

NEW 2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE. CULVER CITY, CA 90232

Attachment No. 4



"PROJECT RENDERING - FOR REFERENCE ONLY"

South / East Rendering

PROJECT DATA & SITE DEVELOPMENT STANDARDS

PROJECT ADDRESS: 4115 & 4117 LINCOLN AVENUE, CULVER CITY, CA 90232
PARCEL APN: 4207-016-003
PROJECT WORK SCOPE: NEW 2 STORY 2 UNIT CONTEMPORARY RESIDENTIAL DUPLEX
ZONING: R2
TYPE 5B NON-RATED CONSTRUCTION
OCCUPANCY GROUP: R3/U1
LEGAL DESCRIPTION: LOT 3 BLOCK 15 OF TRACT MAP NO. 1775, RECORDED IN BOOK 21 OF MAPS, PAGES 190 AND 191 OF THE LOS ANGELES COUNTY OFFICIAL RECORDS.
LOT SIZE: 50.02' X 134.96' = 6750.70 S.F.
ACREAGE: 6750.70 / 43560 = 0.155 ACRES
OFF-STREET PARKING REQUIRED: 2 SPACES (ENCLOSED PER UNIT) (5 BEDROOMS OR LESS PER UNIT)
OPEN SPACE
PRIVATE OPEN SPACE: NONE REQUIRED OTHER THAN SETBACKS

SITE DEVELOPMENT STANDARDS

R2 RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS
DWELLING SIZE:
MAXIMUM AREA: 1500 S.F.
MAXIMUM DWELLING SIZE: 1500 S.F. + 40% OF LOT (2700 S.F.) = 4200 S.F.
FOR LOTS CONTAINING LESS THAN 8000 S.F. NOT MORE THAN 1500 S.F. PLUS 40% OF THE NET LOT AREA FOR THE COMBINED SQ. FOOTAGE OF ALL UNITS EXCLUSIVE OF ANY GARAGE, CARPORT OR OTHER FLOOR AREA PROVIDING NONLIVING SPACE.
ALLOWABLE FLOOR AREA PER UNIT: 4200 S.F. / 2 = 2100 S.F. OF LIVABLE FLOOR AREA
TOTAL ACTUAL FLOOR AREA: 4199 SF
LOT COVERAGE: LOT SIZE 6750 S.F. / BLDG. FOOTPRINT 2689 S.F. = 39.83%
TOTAL CONCRETE DRIVEWAY AREA: 1515 S.F.
TOTAL CONC. / PAVER SIDEWALK AREA: 454 S.F.
TOTAL WOOD DECK ON GRADE AREA: 278 S.F.
TOTAL LANDSCAPE AREA: 1653 S.F.
NEW CONC. HARDSCAPE LOT COVERAGE: 1969 S.F. 29.17%

REQUIRED SETBACKS:
FRONTYARD SETBACK: 15'-0"
SIDEYARD SETBACK: 4'-0"
REARYARD SETBACK: 10'-0"

PROVIDED SETBACKS:
FRONTYARD SETBACK AT FIRST FLOOR: 20'-6"
FRONTYARD SETBACK AT SECOND FLOOR: 24'-0 1/2"
SIDEYARD SETBACK: 4'-0"
REARYARD SETBACK: 20'-5 1/2"

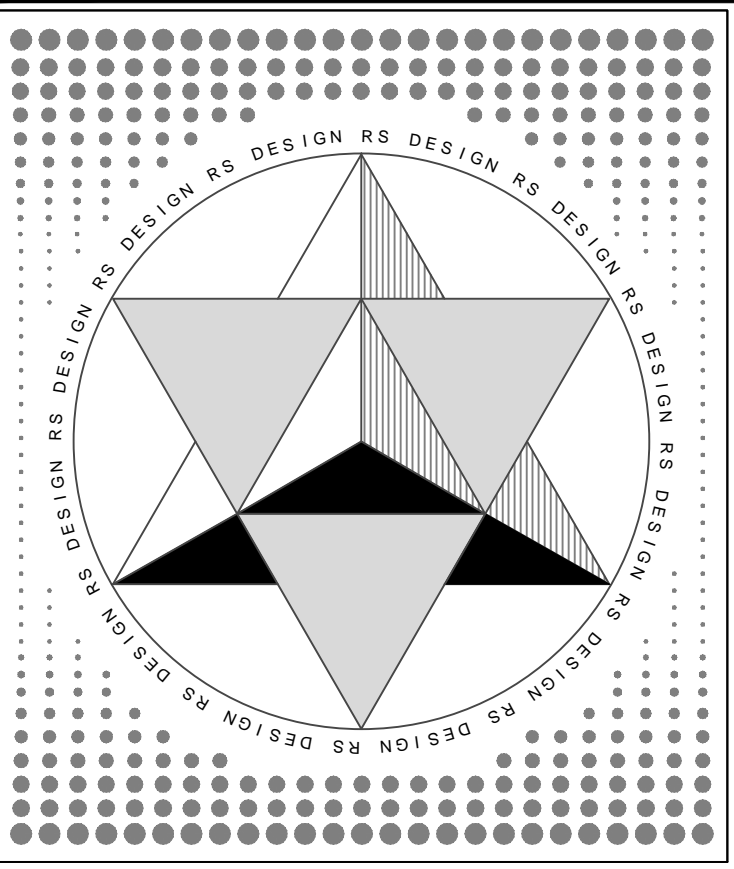
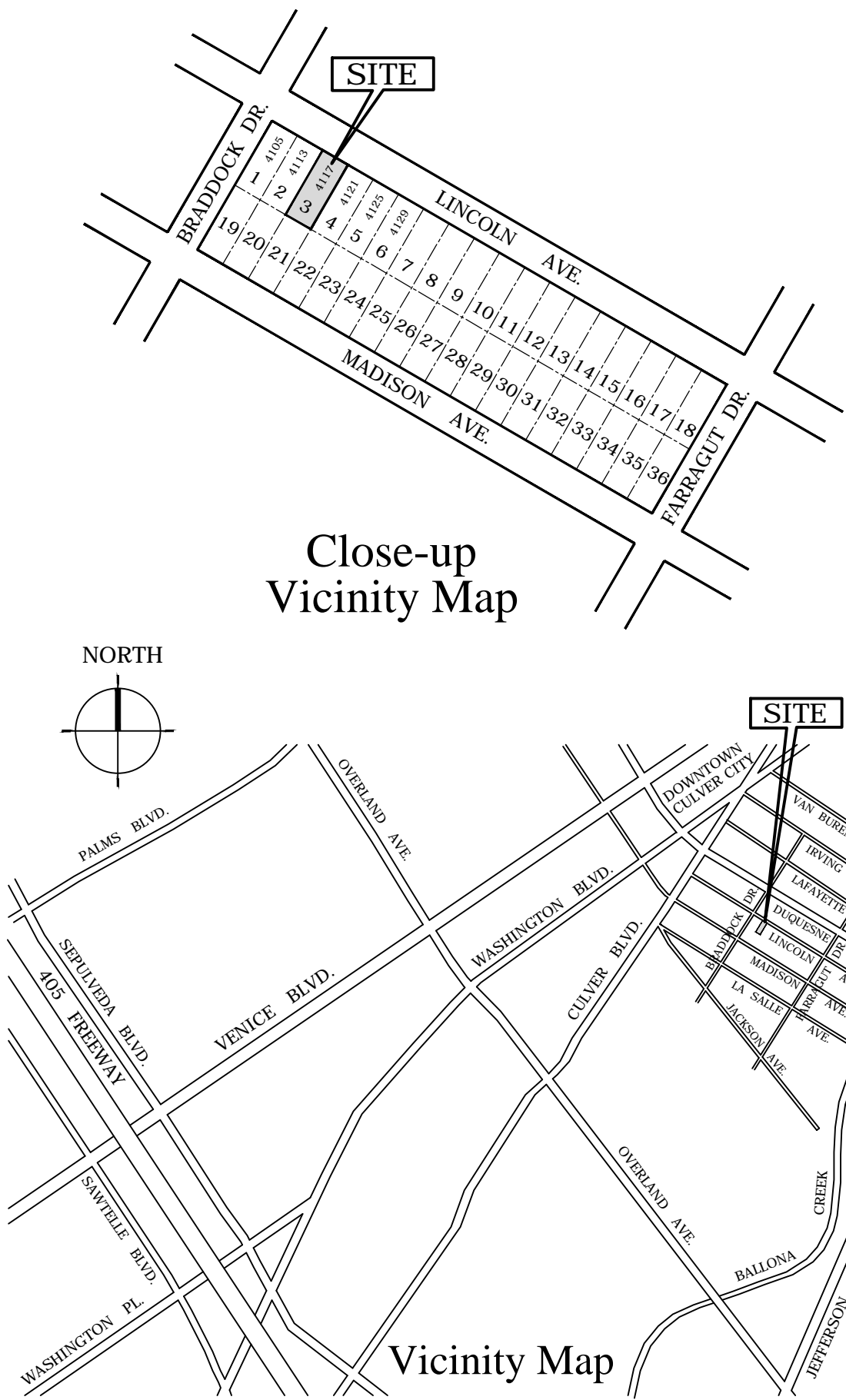
MAXIMUM BUILDING HEIGHT: 30'-0" (2 STORIES)
ACTUAL MAX. ROOF HEIGHT: (2 STORIES) 25'-2" (FROM EXISTING GRADE)

Floor Area Breakdown:

PROPOSED STRUCTURES			
UNIT #4115	FIRST FLOOR AREA	889 SF	
	SECOND FLOOR AREA	1204 SF	
	TOTAL FLOOR AREA	2093 SF	
	GARAGE AREA	431 SF	
UNIT #4117	FIRST FLOOR AREA	938 SF	
	SECOND FLOOR AREA	1168 SF	
	TOTAL FLOOR AREA	2106 SF	
	GARAGE AREA	431 SF	
BOTH UNITS	TOTAL FLOOR AREA	4199 SF	

EXISTING STRUCTURES: ALL ARE TO BE DEMOLISHED
EXISTING (1 STORY) 2 UNIT RESIDENTIAL STRUCTURE: 1511 S.F.
EXISTING (1 STORY) 2 CAR GARAGE: 410 S.F.
EXISTING CONCRETE HARDSCAPE: 1920 S.F.
EXISTING STRUCTURES LOT COVERAGE: 28.46%
EXISTING HARDSCAPE LOT COVERAGE: 28.44%

VICINITY MAP



RSDesign

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Mount Shasta, California 96067
Email: rsdesign2@q.com
Phone: 505 933 3143

THESE DESIGN CONCEPTS, DRAWINGS, NOTES, AND SPECIFICATIONS ARE, AS AN INSTRUMENT OF SERVICE, THE EXCLUSIVE PROPERTY AND THE CREATION OF ROBB SIMONSON & RS DESIGN. ALL USE THEREFORE SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. THE REPRODUCTION, PUBLICATION, REUSE OR SHARING OF ANY OF THESE PLANS OR ELECTRONIC DRAWING FILES, IN WHOLE OR IN PART, IS PROHIBITED WITHOUT THE EXPRESS PRIOR WRITTEN PERMISSION OF ROBB SIMONSON & RS DESIGN.

