

DUQUESNE TRIAD

DEVELOPMENT PERMIT APPLICATION SUBMITTAL

4241 Duquesne Avenue Culver City, CA 90232

WORK
STUDIO ARCHITECTURE
PLAYS

RICHARD ABRAMSON
ARCHITECT

8254 FOUNTAIN AVENUE, #A
WEST HOLLYWOOD, CALIFORNIA 90046
TELEPHONE 323.848.4869
FACIMILE 323.848.4870

The Drawings, Specifications and other documents prepared by the Architect for this project are instruments of the Architect's service for use only with respect to this project. The Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Owner shall be permitted to retain copies of the Architect's Drawings, Specifications, and other documents for information and reference only in connection with the Owner's use and occupancy of this project. The Architect's Drawings, Specifications and other documents shall not be used by the Owner for additions to this project, or for other projects, or by others (third parties) for the completion of this project except by agreement in writing and with appropriate compensation to the Architect.

RECEIVED
MAR 02 2016
CULVER CITY
PLANNING DIVISION



FIRE CODE REQUIREMENTS

1. Meet Minimum requirements of the 2013 CA Fire, Building, Electrical, Mechanical codes, and the Culver City Municipal Code 9.02.
2. Draft Conditions of Approval - Subject to Change
3. Fire sprinkler installation shall be per the NFPA 13 D or CA Residential Code R-313 and as approved by the fire code official.
4. Provide audible devices (mini horns) within each dwelling unit. A 6" weather proof bell and back box shall be provided for each unit located per the fire code official's approval.
5. Each unit water supply main control valve shall be located in an obvious, discernible and accessible location as approved by the fire code official.
6. Each unit shall be served by a separate water supply.
7. Connection of the domestic water supply to the fire sprinkler system shall be per 2013 NFPA 13D or 2013 CA Residential Code, R313 and as approved by the Fire Code Official.
8. Address locations shall be approved by the Fire Code Official.
9. Fire sprinkler systems shall be submitted to the Culver City Fire Department for review, permits and inspections.
10. Comments
Fire Department Notes shall be placed on plans indicating requirements noted here and updated for future reviews.
Plans shall be submitted to the Culver City Fire Department for review, permit inspection and final inspection.

VICINITY MAP



PLANNING NOTES:

1. The subdivision process will require that the Planning Commission make a finding that certain exceptions from the subdivision standards are warranted. The subdivision as proposed will not be approved if the Planning Commission does not grant the exception.

PROJECT SUMMARY

PROJECT SITE ADDRESS: 4241 DUQUESNE AVENUE
CULVER CITY, CA 90232

LEGAL DESCRIPTION: LOT 8 IN BLOCK "1" 9" OF TRACT NO. 1775, IN THE CITY OF CULVER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 21 PAGES 190 THROUGH 191 OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: 4207-022-008

TOTAL SITE AREA: ± 6,750 S.F. (± 50' x ± 135') - 10 FT. DEDICATION = 6,250 S.F. NET AREA

SITE COVERAGE: 31.8% (± 2,149 S.F. FOOTPRINT OF STRUCTURES/6,750 S.F. SITE AREA)

PROPOSED SITE COVERAGE: 2,612 S.F. = ± 39%

TOTAL GROSS FLOOR AREA: (EXISTING) ± 1,570 S.F. (E) SINGLE-FAMILY DWELLING & 579 S.F. GARAGE

TOTAL GROSS FLOOR AREA (PROPOSED): 5,524 S.F. [SEE FLOOR AREA CHART]

EXISTING USE: SINGLE-FAMILY DWELLING WITH DETACHED GARAGE

PROPOSED USE: THREE(3) FEE-SIMPLE DETACHED TOWNHOUSE DWELLING UNITS WITH PRIVATE GARAGES/CARPORTS CREATED THROUGH A PARCEL MAP SUBDIVISION PROCESS

BUILDING & SAFETY

APPLICABLE CODES & REGULATIONS: CITY OF CULVER MUNICIPAL CODE

2014 CALIFORNIA RESIDENTIAL CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA FIRE CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA PLUMBING CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA ELECTRICAL CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA MECHANICAL CODE WITH COUNTY OF LOS ANGELES AMENDMENTS

2014 CALIFORNIA GREEN BUILDING STANDARDS

TYPE OF CONSTRUCTION: TYPE V-A

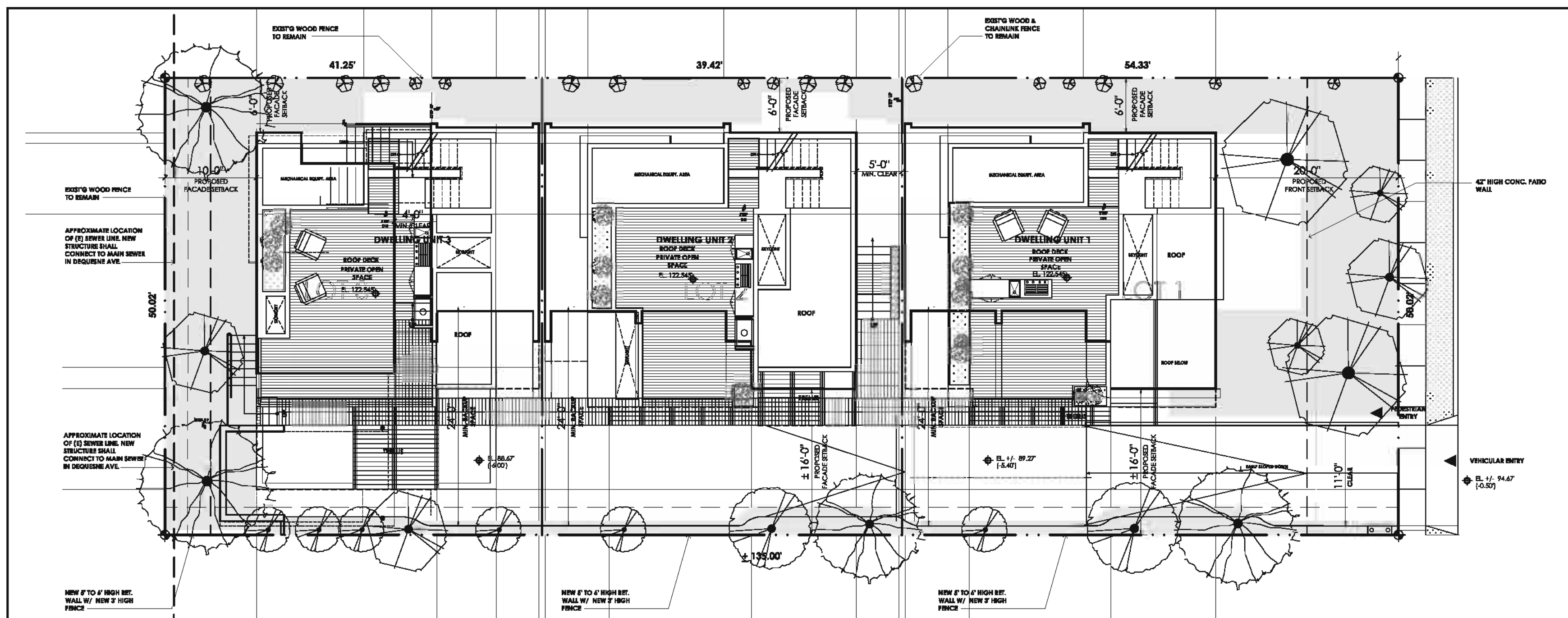
OCCUPANCY GROUP: R3 OVER U-1

ZONING INFORMATION

	REQUIRED	PROPOSED
ZONE:	RMD - RESIDENTIAL MEDIUM DENSITY MULTIPLE CHARACTERIZED BY MEDIUM DENSITY MULTIPLE-FAMILY DWELLING. INTENDED TO PROVIDE OPPORTUNITIES FOR THE CONSTRUCTION OF MEDIUM DENSITY HOUSING.	
RESIDENTIAL DENSITY: NUMBER OF RESIDENTIAL UNITS	1 UNIT PER 1,500 S.F. ± 6,750 S.F. / 1,500 S.F. = 4 DWELLING UNITS MAX.	3 DWELLING UNITS. SEE UNIT DWELLING SIZE TABLE
MAXIMUM HEIGHT:	30 FEET, 2 STORIES	< 30 FEET, 2 STORIES OVER BASEMENT
RESIDENTIAL UNIT SIZE:	1,100 S.F. MIN. (3 BED)	± 1,800 S.F. MIN/UNIT
PARKING SPACES:	2 SPACES PER UNIT OF 2-3 BEDROOMS	2 SPACES PER UNIT x 3 UNITS = 6 SPACES
LANDSCAPE AREA:	75% OF SUBJECT AREA	1,017 S.F. (SEE SHT. L-1)
COMMON OPEN SPACE:	N/A	N/A
PRIVATE OPEN SPACE:	100 S.F. PER UNIT	2,940 S.F. TOTAL (987 S.F. / UNIT AVG - SEE TABLE BELOW)
PRIVATE STORAGE SPACE:	100 CU. FT. PER UNIT	± 200 CU. FT. PER UNIT (100 CU. FT. IN TWO LOCATIONS)
DRIVEWAY STANDARDS	10 FT MIN WIDTH	12 FT MIN WIDTH
STREET TREES:	STREET TREES 1 PER 25' LENGTH OF STREET FRONTAGE	1 STREET TREE
VERTICAL PROJECTIONS:	SEE C.C.M.C. 17.300.025 TBL 3-2	SEE ELEVATIONS
SITE COVERAGE:	2,612 S.F. = ± 39% TOTAL 952 S.F. (LOT 1) + 841 S.F. (LOT 2) + 819 S.F. (LOT 3)	

SETBACK CHART	LOT 1	LOT 2	LOT 3	FLOOR LEVEL
FRONT YARD SETBACK	20'-3"	0'-4"	5'-0"	BASEMENT
	20'-3"	5'-0"	5'-0"	1ST FLOOR
	20'-3"	5'-0"	5'-0"	2ND FLOOR
NORTH SIDE YARD SETBACK	5'-0"	5'-0"	5'-0"	BASEMENT
	6'-0"	6'-0"	6'-0"	1ST FLOOR
	6'-0"	6'-0"	6'-0"	2ND FLOOR
SOUTH SIDE YARD SETBACK	16'-0"	16'-0"	5'-0"	BASEMENT
	14'-0"	12'-0"	5'-0"	1ST FLOOR
	14'-0"	12'-0"	5'-0"	2ND FLOOR
REAR YARD SETBACK	5'-0"	5'-0"	10'-0"	BASEMENT
	5'-0"	5'-0"	10'-0"	1ST FLOOR
	5'-0"	5'-0"	10'-0"	2ND FLOOR

FLOOR AREA	LOT 1	LOT 2	LOT 3	TOTAL AREA
BASEMENT LEVEL:	402 S.F.	391 S.F.	407 S.F.	± 1,200 S.F.
FIRST FLOOR LEVEL:	738 S.F.	756 S.F.	694 S.F.	± 2,188 S.F.
SECOND FLOOR LEVEL:	702 S.F.	752 S.F.	702 S.F.	± 2,156 S.F.
DWELLING UNIT SIZE	1,822 S.F.	1,899 S.F.	1,803 S.F.	5,524 S.F.
PRIVATE OPEN SPACE	480 S.F.	228 S.F.	500 S.F.	GROUND
	215 S.F.	140 S.F.	161 S.F.	1ST FLOOR
	412 S.F.	422 S.F.	402 S.F.	ROOF
PRIVATE OPEN SPACE	1,107 S.F.	790 S.F.	1,063 S.F.	2,940 S.F.
PARKING DATA	LOT 1	LOT 2	LOT 3	
PARKING STALL TYPE	STANDARD	STANDARD	STANDARD	
TOTAL PARKING SPACES	2	2	2	BASEMENT



PLOT PLAN

SHEET INDEX

ARCHITECTURAL

- A-1 TITLE SHEET / PROJECT DATA / ZONING INFORMATION
- A-2 EXISTING SITE PHOTOS / SITE PLAN
- A-3 EXISTING SITE PLAN / EXISTING SITE PLANS
- A-4 EXISTING ELEVATIONS / COMPARATIVE ELEVATIONS
- A-5 SITE PLAN / FIRST FLOOR PLAN
- A-6 SECOND FLOOR PLAN / ROOF PLAN
- A-7 ELEVATIONS / SECTION
- A-8 COLORED ELEVATIONS / COLORED MATERIALS BOARD
- A-9 TRANSVERSE SECTION / WALL SECTIONS

LANDSCAPE

- L-1.00 LANDSCAPE PLAN
- L-2.00 COLORED LANDSCAPE PLAN

GRADING PLAN

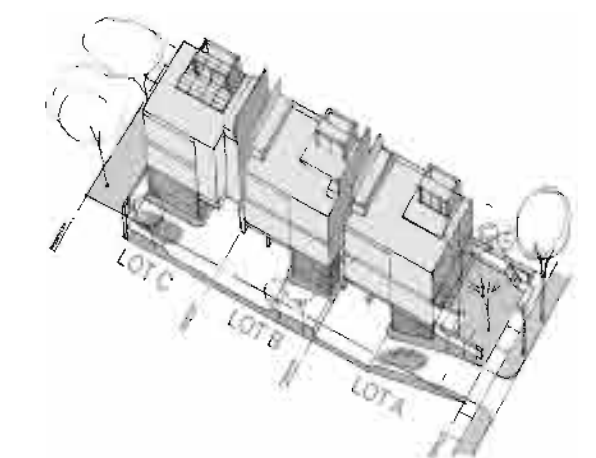
- PG-1 PRELIMINARY GRADING

SURVEY

- TS-1 TOPOGRAPHY SURVEY

SUBDIVISION

- PM-1 PRELIMINARY PARCEL MAP



TITLE SHEET
PROJECT DATA
ZONING INFORMATION

A-1



(i) SOUTH ADJACENT PROPERTY



(ii) EXISTING STRUCTURE, 4241 DUQUESNE AVE.



(iii) NORTH ADJACENT PROPERTY



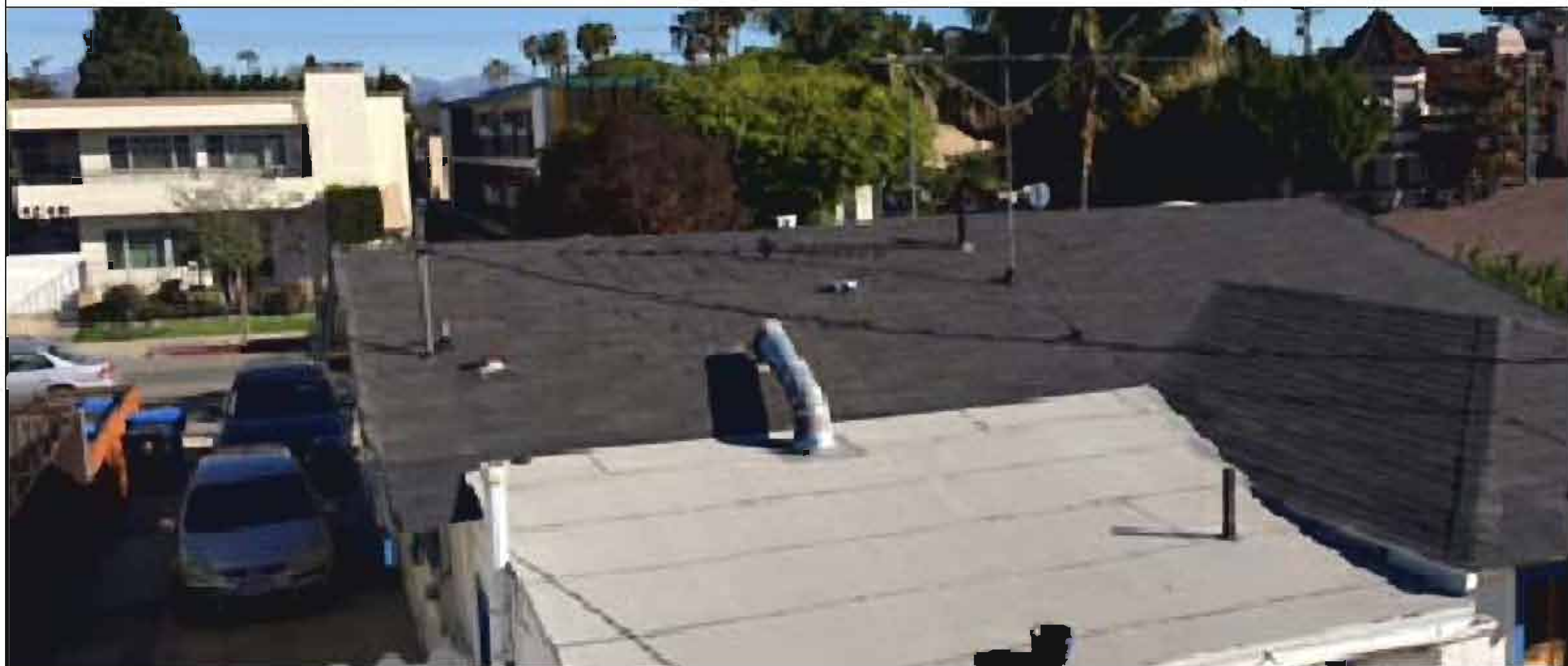
(iv) OPENINGS ON NORTH ADJACENT PROPERTY



