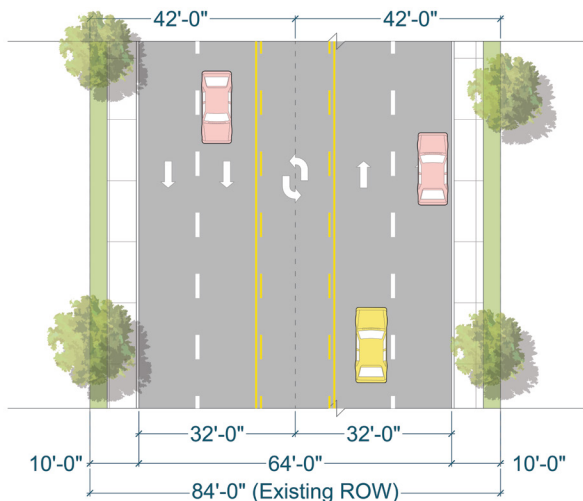
Complete Streets Classification:

Major Collector

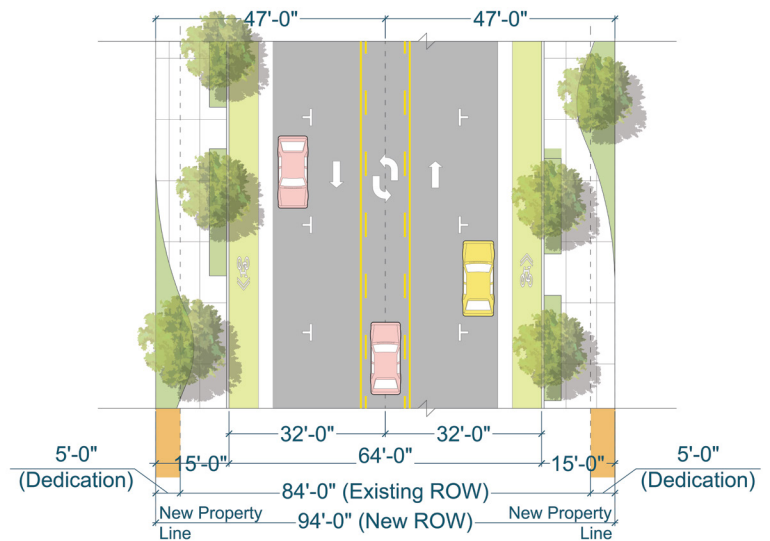
Role and Intent

Bristol Parkway is a major north-south collector that is intended to serve as a key active corridor for new mixed use and residential development. The street supports movement between neighborhoods, commercial areas, and regional destinations. The Specific Plan emphasizes new and improved pedestrian crossings, bicycle accommodations, and streetscape enhancements to support active frontages that create a visually engaging, pedestrian-oriented environment. Required dedications on both sides of the street are intended to expand pedestrian space.

Right-of-Way Design

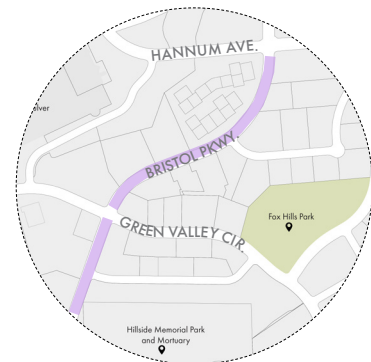


Existing Condition



Proposed Condition

Figure 3.8 Bristol Parkway Right-of-Way Design (Hannum Avenue to Centinela Avenue)



Key Plan

Bristol Parkway (Hannum Avenue to Slauson Avenue)

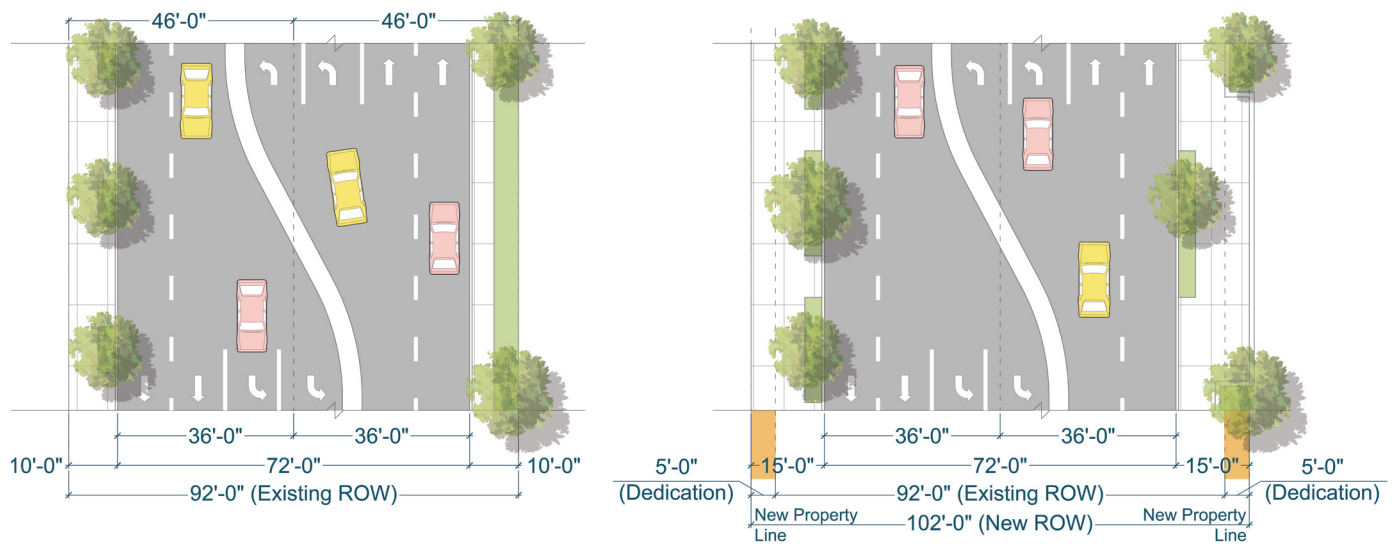
Complete Streets Classification:

Major Collector

Role and Intent

The Specific Plan emphasizes new and improved pedestrian crossings, bicycle accommodations, and streetscape enhancements to support active frontages that create a visually engaging, pedestrian-oriented environment. Required dedications on both sides of the street are intended to expand pedestrian space.

Right-of-Way Design



Existing Condition

Proposed Condition

Figure 3.9 Bristol Parkway Right-of-Way Design (Hannum Avenue to Slauson Avenue)

The centerline of the existing right-of-way is assumed to be the same as the center of the curb-to-curb distance.



Key Plan

Buckingham Parkway (Hannum Avenue to Green Valley Circle)

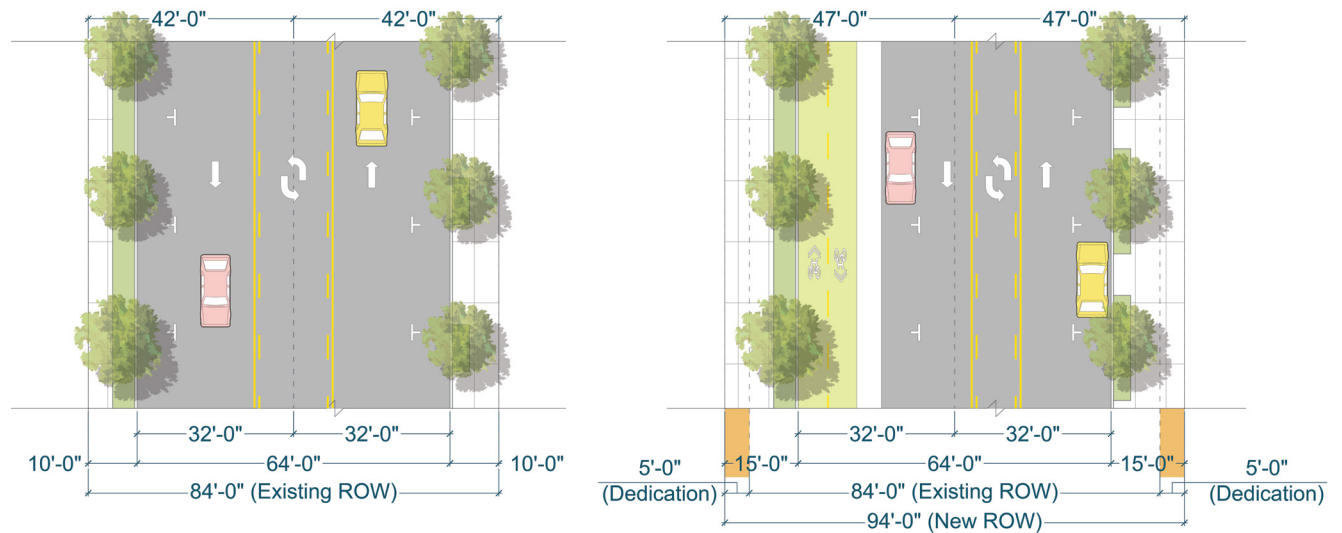
Complete Streets Classification:

Major Collector

Role and Intent

Buckingham Parkway functions as a major collector that connects residential areas to nearby commercial centers and arterials. The street is intended to function as a transition between existing low-scale residential areas and future development. The Specific Plan requires dedications intended to widen sidewalks and enhance pedestrian access. Other improvements include protected bicycle lanes to improve multimodal access to this neighborhood-serving connector.

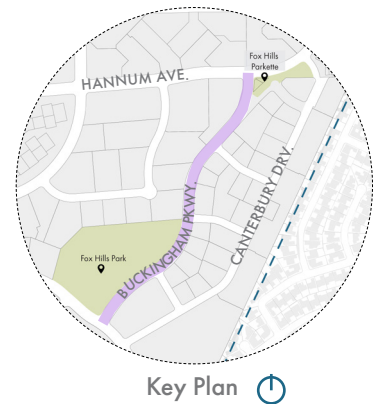
Right-of-Way Design



Existing Condition

Proposed Condition

Figure 3.10 Buckingham Parkway Right-of-Way Design (Hannum Avenue to Green Valley Circle)



Centinela Avenue (Hillside Memorial Park and Mortuary* to Green Valley Circle)

Complete Streets Classification:

Primary Arterial

Role and Intent

Centinela Avenue is a primary arterial that accommodates significant regional traffic while providing access to surrounding commercial and residential areas. A sidewalk dedication is required along the south side of the corridor to improve pedestrian safety and create a more comfortable, accessible walking environment.

Right-of-Way Design

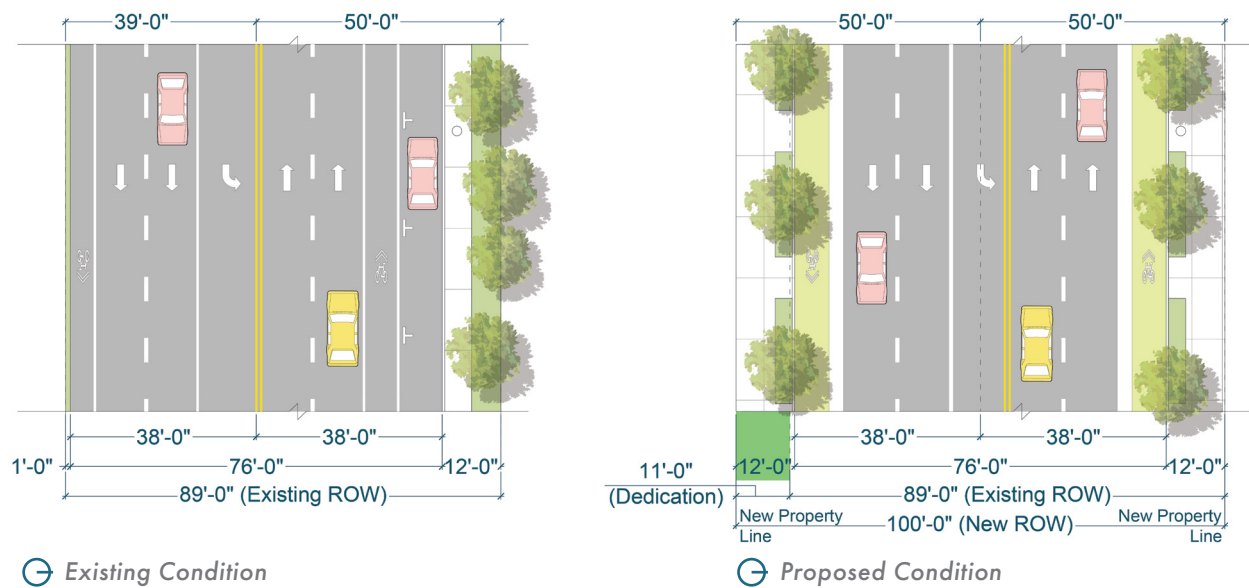
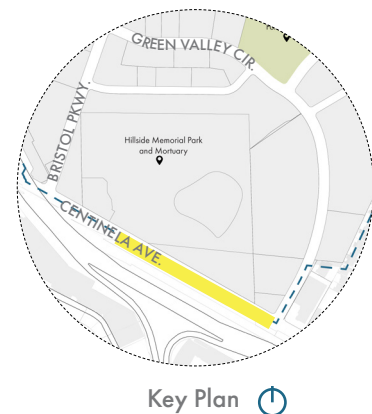