Site Plan Key Notes:

ISSUE:	DATE:	DESCRIPTION:
1		
2		
3		

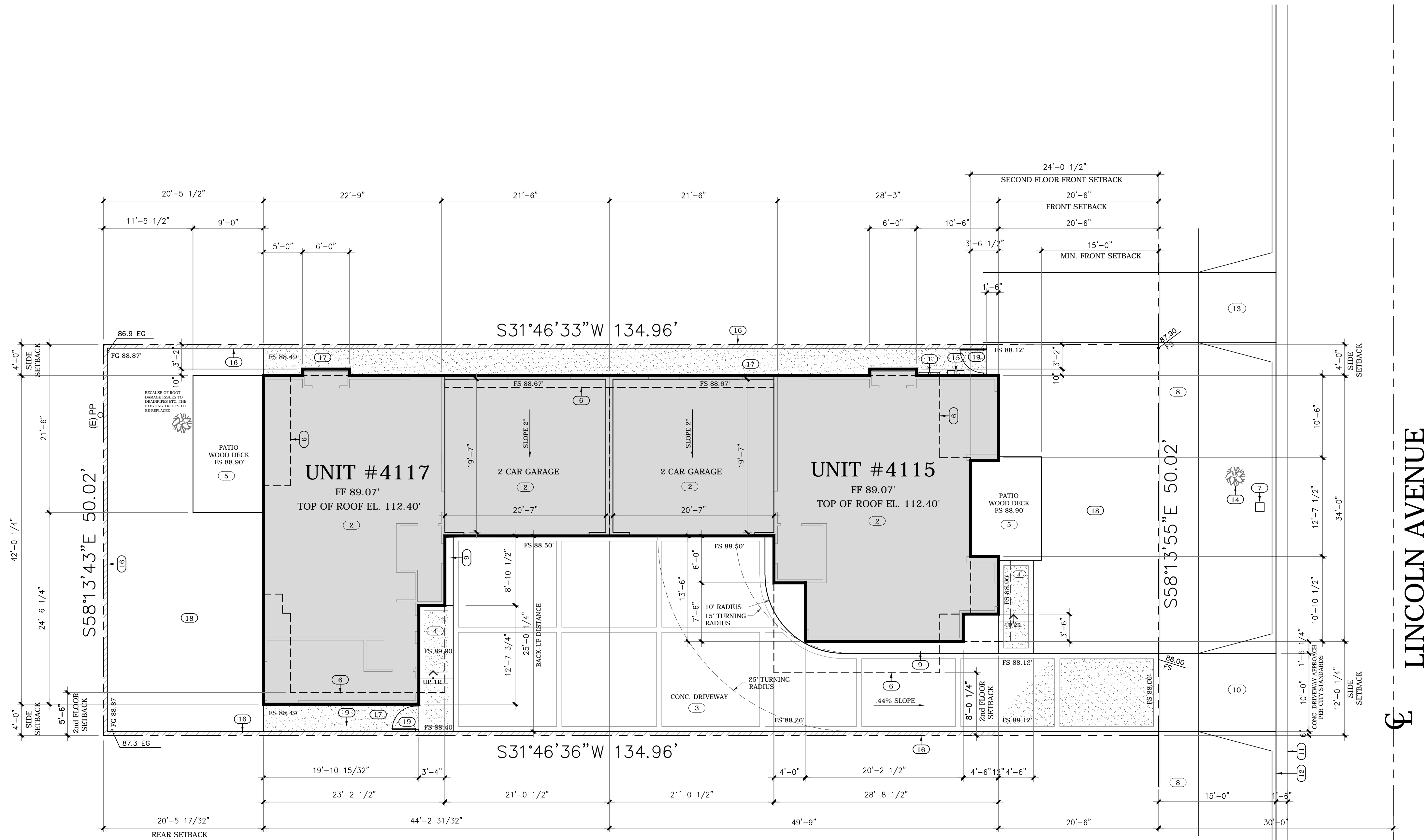
PROJECT TITLE:
**2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232**

OWNER:
**NICOLE NGUYEN &
VADIM BENYATOV
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232
424-385-5355**

SHEET TITLE:
**COVER SHEET
PROJECT DATA**

GRAPHIC SCALE:	
DATE: 6-20-15	DRAWN: ROBB SIMONSON
PROJECT NO.	CHECKED: NICOLE NGUYEN
SHEET NO.	

A1



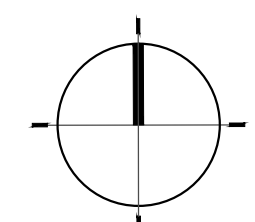
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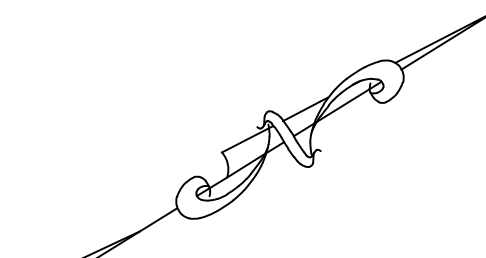
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Site Plan

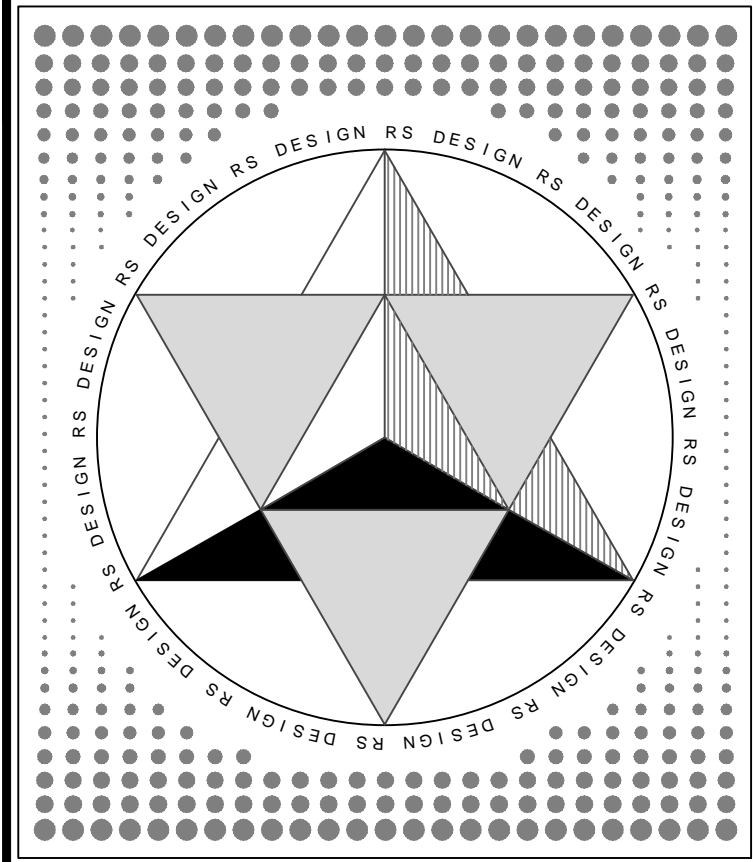
SCALE: 1/8" = 1'-0"



Project North



True North



RSDesign

Robb Simonson
310 E. Lake Street
Mount Shasta, California 96067
Email: rsdesign2@q.com
Phone: 530 925 3492

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Site Plan Key Notes:

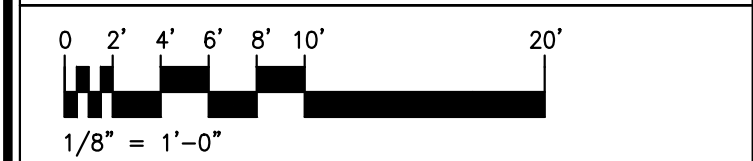
- ELECTRIC METER AND PANEL - 200 AMP. SERVICE
- 4" REINF. CONCRETE SLAB PER STRUCTURAL PLANS
- PROVIDE 5" CONCRETE DRIVEWAY W/ GRASS OR PEA GRAVEL BORDERS WHERE SHOWN. PROVIDE TAN COLORED ROCK SALT FINISHED CONC. IN ALL MAIN DRIVEWAY AREAS.
- TAN COLORED ROCK SALT FINISHED CONC. WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN
- INDICATES GARAPA OR EQUAL WOOD DECK / PATIO AT GRADE (EXACT WOOD BY OWNER)
- INDICATES LINE OF SECOND FLOOR ABOVE
- INDICATES EXIST. WATER METER
- INDICATES EXIST. 5" CONCRETE SIEWALK
- INDICATES MINIMUM 12" WIDE LANDSCAPING STRIP
- PROVIDE NEW CONCRETE DRIVEWAY APPROACH PER CITY STANDARDS
- INDICATES EXIST. CONCRETE GUTTER
- INDICATES EXIST. CONCRETE CURB FACE
- INDICATES EXIST. CONCRETE DRIVEWAY AND CURB CUT
- INDICATES EXIST. 30" DIAMETER CITY TREE
- INDICATES NEW GAS METER
- INDICATES NEW 6" ± HIGH STUCCO COVERED 6" CONC. BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING EXTERIOR COLOR OF BUILDING.
- INDICATES TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY
- INDICATES GRASS LAWN LANDSCAPING
- 3' WIDE X 6' HIGH WOOD GATE TO MATCH SIDING

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SHEET TITLE:
SITE PLAN



DATE: 6-15-17	DRAWN: ROBB SIMONSON
PROJECT NO.	CHECKED: NICOLE NGUYEN

SHEET NO.
A2

Floor Plan Key Notes:

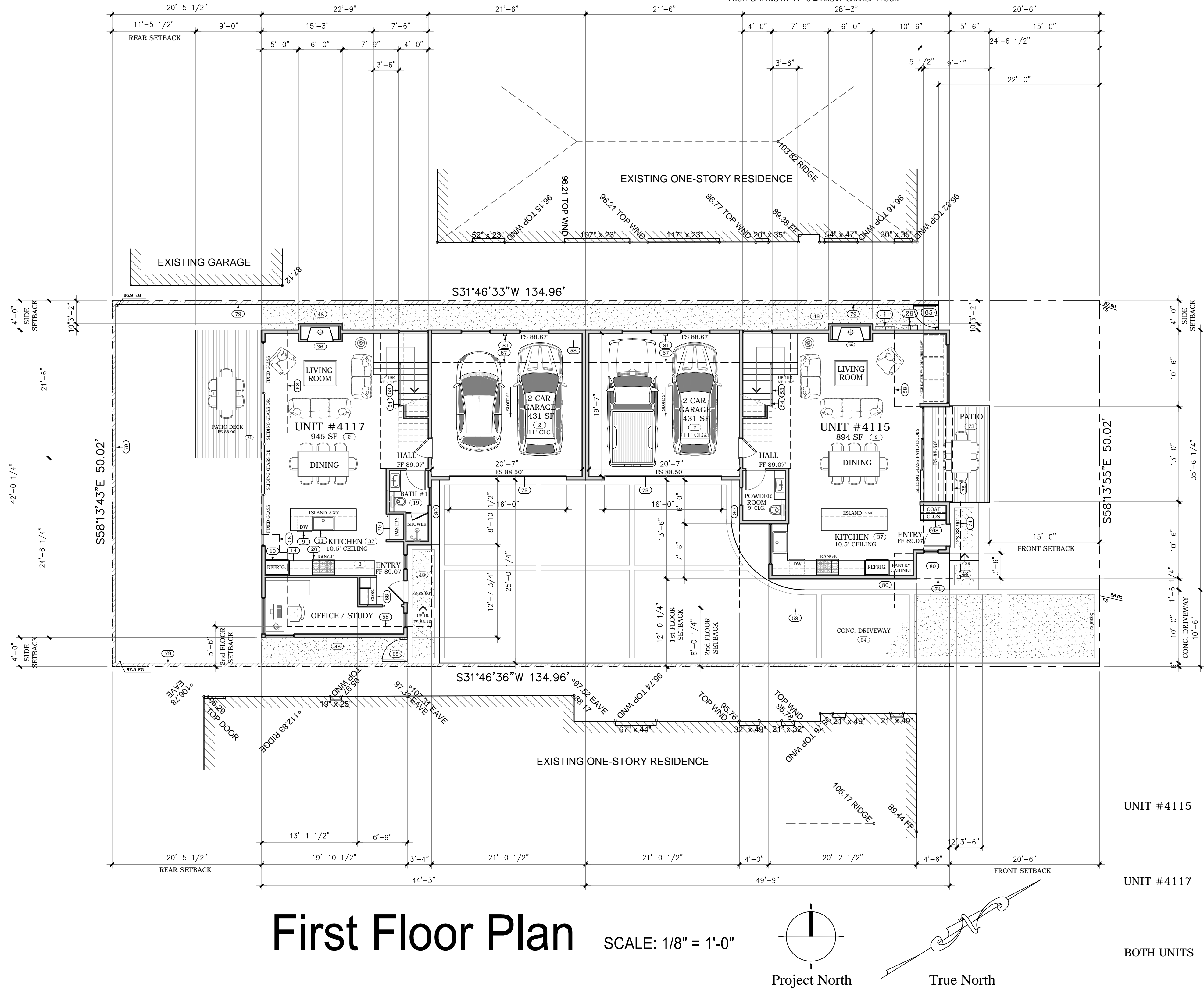
- (1) ELECTRIC METER AND PANEL - 200 AMP. SERVICE
(2) NEW 4" REINF. CONCRETE SLAB PER STRUCTURAL PLANS
(3) GRANITE COUNTER TOP AND BACKSPLASH TO UPPER CAB.
(4) GRANITE COUNTER TOP W/ 12" OVERHANG AT KITCHEN ISLAND
(5) 27" WIDE STAINLESS STEEL GAS DOUBLE OVEN IN WOOD CABINET
(6) PROVIDE STAINLESS STEEL VENT HOOD W/ LIGHT (VENT TO OUTSIDE)
PROVIDE 1 HR. DUCT SHAFT IF PENETRATING CEILING.
(7) 36" WIDE 6 BURNER STAINLESS STEEL GAS COOKTOP (MFR. BY OWNER)
(8) GARBAGE DISPOSER - MODEL 777ss BY IN SINK ERATOR OR EQUAL
(9) 24" WIDE STAINLESS STEEL DISHWASHER (PROVIDE ALL HOOK-UPS)
(10) 36" WIDE STAINLESS STEEL REFRIG./ FREEZER IN CABINET
(11) PROVIDE LARGE FARMHOUSE STYLE CAST OR S.S. KITCHEN SINK
(12) UPPER CABINETS TO CEILING OR SOFFIT W/ CROWN MOULD AT TOP
(13) BUILT-IN LINEN CABINET W/ SELVES AT 16" O.C.
(14) 36" HIGH EUROPEAN STYLE KITCHEN BASE CABINETS W/
SIMILAR STYLE UPPER CABINETS ABOVE
(15) 32" HIGH BASE CAB. W/ GLASS DOOR UPPER CABINETS ABOVE
(16) MIRROR FACED RECESSED MEDICINE CABINET W/ WOOD FRAME
(17) GLASS VESSEL SINK TO BE MOUNTED ON TOP OF COUNTERTOP
(18) MARBLE OR GRANITE COUNTER TOP AND BACKSPLASH AT BATHROOM
(19) 18" OR 24" PORCELAIN OR MARBLE TILE FLOOR FINISH (OWNER)
(20) 36" WIDE 6 BURNER STAINLESS STEEL GAS RANGE (MFR. BY OWNER)

- (21) WALL MOUNTED PLATE GLASS MIRROR IN WOOD FRAME
(22) PROVIDE MINIMUM 12" X 12" PLUMBERS ACCESS
(23) TOWEL BAR FASTENED TO WALL (PROVIDE 2X BLOCKING)
(24) PROVIDE HD FLATSCREEN TV CONNECTIONS ABOVE AT WALL AT ±48"
(25) PROVIDE 5/8" TYPE 'X' GYP. BD. UNDER STAIRS AT WALLS & CEILING
(26) CLOTHES CLOSET SHELF AND POLE
(27) CLOTHES CLOSET DOUBLE SHELF AND POLE AT 40" AND 80"
(28) CLOTHES CLOSET CUSTOM CABINET W/ DRAWERS & SHELVES
(29) INDICATES NEW GAS METERS
(30) +48" RECESSED WASH MACHINE BOX HOOK-UP W/ SIMPLEX VALVE
(31) 12"X12" PORCELAIN OR MARBLE WALL TILE AT SHOWER AND TUB
WALLS OVER GREEN GYP. BD. OR CEMENT BD. (STYLE BY OWNER)
(32) STRAP WATER HEATER FOR RIGIDITY WITH 2 STRAPS PER CPC. 510.5
PROVIDE WALL TILE TO MIN. 72" ABOVE DRAIN. PROVIDE FRAMELESS
SLIDING GLASS DOORS OR ENCLOSURE AROUND TUB OR SHOWER.
(34) ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUN OF
NOT LESS THAN 1 FOOT CANDLE (1 LUX)
(35) PROVIDE 15" CLEARANCE FROM FACE OF WALL TO CENTER LINE OF TOILET
AND 24" CLEARANCE IN FRONT OF TOILET PER PLUMBING CODE.
(36) MAJESTIC 60" NATURAL GAS METAL FIREPLACE W/ A FIRE VEIWIING AREA OF 42" X 36"
INSTALL PER MANUFACTURE'S INSTRUCTIONS. PROVIDE APPROVED GAS LOG ASSEMBLY
WITH ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL
(37) 3/8" OR 3/4" (OWNER) PREFINISHED HARDWOOD FLOORING. PROVIDE
PLYWOOD SUBFLOORING AT CONC. SLABS PER MFR.'S SPECS.
PROVIDE OPTIONAL BID FOR FINISHING FLOOR ON SITE

- (38) PROVIDE 4" DRYER EXHAUST DUCT TO THE OUTSIDE PER DETAIL
(39) PAINTED 3/4" A/C PLYWOOD SHELVES WITH WOOD TRIM AT EXPOSED EDGES.
SHELVES TO BE AT 16" O.C. VERTICALLY W/ CONT. 1X3 NAILERS BELOW
(40) SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL
CONTROL VALVES OF THE PRESSURE BALANCE/THERMOSTATIC MIXING
VALVE TYPE THAT PROVIDE SCALED AND THERMAL SHOCK PROTECTION
(41) TUFFLEX WATERPROOF SUNDECK COATING SYSTEM
PROVIDE 1 HOUR SEPERATION BTWN. HOUSE & GARAGE. ALL WALLS,
CEILINGS, & BEAMS TO BE COVERED W/ 5/8" TYPE 'X' GYPSUM BD.
AND TO COMPLY W/ CBC SECTIONS 406.1.4 & 715.4.3
(43) SOFFIT ABOVE AT +9'-0" FOR MECHANICAL DUCTS
(44) INDICATES RETURN AIR GRILL
(45) PROVIDE 18" HIGH PLATFORM FOR GAS APPLIANCES IN GARAGE
(46) 21" DEEP SPA STYLE JETTED TUB W/ SHOWER ENCLOSURE
(47) RECESSED WOODEN MAGAZINE RACK OR RECESSED SHELVES
(48) TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY
W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN
(49) PRE-FABRICATED METAL CABINET WORK BENCH STORGE SYSTEM W/
DRAWER & SHELF UNITS & PEG BOARD TOOL PANEL ABOVE
(50) PROVIDE 4K HD TV CONNECTIONS ABOVE FIREPLACE MANTLE
MIN. ATTIC ACCESS 30"X 30" WITH F.A.U. IN ATTIC OR
22"X 30" WITH NO MECHANICAL EQUIP. IN ATTIC.
PROVIDE MIN. 30" OF HEADROOM ABOVE OPENING
(52) PROVIDE PLYWD. PLATFORM AT FORCED AIR UNIT FROM ATTIC ACCESS
TO SERVICE SIDE OF F.A.U. PROVIDE GAS & ELECTRICAL CONNECTION.
PROVIDE SWITCH AND LIGHT TO ILLUMINATE SERVICE SIDE OF F.A.U.