(v) OPENINGS ON SOUTH ADJACENT PROPERTY



(vi) NORTH ADJACENT PROPERTY ON DUQUESNE



(vii) VIEW FROM REAR OF PROPERTY

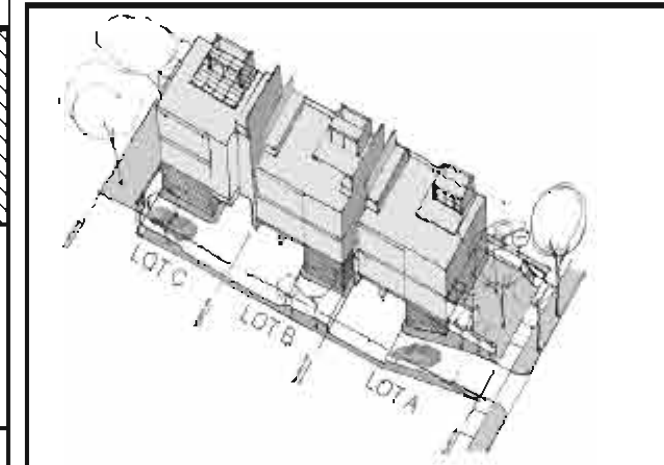
EXISTING SITE PHOTOS



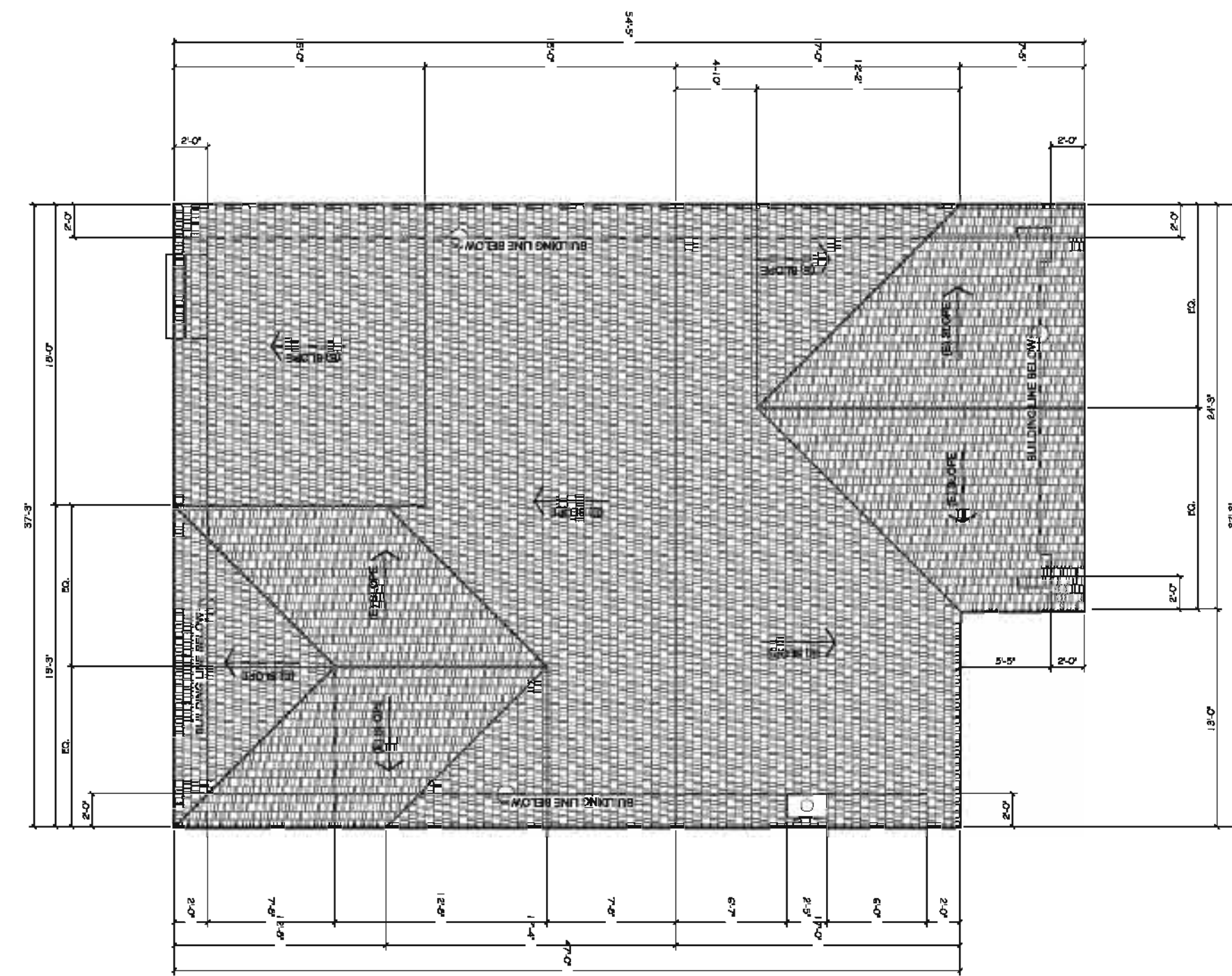
FIGURE GROUND MAP/ EXPANDED VICINITY PLAN



The Drawings, Specifications and other documents prepared by the Architect for this project are instruments of the Architect's service for use solely with respect to this project. The Architect and he disavows the author of these documents and shall retain all copyright, title and other reserved rights, including the copyright, in the Architect's Drawings, Specifications and other documents. The Owner shall be permitted to make copies of the Architect's Drawings, Specifications and other documents for information and reference only in connection with the Owner's use and occupancy of the project. The Architect's Drawings, Specifications and other documents shall not be used for any other project, or for any other purpose, or by any other person (third party) for the construction of the project except by agreement in writing and with appropriate compensation to the Architect.



EXISTING SITE PHOTOS
SITE PLAN

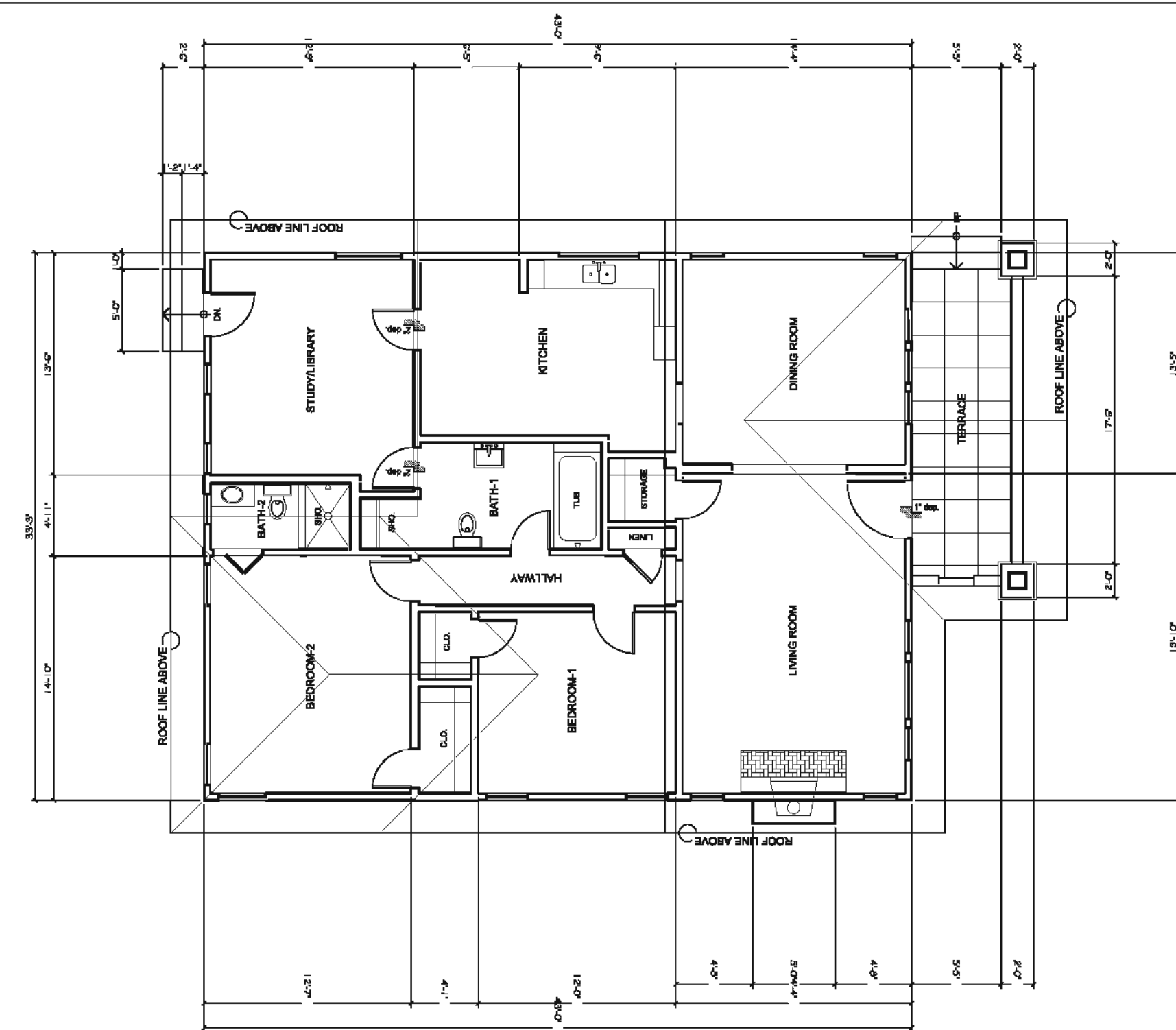


EXISTING ROOF PLAN

scale: 1/8" = 1'-0"



3



EXISTING FIRST FLOOR PLAN

scale: 1/8" = 1'-0"



2

PROTECT AND RETAIN EXISTING SEWER COORDINATE WITH AUTHORITY HAVING JURISDICTION

REMOVE (E) TREES AND SHRUBS TYP., U.O.N.

REMOVE (E) HARDSCAPE & WALKS TYP., U.O.N.

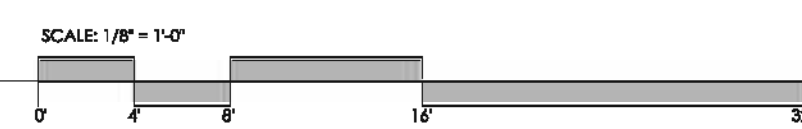
RETAIN & PROTECT (E) TREES ALONG REAR PROPERTY LINE IF POSSIBLE COORDINATE W/ LANDSCAPE ARCHITECT TYP., U.O.N.

PATCH & REPAIR SIDEWALK DAMAGED DUE TO DEMOLITION OPERATION IN ORDER TO MAINTAIN SAFE USE BY PEDESTRIANS

REMOVE (E) CONC. DRIVEWAY

REMOVE (E) PLANTERS, TYP., U.O.N.

PROTECT & RETAIN (E) STREET TREES & LANDSCAPING IN FRONT OF THE SUBJECT PROPERTY, TYP., U.O.N.

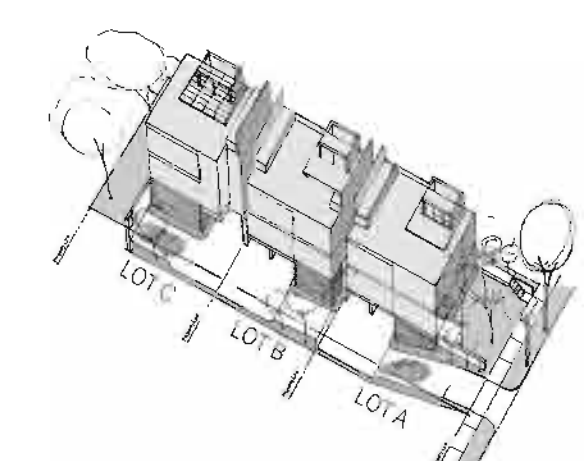


EXISTING SITE PLAN / DEMO PLAN

scale: 1/8" = 1'-0"



1



**EXISTING SITE PLAN
EXISTING FLOOR PLANS**

A-3

© WORKPLAYS STUDIO ARCHITECTURE, 2005



**RICHARD ABRAMSON
ARCHITECT**

8254 FOUNTAIN AVENUE, #A
WEST HOLLYWOOD, CALIFORNIA 90046
TELEPHONE 323. 848. 4669
FACSIMILE 323. 848. 4670

The Drawings, Specifications and other documents prepared by the Architect for the Project are instruments of the Architect's service for use solely with respect to this Project. The Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Owner shall be permitted to retain copies of the Architect's Drawings, Specifications, and other documents for information and reference only in connection with the Owner's use and occupancy of this Project. The Architect's Drawings, Specifications and other documents shall not be used by the Owner for additions to this Project, or for other projects, or by others (third parties) for the completion of this Project except by agreement in writing and with appropriate compensation to the Architect.