Figure 3.11 Centinela Avenue Right-of-Way Design (Hillside Memorial Park and Mortuary* to Green Valley Circle)

*Westerly limit is the driveway to Hillside Memorial Park and Mortuary on Centinela Avenue



Centinela Avenue (Hillside Memorial Park and Mortuary* to Bristol Parkway)

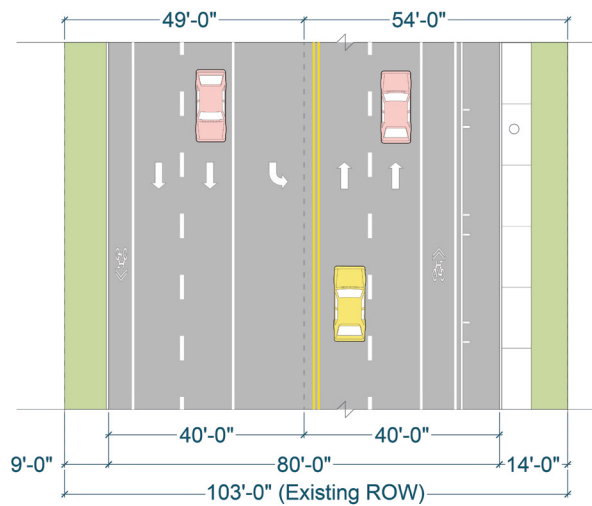
Complete Streets Classification:

Primary Arterial

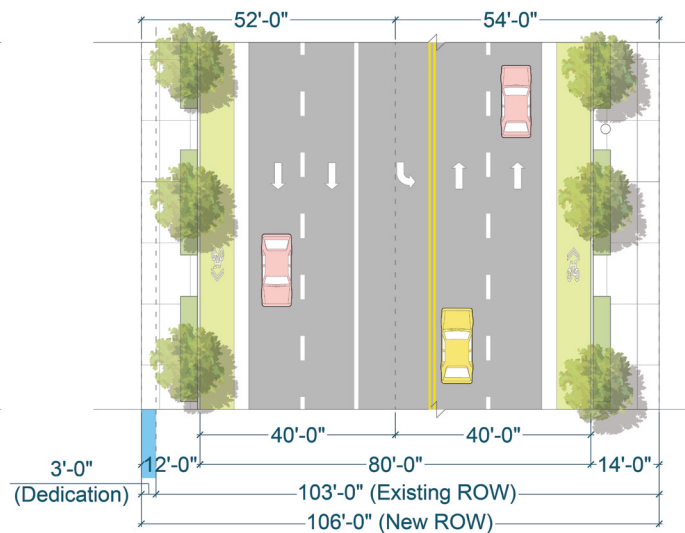
Role and Intent

Between Hillside Memorial Park and Mortuary* and Bristol Parkway, the right-of-way is wider. A sidewalk dedication is required along the south side of the corridor to improve pedestrian safety and create a more comfortable, accessible walking environment.

Right-of-Way Design



Existing Condition

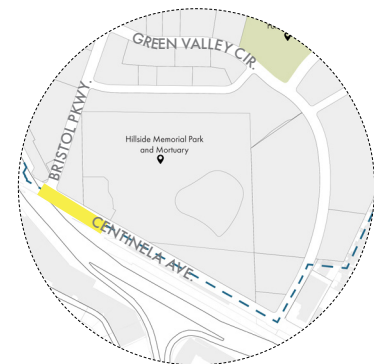


Proposed Condition

Figure 3.12 Centinela Avenue Right-of-Way Design (Hillside Memorial Park and Mortuary* to Bristol Parkway)

Note: Areas within Caltrans right-of-way are subject to Caltrans review and approval.

* Easterly limit is the driveway to Hillside Memorial Park and Mortuary on Centinela Avenue



Key Plan

Fox Hills Drive (Green Valley Circle to Hannum Avenue)

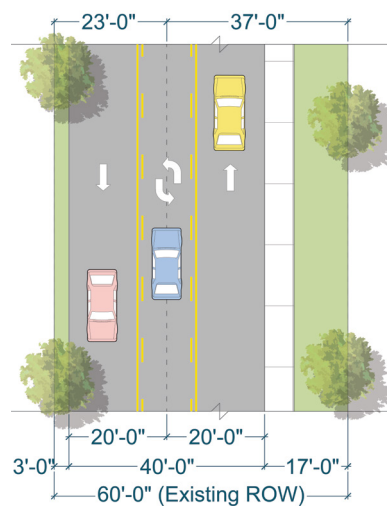
Complete Streets Classification:

Local Street

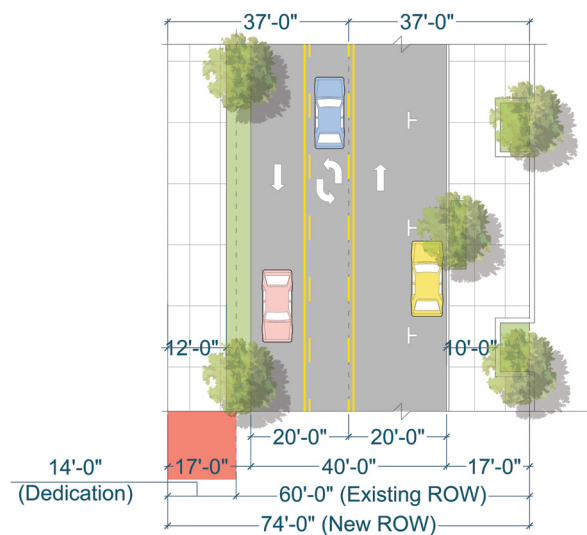
Role and Intent

Fox Hills Drive functions as a local street that serves the Westfield Culver City and surrounding uses. The Specific Plan requires dedications to expand pedestrian space on the western side of the street and improve overall pedestrian safety. The Specific Plan explores two options. In both scenarios, the curb-to-curb distance remains unchanged.

Right-of-Way Design



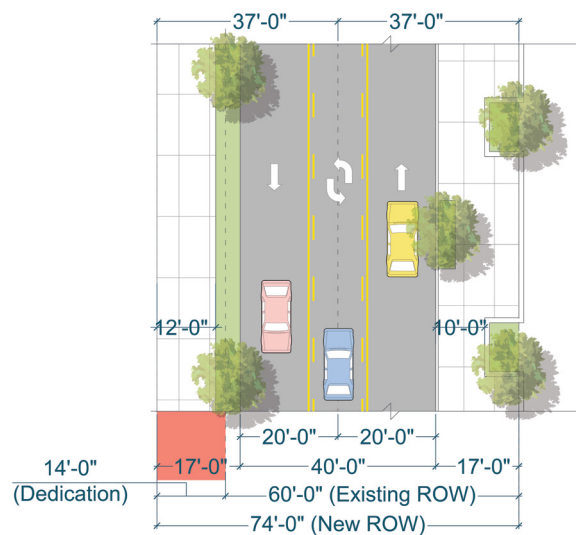
Existing Condition



Proposed Condition - Option 1 (On-street Parking)



Key Plan



Proposed Condition - Option 2 (No On-street Parking)

Figure 3.13 Fox Hills Right-of-Way Design (Green Valley Circle to Hannum Avenue)

Green Valley Circle (Bristol Parkway to Centinela Avenue)

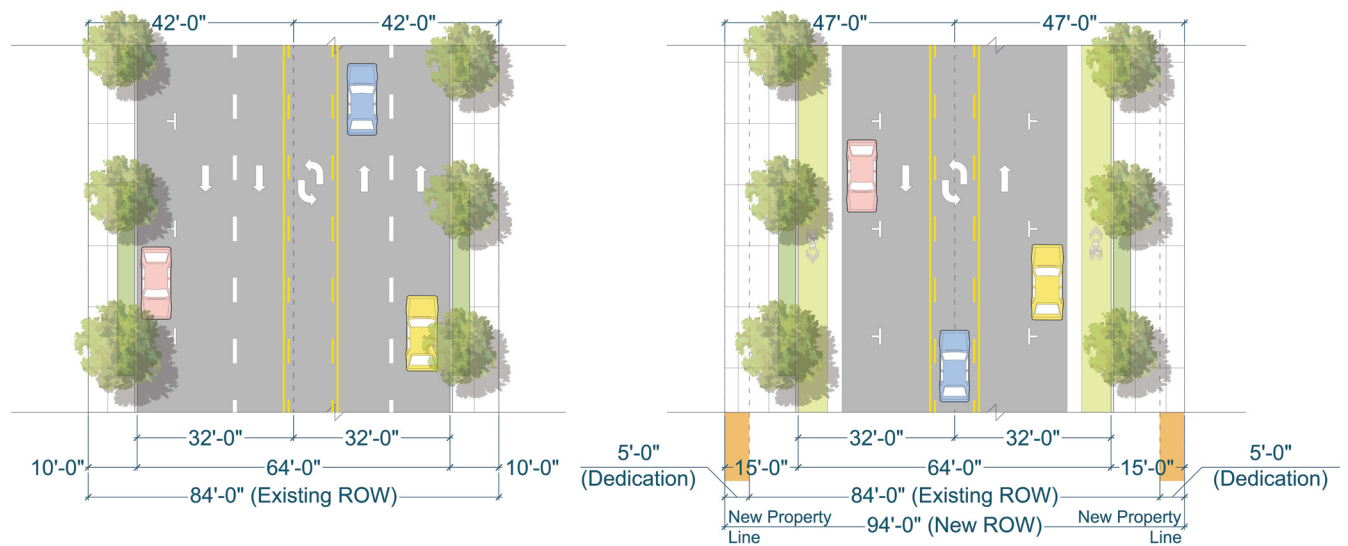
Complete Streets Classification:

Secondary Arterial

Role and Intent

Green Valley Circle is a secondary arterial. The corridor is intended to continue functioning as an important connector while improving conditions for pedestrians and cyclists. Required dedications on both sides of the street will support an expanded pedestrian environment and improved safety.

Right-of-Way Design



Existing Condition

Proposed Condition

Figure 3.14 Green Valley Circle Right-of-Way Design (Bristol Parkway to Centinela Avenue)



Key Plan

Green Valley Circle (Bristol Parkway to Sepulveda Boulevard)

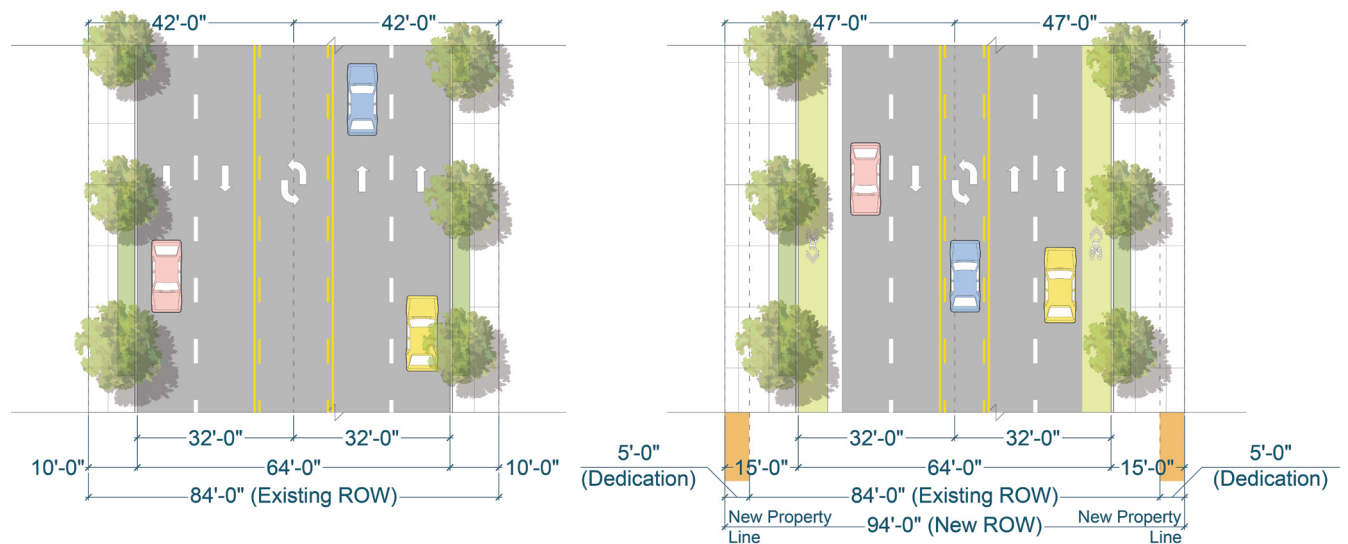
Complete Streets Classification:

Secondary Arterial

Role and Intent

Between Bristol Parkway and Sepulveda Boulevard, the Specific Plan requires dedication on both sides of Green Valley Circle to support an expanded pedestrian environment and improved safety. The corridor is intended to continue functioning as an important connector while improving conditions for pedestrians and cyclists.

Right-of-Way Design



Existing Condition

Proposed Condition

Figure 3.15 Green Valley Circle Right-of-Way Design (Bristol Parkway to Sepulveda Boulevard)



Key Plan

Hannum Avenue (Slauson Avenue to Buckingham Parkway)

Complete Streets Classification:

Primary Arterial

Role and Intent

Hannum Avenue is a primary east-west corridor within the Specific Plan Area that serves as a key frontage street for new mixed use and residential development. As a primary arterial, the street is intended to balance regional movement with a safe and comfortable active transportation environment. The Specific Plan supports expanded sidewalks through required dedications on both sides of the street to enhance pedestrian safety, comfort, and bicycle circulation.