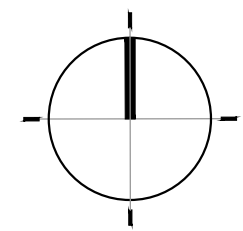
- (53) 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING)
(54) 1.5" X 1.5" STAINLESS STEEL TUBE GUARDRAIL. 42" IN HEIGHT.
PROVIDE 1.5" X 1.5" STEEL TUBE NEWEL POSTS AT 3' TO 4'
O.C. MAX. TOP RAIL TO BE 1.5" X 1.5" STEEL TUBE. PROVIDE
STAINLESS STEEL CABLES AT 4" O.C. HORIZONTALLY.
NEWEL POSTS TO PENETRATE DECKING OR TREAD AND BE
DOUBLE THRU- BOLTED TO TREAD. RIM JOIST OR BEAM BELOW
(USE SCLR - STEEL CABLE & RAILING OR EQUAL)
(55) BUILT-IN WOOD BOOKCASE TO +8'-0" OR TO SOFFIT
RECESSED NICHE W/ WOOD OR GRANITE SILL AT MIN. 32" ABOVE
FLOOR WITH EQUALLY SPACED WOOD SHELVES ABOVE TO +8'-0"
(57) INDICATES THICKENED WALL WITH CASED OPENING OR ARCHED OPENING
(58) INDICATES LINE OF SECOND FLOOR ABOVE
(59) RECESS PLYWOOD SUBFLOOR 2" FOR FLUSH FIREPLACE HEARTH PER DETAIL.
MAJESTIC 42" DESIGNER #SSTB11 SEE THRU WOOD BURNING METAL FIREPLACE.
INSTALL PER MANUFACTURE'S INSTRUCTIONS. PROVIDE APPROVED GAS LOG ASSEMBLY
WITH ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL.
RAISE METAL FIREPLACE UNIT 12" TO 18" ABOVE FINISH FLOOR
(61) 12"X12" GARAGE AIR VENTS WITHIN 12" OF FLOOR PER DETAIL
(62) CARPET AND PAD (STYLE BY OWNER)
(64) PROVIDE 5" CONCRETE DRIVEWAY W/ PEA GRAVEL BORDERS WHERE SHOWN.
PROVIDE TAN COLORED ROCK SALT FINISHED CONC. IN ALL MAIN DRIVEWAY AREAS.
(65) 3" WIDE X 6" HIGH IPE WOOD GATE TO MATCH SIDING
(66) OBSCURE GLASS WINDOWS W/ BOTTOM AT + 5' ABOVE FINISH FLOOR
(67) 4" DEEP X 3.5' HIGH X 20' LONG OVERHEAD STORAGE CABINETS SUSPENDED
FROM CEILING AT +7'-6 ± ABOVE GARAGE FLOOR

- (68) BUILT-IN CLOSET CABINET FOR COATS & SHOES ETC.
(69) BUILT-IN EUROPEAN STYLE PANTRY CABINET BY BULTHAUP OF LOS ANGELES OR SIMILAR
(70) PROVIDE BUILT-IN SHELVES AT 16" O.C. TO +8'-0"
(71) PUSH ACTIVATED MIRROR FACED DOOR AT UNDER STAIR CLOSET
(72) INDICATES LINE OF FIRST FLOOR BELOW
(73) INDICATES COMPOSITE WOOD DECK OUTDOOR PATIO (COLOR BY OWNER)
(74) INDICATES LINE OF ROOF CANOPY ABOVE
(75) INDICATES ANGLED ALUMINUM SUN SHADE CANOPY BELOW
(76) INDICATES GREEN ROOF PLANTER AREA AT ROOF BELOW
(77) INDICATES 30" X 30" ROOF ACCESS HATCH
(78) PROVIDE 16'-0" X 8'-0" OVERHEAD GARAGE DOOR WITH ALUMINUM FRAME AND
GLASS OR WOOD PANEL INSERTS. COLOR AND STYLE TO BE DETERMINED
(79) INDICATES NEW 6" ± HIGH STUCCO COVERED 6" CONC.
BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO
TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING
EXTERIOR COLOR OF BUILDING.
(80) INDICATES LANDSCAPING PLANTER
(81) PROVIDE PRE-WIRED JUNCTION BOX IN GARAGE FOR THE RECHARGING
OF ELECTRIC VEHICLES.



First Floor Plan

SCALE: 1/8" = 1'-0"



True North

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	SECOND FLOOR AREA	1204 SF
	TOTAL FLOOR AREA	2093 SF
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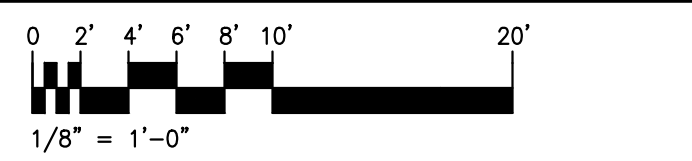
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SHEET TITLE:
FIRST FLOOR PLAN



DATE: 6-15-17	DRAWN: ROBB SIMONSON
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SHEET NO.	

A3

Floor Plan Key Notes:

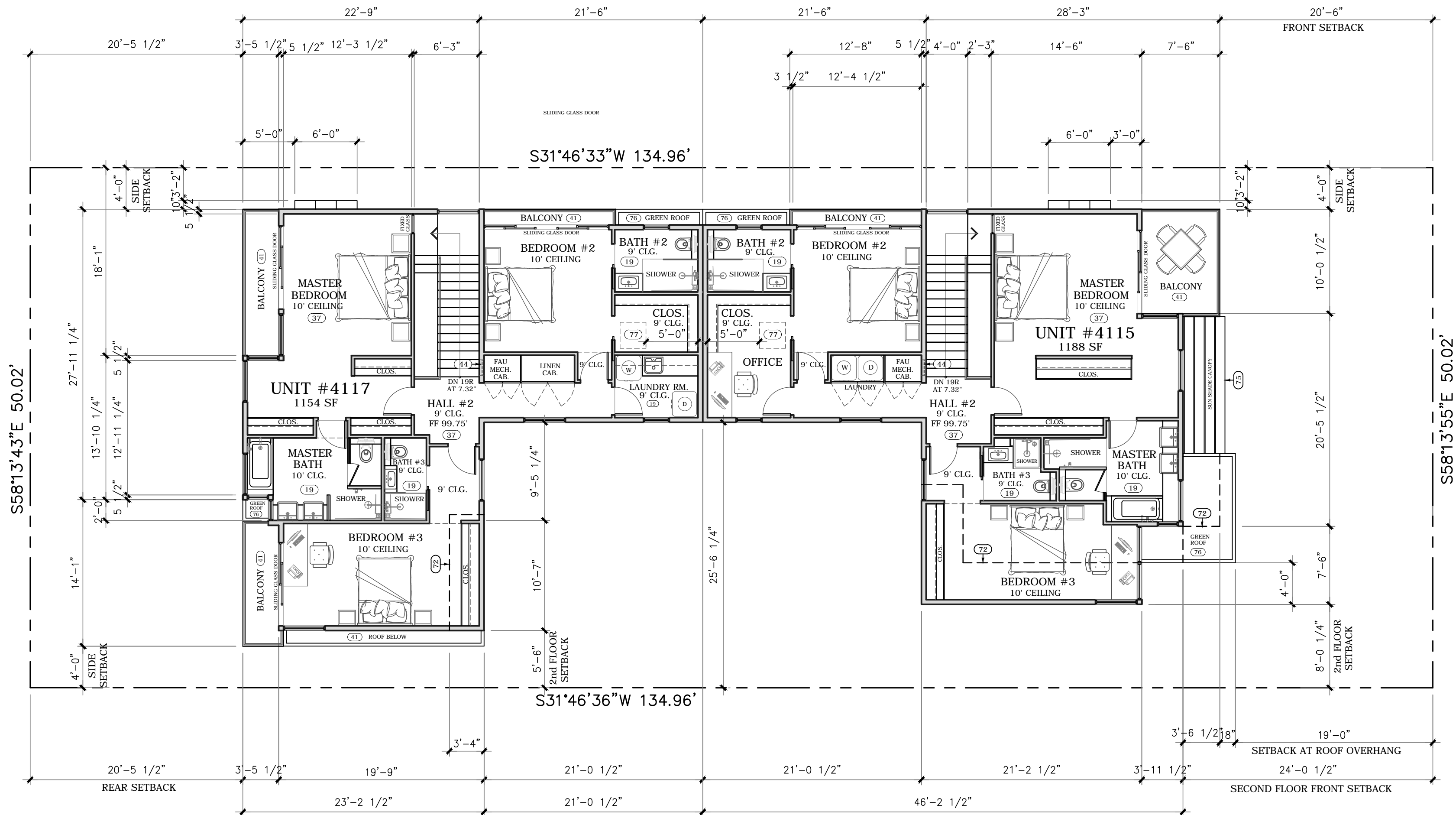
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41 SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALED AND THERMAL SHOCK PROTECTION
42 TUFFLEX WATERPROOF SUNDECK COATING SYSTEM
43 PROVIDE 1 HOUR SEPERATION BTWN. HOUSE & GARAGE. ALL WALLS, CEILINGS, & BEAMS TO BE COVERED W/ 5/8" TYPE 'X' GYPSUM BD. AND TO COMPLY W/ CBC SECTIONS 406.1.4 & 715.4.3
44 SOFFIT ABOVE AT +9'-0" FOR MECHANICAL DUCTS
45 INDICATES RETURN AIR GRILL
46 PROVIDE 18" HIGH PLATFORM FOR GAS APPLIANCES IN GARAGE
47 21" DEEP SPA STYLE JETTED TUB W/ SHOWER ENCLOSURE
48 RECESSED WOODEN MAGAZINE RACK OR RECESSED SHELVES
49 TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN
50 PRE-FABRICATED METAL CABINET WORK BENCH STORGE SYSTEM W/ DRAWER & SHELF UNITS & PEG BOARD TOOL PANEL ABOVE
51 PROVIDE 4K HD TV CONNECTIONS ABOVE FIREPLACE MANTLE
52 MIN. ATTIC ACCESS 30"X 30" WITH F.A.U. IN ATTIC OR 22"X 30" WITH NO MECHANICAL EQUIP. IN ATTIC. PROVIDE MIN. 30" OF HEADROOM ABOVE OPENING
53 PROVIDE PLYWD. PLATFORM AT FORCED AIR UNIT FROM ATTIC ACCESS TO SERVICE SIDE OF F.A.U. PROVIDE GAS & ELECTRICAL CONNECTION. PROVIDE SWITCH AND LIGHT TO ILLUMINATE SERVICE SIDE OF F.A.U.