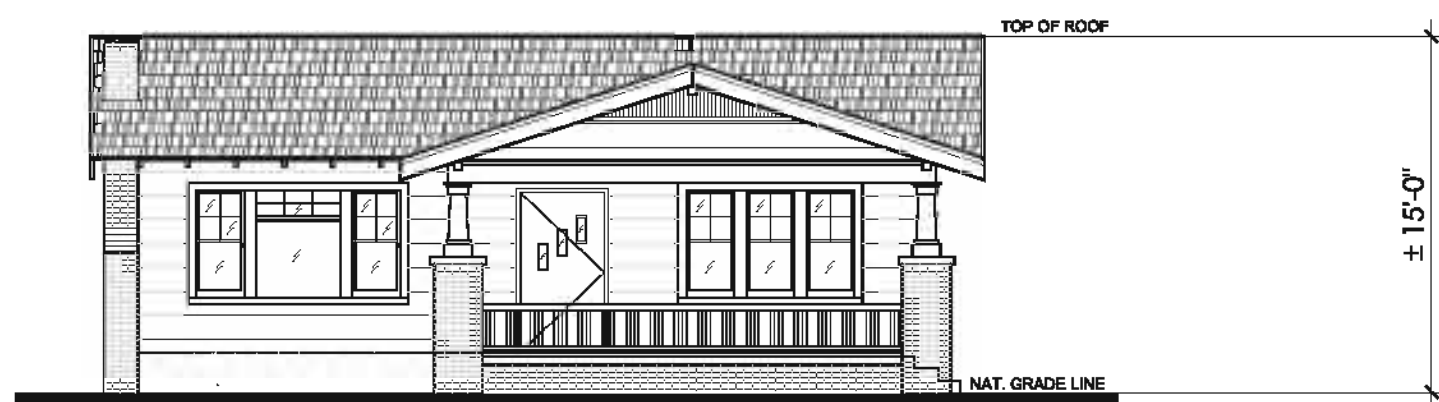
NORTH ELEVATION



EAST ELEVATION



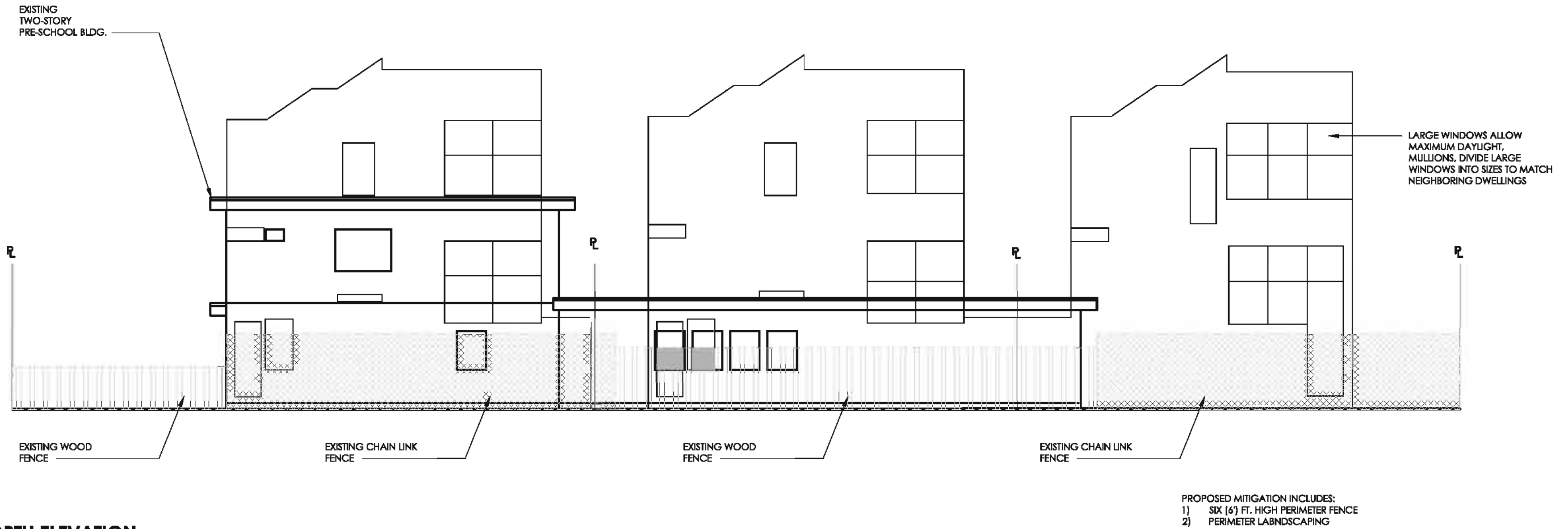
SOUTH ELEVATION



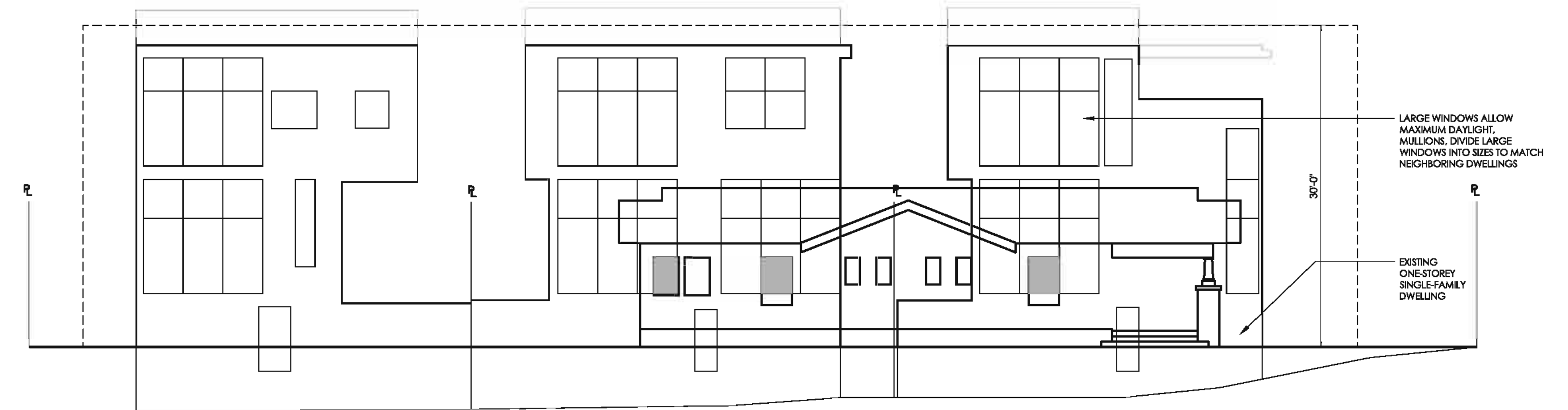
WEST ELEVATION

4241 DUQUESNE AVE.

SUBJECT PROPERTY EXISTING ELEVATIONS

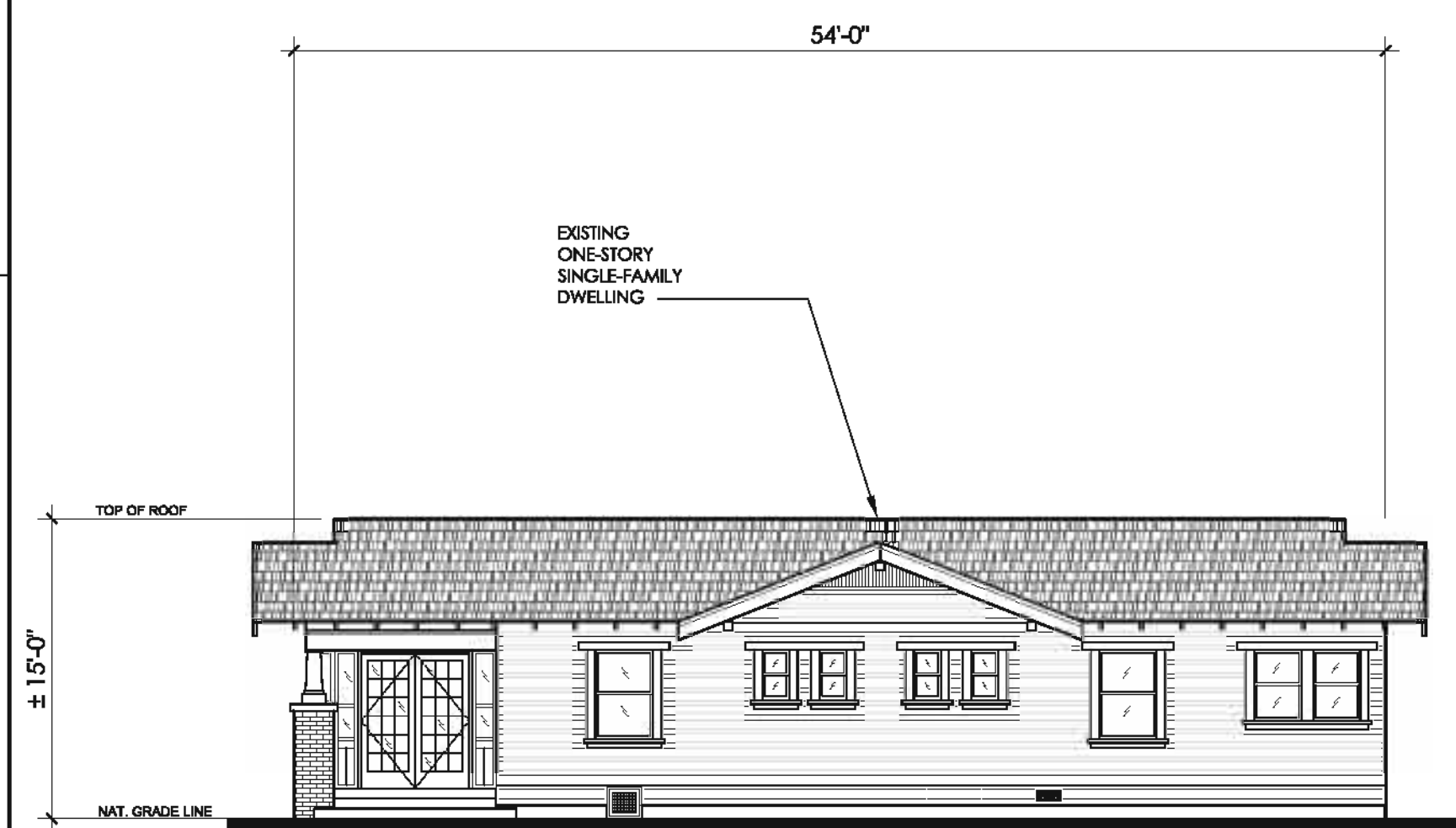


COMPARITIVE NORTH ELEVATION



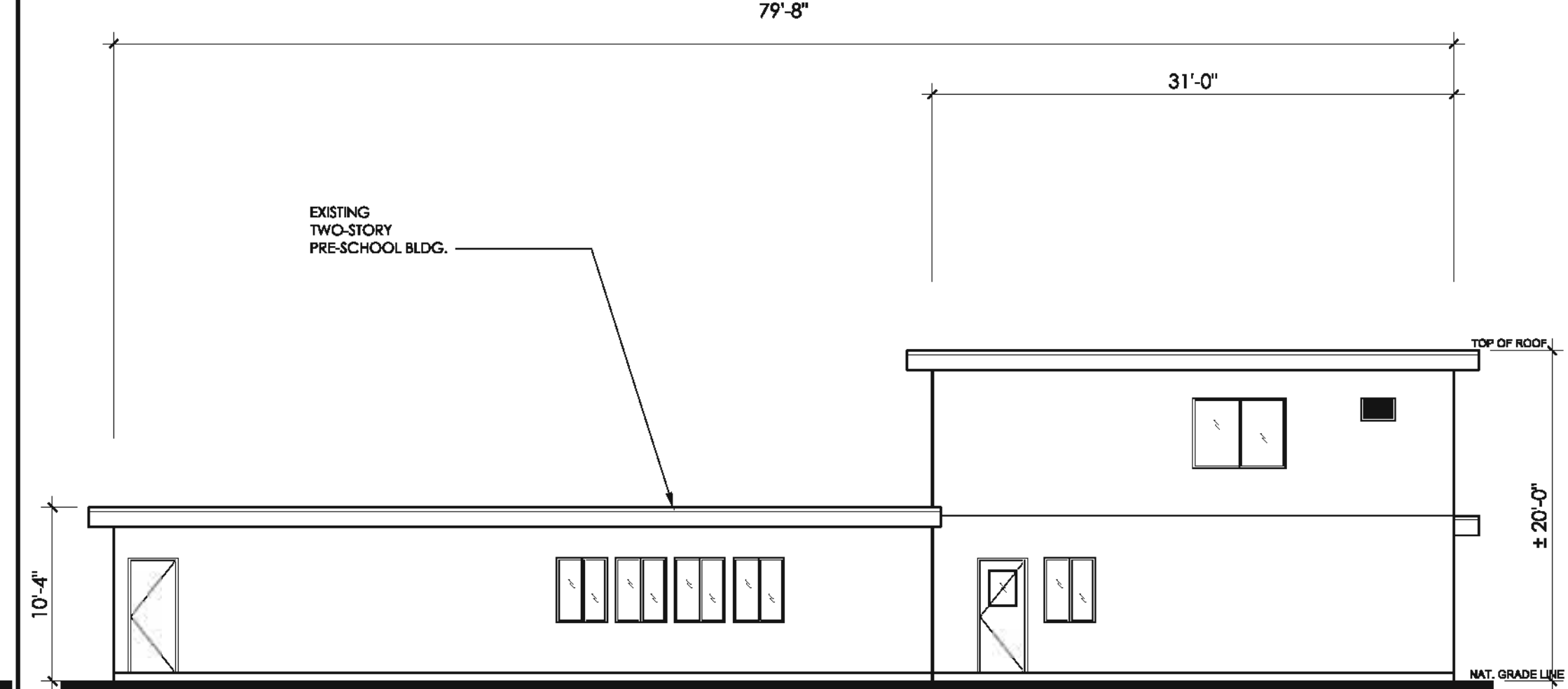
COMPARITIVE SOUTH ELEVATION

COMPARITIVE ELEVATIONS ANALYSIS



4247 DUQUESNE AVE.

ADJACENT PROPERTY_SOUTH ELEVATION



4235 DUQUESNE AVE.

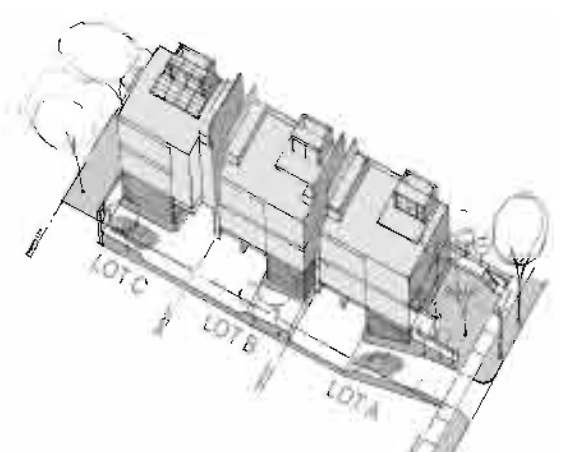
ADJACENT PROPERTY ELEVATION_NORTH

WORK
STUDIO • ARCHITECTURE
PLAYS

RICHARD ABRAMSON
ARCHITECT

8254 FOUNTAIN AVENUE, #A
WEST HOLLYWOOD, CALIFORNIA 90046
TELEPHONE 323. 848. 4869
FACIMLE 323. 848. 4870

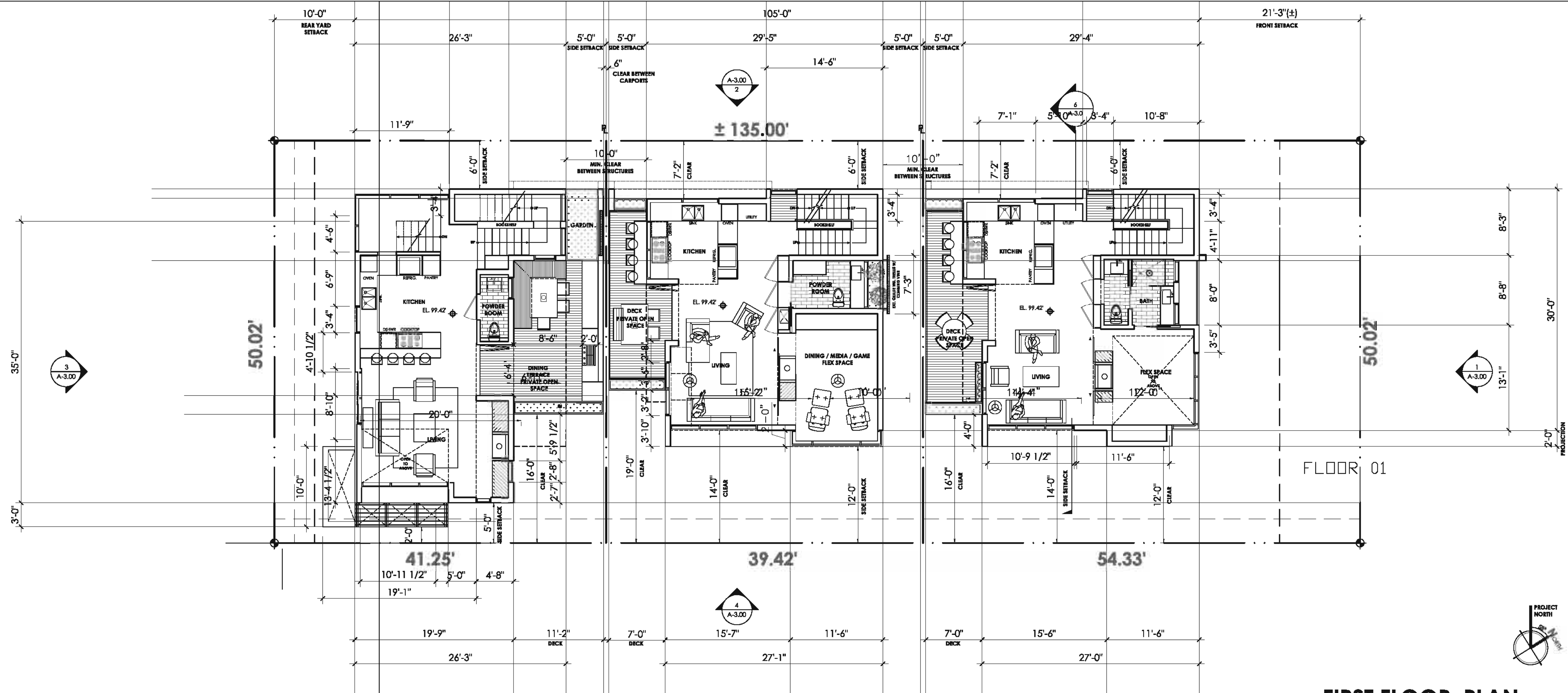
The Drawings, Specifications and other documents prepared by the Architect for the Project are instruments of the Architect's service for use solely with respect to this Project. The Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Owner shall be permitted to retain copies of the Architect's Drawings, Specifications, and other documents for information and reference only in connection with the Owner's use and occupancy of this Project. The Architect's Drawings, Specifications and other documents shall not be used by the Owner for additions to this Project, or for other projects, or by others (third parties) for the completion of this Project except by agreement in writing and with appropriate compensation to the Architect.