Right-of-Way Design

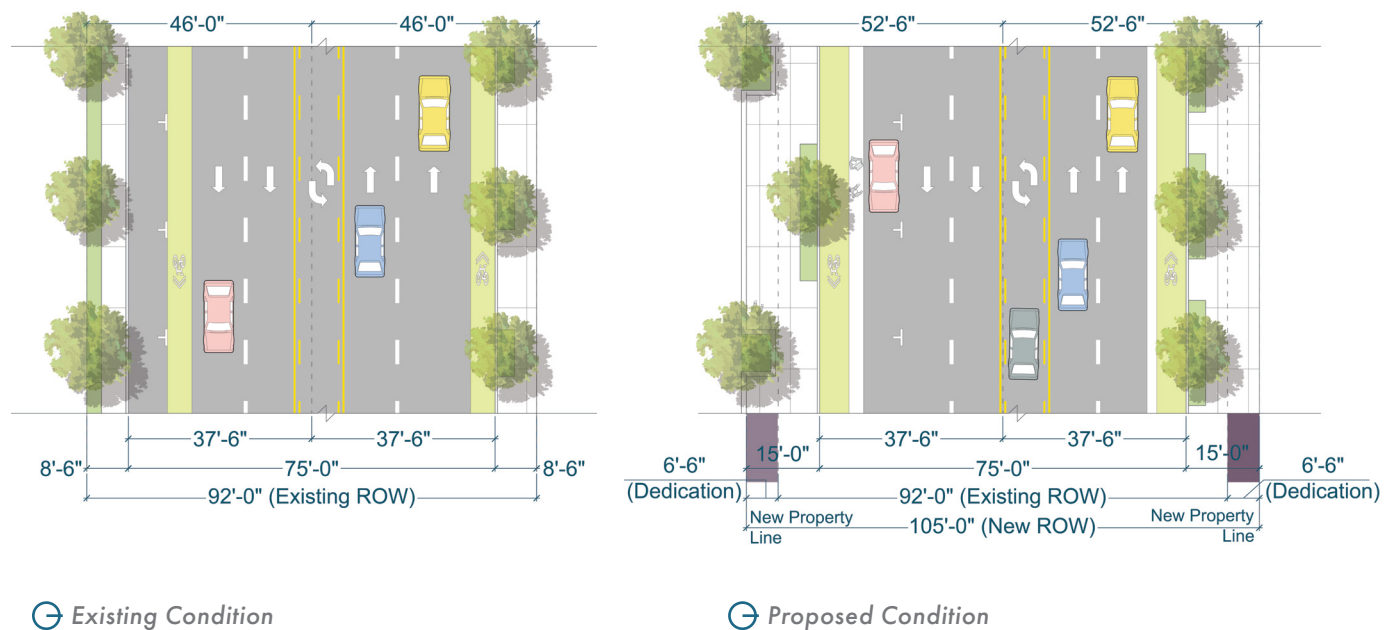


Figure 3.16 Hannum Avenue Right-of-Way Design (Slauson Avenue to Buckingham Parkway)



Key Plan

Slauson Avenue (Sepulveda Boulevard to Transit Center Driveway)

Complete Streets Classification:

Primary Arterial

Role and Intent

Slauson Avenue serves as a significant regional east-west arterial and an important gateway to the Specific Plan Area. The street is intended to strengthen multimodal connectivity, including improved access to the Transit Center, while enhancing pedestrian safety and supporting high-quality mixed use development. Between Sepulveda Boulevard and the driveway to the Culver City Transit Center, the Specific Plan requires dedications on both sides of the street, providing an opportunity to widen sidewalks and improve pedestrian comfort.

Right-of-Way Design

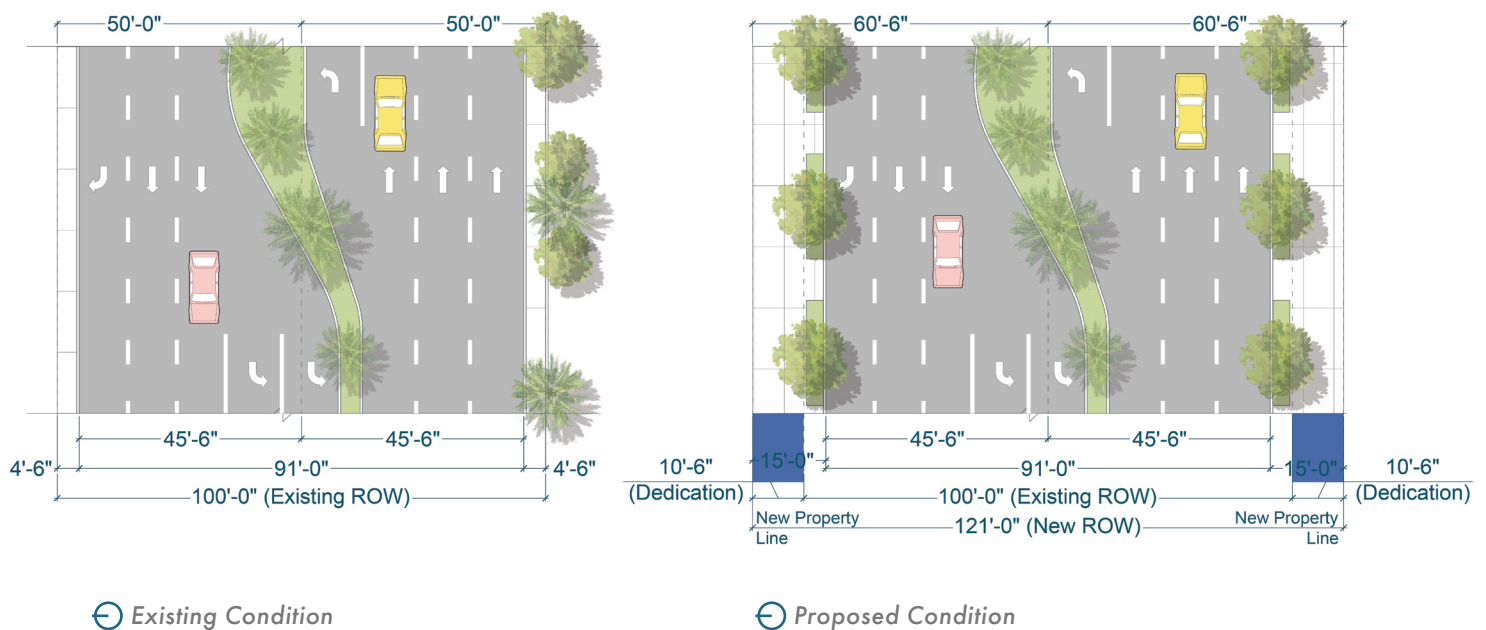


Figure 3.18 Slauson Avenue Right-of-Way Design (Sepulveda Boulevard to Transit Center Driveway)

Slauson Avenue (Transit Center Driveway to Hannum Avenue)

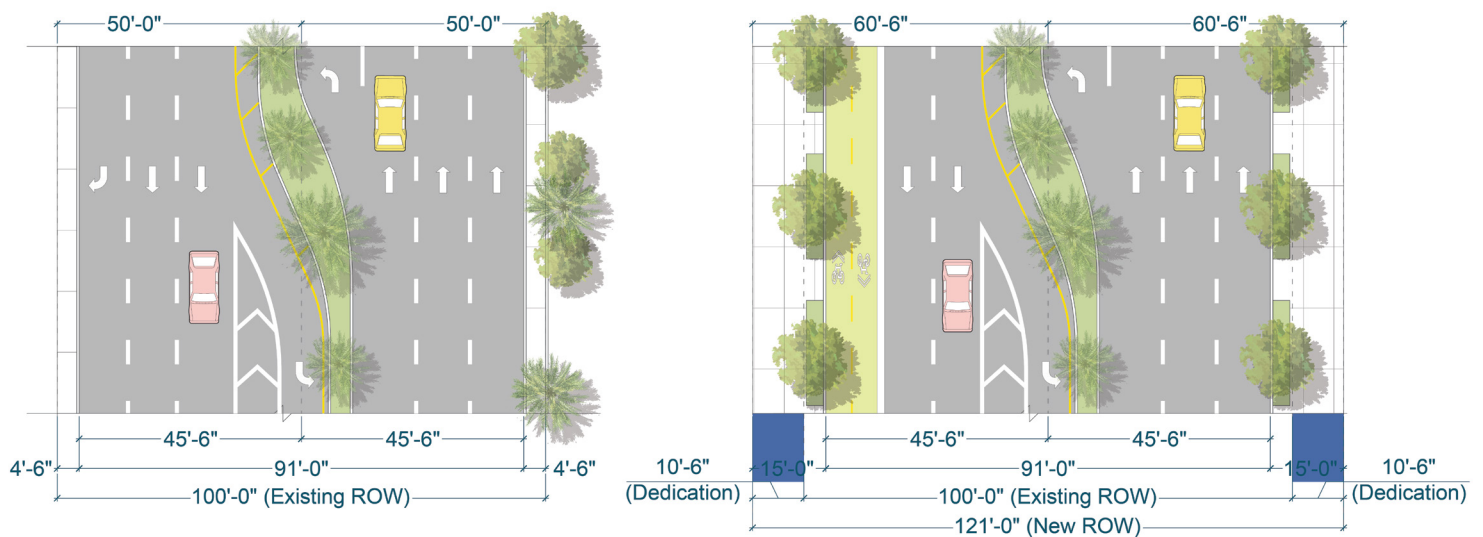
Complete Streets Classification:

Primary Arterial

Role and Intent

Between the driveway to the Culver City Transit Center and Hannum Avenue, the Specific Plan requires dedications on both sides of the street, providing an opportunity to widen sidewalks and improve pedestrian comfort. The Specific Plan also incorporates the Better Overland Project, which proposes a two-way protected bike lane on the north side of Slauson Avenue.

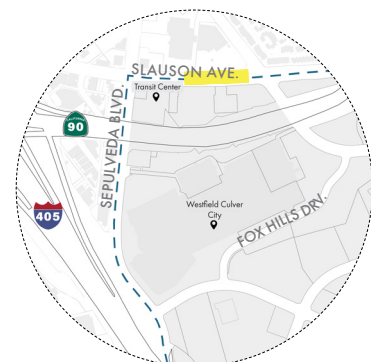
Right-of-Way Design



⊖ Existing Condition

⊖ Proposed Condition

Figure 3.19 Slauson Avenue Right-of-Way Design (Transit Center Driveway to Hannum Avenue)



Key Plan ⊕

Slauson Avenue (Holy Cross Cemetery and Mortuary* to Buckingham Parkway)

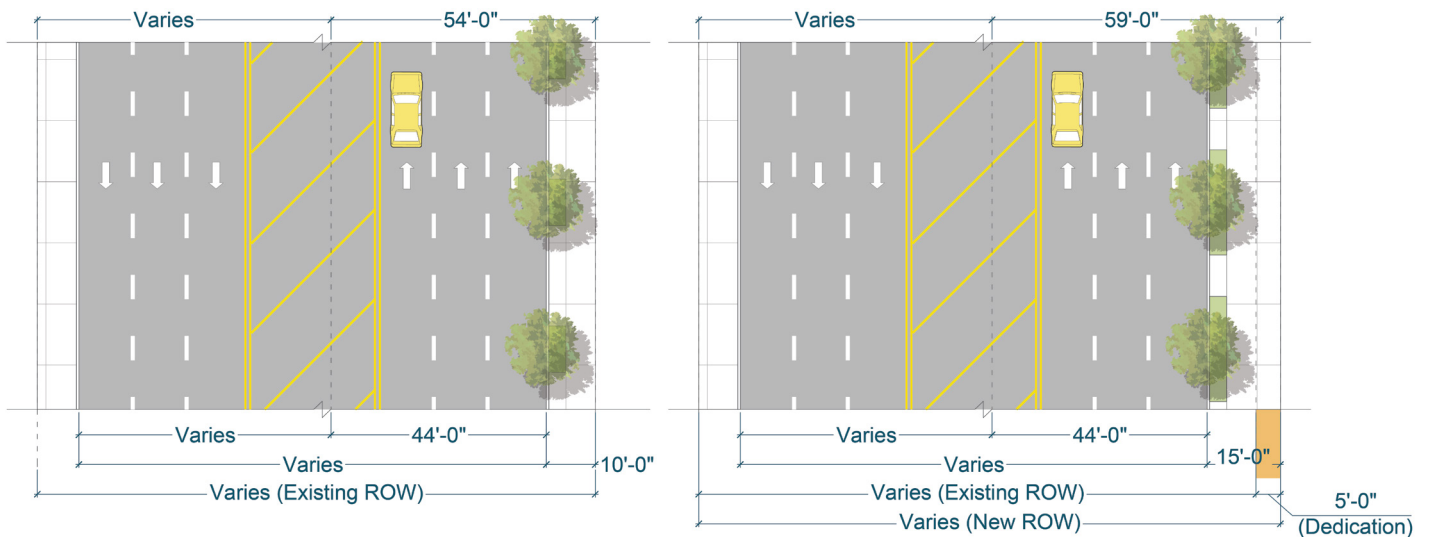
Complete Streets Classification:

Primary Arterial

Role and Intent

The Specific Plan acknowledges new projects under entitlement along Slauson Avenue between Holy Cross Cemetery and Mortuary* (approximately 600' west of Buckingham Parkway) to Buckingham Parkway. The Specific Plan requires dedications along the south side of the street to expand sidewalk space and improve pedestrian comfort.