- 54 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING)
55 1.5" X 1.5" STAINLESS STEEL TUBE GUARDRAIL, 42" IN HEIGHT. PROVIDE 1.5" X 1.5" STEEL TUBE NEWEL POSTS AT 3' TO 4' O.C. MAX. TOP RAIL TO BE 1.5" X 1.5" STEEL TUBE. PROVIDE STAINLESS STEEL CABLES AT 4" O.C. HORIZONTALLY. NEWEL POSTS TO PENETRATE DECKING OR TREAD AND BE DOUBLE THRU- BOLTED TO TREAD, RIM JOIST OR BEAM BELOW (USE SCAR - STEEL CABLE & RAILING OR EQUAL)
56 BUILT-IN WOOD BOOKCASE TO ±8'-0" OR TO SOFFIT
57 RECESSED NICHE W/ WOOD OR GRANITE SILL AT MIN. 32" ABOVE FLOOR WITH EQUALLY SPACED WOOD SHELVES ABOVE TO ±8'-0"
58 INDICATES THICKENED WALL WITH CASED OPENING OR ARCHED OPENING
59 INDICATES LINE OF SECOND FLOOR ABOVE
60 RECESS PLYWOOD SUBFLOOR 2" FOR FLUSH FIREPLACE HEARTH PER DETAIL.
61 MAJESTIC 42" DESIGNER #SSTB11 SEE THRU WOOD BURNING METAL FIREPLACE. INSTALL PER MANUFACTURE'S INSTRUCTIONS. PROVIDE APPROVED GAS LOG ASSEMBLY WITH ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL.
62 RAISE METAL FIREPLACE UNIT 12" TO 18" ABOVE FINISH FLOOR
63 12"X12" GARAGE AIR VENTS WITHIN 12" OF FLOOR PER DETAIL.
64 CARPET AND PAD (STYLE BY OWNER)
65 PROVIDE 5" CONCRETE DRIVEWAY W/ GRASS OR PEA GRAVEL BORDERS WHERE SHOWN. PROVIDE TAN COLORED ROCK SALT FINISHED CONC. IN ALL MAIN DRIVEWAY AREAS.
66 3' WIDE X 6' HIGH IPE WOOD GATE TO MATCH SIDING
67 OBSCURE GLASS WINDOWS W/ BOTTOM AT + 5' ABOVE FINISH FLOOR
68 4' DEEP X 3.5' HIGH X 20' LONG OVERHEAD STORAGE CABINETS SUSPENDED FROM CEILING AT +7'-6 ± ABOVE GARAGE FLOOR

- 69 BUILT-IN CLOSET CABINET FOR COATS & SHOES ETC.
70 BUILT-IN EUROPEAN STYLE PANTRY CABINET BY BULTHAUP OF LOS ANGELES OR SIMILAR
71 PROVIDE BUILT-IN SHELVES AT 16" O.C. TO ±8'-0"
72 PUSH ACTIVATED MIRROR FACED DOOR AT UNDER STAIR CLOSET
73 INDICATES LINE OF FIRST FLOOR BELOW
74 INDICATES COMPOSITE WOOD DECK OUTDOOR PATIO (COLOR BY OWNER)
75 INDICATES LINE OF ROOF CANOPY ABOVE
76 INDICATES ANGLED ALUMINUM SUN SHADE CANOPY BELOW
77 INDICATES GREEN ROOF PLANTER AREA AT ROOF BELOW
78 INDICATES 30" X 30" ROOF ACCESS HATCH
79 PROVIDE 16'-0" X 8'-0" OVERHEAD GARAGE DOOR WITH ALUMINUM FRAME AND GLASS OR WOOD PANEL INSERTS. COLOR AND STYLE TO BE DETERMINED
80 INDICATES NEW 6" ± HIGH STUCCO COVERED 6" CONC. BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING EXTERIOR COLOR OF BUILDING.
81 INDICATES LANDSCAPING PLANTER

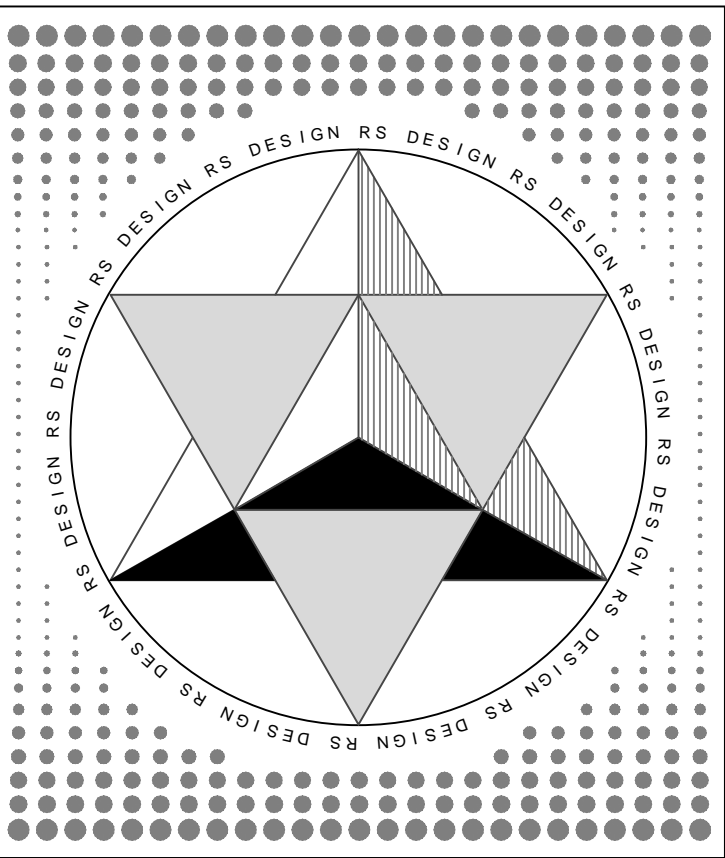
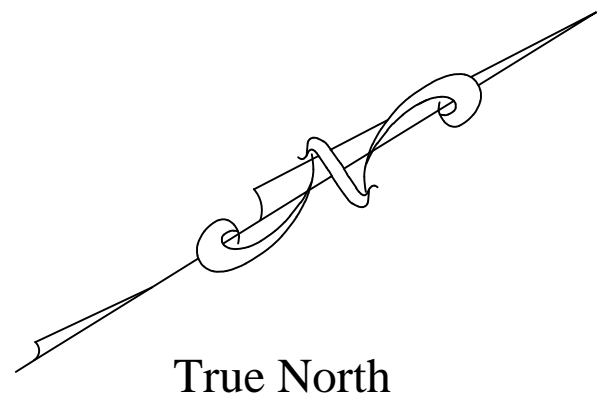
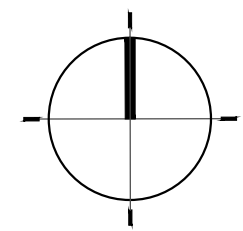


UNIT #4115	FIRST FLOOR AREA	889 SF
	SECOND FLOOR AREA	1204 SF
	TOTAL FLOOR AREA	2093 SF
	GARAGE AREA	431 SF

UNIT #4117	FIRST FLOOR AREA	938 SF
	SECOND FLOOR AREA	1168 SF
	TOTAL FLOOR AREA	2106 SF
	GARAGE AREA	431 SF

BOTH UNITS	TOTAL FLOOR AREA	4199 SF
------------	------------------	---------

Second Floor Plan SCALE: 1/8" = 1'-0"



RSDesign

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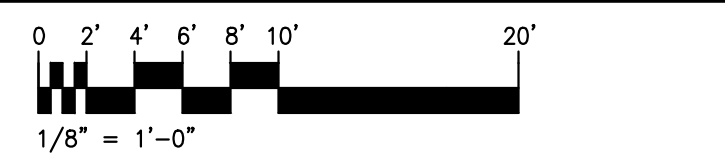
Key Notes:

ISSUE:	DATE:	DESCRIPTION:
1		

PROJECT TITLE:
2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232

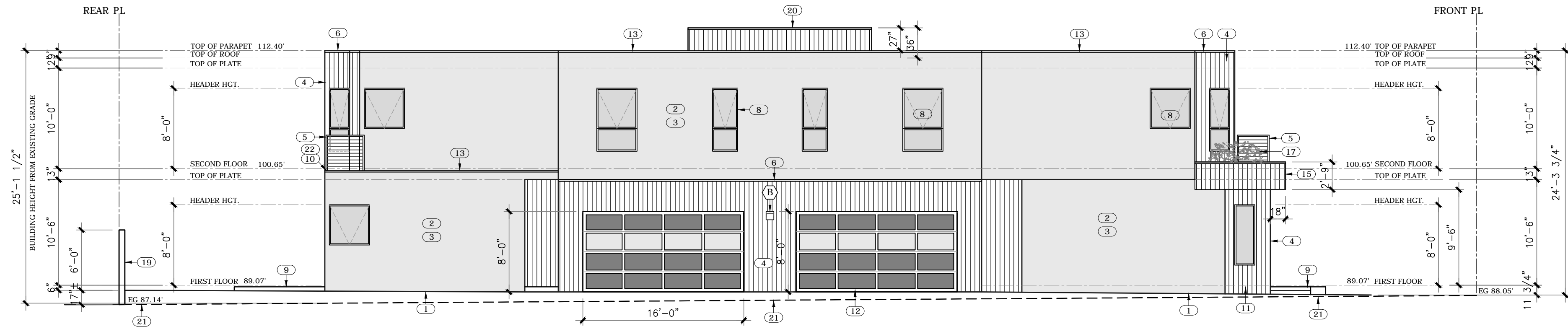
OWNER:
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CULVER CITY, CA 90232
424-385-5355

SHEET TITLE:
SECOND FLOOR PLAN

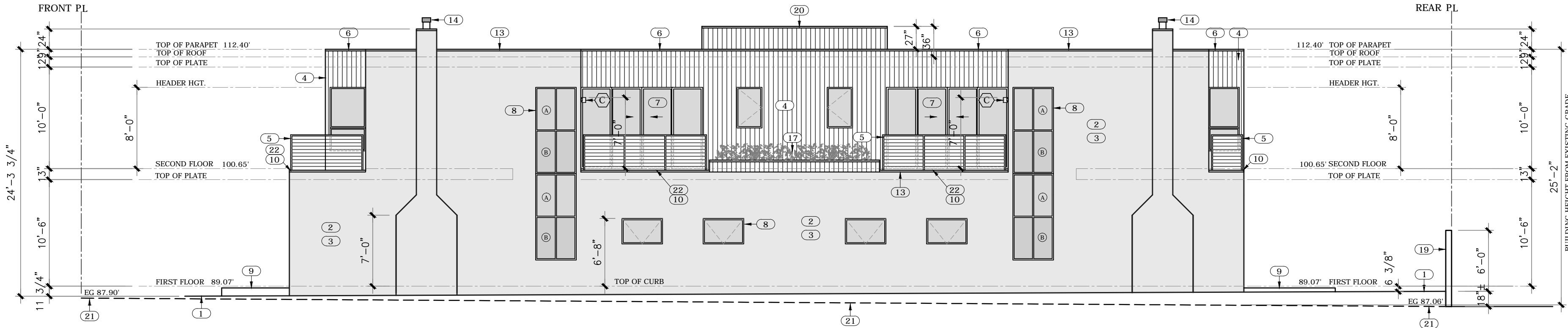


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SHEET NO.	