EXISTING ELEVATIONS

A-4

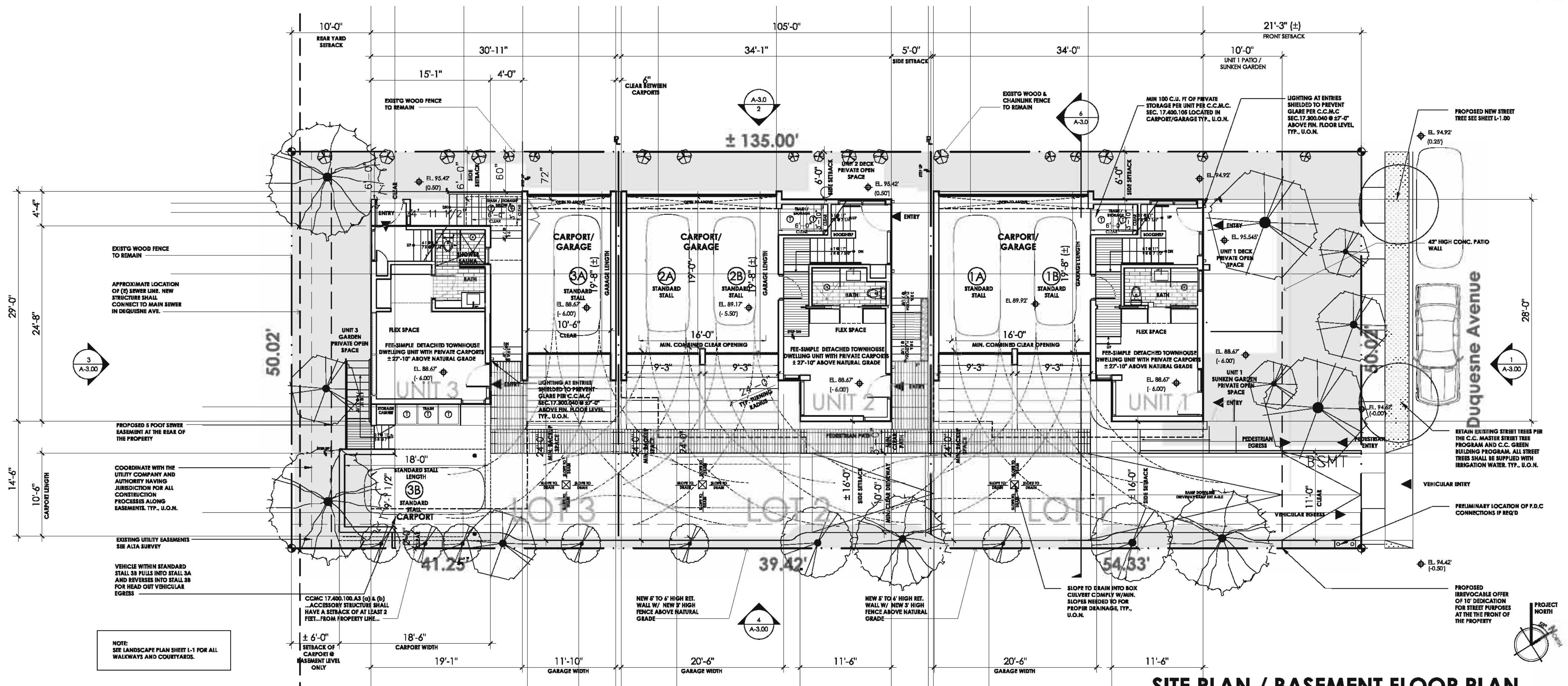
© WORKPLAYS STUDIO ARCHITECTURE, 2005



FIRST FLOOR PLAN

scale: 1/8" = 1'-0"

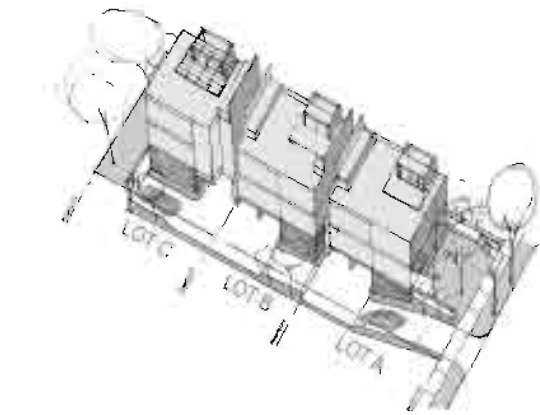
2



SITE PLAN / BASEMENT FLOOR PLAN

scale: 1/8" = 1'-0"

1



SITE PLAN
FIRST FLOOR PLAN

SITE PHOTOS



NEIGHBORING PROPERTIES TO THE NORTHEAST



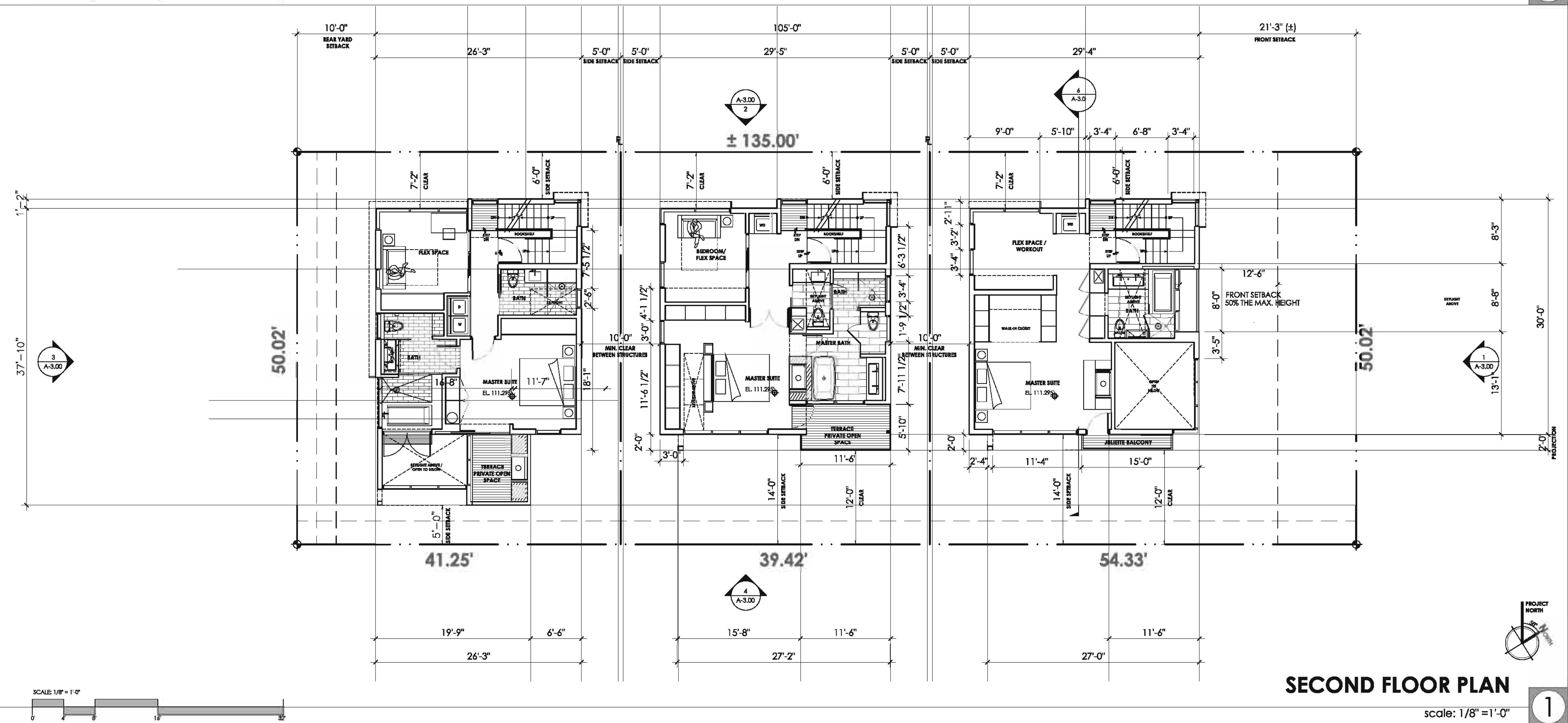
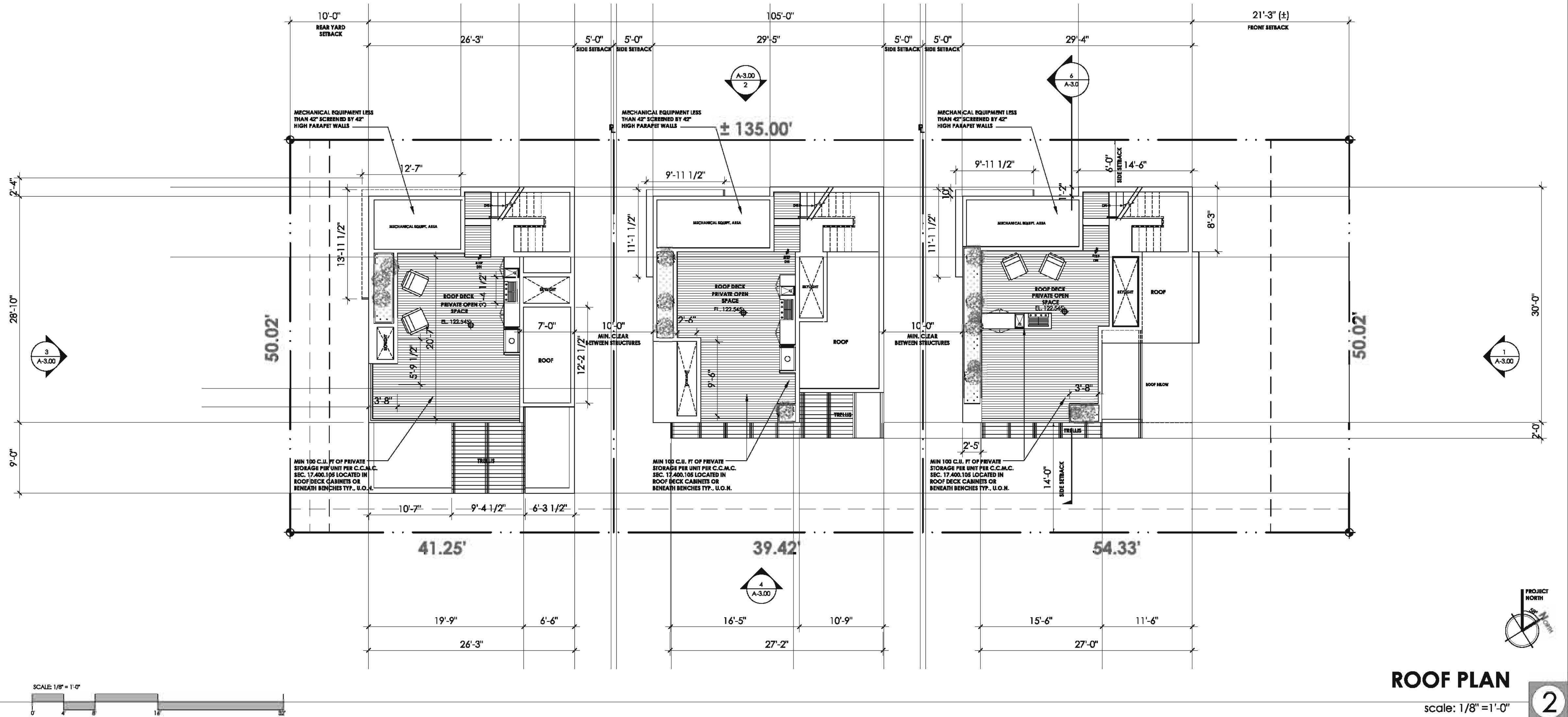
ADJACENT PROPERTY TO NORTHEAST



SUBJECT PROPERTY



NEIGHBORING PROPERTY TO SOUTHWEST

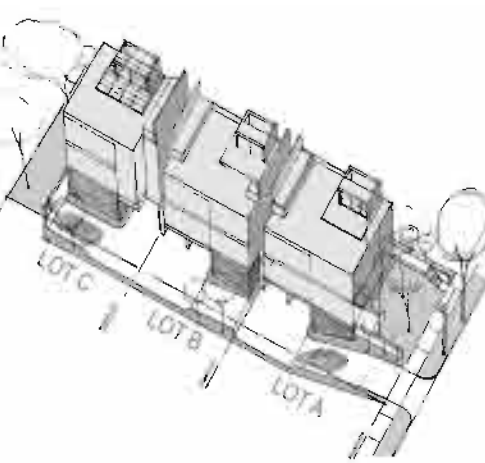


WORK
STUDIO • ARCHITECTURE
PLAYS

RICHARD ABRAMSON
ARCHITECT

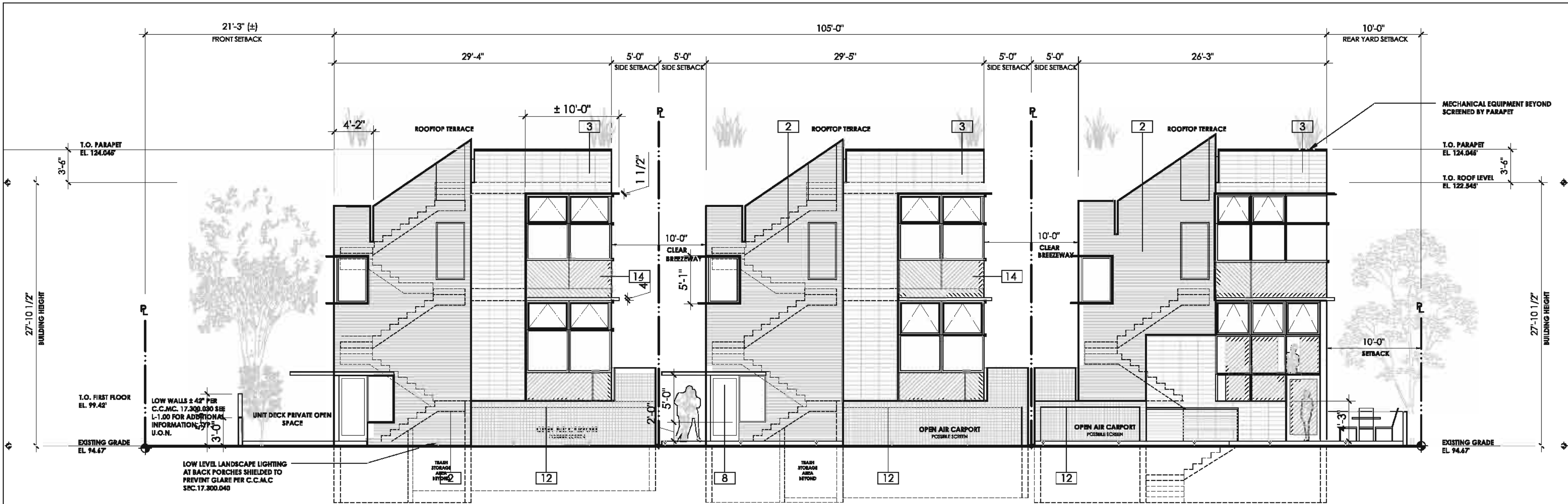
8254 FOUNTAIN AVENUE, #A
WEST HOLLYWOOD, CALIFORNIA 90046
TELEPHONE 323. 848. 4869
FACIMILE 323. 848. 4870

The Drawings, Specifications and other documents prepared by the Architect for this Project are Instruments of the Architect's service for use solely with respect to this Project. The Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Owner shall be permitted to retain copies of the Architect's Drawings, Specifications, and other documents for information and reference only in connection with the Owner's use and occupancy of this Project. The Architect's Drawings, Specifications and other documents shall not be used by the Owner for additions to this Project, or for other projects, or by others (third parties) for the completion of this Project except by agreement in writing and with appropriate compensation to the Architect.