Right-of-Way Design

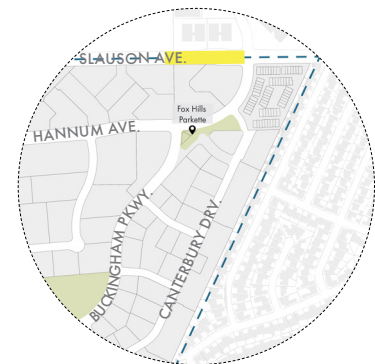


⊖ Existing Condition

⊕ Proposed Condition

Figure 3.20 Slauson Avenue Right-of-Way Design (Holy Cross Cemetery and Mortuary* to Buckingham Parkway)

*Westerly limit is approximately 600' west of Buckingham Parkway



Key Plan ⊕

Uplander Way (Bristol Parkway to Hannum Avenue)

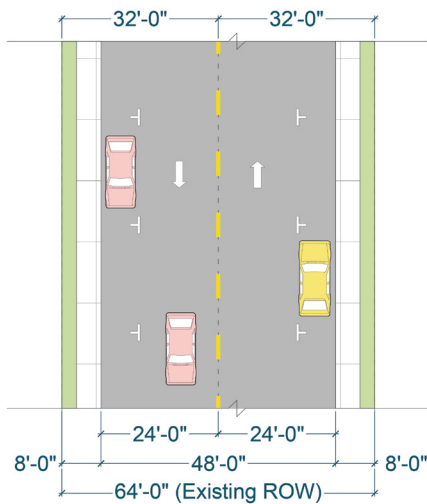
Complete Streets Classification:

Local Street

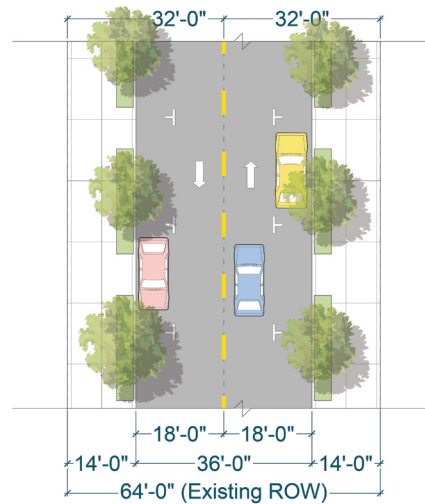
Role and Intent

Uplander Way is a local street serving surrounding residential and upcoming development. Proposed improvements include reducing curb-to-curb width to calm traffic, enhance walkability, and support safe and convenient access for residents and visitors.

Right-of-Way Design



Existing Condition



Proposed Condition

Figure 3.21 Uplander Way Right-of-Way Design (Bristol Parkway to Hannum Avenue)



Key Plan

Other Local Streets

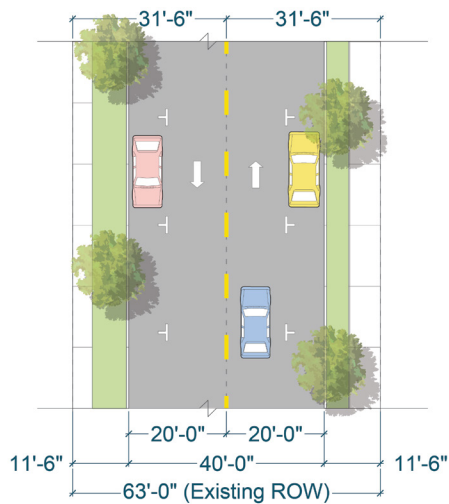
Complete Streets Classification:

Local Street

Role and Intent

These streets function as local residential streets that support neighborhood access. Required improvements shall follow the General Plan, Complete Streets Design Standards, and other requirements.

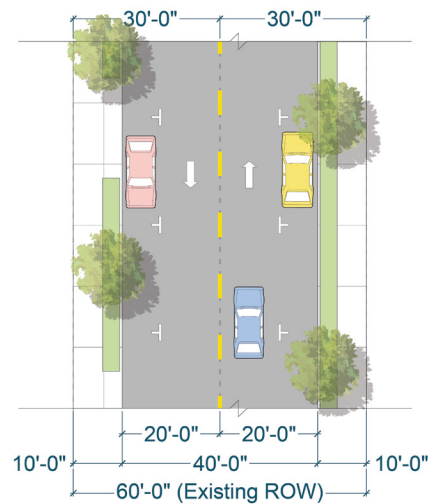
Canterbury Drive (Green Valley Circle to Hannum Avenue)



⌚ Existing + Proposed Condition -
No changes proposed

Figure 3.22 Canterbury Drive Right-of-Way Design
(Green Valley Circle to Hannum Avenue)

Doverwood Drive (Bristol Parkway to Green Valley Circle)



⌚ Existing + Proposed Condition -
No changes proposed

Figure 3.23 Doverwood Drive Right-of-Way Design
(Bristol Parkway to Green Valley Circle)

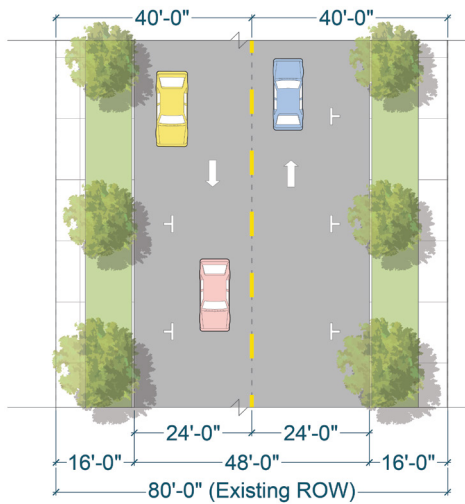


Key Plan ⌚



Key Plan ⌚

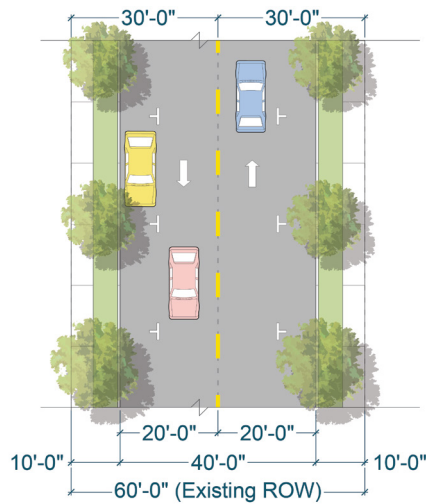
Cambridge Way (Buckingham Parkway to Canterbury Drive)



Existing + Proposed Condition - No changes proposed

Figure 3.24 Cambridge Way Right-of-Way Design (Buckingham Parkway to Canterbury Drive)

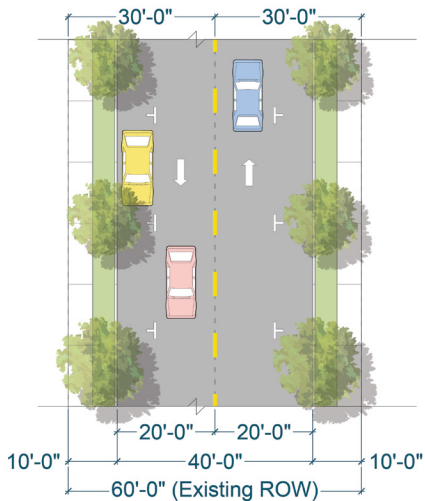
Kensington Way (Buckingham Parkway to Canterbury Drive)



Existing + Proposed Condition - No changes proposed

Figure 3.25 Kensington Way Right-of-Way Design (Buckingham Parkway to Canterbury Drive)

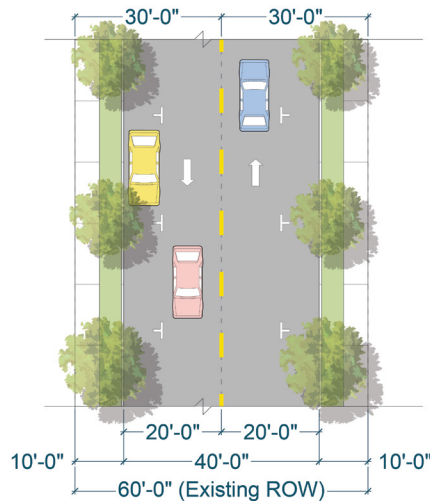
Sumner Way (Buckingham Parkway to Canterbury Drive)



Existing + Proposed Condition - No changes proposed

Figure 3.26 Sumner Way Right-of-Way Design (Buckingham Parkway to Canterbury Drive)

Windsor Way (Buckingham Parkway to Canterbury Drive)



Existing + Proposed Condition - No changes proposed

Figure 3.27 Windsor Way Right-of-Way Design (Buckingham Parkway to Canterbury Drive)



Key Plan

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17.110.005 REQUIREMENTS FOR LAND USES AND DEVELOPMENT.

No land use or structure shall be established, constructed, reconstructed, altered, allowed, or replaced unless that land use or structure complies with the following requirements.

A. **Allowable Use.** The land use shall be identified by Chapters 17.210 (Residential Zoning Districts), 17.220 (Mixed Use Zoning Districts), 17.240 (Planned Development Zoning Districts), 17.250 (Special Purpose Zoning Districts), ~~and~~ 17.260 (Overlay Zones), **and 17.270 (Fox Hills Specific Plan Zoning Districts)** as being allowable in the zoning district applied to the subject site.

B. **Permit Requirements.** Any land use permit required by this Title shall be obtained before the proposed use is constructed or otherwise established or put into operation, unless the proposed use is listed in § 17.110.010 (Exemptions from Land Uses and Development Approval Requirements). The land use permit requirements of this Title are established by Chapters 17.210 (Residential Zoning Districts), 17.220 (Mixed Use Zoning Districts), 17.240 (Planned Development Zoning Districts), 17.250 (Special Purpose Zoning Districts), ~~and~~ 17.260 (Overlay Zones), **and 17.270 (Fox Hills Specific Plan Zoning Districts)**.

C. **Development Standards.** Every land use and structure shall comply with all applicable requirements of this Title, including the development standards of Article 2 (Zoning Districts, Allowable Land Uses, and Zone-Specific Standards), and the provisions of Article 3 (Site Planning and General Development Standards) and Article 4 (Standards for Specific Land Uses). In addition, every land use and structure shall comply with all applicable requirements of any adopted Development Agreement, Comprehensive Plan, and Specific Plan.

D. **Conditions of Approval.** Every land use and structure shall comply with all applicable conditions imposed by the City as part of an approved land use permit.

E. **Development Agreement Provisions.** Every land use and structure shall comply with any applicable agreement related to the site which has been approved by the City or Redevelopment Agency, including but not limited to, an Owner-Participation Agreement, a Disposition and Development Agreement, or a Development Agreement.

(Ord. No. 2005-007 § 1 (part); Ord. No. 2024-006)

17.120.010 RULES OF INTERPRETATION.

E. Allowable Uses of Land. If a proposed use of land is not specifically listed in Chapters 17.210 (Residential Zoning Districts), 17.220 (Mixed Use Zoning Districts), 17.240 (Planned Development Zoning Districts), 17.250 (Special Purpose Zoning Districts), ~~and~~ 17.260 (Overlay Zones), **and 17.270 (Fox Hills Specific Plan Zoning Districts)**, the use shall not be allowed, except as follows.

ZONING DISTRICTS ESTABLISHED.

Culver City shall be divided into zoning districts which implement the General Plan. The zoning districts described in Table 2-1 (Zoning Districts) are hereby established and shall be shown on the official Zoning Map adopted (Section 17.200.015).

Table 2--1. Zoning Districts

Zoning Map Symbol	Zoning District Name	General Plan Land Use Classification Implemented by Zoning District	Chapter
Residential Zoning Districts			Chapter 17.210
R1	Single-Family Residential	Single Family	
R2	Two-Family Residential	Two Family	
RLD	Low Density Multiple-Family Residential	Low Density Multifamily	
RMD	Medium Density Multiple-Family Residential	Medium Density Multifamily	
RHD	High Density Multiple-Family Residential	High Density Multifamily	
Mixed Use Zoning Districts			Chapter 17.220
MU-N	Mixed Use Neighborhood	Mixed Use Corridor 1	
MU-1	Mixed Use Corridor 1	Mixed Use Corridor 1	
MU-2	Mixed Use Corridor 2	Mixed Use Corridor 2	
MU-DT	Mixed Use Downtown	Mixed Use Medium	
MU-MD	Mixed Use Medium	Mixed Use Medium	
MU-HD	Mixed Use High	Mixed Use High	
MU-I	Mixed Use Industrial	Mixed Use Industrial	
Special Purpose Zoning Districts			Chapter 17.250
S	Studio	Studio	
E	Cemetery	Cemetery	
I	Institutional	Institutional	
OS	Open Space	Open Space	
T	Transportation	Transportation	
PD	Planned Development	Various	
Overlay Zones			Chapter 17.260
-RZ	Residential Zero Setback Overlay		
-RP	Redevelopment Project Area Overlay		
-CV	Civic Center Overlay		
-RH	Residential Hillside Overlay		
Specific Plan Zoning Districts			Chapter 17.270
FH-MD	Fox Hills Mixed Use Medium	Mixed Use Medium	
FH-HD	Fox Hills Mixed Use High	Mixed Use High	

17.270 FOX HILLS SPECIFIC PLAN ZONING DISTRICTS

17.270.005 Purpose

17.270.010 Purpose of Fox Hills Specific Plan Zoning Districts

17.270.015 Fox Hills Specific Plan Zoning Districts Land Uses and Permit Requirements

17.270.020 Fox Hills Specific Plan Zoning Districts Development Standards

17.270.025 Frontage Standards for Fox Hills Specific Plan Development

17.270.030 Performance Standards for Fox Hills Specific Plan Zones

17.270.005 PURPOSE

This Chapter provides development and land use regulations in the Fox Hills Specific Plan zoning districts established by Section 17.200.010 (Zoning Districts Established).