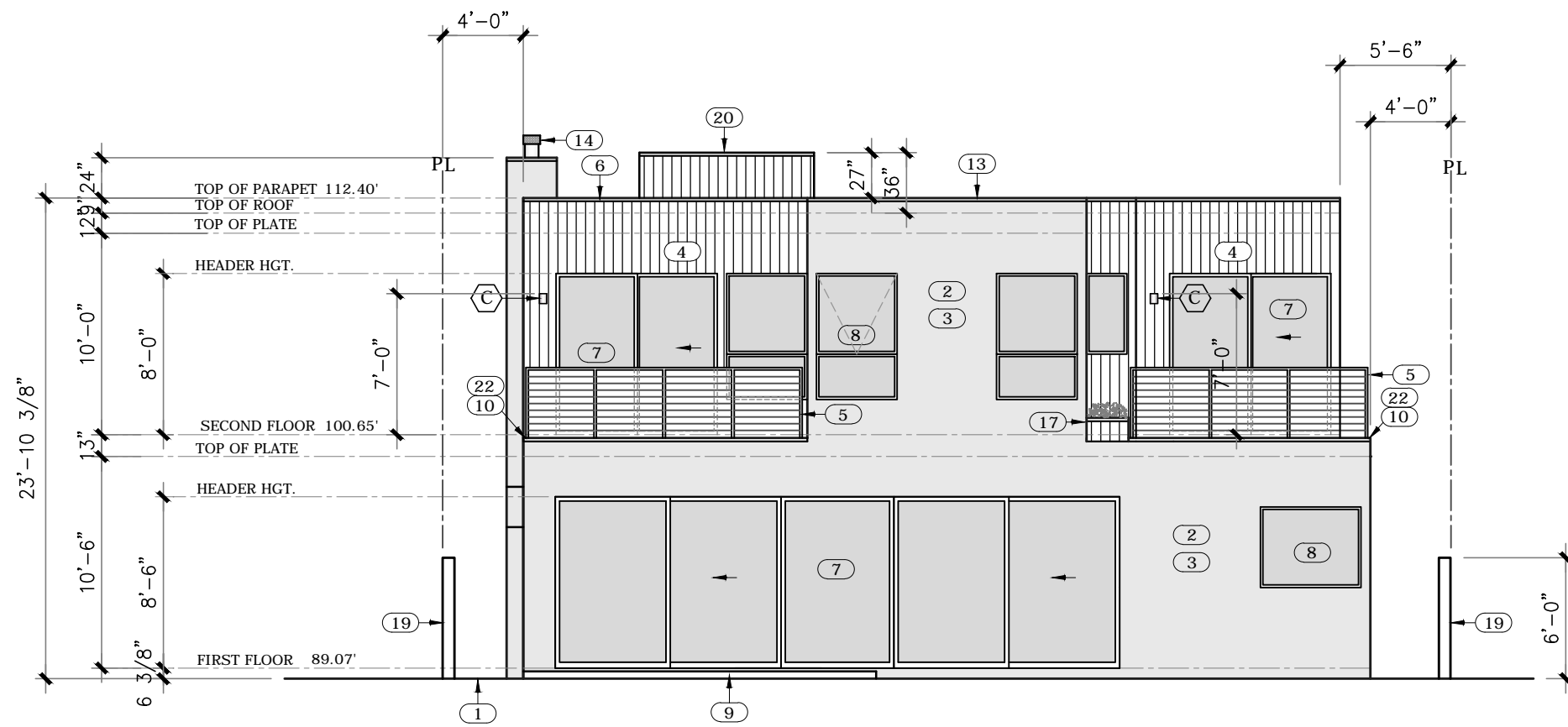
A4



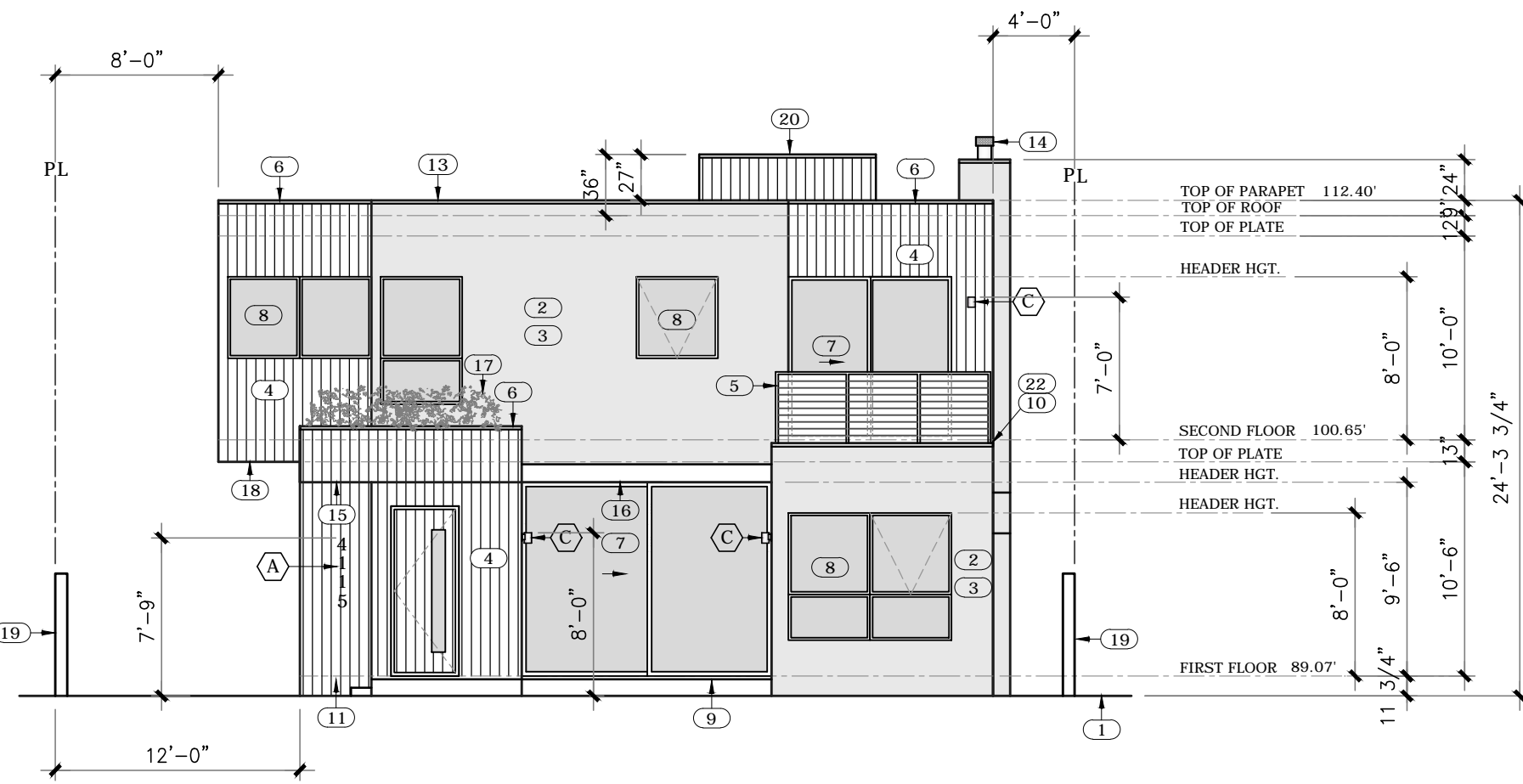
South Elevation SCALE: 1/8" = 1'-0"



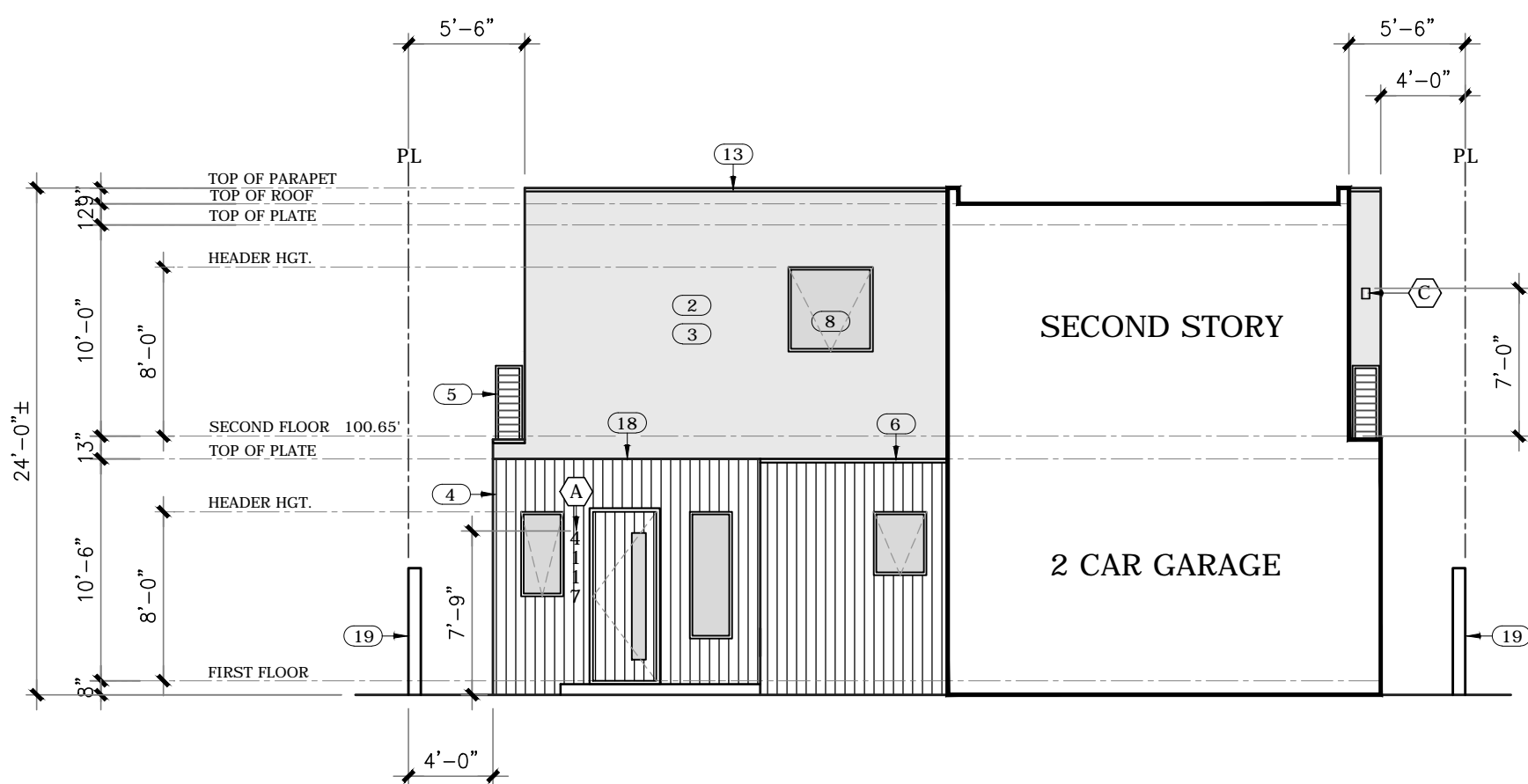
North Elevation SCALE: 1/8" = 1'-0"