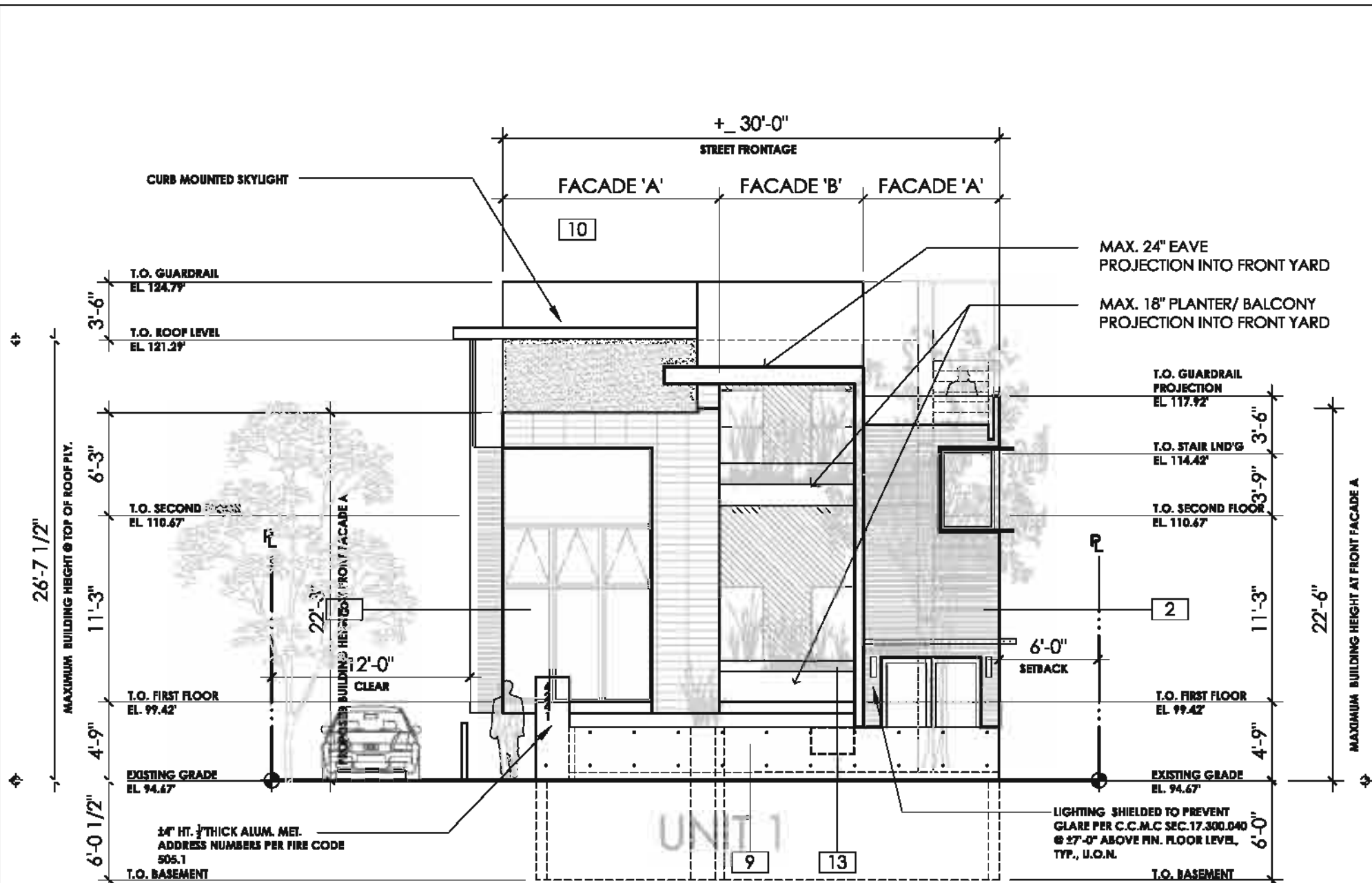
SECOND FLOOR PLAN
ROOF PLAN

A-6



NORTH ELEVATION
scale: 1/8" = 1'-0"

2



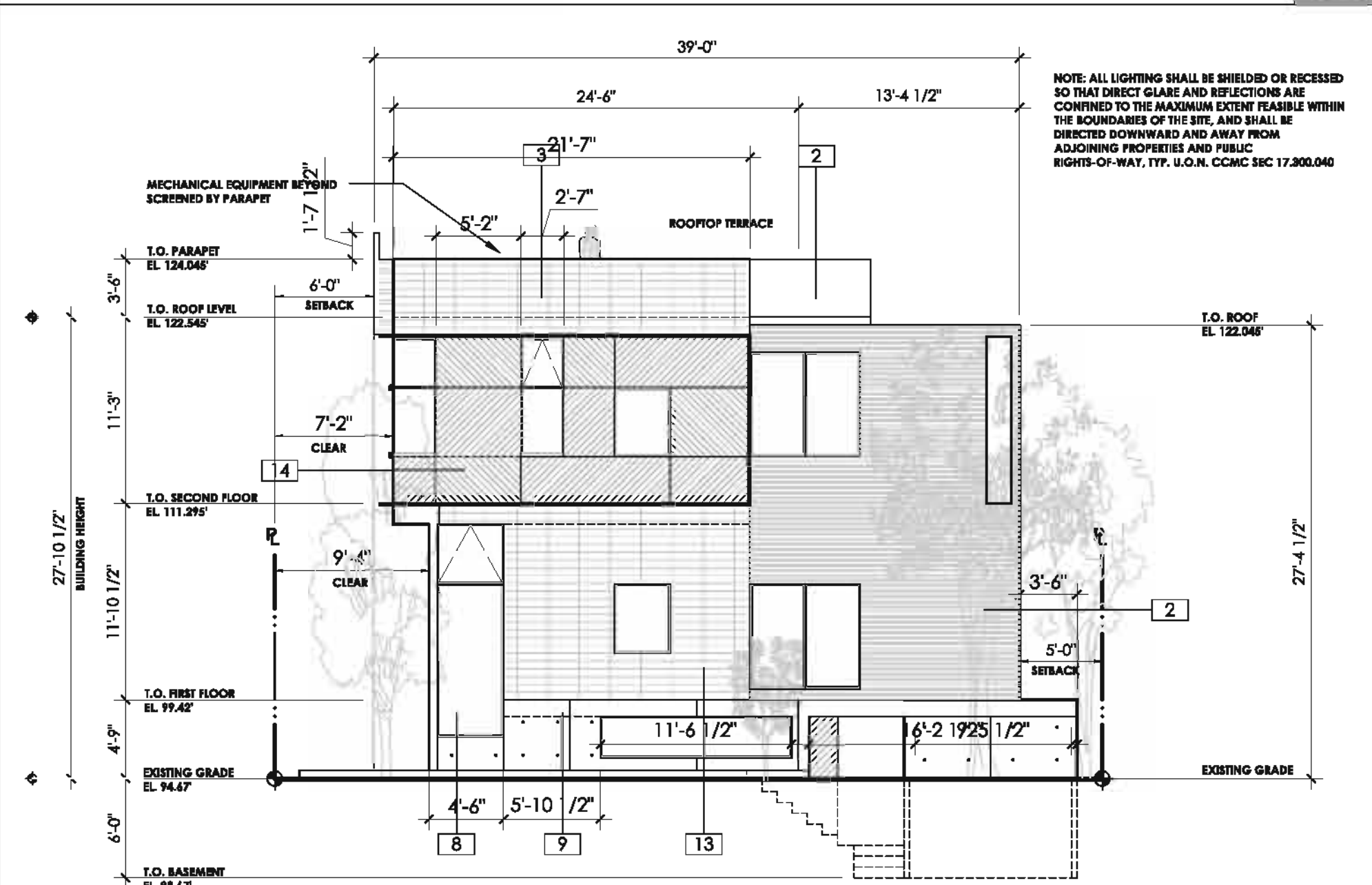
EAST ELEVATION
scale: 1/8" = 1'-0"

1



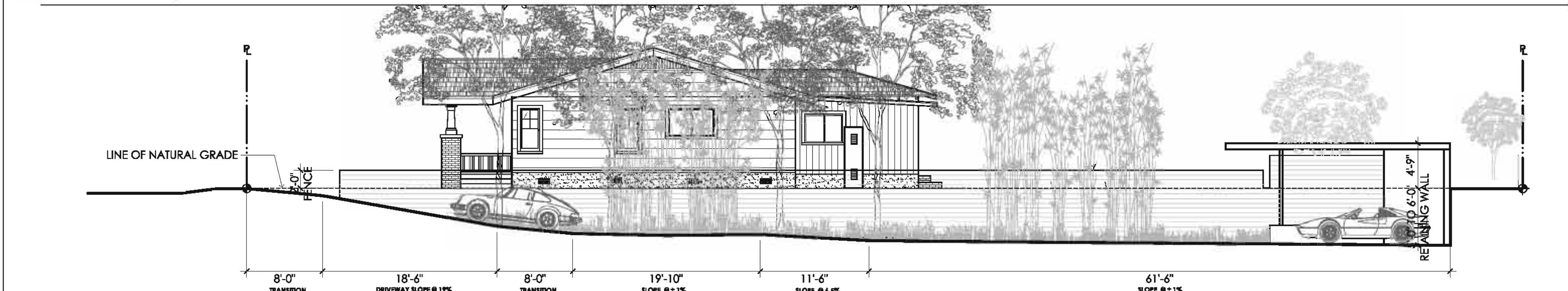
SOUTH ELEVATION
scale: 1/8" = 1'-0"

4



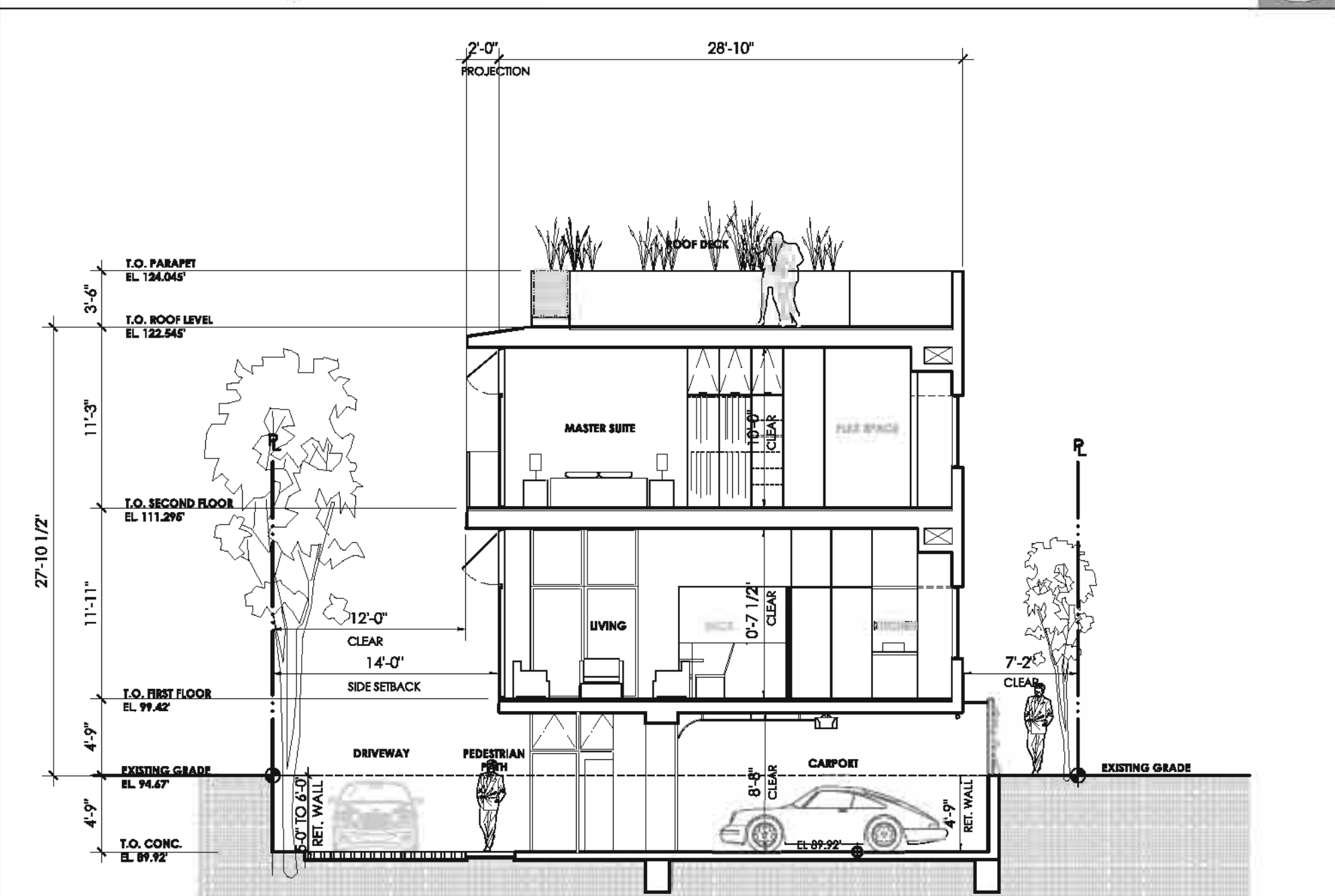
WEST ELEVATION
scale: 1/8" = 1'-0"

3



DRIVEWAY SECTION
scale: 1/8" = 1'-0"

5



SECTION UNIT 1
scale: 1/8" = 1'-0"

6

MATERIALS BOARD

WORK
STUDIO ARCHITECTURE
PLAYS

RICHARD ABRAMSON
ARCHITECT

8254 FOUNTAIN AVENUE, #A
WEST HOLLYWOOD, CALIFORNIA 90046
TELEPHONE 323. 848. 4869
FACIMILE 323. 848. 4870

The Drawings, Specifications and other documents prepared by the Architect for this project are instruments of the Architect's service for use solely with respect to this project. The Architect shall be deemed the author of these documents and shall retain all copyright, patent, trademark and other rights in and to these documents. The Owner shall be permitted to retain copies of the Architect's Drawings, Specifications, and other documents for information and reference only in connection with the Owner's use and occupancy of the project. The Architect's Drawings, Specifications and other documents shall not be used by the Owner for additions to the project, or for other projects, or by others (third parties) for the completion of this project except by agreement in writing and with appropriate compensation to the Architect.



PROPOSED ELEVATION
EXISTING ELEVATION

A-7

© WORKPLAYS STUDIO ARCHITECTURE, 2005



EAST ELEVATION

scale: 1/8" = 1'-0"

1



NORTH ELEVATION

scale: 1/8" = 1'-0"

2



WEST ELEVATION

scale: 1/8" = 1'-0"

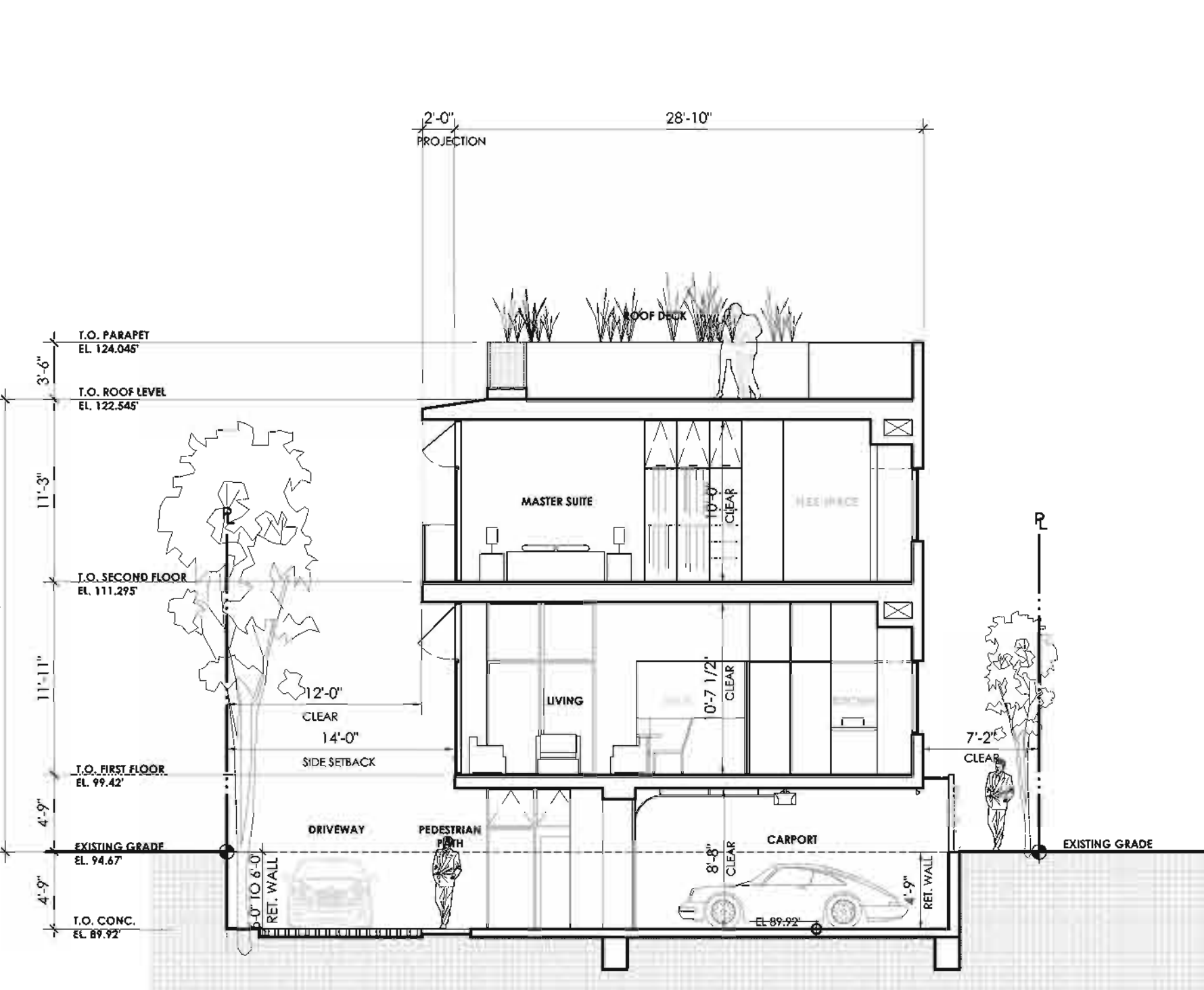
3



SOUTH ELEVATION

scale: 1/8" = 1'-0"