17.270.010 PURPOSE OF FOX HILLS SPECIFIC PLAN ZONING DISTRICTS.

The purpose of the individual Fox Hills Specific Plan zoning districts, and the manner in which they are applied, are as follows.

- A. **FH-MD (Fox Hills Mixed Use Medium) District.** The FH-MD Zoning District identifies areas in the Fox Hills Specific Plan appropriate for a broad range of mixed use, residential, office, and commercial uses. This zoning designation is located toward the edges of the Fox Hills Specific Plan Area, and is of a lower intensity than the FH-HD District. The FH-MD Zoning District is consistent with the Mixed Use Medium land use designation of the General Plan.
- B. **FH-HD (Fox Hills Mixed Use High) District.** The FH-HD Zoning District identifies areas appropriate in the Fox Hills Specific Plan for large-scale residential, mixed use, office, and commercial uses emphasizing a variety of retail uses, including anchor tenants, entertainment, and restaurant uses. This District is the primary activity center of the Fox Hills Specific Plan Area, and is meant to facilitate the development of high-quality mixed-use developments, the continued operation of existing commercial areas, and encourage the creation of a wide-ranging system of public accessways. The FH-HD Zoning District is consistent with the Mixed Use High land use designation of the General Plan.

17.270.015 FOX HILLS SPECIFIC PLAN ZONING DISTRICTS LAND USES AND PERMIT REQUIREMENTS.

- A. Table 2-11 (Allowed Uses and Permit Requirements for Fox Hills Zoning Districts) identifies the uses of land allowed by this Title in the mixed use zoning districts, and the land use permit required to establish each use in compliance with Subsection 17.200.020.B. (Determination of Allowable Land Uses and Permit Requirements). Residential use must occupy a minimum 50 percent of the total floor area of a mixed use project on sites anticipated to accommodate

lower-income housing on the Housing Element Adequate Sites Inventory, pursuant to California Government Code § 65583.2(h).

Note: Where the last column in the tables (Additional Regulations and Specific Use Regulations) includes a note or section number, the regulations in that note and/or the referenced section apply to the use; however, provisions in other sections of this Title may also apply.

Table 2-11 Allowed Uses and Permit Requirements for Fox Hills Specific Plan Zoning Districts

LAND USES	FH-MD	FH-HD	Additional Regulations and Specific Use Regulations
INDUSTRIAL, MANUFACTURING, PROCESSING			
Recycling facility - incidental small collection	P	P	See Section 17.400.090 (Recycling Facilities)
Research and development (R&D)	P	P	
RECREATION, EDUCATION & PUBLIC ASSEMBLY			
Arcade	P	P	
Clubs, lodges, and private meeting halls	P	P	
Community garden	P	P	
Indoor commercial recreation	P	P	
Event centers	AUP	AUP	See Section 17.520.035 (Development and Operating Standards)
Health/fitness facilities	P	P	
Outdoor commercial recreation	AUP	AUP	
Public recreational and cultural facilities	P	P	
Private residential recreational facilities	P	P	
Public Schools - Kindergarten to 12th grade	P	P	
Private schools - Kindergarten to 12th grade	AUP/CUP	AUP/CUP	AUP required for schools up to 1,500 square feet in area.
College/university/trade school	AUP/CUP	AUP/CUP	AUP required for schools up to 1,500 square feet in area.
Religious places of worship	P	P	
Studios - Art, dance, music, photography, etc.	P	P	
Theatres	P	P	
RESIDENTIAL			
Accessory dwelling units	P	P	See Section 17.400.095 (Residential Uses - Accessory Dwelling Units)
Accessory uses and structures	P	P	See Section 17.400.100 (Residential Uses - Accessory Residential Structures)
Child day care - Large family day care homes	P	P	Use is subject to only those restrictions that apply to other residential uses of the same type in the same zone.

Child day care - Small family day care homes	P	P	Use is subject to only those restrictions that apply to other residential uses of the same type in the same zone.
Cottage food operation (accessory)	P	P	Cottage Food Operations are allowed pursuant to Section 113758 of the California Health and Safety Code. For guidelines and regulations, go to the LA County Public Health Department website.
Home occupations	P	P	See Section 17.400.055 (Home Occupations)
Live/work units	P	P	See Section 17.400.060 (Live/Work Development Standards)
Mixed use projects	P	P	Residential use must occupy a minimum 50 percent of the total floor area of a mixed use project on sites anticipated to accommodate lower-income housing on the Housing Element Adequate Sites Inventory, pursuant to Cal. Government Code § 65583.2(h).
Multiple-family dwelling, ≥ 4 Units	P	P	See also Section 17.400.040 (Condominium Conversions)
Residential care facilities, 6 or fewer clients	P	P	
Residential care facilities, 7 or more clients	CUP	CUP	
Senior citizen congregate care housing	CUP	CUP	
Single room occupancy units	P	P	See Section 17.400.106 (Single Room Occupancy (SRO) Units) Use is subject to only those restrictions that apply to other residential uses of the same type in the same zone.
Supportive housing	P	P	Use is subject to only those restrictions that apply to other residential uses of the same type in the same zone.
Transitional housing	P	P	Use is subject to only those restrictions that apply to other residential uses of the same type in the same zone.
RETAIL TRADE			
Accessory food service	P	P	
Accessory retail uses	P	P	
Artisan shops	P	P	
Bars, night clubs	CUP	CUP	For permit requirements related to the sale of alcoholic beverages, see Section 17.400.015 (Alcoholic Beverage Sales)
Convenience stores	P	P	For permit requirements related to the sale of alcoholic beverages, see Section 17.400.015 (Alcoholic Beverage Sales)
Food retail	P	P	
General retail stores	P	P	Where alcohol is sold, an AUP or CUP may be required pursuant to Section 17.400.015 (Alcoholic Beverage Sales).
			Commercial Cannabis Businesses only allowed with a CUP on pre-screened sites. See CCMC Chapter 11.17 (Commercial Cannabis Businesses).
Internet café	P	P	

Outdoor retail sales and display	AUP	AUP	See Section 17.400.075 (Outdoor Retail Sales and Display)
Pet shop	P	P	
Plant nurseries	P	P	
Restaurants, table service or take out	P	P	For permit requirements related to the sale of alcoholic beverages, see § 17.400.015.
Restaurants, outdoor dining (accessory)	AUP	AUP	See Section 17.400.070 (Outdoor Dining) For permit requirements related to the sale of alcoholic beverages, see Section 17.400.015 (Alcoholic Beverage Sales)
Shopping center	P	P	
SERVICE			
Adult day care facilities	CUP	CUP	
Automated teller machines (ATMs)	P	P	See Section 17.400.025 (Automatic Teller Machines (ATMs))
Banks and financial services	P	P	
Business and consumer support services	P	P	(2) Subject to ground floor restrictions per Section 17.220.035 (Mixed Use Downtown (MU-DT) District Requirements).
Child day care centers	CUP	CUP	
Drive-thru facilities or services	CUP	CUP	See Section 17.400.045 (Drive-In and Drive-Through Facilities)
Emergency shelters	CUP	-	See Section 17.400.046 (Emergency Shelters)
Hotels and motels	P	P	Subject to requirements of CCMC Section 11.02.100, et seq.
Hotels and motels – Extended stay	CUP	CUP	Subject to requirements of CCMC Section 11.02.100, et seq. Guest rooms or suites rented for long term lodging purposes are not subject to requirements of CCMC Section 11.02.100, et seq., but are subject to the Transient Occupancy Tax Ordinance.
Low barrier navigation centers	P	P	See Section 17.400.065 (Low Barrier Navigation Centers)
Medical services - Offices/clinics	P	P	
Medical services - Labs	P	P	(2) Subject to ground floor restrictions per Section 17.220.035 (Mixed Use Downtown (MU-DT) District Requirements).
Medical services - Hospitals	CUP	CUP	
Offices	P	P	(2) Subject to ground floor restrictions per Section 17.220.035 (Mixed Use Downtown (MU-DT) District Requirements).
Personal services	P	P	
Public facilities	P	P	
Public utility facilities	CUP	CUP	
Storage, outdoor (accessory)	AUP	AUP	See Section 17.400.080 (Outdoor Storage)
Vehicle services - Electric vehicle charging stations	P	P	See Section 17.400.120 (Vehicle Fueling Stations)
Veterinary clinics	P	P	
TRANSPORTATION & COMMUNICATIONS			

Broadcast studios	P	P	
Parking facilities	P	P	
Telecommunications facilities, cellular	AUP	AUP	See Section 17.400.110 (Telecommunications Facilities)
Telecommunications facilities, dish/wireless antenna	AUP	AUP	See Section 17.400.110 (Telecommunications Facilities)

17.270.020 FOX HILLS SPECIFIC PLAN ZONING DISTRICT DEVELOPMENT STANDARDS.

- A. **General Requirements.** Subdivisions, new land uses and structures, and alterations to existing land uses and structures in the FH-MD and FH-HD zoning districts, shall be designed, constructed, and/or established in compliance with the requirements in Table 2-12 (Fox Hills Specific Plan District Development Standards (FH-MD, FH-HD)). In addition, the applicable development standards (e.g., landscaping, parking and loading, and the like) in Article 3 (Site Planning and General Development Standards) shall apply.

Table 2-12. Fox Hills Specific Plan District Development Standards

Standards	FH-MD	FH-HD	Additional Regulations
Lot (1) and Density Standards			
Maximum non-residential floor area ratio	3	4	
Maximum residential density (units/gross acre)	65 units/acre	100 units/acre	
Minimum residential density (units/gross acre)	30 units/acre	30 units/acre	Only applies if project includes residential component.
Minimum lot area	20,000 square feet	20,000 square feet	Condominium, townhouse, or planned development projects may be subdivided with smaller parcel sizes for ownership purposes, with the minimum lot area as provided in the Townhouse Development Standards in § 17.210.025 or as determined through the subdivision review process, provided that the overall development site complies with the minimum lot size requirements of this Chapter.
Minimum lot width	100 feet	100 feet	
Minimum lot depth	100 feet	100 feet	
Building Form and Location			
Maximum height - Primary structure (2)	56 feet	56 feet	See Section 17.300.025 (Height Measurement and Height Limit Exceptions).
Minimum ground floor height Non-residential	15 feet	15 feet	Measured from finished floor to finished floor.
Distance between residential structures on the same lot	10 feet	10 feet	
Development Site Setbacks (1)			

Front / Street Side Setback	Varies	Varies	Refer to Table 2-13 Fox Hills Specific Plan District Frontage Standards
Interior Side Setback – Minimum	0 feet	0 feet	Refer to Table 2-13 Fox Hills Specific Plan District Frontage Standards for properties abutting public accessways.
Rear Setback – Minimum	10 feet	10 feet	
Open Space Standards			
Minimum usable open space – For residential component	100 square feet total per unit	100 square feet total per unit	See additional regulations in Section 17.210.030 (Supplemental Standards for Multiple-Family Residential) (A) Up to 30% of provided common open space may be an indoor common space such as a community room as long as it is adjacent to an outdoor public space, outdoor common open space, or accessible at the ground level to one of the frontage types listed in Section 17.270.025. (B) Up to 100% of the required usable open space may be provided via a Public Accessway. (C) See Section 17.400.060 for open space requirements for Live/Work units.
Minimum usable open space – For non-residential component over 15,000 square feet	2% of gross floor area	2% of gross floor area	Common open space may be utilized for employees or publicly-accessible open space (e.g., public accessway). If the open space is over 1,000 square feet and provided as publicly-accessible, up to 50 percent of the required non-residential usable open space may count toward the required residential common open space (if applicable). Spaces shall have a minimum dimension of 20 feet in any direction.
Other Standards	See additional standards in CCMC Article 3		

Notes:

- (1) Applies to lots or development sites consisting of multiple adjoining lots.
- (2) This provision is as approved by Initiative Ordinance No. 90-013½, adopted April 17, 1990, or as may be amended.

B. Design Standards

1. Facade treatments

- a. Taller Building Articulation. Buildings with four or more stories above grade shall be designed to differentiate the vertical extent of its facade. This standard applies to all facades facing the public right of way.
 - i. If a distinct building base is provided (extending from at least the ground to the ceiling of the ground floor), the building’s middle and top may feature the same materials and textures.
 - ii. If a distinct building top is provided (extending up from the floorplate of the uppermost habitable floor), the building’s base and middle may feature the same materials and textures.