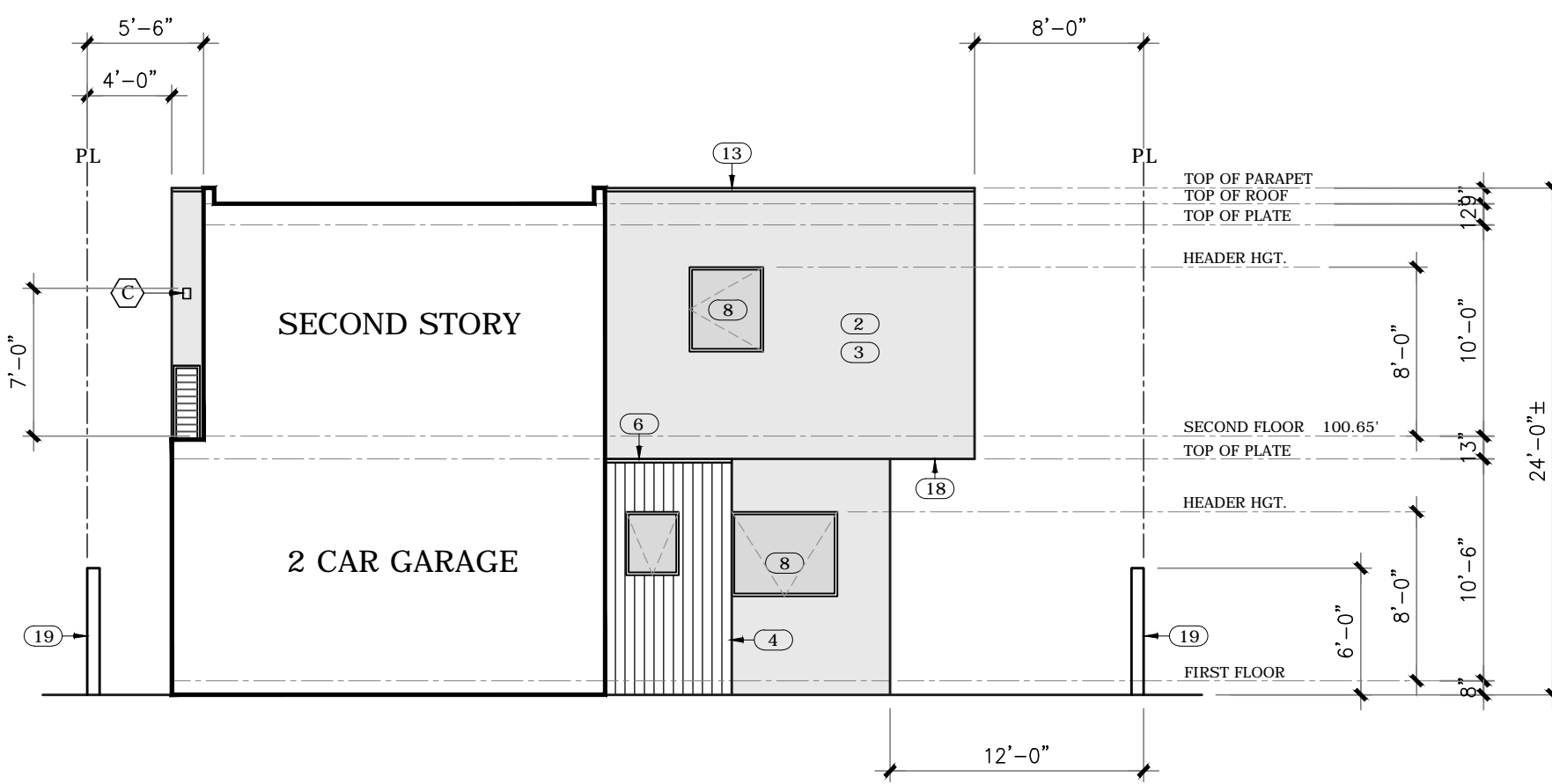
West Elevation SCALE: 1/8" = 1'-0"



East Elevation SCALE: 1/8" = 1'-0"



4117 East Elevation SCALE: 1/8" = 1'-0"



4115 West Elevation SCALE: 1/8" = 1'-0"

Elevation Key Notes:

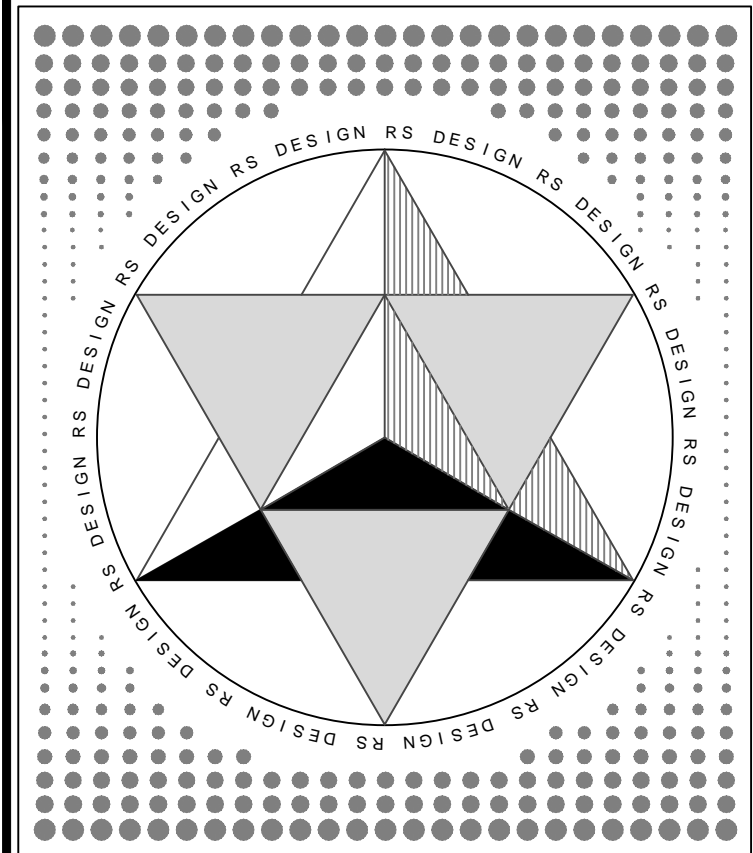
- INDICATES LINE OF PROPOSED EXTERIOR FINISHED GRADE
- 7/8" STUCCO OVER WIRE LATH OVER 2 LAYERS
TYPE 'D' BUILDING PAPER OVER 1/2" CDX PLYWOOD
OVER 2X FRAMING PER PLAN (TYP.)
- EXTERIOR STUCCO TO HAVE SMOOTH STEEL TROWEL
FINISH. PROVIDE A STO FLEX OR STO REND FLEX
ELASTOMERIC OR EQUAL. PROTECTIVE FINISH FOR
WATERPROOFING AND CRACK PREVENTION
(COLOR TO BE DETERMINED)
- GARAPA 1X6 HARDWOOD VERT. SHIPLAP SIDING 100%
NATURAL. MAINTENANCE FREE. HAS A MINIMUM LIFE
SPAN OF 75 YEARS. IT HAS NO CHEMICALLY PROVIDED
ADDITIVES AND EASILY RESISTS TERMITES, MOLD &
WOOD ROT.
- 1.5" X 1.5" STAINLESS STEEL TUBE GUARDRAIL, 42" IN
HEIGHT. PROVIDE 1.5" X 1.5" STEEL TUBE NEWEL POSTS
AT 3" TO 4" O.C. MAX. TOP RAIL TO BE 1.5" X 1.5" STEEL
TUBE. PROVIDE 3/16" STAINLESS STEEL CABLES AT
4" O.C. HORIZONTALLY. NEWEL POSTS TO PENETRATE
DECKING OR TREAD AND BE DOUBLE THRU- BOLTED TO
TREAD, RIM JOIST OR BEAM BELOW.
(USE SC&R - STEEL CABLE & RAILING OR EQUAL)
- BRONZE ANODIZED ALUMINUM DRIP-EDGE CAP
FLASHINGS AT SHIPLAP SIDING PARAPET.
- WESTERN WINDOW SYSTEMS ALUMINUM & GLASS
DOORS PER PLAN
- WESTERN WINDOW SYSTEMS ALUMINUM & GLASS
WINDOWS PER PLAN
- 5/4 X 6 GARAPA WOOD DECKING ON 2X6 JOIST AT 16" O.C.
OVER 1ST. FLOOR SLAB ON GRADE
- VERSA DECK OR TUFFLEX WATERPROOF SUNDECK
COATING SYSTEM PER 3/A10
- INDICATES CONCRETE STEP OR LANDING
- OVERHEAD GARAGE DOOR WITH ALUMINUM FRAME AND
GLASS OR WOOD PANEL INSERTS. COLOR AND STYLE
TO BE DETERMINED
- PROVIDE PAINTED ALUMINUM DRIP-EDGE CAP
FLASHINGS AT STUCCO COVERED PARAPET
- DIRECT VENT GAS FIREPLACE CHIMNEY
- INDICATES ROOF CANOPY ABOVE
- INDICATES ANGLED ALUMINUM SUN SHADE CANOPY TO BE
DESIGNED BY OWNER & METAL FABRICATION SHOP
- INDICATES GREEN ROOF PLANTER AREA ON TOP OF
FIRST FLOOR FLAT ROOF
- INDICATES SECOND FLOOR BUILDING CANTILEVER ABV.
- INDICATES NEW 6" ± HIGH STUCCO COVERED 6" CONC.
BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO
TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING
EXTERIOR COLOR OF BUILDING.
- GARAPA 1X6 HARDWOOD VERTICAL SHIPLAP SIDING AT
EXTERIOR SIDE OF 3' HIGH WOOD FRAME FENCE FOR THE
SCREENING OF MECHANICAL EQUIPMENT. PROVIDE 4"
SPACE BETWEEN ROOF AND BOTTOM OF FENCE.
- INDICATES LINE OF EXISTING EXTERIOR GRADE
- 5/4 X 6 STANDARD GARAPA WOOD DECK OVER
2X SLEEPERS SITTING ON TOP OF A WATERPROOF
VERSA DECK COATING AT 2nd FLOOR BALCONIES

WINDOW GLAZING KEY

- (A) INDICATES TINTED AZULRITE GLASS
(B) INDICATES TINTED EVERGREEN GLASS

EXTERIOR LIGHTING KEY

- (A) 5" LED ALUMINUM HOUSE NUMBERS
(B) BOX LED RECESSED STEP LIGHT - SURFACE MOUNTED
10" H x 9.3" W x 2" D
(C) BRUSHED NICKEL OUTDOOR LED SCONCE
5.875" H x 4.375" W x 4.75" D



RSDesign

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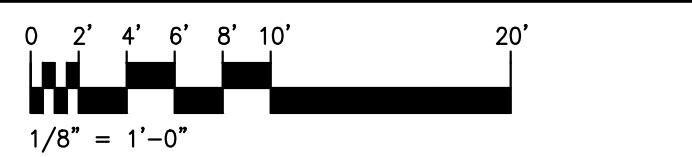
Key Notes:

ISSUE:	DATE:	DESCRIPTION:
1		

PROJECT TITLE:
**2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232**

OWNER:
**NICOLE NGUYEN &
VADIM BENYATOV
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232
424-385-5355**

SHEET TITLE:
EXTERIOR ELEVATIONS



DATE: 6-20-17	DRAWN: ROBB SIMONSON
PROJECT NO.	CHECKED:
SHEET NO.	

A5

ROOF PLAN GENERAL NOTES

1. ROOF DRAINAGE: See Chapter 15 Roof Drainage. Minimum allowable roof slope shall be 1/4" to 1'-0" or 2% slope per Current CBC sec. 1507.10.1.