4



SECTION UNIT 1

scale: 1/8" = 1'-0"

6

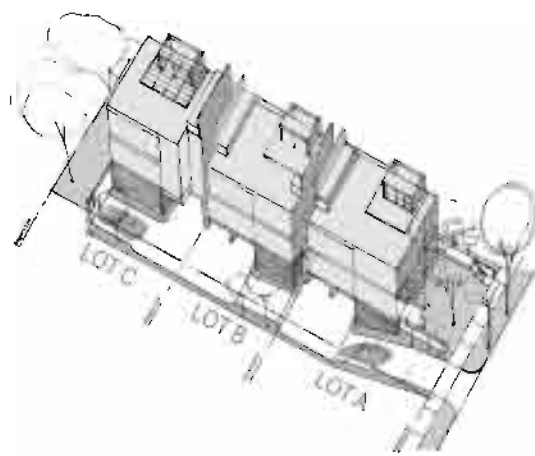


DRIVEWAY SECTION

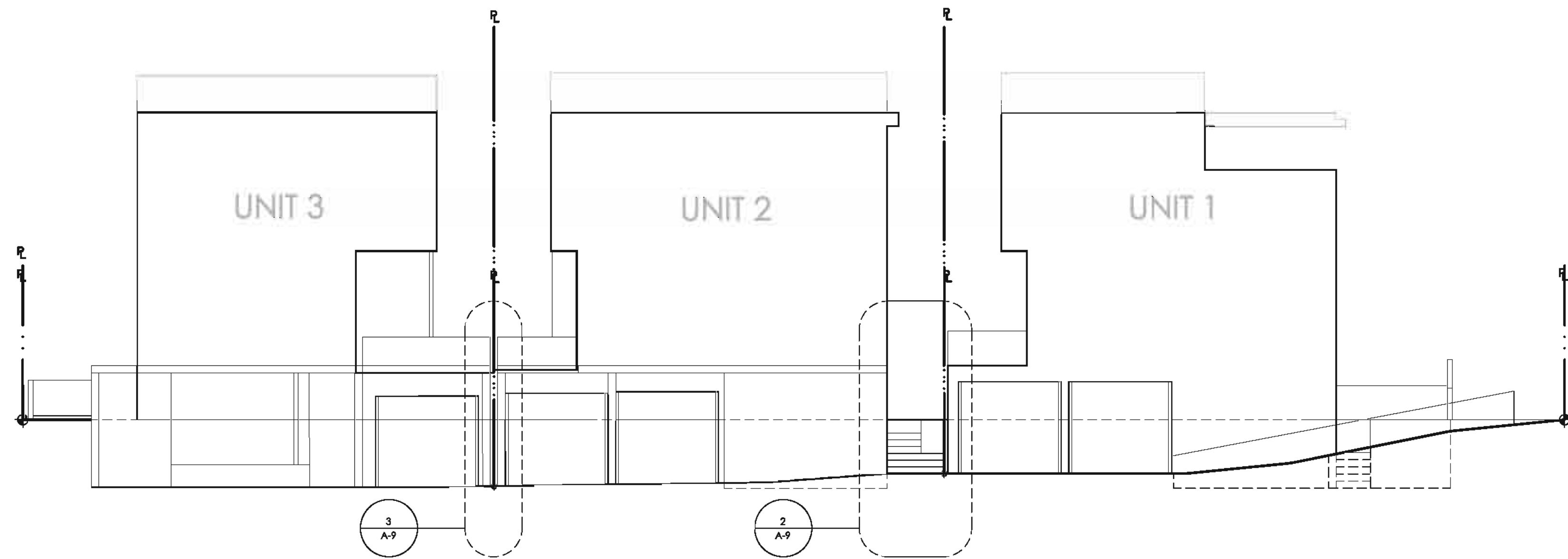
scale: 1/8" = 1'-0"

5

2 EXTERIOR GRADE WOOD SIDING / WOOD SUNSCREEN -TEAK OR SIMILAR	3 EXTERIOR STONE TILE -LIMESTONE FINISH OR SIMILAR	4-5 CONCRETE PAVERS SANICRAZED FINISH ASSORTED TONES	6 GROUND COVER -ROUNDED RIVER ROCK	7 GROUND COVER -WOOD CHIP / LOW LYING PLANTING	8 DOUBLE PANE WINDOW & DOORS STEEL (OR ALUM.) FRAME TRANSPARENT & TRANSLUCENT GLASS
9 PANEL FORM CONCRETE	10 FINE SLEEVE EXTERIOR PLASTER WHITE OR SIMILAR INTEGRAL COLOR	11 SEAM-ROUGH NATURAL STONE LIGHT GRAY	12 METAL GREENSCREEN FOR VINE TYPE PLANTS	13 POWDER-COATED METAL PANEL -WHITE FINISH	14 EXTERIOR GRADE WD. PANELING -TEAK OR SIMILAR



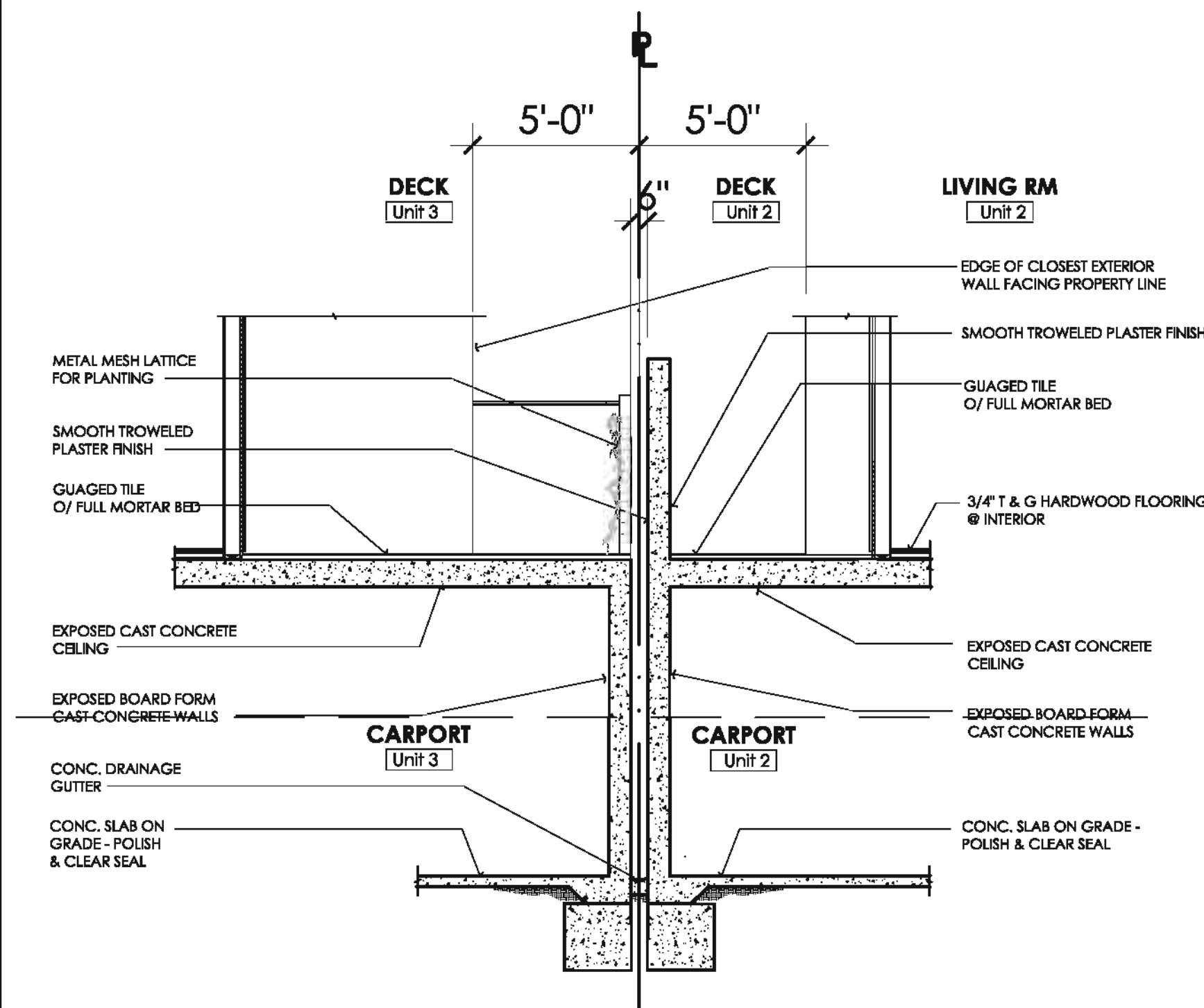
PROPOSED ELEVATION
EXISTING ELEVATION



TRANSVERSE SECTION

scale: 1/8" = 1'-0"

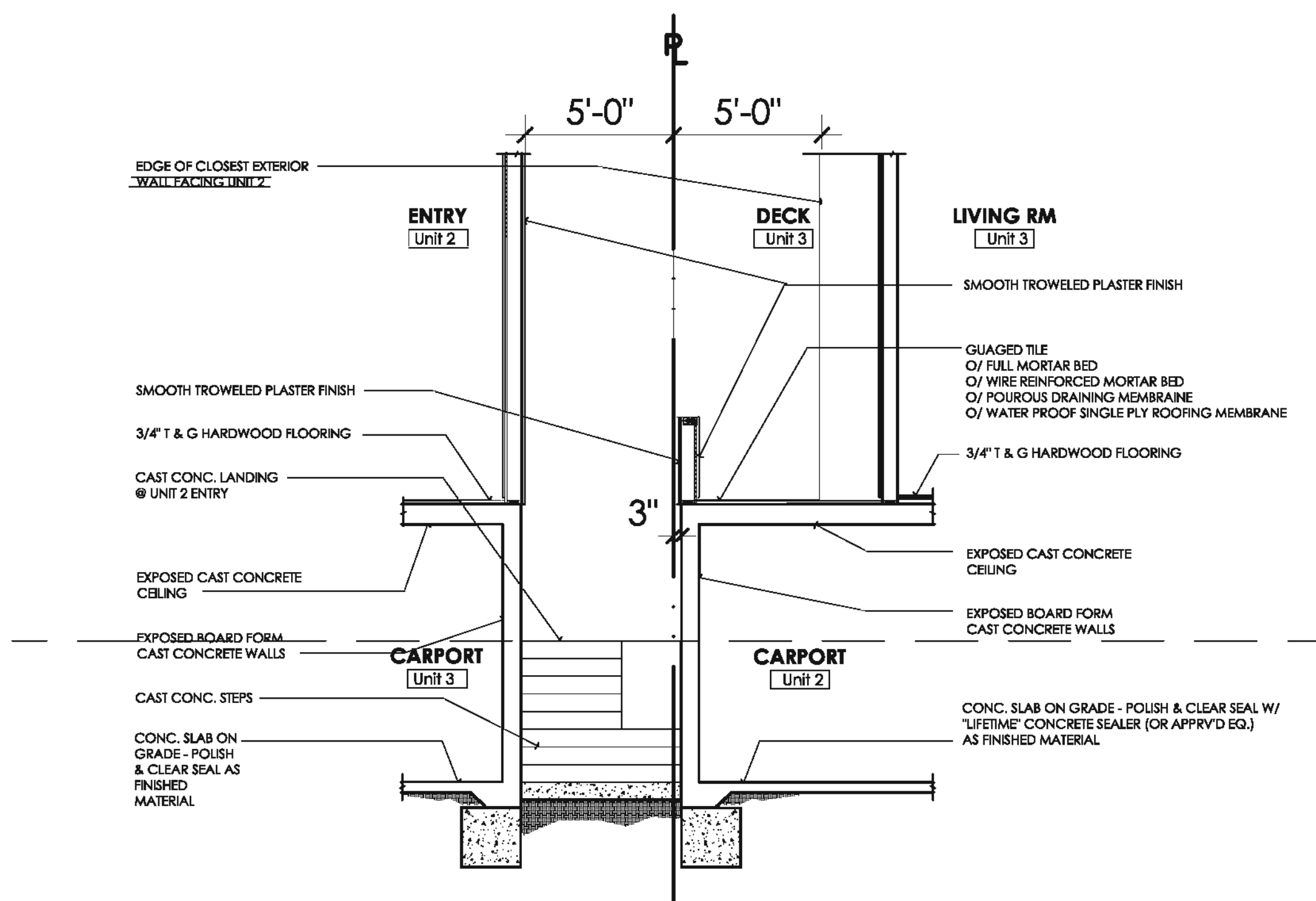
2



WALL SECTION BETWEEN UNITS 3 & 2

scale: 1/4" = 1'-0"

3



WALL SECTION BETWEEN UNITS 2 & 1

scale: 1/4" = 1'-0"