- iii. No more than 50 percent of a building's façades may feature materials, colors and textures which extend uninterrupted from the ground to the roofline.
 - b. **Colors and Materials.**
 - i. Buildings shall incorporate a maximum of two main body colors, three accent colors, and three different materials, excluding windows, doors, trim and public art, murals, or signs. Street-facing exterior elevations shall include at least two colors and at least two different materials, (in addition to glazing, window trim, doors, railings, public art, murals, or signs) that can accentuate building masses. The main body color is the predominant color used on the face(s) of the building.
 - ii. Material and color changes shall occur at an inside corner, underside of a massing element, or wrapped to an appropriate termination point such as a roof break, half-column, bay window, or enhanced trim element.
 - c. **Glare.** Reflective surfaces and materials such as mirrored glass and polished aluminum are prohibited.
 - d. **Rear and Side Elevation Enhancements.** Rear and side elevations that are exposed to public view shall be treated with the same number of architectural treatments appropriate to the chosen architectural style as the front elevations.
 - e. **Blank Walls.** Untreated blank walls over 15 feet in height and 20 feet in length visible from a public street or a pedestrian-oriented space (such as a park, plaza, common open space, or pedestrian pathway) are prohibited. To avoid blank walls, treatments such as murals, decorative articulation, and green screens may be utilized.
- 2. **Building entrances.**
 - a. **Mix of Uses.** Commercial uses and residential uses shall have separate exterior entrances, elevators, and lobbies.
 - b. **Frontages.** Buildings shall feature at least one entrance along every frontage that is a designated frontage type. Refer to Section 17.270.025.
- 3. **Signage and lighting.**
 - a. **Signs.** Signs shall be developed pursuant to Chapter 17.330 (Signs).
 - b. **Lighting.** Exterior lighting shall comply with the requirements of § 17.300.040 (Outdoor Lighting).
- 4. **Parking and vehicular access.**
 - a. **General.** Developments shall comply with all requirements contained in Chapter 17.320 (Off-Street Parking and Loading).
 - b. **Screening.** Street level parking facilities and lots shall be screened from view from the adjoining street(s) or public accessways by ornamental walls or fences, at least four feet high above street grade.
 - c. **Ingress/Egress:**
 - i. Two-way vehicular ingress/egress areas on arterial streets shall only be permitted on development sites with a minimum of 100 feet of street frontage on the street where the vehicular ingress/egress area is located. The Director may waive this requirement, based on site constraints.

- ii. One-way vehicular ingress/egress areas on arterial streets shall only be permitted on development sites with a minimum of 75 feet of street frontage on the street where the ingress/egress area is located. The Director may waive this requirement, based on site constraints.
- iii. Vehicular ingress/egress areas are prohibited on arterial streets where the street frontage of the development site adjacent to the arterial street is less than 75 feet. The Director may waive this requirement, based on site constraints.

C. Residential Development Standards.

1. Open space.

- a. General. Residential development shall comply with the open space requirements of § 17.210.030.A. (Open Space Requirements for Multiple-Family Residential).
- b. Landscape Elements. To achieve a cohesive appearance and compatibility of a new project with its surroundings, proposed projects shall include at least three (3) of the following landscape elements in the landscape plan:
 - i. Pedestrian-scaled lighting
 - ii. Fountains/water features
 - iii. Decorative paving
 - iv. Freestanding art, with at least one dimension (height or depth) being over 10 feet
 - v. Landmark tree (48-inch box minimum)
 - vi. Seating opportunities, such as raised planters and walls.
- c. Common Open Space Enclosure. At least 50% of common open space as defined by Section 17.700.010, where provided, shall be open to the sky and not include patio covers, building projections, and similar enclosures that block sunlight and air.

2. Facility and design requirements.

- a. General. Residential and mixed-use developments shall comply with the facility and design requirements of § 17.210.030.B. (Facility and Design Requirements for Multiple-Family Residential).
- b. Refuse.
 - i. Refuse and recycling material containers shared by multiple dwelling units shall be enclosed and screened in accordance with CCMC Section 17.300.035. Sizing of the enclosures shall conform to the requirements of the Environmental Programs and Operations (EPO) Division of the Culver City Public Works Department.
 - ii. Refuse enclosures shall incorporate roof structures to help improve stormwater quality and to screen the enclosure from views from above.
 - iii. Refuse enclosures shall be finished using materials and colors that are consistent with the chosen architectural style. Enclosure gates shall be opaque.
 - iv. Refuse and recycling material containers stored within individual yards shall be screened from street view.

- D. **Live/Work Development Standards.** In addition to the standards detailed in this Section, live/work units within a mixed use development shall meet all applicable standards contained in § 17.400.060 (Live/Work Development Standards).

17.270.025 FRONTAGE STANDARDS FOR FOX HILLS SPECIFIC PLAN DEVELOPMENT

Purpose. To enhance the pedestrian experience, the Fox Hills Specific Plan establishes four frontage types with unique design considerations. Specific development and design standards for these frontage types are listed in Table 2-13. Portions of a façade that do not feature a frontage type shall adhere to the standards of section 17.270.020.

Map 2-2 Fox Hills Frontage Types

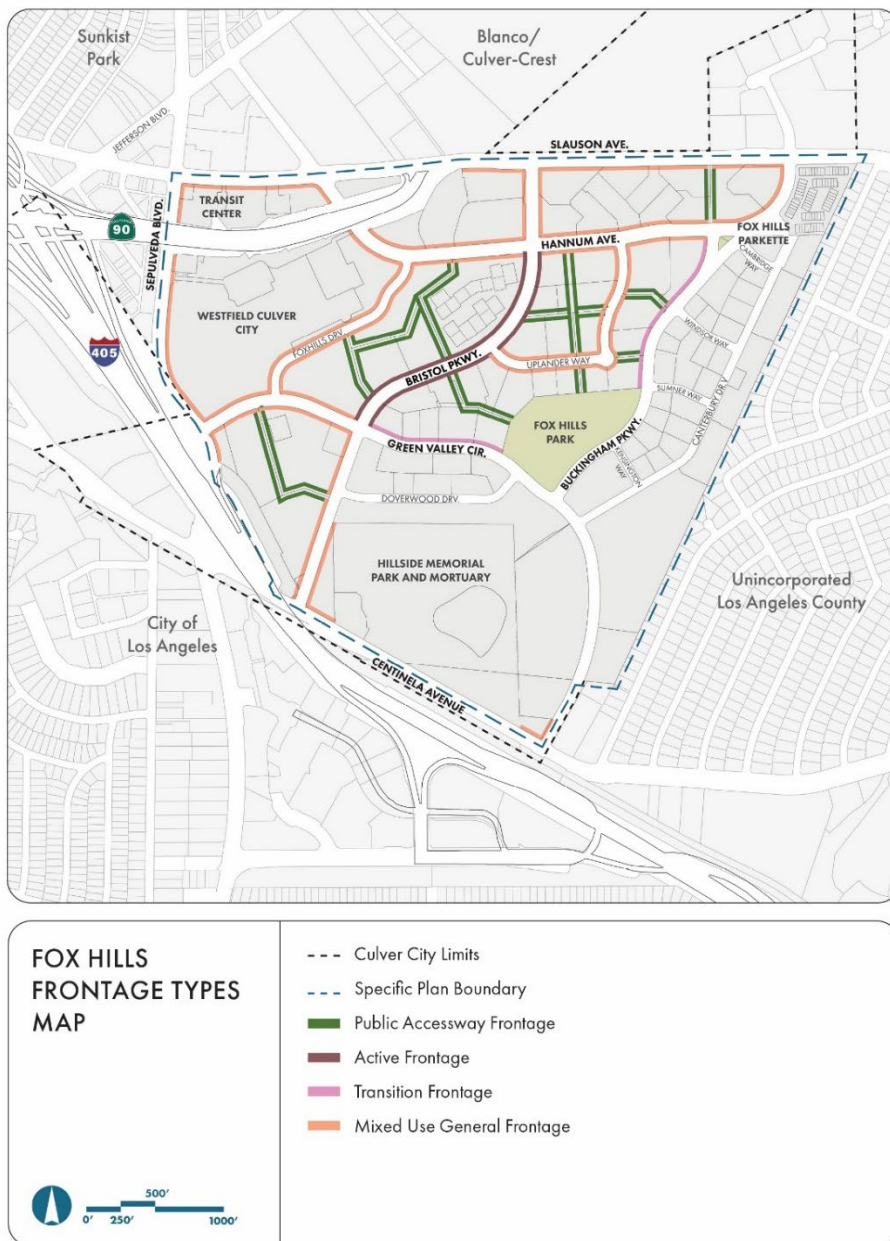


Table 2-13. Fox Hills Specific Plan District Frontage Standards

	Mixed Use General	Active	Transition	Public Accessway (1a)	Additional Standards
Frontage Setback (2)	5 feet minimum 10 feet maximum	5 feet minimum 10 feet maximum	5 feet minimum 10 feet maximum	5 feet minimum, new accessway (1b) 20 feet minimum, existing accessway (1c)	Refer to Section 17.270.025.A.1 & 2
Minimum Façade Length Within Frontage Setback (3)	80%	80%	n/a	n/a	
Minimum Ground Floor Windows	40%	50%	40%	30%	Refer to Section 17.270.025.A.3
Maximum Parking Frontage (% of Lot Width)	30%	20%	25%	10%	
Building Break	1 break for every 300 feet of building frontage	1 break for every 150 feet of building frontage	1 break for every 150 feet of building frontage	1 break for every 200 feet of building frontage	Refer to Section 17.270.025.A.4 Standard applies on a per building basis.
Height Modulation	2 techniques per building frontage	2 techniques per building frontage	1 technique per building frontage (4)	1 technique per building frontage	Refer to Section 17.270.025.A.5
Entrances	1 per 200 feet of building frontage, or fraction thereof	1 per 150 feet of building frontage, or fraction thereof	1 per 150 feet of building frontage, or fraction thereof	1 per 300 feet of building frontage, or fraction thereof	Refer to Section 17.270.030.A.6
Maximum frontage paving	70%	70%	50%	n/a	See Chapter 17.310 (Landscaping) for additional regulations.

(1a) See Chapter 3 of the Fox Hills Specific Plan for the regulatory process for establishing new public accessways.

(1b) Setback to a new public accessway provided on site as part of project proposal shall be 5 feet minimum. Additional standards are found in Section 17.270.025.C.

(1c) Setback to a public accessway adjacent to a proposed project shall be 20 feet minimum. Additional standards are found in Section 17.270.025.C.

(2) If a development provides a covered arcade, publicly-accessible plazas or forecourts, public art, fountains, or outdoor dining, and there is clear visibility between the sidewalk and building entrance, the maximum setback on the ground floor shall be 10 feet, or a greater setback may be allowed with Director approval. Does not apply to Public Accessway Frontage Type.

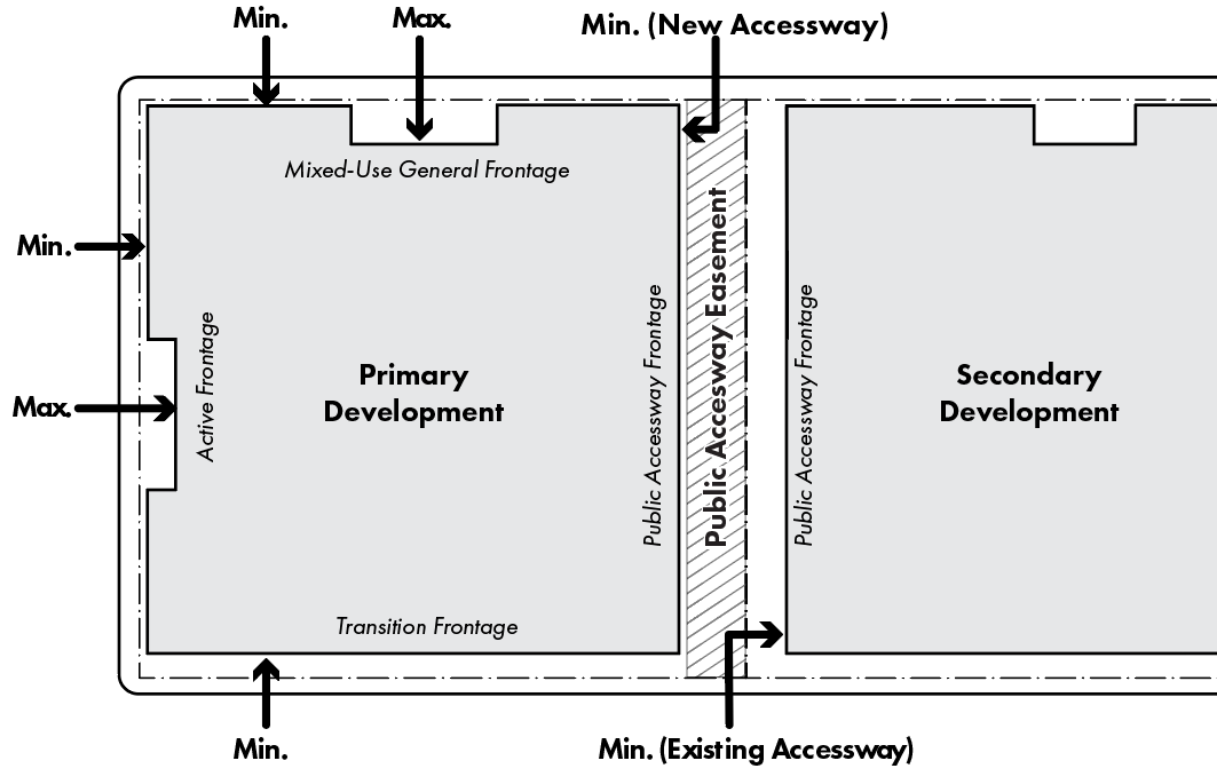
(3) Portions of the façade may be set behind the maximum setback, typically, these portions would be part of a building break or act as a portal into interior courtyards.

(4) See Section 17.270.025.B for specific height modulation requirements for Transition Frontage.

A. **Site Planning and Design Standards.**

1. Frontage Setback. Parcels in the Fox Hills Specific Plan may feature multiple frontage types as indicated on Map 2.1 - Frontages. Frontage setbacks apply to all those portions of a parcel designated with a frontage type.

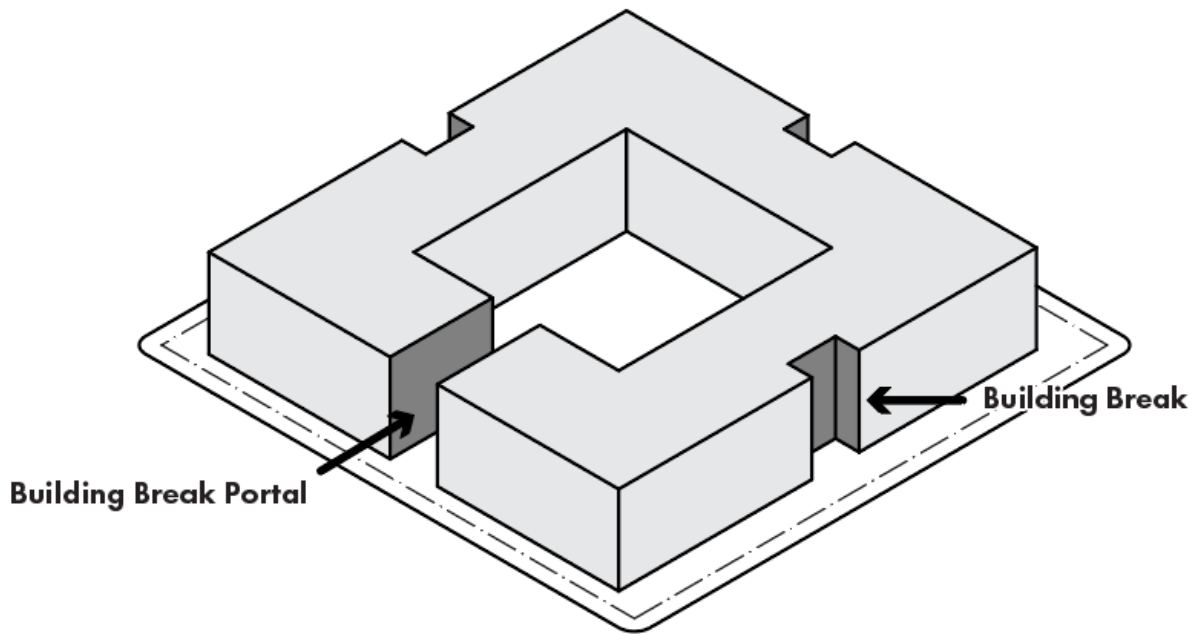
Figure 2-6 Frontage Setback



2. Multiple Structures. Frontage requirements only apply to structures adjacent to a right-of-way with a designated frontage type. On sites with multiple structures, structures located behind a structure adjacent to a frontage type are not subject to these requirements, and shall instead adhere to shall adhere to the standards of Section 17.270.020.
3. Ground Floor Windows. The ground floor of a structure shall incorporate windows. The percentage shall be calculated based on the length of the facade frontage and the floor-to-ceiling height of the ground floor.
 - a. All transparent features shall be at least four feet in height.
 - b. Windows counting toward this requirement shall be within three to nine feet of the floor plate.
4. Building Breaks.

- a. Building breaks serve to separate the massing of a building into distinct components. Building breaks may serve as portals into interior open spaces, such as courtyards.
- b. Building breaks shall be recessed at least 15 feet deep and 30 feet wide, extend from grade to the highest story, and open to the sky.
- c. Building breaks shall feature a distinct building feature on the ground floor, such as a lobby, amenity space, or commercial space.

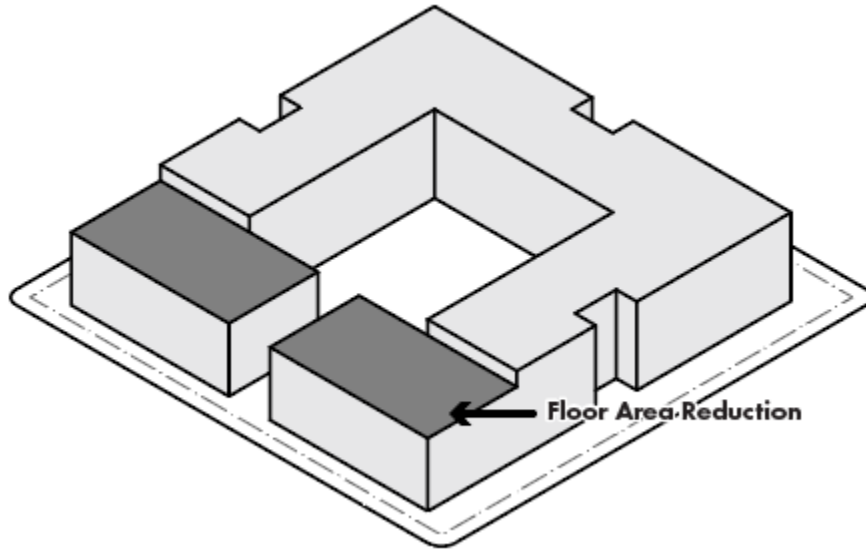
Figure 2-7 Building Breaks



- 5. Height Modulation for Mixed-Use General, Active, and Public Accessway Frontages. Rooflines along public-facing elevations shall be articulated. The following techniques may be used to satisfy this standard along the Mixed-Use General, Active, and Public Accessway frontages:
 - a. Reducing the floor area of the uppermost floor by at least 25% compared to the ground floor. Roof space created by the reduced floor area must extend to the building edge on all elevations facing the public right of way, public open space, or other publicly

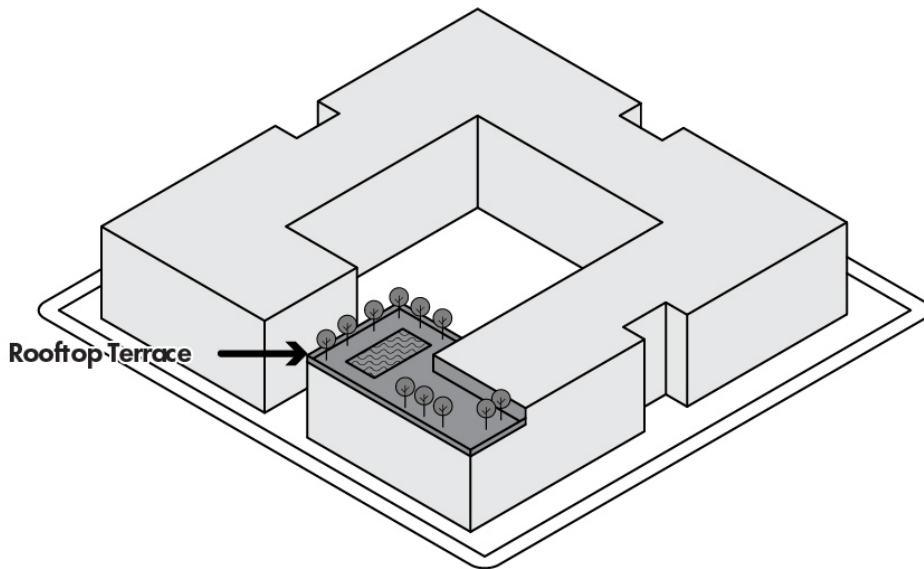
accessible areas. If utilized by two or more frontages in a single building, the reduced massing must occur along both frontages.

Figure 2-8 Floor Area Reduction



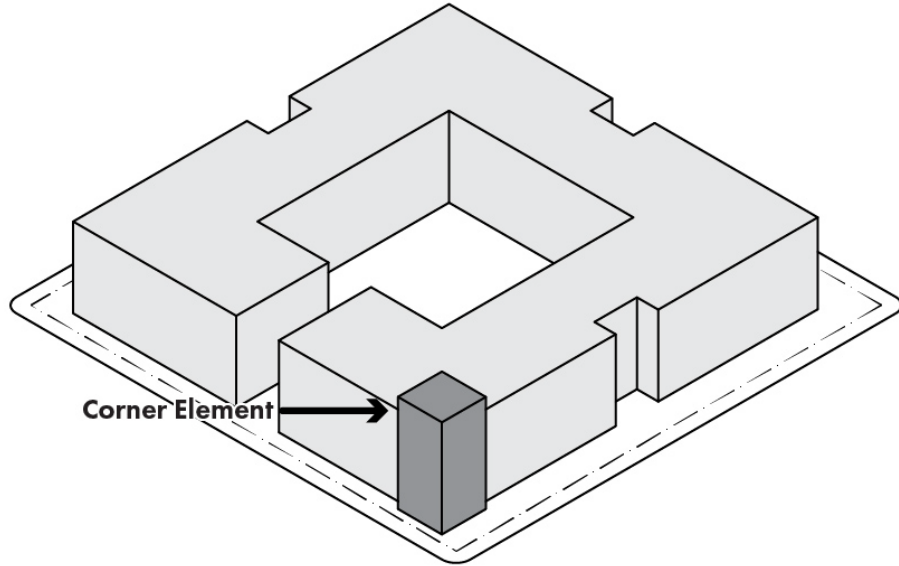
- b. Provide a rooftop terrace(s) that occupies at least 20% of the uppermost habitable floor, creating a smaller building mass on the uppermost floor. If utilized by two or more frontages in a single building, the rooftop terrace must occur along both frontages.

Figure 2-9 Rooftop Terrace



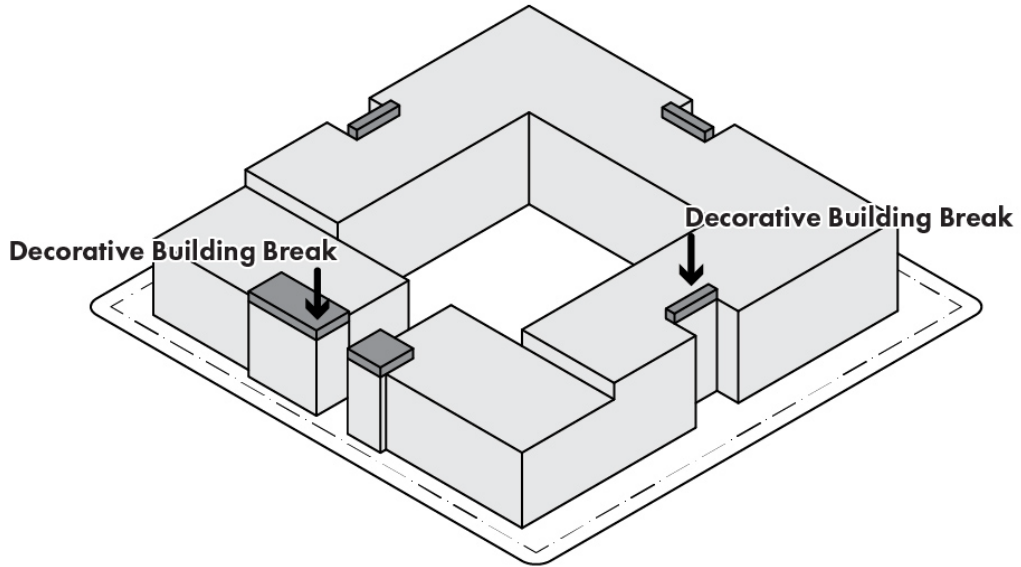
- c. Providing a corner element with distinct massing, colors, and/or materials, along with a differentiated rooftop at least 5 feet tall and 25 feet wide/long adjacent to the intersection of two public rights-of-way. This method may be utilized to meet the height modulation requirement of up to two building frontages.