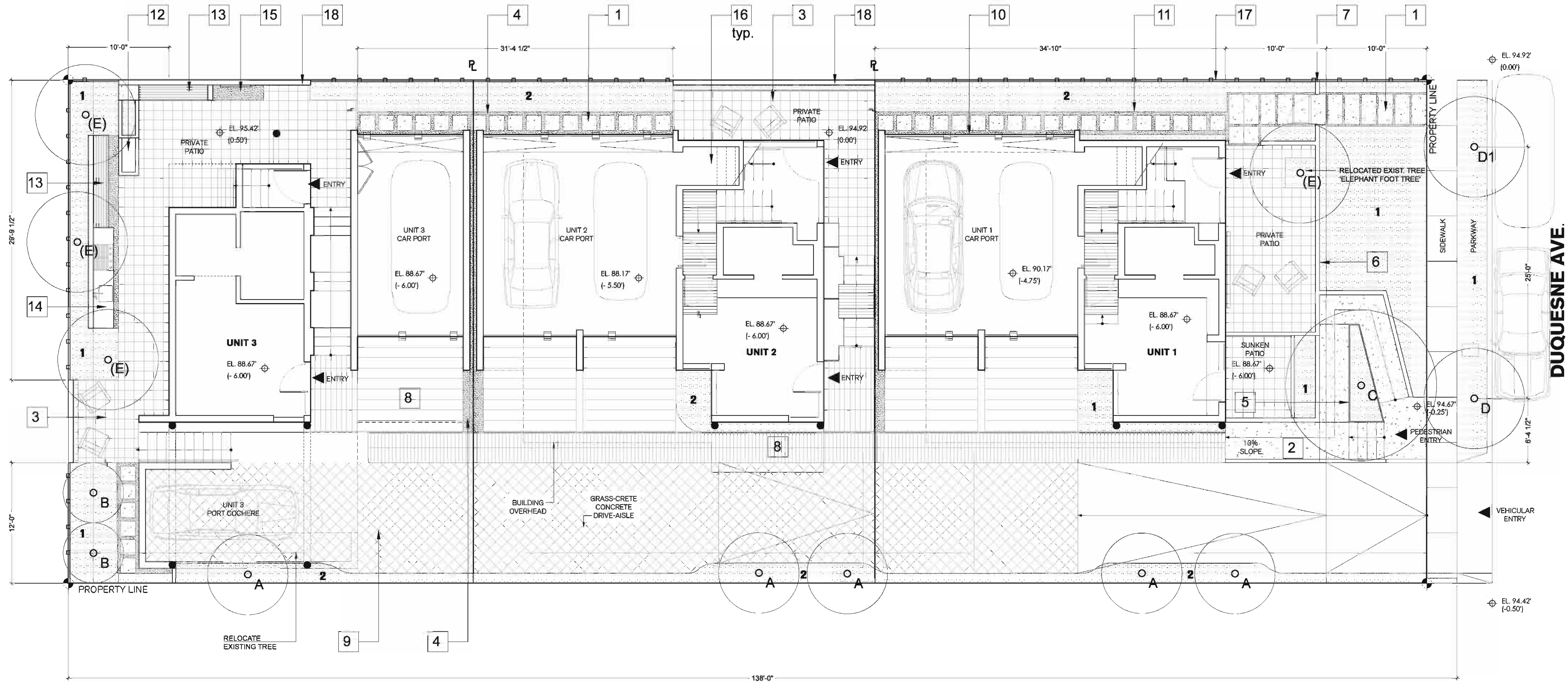
1



EXISTING ELEVATIONS

LANDSCAPE PLAN

NOT FOR CONSTRUCTION



LANDSCAPE LEGEND

- TREES - LOW HYDROZONE (L)**
(PROVIDE 3" THICK NATIVE SHREDDED BARK MULCH AT ALL PLANTING AREAS UNLESS OTHERWISE NOTED.)
- A** NATIVE SCREEN TREE - 24" BOX., FULL
- ARROYO WILLOW / *SALIX LASIOLEPIS*
- CATALINA CHERRY / *PRUNUS LYONII*
- B** SEMI-DWARF CITRUS - 24" BOX., FULL
- MEYER LEMON / *CITRUS X MEYERI*
- NAVAL ORANGE / *CITRUS SINENSIS*
- C** ORNAMENTAL SHADE TREE - 60" BOX., FULL
- WESTERN SYCAMORE / *PLATANUS RACEMOSA*
- D** EXISTING STREET TREE. PROTECT IN PLACE.
- CRAPE MYRTLE / *LAGERSTROEMIA SPP.*
- D1** PROPOSED STREET TREE. 24" BOX., FULL
- CRAPE MYRTLE / *LAGERSTROEMIA SPP.*
- E** EXISTING TREES - MIN. 8" DIA. PROTECT IN PLACE. UNLESS OTHERWISE NOTED.
- SHRUBS & GRASSES - LOW HYDROZONE (L)**
- 1** FRONT YARD, REAR YARD AND PARKWAY PLANTING 50% 5 GALLON @ 30" O.C., 50% 5 GALLON @ 4" O.C. PROVIDE 3" THICK MULCH IN ALL AREAS.
- BLACK SAGE / *SALVIA MELIFERA*
- CALIFORNIA BUCKWHEAT / *ERIOGONUM CALIFORNICA*
- CALIFORNIA SUNFLOWER / *ENCELIA CALIFORNICA*
- CANYON PRINCE WILD RYE / *LEYMUS CONDENSATUS* 'CANYON PRINCE'
- DEER GRASS / *MUHLENBERGIA RIGENS*
- LEMONADEBERRY / *RHUS INTEGRIFOLIA*
- MULE FAT / *BACCHARIS SALICIFOLIA*
- PACIFIC WAX MYRTLE / *MYRICA CALIFORNICA*
- ST. CATHERINE'S LACE / *ERIOGONUM GIGANTEUM*

SHRUBS & GRASSES (cont.) - LOW HYDROZONE (L)

- 2** SIDE YARD AND DRIVE-AISLE PLANTING 60% 5 GALLON @ 30" O.C., 40% 1 GALLON @ 18" O.C. PROVIDE 3" THICK MULCH IN ALL AREAS.
- CHAPARRAL CURRANT / *RIBES MALVACEUM*
- COFEEBERRY / *RHAMNUS CALIFORNICA*
- CALIFORNIA FIELD SEDGE / *CAREX PRAEGRACILIS*
- CALIFORNIA GREY RUSH / *JUNCUS PATENS*
- CALIFORNIA MORNING GLORY / *CALYSTEGIA MACROSTEGIA*
- MEADOW RUE / *THALICTRUM FENDLERI*
- LEMONADEBERRY / *RHUS INTEGRIFOLIA*
- PACIFIC WAX MYRTLE / *MYRICA CALIFORNICA*
- YARROW / *ACHILLEA MILLEFOLIUM*

LANDSCAPE CALCULATIONS

All setback and open space areas not occupied by driveways, parking areas, walkways, building projections and approved hardscape areas, shall be planted, except where a required setback is screened from public view per Culver City Zoning Code 17.310.020 Landscape Area Requirements.

LANDSCAPE AREA = 1,017 sq. ft.
(Includes all planting and mulch areas)

***HARDSCAPE AREA** = 2,548 sq. ft.
(Includes pedestrian walkways, ramp and drive-court)

PERMEABLE AREA = 2,182 sq. ft.
(Includes planting and gravel beds and permeable paving at drive-court)

*All impermeable concrete and stone paving drain into immediately adjacent permeable gravel and planter beds. Concrete drive-aisle drains into Grasscrete open cell permeable paving system.

HARDSCAPE LEGEND

- 1** CONCRETE PAVERS SET IN A PERMEABLE GRAVEL BED. SIZES OF PAVERS VARY PER PLAN. PROVIDE 2" 4" GRAVEL JOINTS BETWEEN PAVERS. EXPOSED AGGREGATE FINISH.
- 2** 4" THICK CONCRETE PEDESTRIAN RAMP. HEAVY SANDBLAST FINISH.
- 3** STONE PAVERS WITH MORTAR BASE.
- 4** 3/8" TO 3/4" CRUSHED GRAVEL. THICKNESS VARIES. INSTALL ABOVE 3" LAYER OF COMPACTED CRUSHED AGGREGATE AND 1/2" SAND BASE.
- 5** 1/2" THICK CORTEN STEEL RETAINING WALL. HEIGHT VARIES.
- 6** 42"H CONCRETE PATIO WALL.
- 7** 42" HIGH STEEL ENTRY GATE.
- 8** COLORED CONCRETE PAVERS AT DRIVE COURT WITH MORTAR BASE.
- 9** GRASSCRETE OPEN-CELL CONCRETE DRIVE-COURT WITH GRAVEL FILLED VOIDS.
- 10** GREENSCREEN METAL TRELLIS SYSTEM ALONG CARPORT.
- 11** 1/8" X 4" ALUMINUM EDGING WITH 12" ALUMINUM STAKES.
- 12** CONCRETE FIRE-PIT. (POTENTIAL)
- 13** 18"H X 18"W BLACK LOCUST FSC WOOD BENCH.
- 14** OUTDOOR KITCHEN W/ CONCRETE COUNTERTOP AND BUILT-IN BBQ INCLUDING LOWER CABINETRY STORAGE. (POTENTIAL).
- 15** WATER FEATURE - SCUPPER WATER SPILL WITH RETURN GRAVEL BED (OPTIONAL)
- 16** TRASH ENCLOSURE. REFER TO ARCH.
- 17** WOOD FENCE. HEIGHT TO BE DETERMINED.
- 18** CMU BLOCK WALL. HEIGHT TO BE DETERMINED.

LANDSCAPE NOTES

- All Landscape and Irrigation shall conform to Culver City Municipal Code, chapter 17.310 - Landscaping and all other applicable city and regional standards.
- Maintenance: All required landscape areas shall be maintained by the Owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit. Landscape & Irrigation areas in the pedestrian right-of-way/parkway shall be maintained by Owner.
- Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavement, or where new public improvements are placed adjacent to existing trees. The root barrier will not be wrapped around the root ball.
- All street facing setback areas shall be landscaped within 6 months of occupancy. Front setback areas shall be landscaped with live plant material for a min. of 75% of the subject area.
- Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15 gallon size or 60 inch-box size material, respectively.
- All planted areas shall be provided with a permanent automatic irrigation system. Rain sensor will be provided to automatically shut off system during weather changes. No run-off or overspray shall cross property lines or paved areas.
- Any existing landscaping indicated on the approved landscape plan for retention that is damaged or removed during construction shall be repaired or replaced in kind with plants of equivalent size.

LANDSCAPE CONSULTANT:

ARON
NUSSBAUM
STUDIO

1308 Factory Pl. #510
Los Angeles, CA 90013

[323] 790-4782
studio@aronnussbaum.com

PROJECT NAME & LOCATION:

DUQUESNE TRIAD

4241 DUQUESNE AVENUE
CULVER CITY, CA 90232

PROJECT NUMBER:

2014-MFD-DUQ-05

PROJECT PHASE:

Preliminary Landscape Plan

DRAWING REVISIONS:

#	REVISION	DATE:	BY:
1	CULVER CITY SUBMITTAL	8/20/15	AN

NORTH ARROW:



STAMP:

SCALE: 3/16" = 1'-0"



DRAWN BY: AN

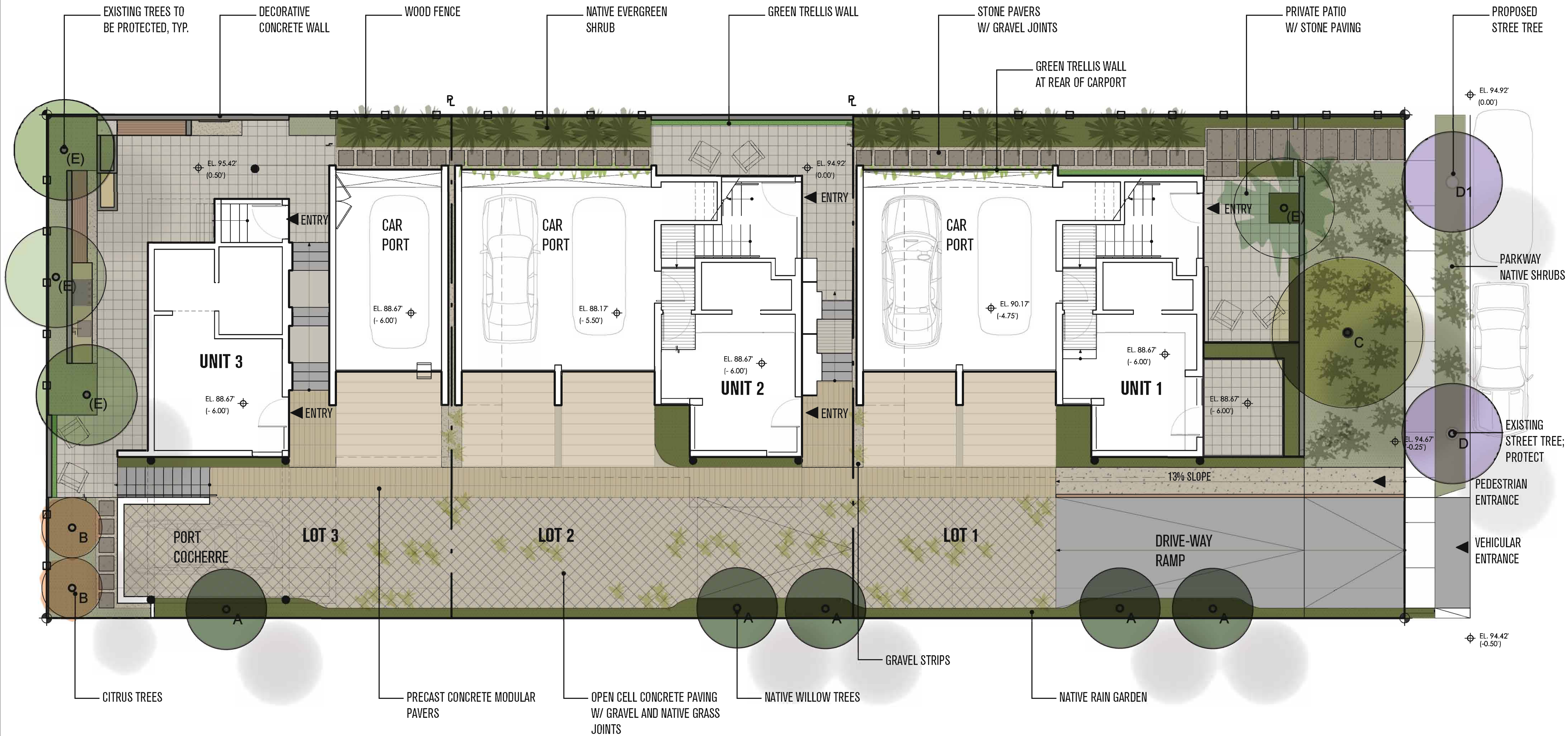
ISSUE DATE:

SHEET NAME:

LANDSCAPE
PLAN

SHEET #:

L1.00



LANDSCAPE CONSULTANT:

ARON
NUSSBAUM
STUDIO

1133 S Masselin Ave.
Los Angeles, CA 90019

(323) 790-4782
studio@aronnussbaum.com

PROJECT NAME & LOCATION:

DUQUESNE TRIAD

4241 DUQUESNE AVENUE
CULVER CITY, CA 90232

PROJECT NUMBER:

2014-MFD-DUQ-05

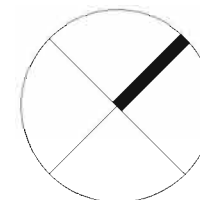
PROJECT PHASE:

Preliminary Landscape Plan

DRAWING REVISIONS:

#	REVISION	DATE:	BY:
1	CULVER CITY SUBMITTAL	8/20/15	AN
2	REV.2	11/3/15	AN

NORTH ARROW:



STAMP:

SCALE: 3/16" = 1'-0"



DRAWN BY: AN

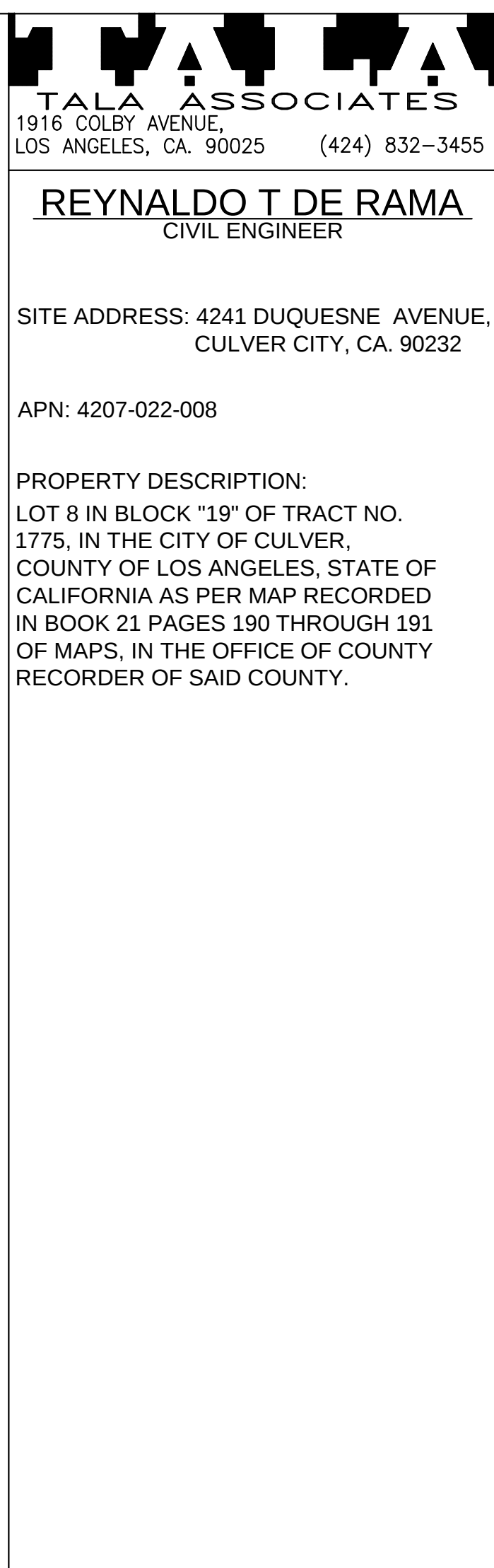
ISSUE DATE:

SHEET NAME:

**LANDSCAPE
PLAN**

SHEET #:

L2.00



1

- ALL WORK HEREON SHALL CONFORM TO THE
LATEST EDITION OF THE STANDARD SPECIFICATIONS
FOR PUBLIC WORKS CONSTRUCTION AND ALL
SUPPLEMENTS THERETO.
- DIGALERT
- DIAL TOLL FREE
- AT LEAST TWO DAYS
BEFORE YOU DIG
- UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA
- A circular logo with a thick black border. Inside the circle, the words "NO DUMPING" are written in a semi-circle at the top, and "THE DRAINS TO OCEAN" is written in a semi-circle at the bottom. In the center of the circle is a stylized fish swimming to the right, positioned above a wavy line representing water.
- 4 CATCH BASIN STENCIL

A map showing the location of the Village Tree Preschool. The site is marked with a black circle and labeled "SITE" in large bold letters. The address "4341 Duquesne Ave" is written below the site marker. The map includes several streets: Duquesne Ave, Lincoln Ave, and Duquesne Ave (repeated). Other landmarks include "Sawdust & Sawdust Designs (Penology/Art)", "VILLAGE TREE PRESCHOOL", "Public Art 'Mirrors of the World'", and "Public 'Cross'".