Figure 2-10 Corner Element



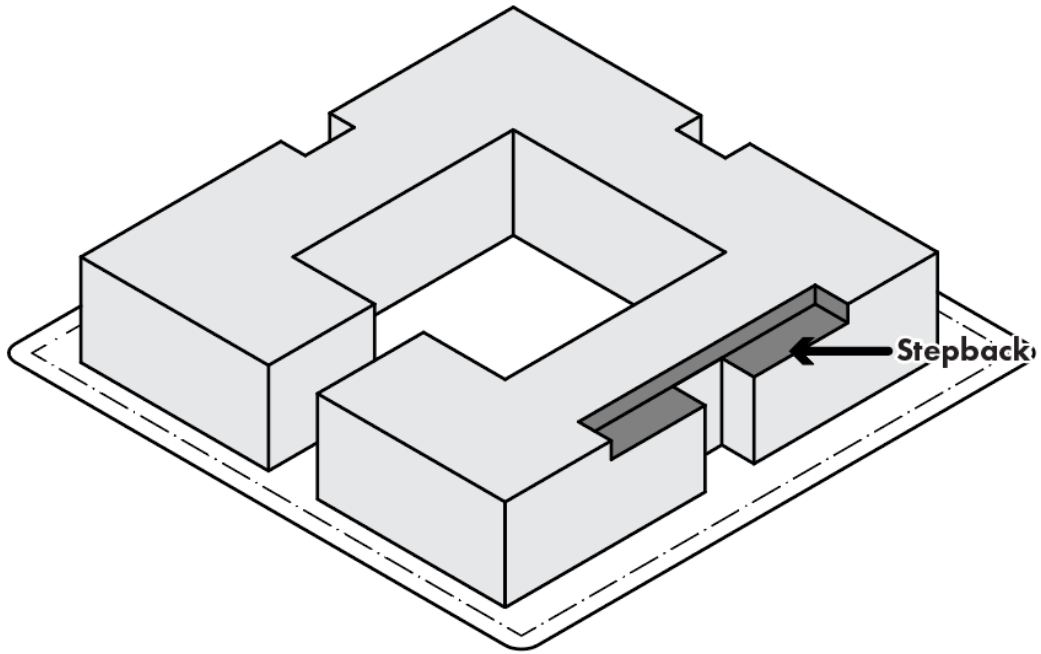
- d. Providing a decorative rooftop at least 5 feet tall and 20 feet wide, sited adjacent to a required building break.

Figure 2-11 Decorative Building Breaks



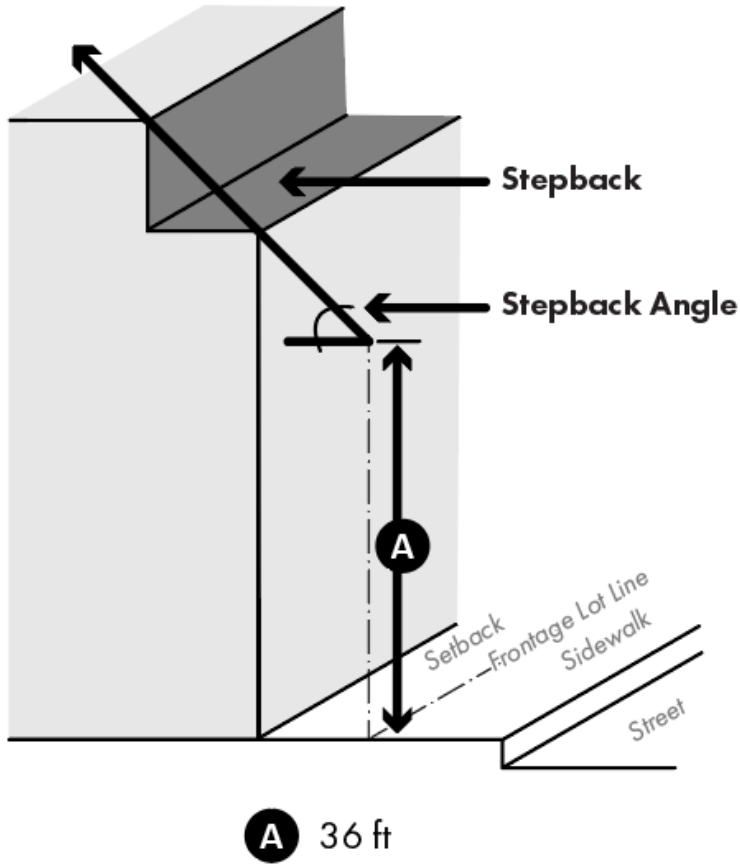
- e. Providing a stepback of at least 20 feet deep for at least 50% of the roofline above 46 feet along the primary frontage.

Figure 2-12 Stepback



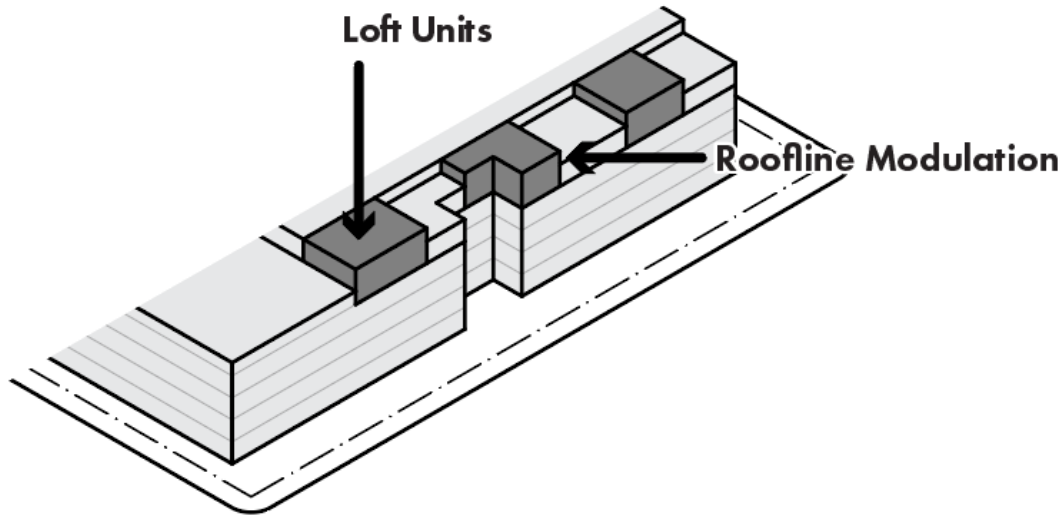
- f. Providing a setback according to an encroachment plane sloping upward and inward at a 45-degree angle measured from the vertical, commencing 36 feet along the lot line of the frontage.

Figure 2-13 Encroachment Plane Setback



- g. Use of loft-style units on portions of the uppermost floor, with ceilings at least 5 feet taller than the floor below.

Figure 2-14 Loft Units with Roofline Modulation



- h. A change in parapet wall or roof height of at least 5 feet for a distance of at least 50 feet.
6. Entrances. Pedestrian entrances shall be provided for all ground floor uses along the primary street frontage. Pedestrian entrances shall be directly accessible from the public right-of-way or public accessways and shall have direct access and view from the adjacent sidewalk.
- a. Pedestrian entrances may either be common residential entrances (e.g. lobbies or amenity spaces), or entrances to individual dwelling units.
 - b. Pedestrian entrances that access commercial or nonresidential components of a development may also meet this requirement.
 - c. Exit doors from fire stairs, access doors to utility closets or other building services are not considered to be a pedestrian entrance.
 - d. Entrances shall feature recesses and/or projections. Entrances shall have a minimum combined depth of five feet. This required depth may be provided by a recess, a projection, or a combination of both (e.g., a three-foot recess and a two-foot projection/awning).
 - e. Exterior building entry doors and entryways shall be protected with at least one of the following features covering an area at least three feet in depth and five feet in width:
 - i. Overhangs
 - ii. Recesses
 - iii. Porches
 - iv. Trellises

7. Additional Requirements. All street-facing frontages shall include a minimum of one of the architectural features or pedestrian amenities listed below:
 - a. Landscaped strips a minimum of three feet in depth along a minimum of 50% of the length of the street-facing façade.
 - b. Raised planters, window boxes, pergolas, or trellises that match the colors and materials of the project along at least 25% of the length of the street-facing façade.
 - c. Other pedestrian-oriented enhancements considered suitable by the Planning and Development Director.

B. Transition Frontage.

1. Height Modulation. Rooflines along elevations facing a public street shall be articulated. The following techniques may be used to satisfy this standard:
 - a. Reducing the floor area of the uppermost floor by at least 25% compared to the ground floor. Roof space created by the reduced floor area must extend to the building edge on all elevations facing the public right of way, public open space, or other publicly accessible areas. If utilized by two or more frontages in a single building, the reduced massing must occur along both frontages.
 - b. Providing a stepback of at least 20 feet deep for at least 50% of the roofline above 46 feet along the primary frontage.
 - c. Providing a stepback according to an encroachment plane sloping upward and inward at a 45-degree angle measured from the vertical, commencing 36 feet along the lot line of the frontage.

C. Public Accessway Frontage.

1. Setbacks. The setback of the Public Accessway frontage is meant to serve as an extension of the public realm. The required setback for Public Accessways shall not be utilized for vehicular travel or access, but may be utilized for the following purposes:
 - a. Landscaping in compliance with Chapter 17.310 (Landscaping).
 - b. Walkways, with or without seating
 - c. Outdoor gathering spaces, such as outdoor dining
 - d. Dog runs
2. Walls. Freestanding walls within the setback from the Public Accessway frontage shall adhere to the following standards:

- a. Opaque walls, such as those made of brick, stone, or concrete shall not be taller than 3 feet.
 - b. Transparent walls, such as those composed of wrought iron or decorative iron, shall not be taller than 6 feet.
 - c. A combination of opaque and transparent materials may be utilized, but opaque materials shall be limited to the lowest 3 feet of any freestanding wall within 25 feet of the Public Accessway easement.
 - d. Chain-link fencing and barbed-wire fencing is prohibited.
 - e. Landscaping at least 2 feet in width shall be provided along 75% of the wall's length. Landscape design, installation, and maintenance shall comply with Chapter 17.310 (Landscaping).
3. Projections. Trellises, decks, balconies, and sunshades extending from a building and projecting into a Public Accessway setback shall provide a minimum height clearance of 10 feet, may encroach up to 5 feet into the setback, and shall not cover more than 25 percent of the Public Accessway setback.

17.270.030 PERFORMANCE STANDARDS FOR FOX HILLS SPECIFIC PLAN ZONES.

- A. **General Performance Standards.** Performance standards for development in the Fox Hills Specific Plan shall conform to the City's performance standards for mixed-use development, as found in **§ 17.220.025 Performance Standards for Mixed Use Zones.**

17.400.015 ALCOHOLIC BEVERAGE SALES.

This Section provides location and operating standards for the establishment of alcoholic beverage sales facilities (for off-site or on-site consumption) in compliance with Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Standards).

A. Permit Requirement. Establishments offering the retail sale of alcoholic beverages are subject to all of the restrictions of the applicable zoning district, and shall only be allowed as identified in Table 4-1 (Permit Requirements for Alcoholic Beverage Sales), which may require an Administrative Use Permit (AUP) or a Conditional Use Permit (CUP) in compliance with Chapter 17.530 (Administrative Use Permits and Conditional Use Permits).

**Table 4-1
Permit Requirements for Alcoholic Beverage Sales**

Zoning District(s): Type of Establishment	Permit Requirement
MU-N Zoning District:	
1. Alcoholic beverage sales incidental to a restaurant or retail use	AUP
MU-1, MU-2, MU-M, MU-DT, MU-H, MU-I, and S Zoning Districts, FH-MD, and FH-HD Zoning Districts:	
1. Alcoholic beverage sales if established:	
a. Within 300 feet of residentially zoned property or an elementary/secondary school.	AUP
b. More than 300 feet from a residentially zoned property or an elementary/secondary school.	No use permit required
c. As an ancillary beverage tasting facility or artisanal alcohol production exceeding 20% gross floor area of the primary use but no greater than 30% gross floor area of the primary use.	AUP
2. Alcoholic beverage sales with the concurrent retailing of motor vehicle fuel.	CUP

17.400.110 TELECOMMUNICATIONS FACILITIES.

C. Dish Antenna Regulations.

**Table 4-5
Dish Antenna Quantity and Permit Requirements**

<i>Location</i>	<i>Size</i>	<i>Quantity</i>	<i>Permit Required</i>	<i>Notes</i>
All Residential Zones	Larger than 24 inches in diameter	1 per lot or 1 per multiple-family residential complex	Building permit only	No transmitting dish antenna shall be permitted in a residential zone.
Mixed Use Zones and Specific Plan Zones	Less than 6.5 feet in diameter	3	Building permit only	Receiving and/or transmitting permitted. Must be ancillary to a primary use.
Mixed Use Zones and Specific Plan Zones	6.5 feet in diameter to 12 feet in diameter	3	AUP	Receiving and/or transmitting permitted. Must be ancillary to a primary use.
Mixed Use Zones and Specific Plan Zones	Greater than 12 feet in diameter	3	CUP	Receiving and/or transmitting permitted. Must be ancillary to a primary use.
Mixed Use Zones and Specific Plan Zones	Primary dish antenna facility	As determined by CUP	CUP	Receiving and/or transmitting permitted. Must be a primary use.
Special Purpose Zones	Larger than 24 inches in diameter	4 or more	AUP, if completely screened (1). CUP, if not completely screened (2).	Receiving and/or transmitting permitted. Must be ancillary to a primary use.

17.700.010 DEFINITIONS OF SPECIALIZED TERMS AND PHRASES

Z. Definitions, "Z".

Zoning Code. The Culver City Zoning Code, Title 17 of the Culver City Municipal Code, referred to herein as "this Title".

Zoning District. Any of the residential, mixed use, planned development, special-purpose, ~~or~~ overlay districts, **or specific plan districts** established by Article 2 of this Title (Zoning Districts, Allowable Land Uses, and Zone-Specific Standards), within which certain land uses are allowed or prohibited, and certain site planning and development standards are established (e.g., setbacks, height limits, site coverage requirements, and the like).