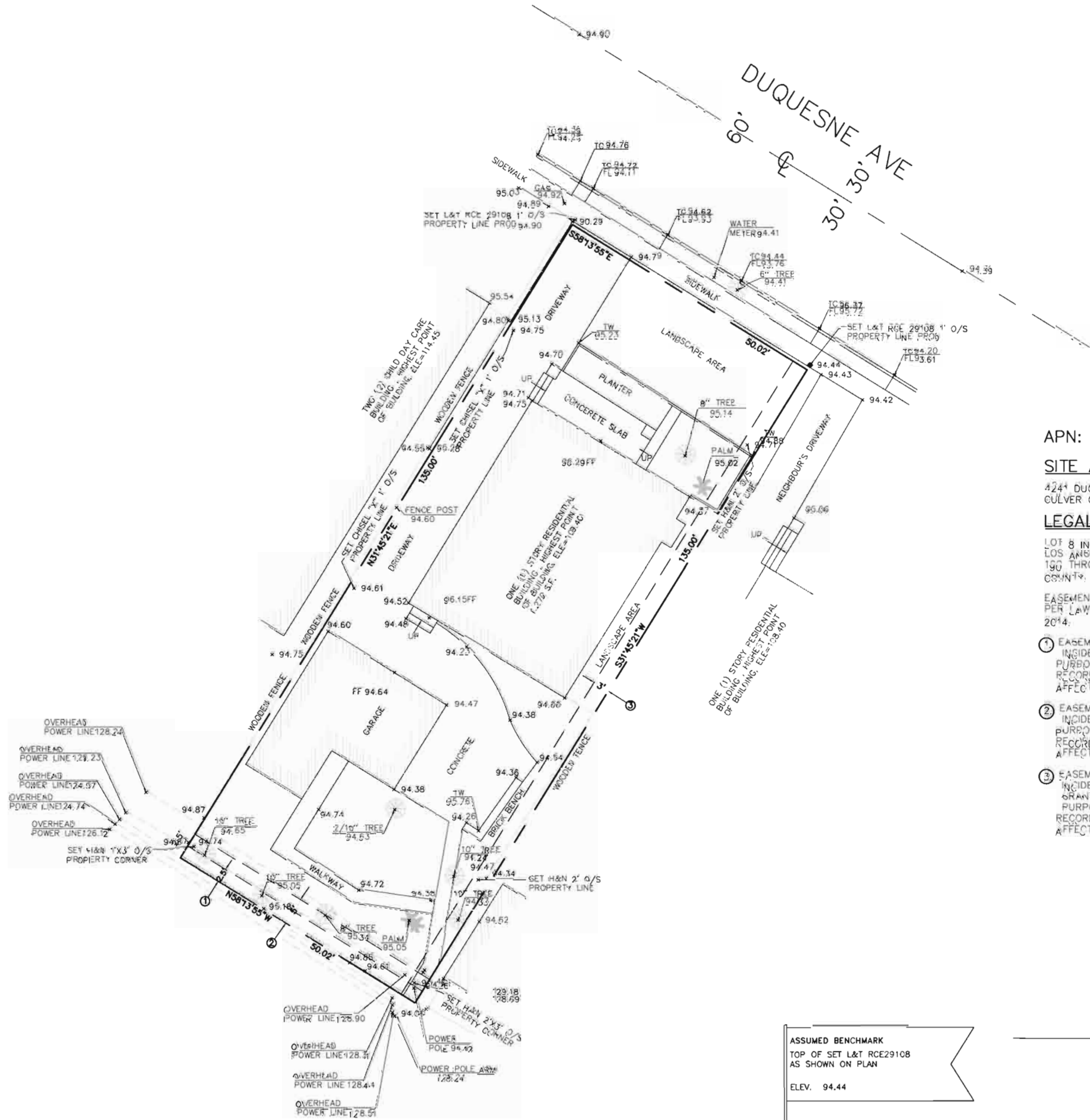
NORTH

4

JOB NO. : 3159



SCALE: 1"=10'



APN: 4207-022-008

SITE ADDRESS:

4241 DUQUESNE AVENUE
CULVER CITY, CA 90232

LEGAL DESCRIPTION:

LOT 8 IN BLOCK "19" OF TRACT NO. 1776, IN THE CITY OF CULVER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 24 PAGES 190 THROUGH 191 OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY.

EASEMENT NOTES:
PER LAWYERS TITLE COMPANY, REFERENCE NO. 010212-44; DATED: AUGUST 4, 2014.

1. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: PUBLIC UTILITIES
RECORDED: IN BOOK 6244 PAGE 281 OF DEEDS
AFFECTS: A PORTION OF SAID LAND
2. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: PUBLIC UTILITIES
RECORDED: IN BOOK 6849 PAGE 328 OF DEEDS
AFFECTS: A PORTION OF SAID LAND
3. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
GRANTED TO: THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDED: JANUARY 5, 1978 IN BOOK 78-1227 OF OFFICIAL RECORDS
AFFECTS: THE SOUTHWESTERLY 3 FEET OF SAID LAND

NOTE:
THIS SURVEY AND MAP ARE THE PROPERTY OF TALA ASSOCIATES, INC. AND MAY NOT BE MODIFIED, ALTERED OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY TALA ASSOCIATES, INC. AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVISIO EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK OR E-MAIL THAT MAP BE PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISIO WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED BY TALA ASSOCIATES, INC. AS TO SUCH CHANGED MATERIAL.

NOTE:
THIS SURVEY IS INTENDED FOR DESIGN PURPOSES ONLY AND NOT FOR CONSTRUCTION. BOUNDARY STAKING MUST BE CONDUCTED PRIOR TO ANY CONSTRUCTION IN ORDER TO JUSTIFY THE PROPER LEGAL SET BACKS, IF ANY, OF THE NEWLY PLANNED CONSTRUCTION. "EYE-BALLING" OR GUESSING THE BOUNDARY LOCATIONS HAS NO JUSTIFICATION AND IF PERFORMED CANCEL THE VALIDITY AND ACCURACY OF THIS SURVEY.

ASSUMED BENCHMARK
TOP OF SET L&T RCE 29108
AS SHOWN ON PLAN
ELEV. 94.44

TOPOGRAPHY SURVEY			
 TALA ASSOCIATES 1916 COLBY AVENUE LOS ANGELES, CA. 90025 (424) 832-3455		DATE: 10-15-14	REVISIONS
		SCALE: AS SHOWN	
		DESIGNED: KK	
		DRAWN: KK	
		CHECKED: RDR	
		SHEET: 1 OF: 1	
		JOB NO: 3159	
REYNALDO T. DE RAMA R.C.E. 29108 EXP. 3-31-15			

TS-1

TENTATIVE PARCEL MAP NO. 73789

FOR SUBDIVISION PURPOSES
IN THE CITY OF CULVER, COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

BEING A SUBDIVISION OF LOT 8 IN BLOCK 19 OF TRACT NO. 1775, IN THE CITY OF CULVER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 21 PAGES 190 THROUGH 191 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, CREATING THREE SINGLE FAMILY LOTS.

APN: 4207-022-008

TRACT MAP NOTES

OWNER:

BROCK WYLAN
111 E 14TH STREET
NEW YORK, NY. 10003
(646) 659-0439
ATTN: MR. BROCK WYLAN

ADDRESS SITE:

4241 DUQUESNE AVENUE
CULVER CITY, CA. 90232

SITE DATA:

GROSS AREA: 8,254.20SQ. FT. 0.189 ACRES
PIQ PLUS HALF OF DUQUESNE AVE.
NET AREA (PIQ ONLY): 6,753.38 SQ. FT. 0.155 ACRES
NET AREA AFTER DEDICATION: 6,253 SQ. FT. 0.143 ACRES

NOTES:

1. NO PROTECTED SPECIES ON THE SITE.
2. ALL UTILITIES ARE AVAILABLE TO SITE.
3. PROPOSED PROJECT: 3 PARCELS
4. EXISTING ZONE: RMD PROPOSED ZONE: SAME
5. NO EASEMENT EXCEPT SHOWN HEREON.
6. PROPOSED PARKING SPACES: 6 PARKING SPACES (2 PARKING SPACES FOR EACH UNIT)
7. NO GEOLOGICAL HAZARDOUS AREA.
8. SEWER IS AVAILABLE TO THE SITE.
9. ALL EXISTING STRUCTURES TO BE DEMOLISHED.
10. SITE IS IN LIQUEFACTION AREA.
11. FLOOD ZONE X, COMMUNITY # 06037C1595F. AREA OF MINIMAL FLOOD HAZARD AREA PER FEMA
12. LISTS OF UTILITY COMPANIES:
 - a. COUNTY SANITATION DISTRICTS OF LOS ANGELES COUNTY (SEWER LOS ANGELES COUNTY (SEWER ONLY)
 - b. CULVER CITY SANITATION (REFUSE, RECYCLING, STREET SWEEPING)
 - c. GOLDEN STATE WATER COMPANY
 - d. LOS ANGELES DEPARTMENT OF WATER AND POWER
 - e. METROPOLITAN WATER DISTRICT (WATER EMERGENCIES)
 - f. SOUTHERN CALIFORNIA EDISON COMPANY
 - g. SOUTHERN CALIFORNIA GAS COMPANY
 - h. DIG ALERT
13. EXISTING SEWER AT REAR PROPERTY TO REMAIN
14. PROPOSED PROJECT TO CONNECT TO EXISTING SEWER IN DUQUESNE AVENUE

EASEMENT NOTES:

PER LAWYERS TITLE COMPANY, REFERENCE NO. 010212-MT; DATED: AUGUST 4, 2014.

- ① EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: PUBLIC UTILITIES
RECORDED: IN BOOK 6284 PAGE 261 OF DEEDS
AFFECTS: A PORTION OF SAID LAND
- ② EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: PUBLIC UTILITIES
RECORDED: IN BOOK 6849 PAGE 328 OF DEEDS
AFFECTS: A PORTION OF SAID LAND
- ③ EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
GRANTED TO: THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDED: JANUARY 5, 1978 IN BOOK 78-11223 OF OFFICIAL RECORDS
AFFECTS: THE SOUTHWESTERLY 3 FEET OF SAID LAND

ENGINEER'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, AND SHOWS ALL EASEMENTS OF RECORD AS REPORTED IN PRELIMINARY TITLE REPORT PREPARED BY LAWYERS TITLE COMPANY DATED AUGUST 04, 2014

Reynaldo T. De Rama
REYNALDO T. DE RAMA
R.C.E. 29108
EXPIRES: 03-31-17

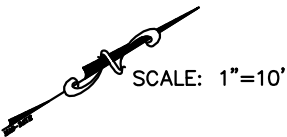
DATE: MARCH 01, 2016

TENTATIVE PARCEL MAP NO. 73789

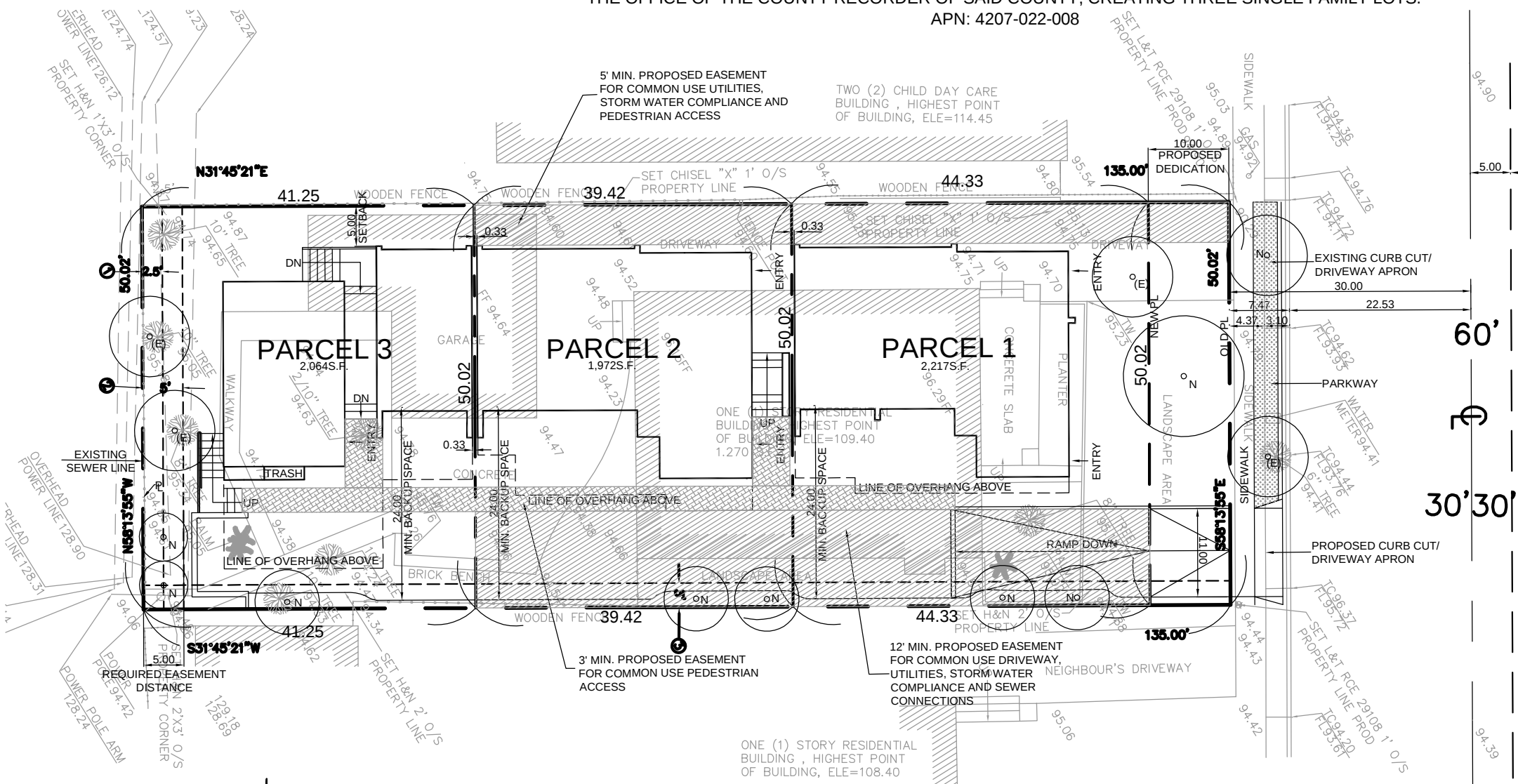
TALA ASSOCIATES
1916 COLBY AVENUE
LOS ANGELES, CA. 90025 (424) 832-3455

DATE	12-21-15	REVISIONS
SCALE	AS SHOWN	
DESIGNED	KK	
DRAWN	KK	
CHECKED	RDR	
SHEET	1 OF 1	
JOB NO.	3159	

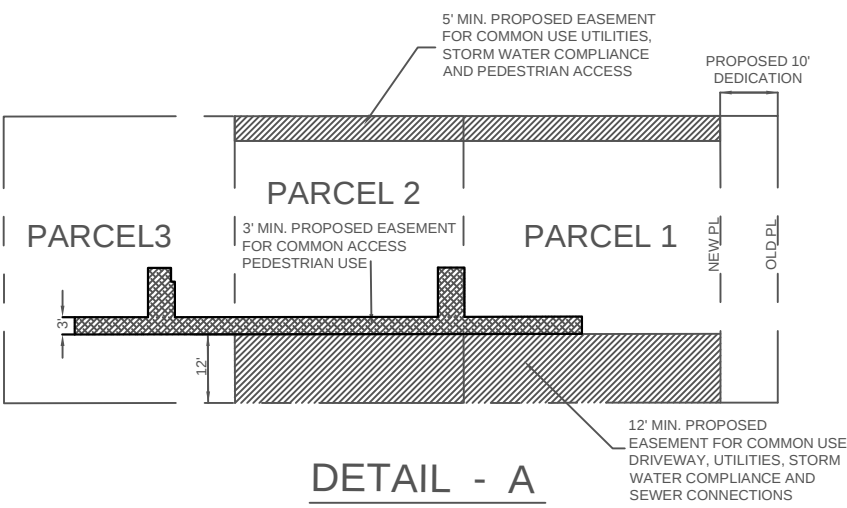
REYNALDO T. DE RAMA R.C.E. 29108 EXP. 3-31-17



SCALE: 1"=10'



VICINITY MAP
N.T.S.



DUQUESNE AVENUE