2. UNDERLAYMENT, FLASHING, ROOFING AND OTHER ROOF ELEMENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND IN COMPLIANCE WITH ALL LOCAL CODES. REFER TO ALL APPROPRIATE DETAILS AND SPECS.

3. SHEET METAL: PROVIDE MINIMUM 26 GAUGE GALVANIZED IRON FLASHING AT ALL ROOF BREAKS. TYPICAL U.N.O. ALL SCUPPERS, SCUPPERS, VENTS, FLASHINGS AND COUNTERFLASHING, VALLEY FLASHING AND ALL FASTENERS SHALL BE GALVANIZED IRON.

4. CRICKETS: ROOF CRICKETS SHALL BE PROVIDED AS PER PLAN AND WHERE REQUIRED TO PROPERLY DIVERT THE ROOF WATER TO DRAINAGE AREAS. CRICKETS SHALL BE SLOPED 1/2 INCH PER FOOT MINIMUM AND SHALL BE CONSTRUCTED WITH 5/8" (32/16) CDX PLYWOOD SHEATHING WITH ALL NECESSARY SUPPORTS AND BLOCKING INDICATED ON THE PLANS OR OTHERWISE REQUIRED.

5. INSPECTIONS: ROOF DIAPHRAGM NAILING TO BE INSPECTED PRIOR TO COVERING. CONTRACTOR TO VERIFY ROOF CONSTRUCTION COMPLIES WITH PITCH PER PLAN, AND THAT FLOW LINES, SHEET METAL FLASHING, AND RELATED DRAINAGE DEVICES ARE IN PLACE TO PROVIDE PROPER FLOW AND CONTROL OF WATER DRAINAGE.
6. ALL ROOF WATER SHALL BE CONDUCTED TO THE STREET USING A NON-EROSIVE DEVICE WHEN REQUIRED.

7. ALL ROOF WATER AT FLAT ROOFS SHALL BE COLLECTED VIA ROOF DRAINS AND CONDUCTED TO INTERNAL DOWNSPOUTS OR W/ SEPERATE 2" OVERFLOW WHICH DISCHARGE TO PVC DRAIN PIPES. SIZES PER PLAN ARE RECOMMENDED MINIMUMS ONLY AND ARE TO BE SIZED BY ENGINEER OR BY CONTRACTOR. ROOF DRAINAGE PIPES TO EXTEND DOWN TO EDGE OF PATIO / WALKWAYS PER DETAIL 3/A25. ALL ROOF DRAINAGE TO COMPLY W/ [IBC CHAPTER 15]

8. ROOF PENETRATIONS: EXHAUST FLUES, PLUMBING VENT STACKS, WATER HEATER FLUES AND THE LIKE SHALL NOT PENETRATE ROOF AREAS WHICH ARE VISABLE FROM THE THE STREET, UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. PENETRATIONS TO BE HELD BACK 3 FEET MINIMUM FROM RIDGE AND SHALL BE BELOW RIDGE. PENETRATIONS SHALL BE HELD 3 FEET MINIMUM FROM EXTERIOR WALLS AT EAVE CONDITIONS. PROVIDE OFFSET IN ATTIC AS NECESSARY AND WHERE EVER POSSIBLE SHALL PENETRATE FLAT ROOF AREAS ONLY (TYPICAL)

9. VERSA-DECK PLUS WATERPROOF DECK COATING - ICC ES ER #6036 COLORED SEALER ACRYLIC TOPCOAT OVER ACRYLIC TEXTURED BASECOAT LAYER OVER FIBERGLASS LAYER W/ LAMINATING RESIN OVER METAL LATH POLYMER CEMENT LAYER OVER 1.75 LB. GALVANIZED EXPANDED METAL LATH STAPLED TO PLYWOOD DECK SHEATHING WITH CORROSION RESISTANT STAPLES.

ROOF PLAN LEGEND:

FLAT ROOFS
1/4":12 MINIMUM ROOF PITCH

90# ASPHALT ROLLED ROOFING OVER 30 YEAR MINIMUM 3-PLY BUILT-UP ROOFING SYSTEM OR PROVIDE AN APPROVED SINGLE PLY WATERPROOF ROOFING MEMBRANE (CLASS 'A' OR 'B' ROOF IS REQ'D.) (INSTALL PER MANUFACTURERS SPECIFICATIONS) PROVIDE BIDS ON BOTH TYPES OF ROOFING

Key Notes:

- 1

90# ASPHALT ROLLED ROOFING OVER MINIMUM 3-PLY BUILT-UP ROOFING SYSTEM OR AN APPROVED SINGLE PLY WATERPROOF ROOFING MEMBRANE (CLASS 'A' OR 'B' ROOF IS REQ'D.)

BUILT-UP ROOFING SHALL COMPLY WITH THE PROVISIONS OF SECTION 1507.10 OF THE I.B.C. (30 YEAR MINIMUM WARRANTY ON BUILT-UP ROOFING) (INSTALL PER MANUFACTURERS SPECIFICATIONS)
- 2

INDICATES ROOF CRICKET (TYPICAL) SEE ROOF PLAN NOTE #4
- 3

3" DIA. PVC ROOF DRAIN PIPES IN JOIST BAYS BELOW THAT EXTEND TO VERTICAL DRAIN PIPES IN EXTERIOR WALLS THAT THEN TRANSITION INTO UNDERGROUND DRAINPIPES THAT EXTEND THE STREET AND TERMINATE AT THE FACE OF THE CONCRETE CURB.
- 4

VENT PIPE / DUCT PENETRATION AT ROOF
- 5

ROOF DRAIN AND OVERFLOW DRAIN (SEE DETAILS) SHALL BE INSTALLED IN ACCORDANCE WITH CBC CHAPTER 15
- 6

PROVIDE PAINTED ALUMINUM DRIP-EDGE CAP FLASHINGS AT STUCCO COVERED PARAPET
- 7

INDICATES TYPICAL DIRECTION OF ROOF SLOPE WITH A MINIMUM ROOF SLOPE OF 1/4:12
- 8

SPLASH PAN OR SPLASH BLOCK AT LOWER ROOF TO RECEIVE WATER RUN-OFF FROM DOWNSPOUTS
- 9

VERSA-DECK PLUS WATERPROOF DECK COATING - ICC ES ER #6036 COLORED SEALER ACRYLIC TOPCOAT OVER ACRYLIC TEXTURED BASECOAT LAYER OVER FIBERGLASS LAYER W/ LAMINATING RESIN OVER METAL LATH POLYMER CEMENT LAYER OVER 1.75 LB. GALVANIZED EXPANDED METAL LATH STAPLED TO PLYWOOD DECK SHEATHING WITH CORROSION RESISTANT STAPLES.
- 10

INDICATES LOCATION OF WALLS BELOW
- 11

TUFFLEX WATERPROOF SUNDECK COATING SYSTEM
- 12

INDICATES 5" W X 3" H 24 GA. G.I. ROOF SCUPPER ASSEMBLY THROUGH PARAPET WALL
- 13

DIRECT VENT GAS FIREPLACE CHIMNEY
- 14

INDICATES ANGLED ALUMINUM SUN SHADE CANOPY
- 15

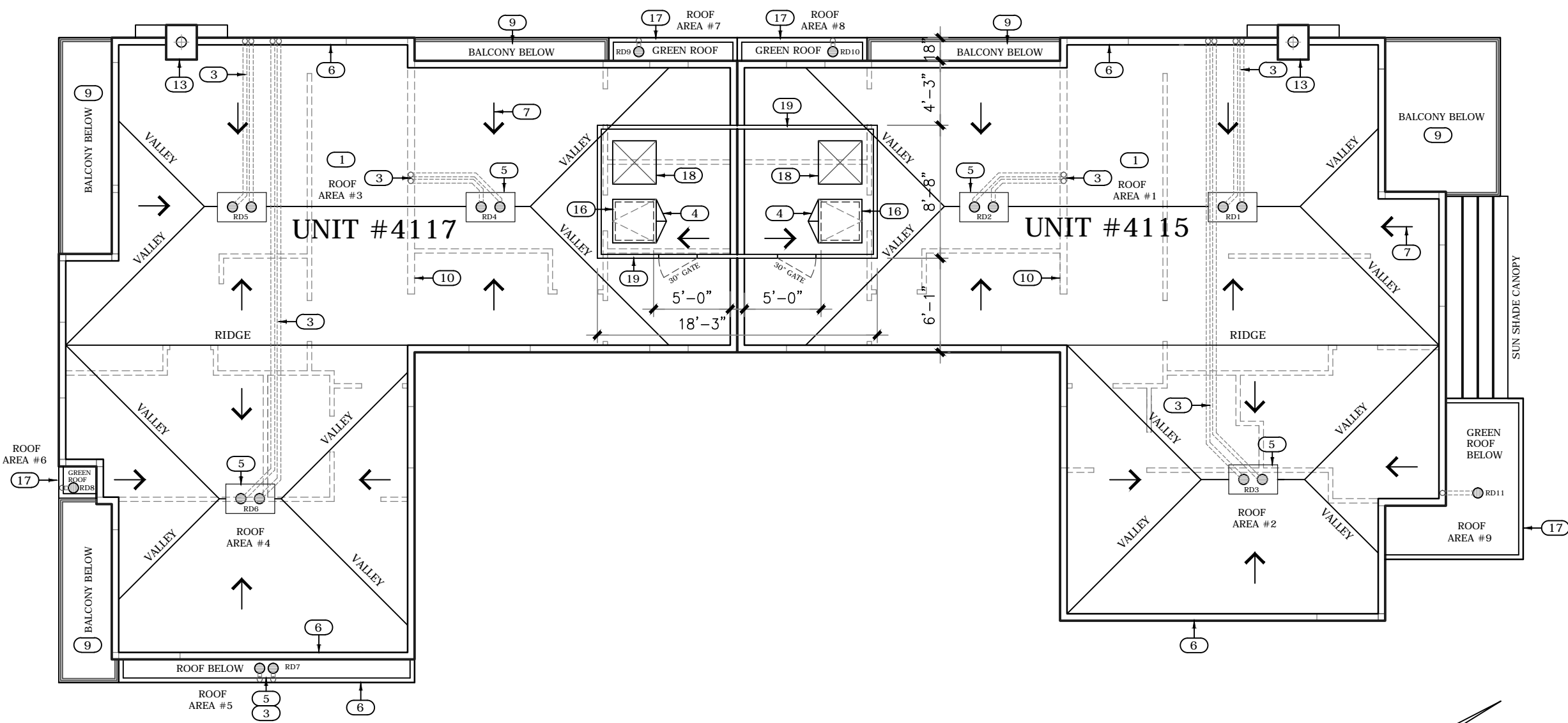
INDICATES GREEN ROOF PLANTER AREA ON TOP OF FIRST FLOOR FLAT ROOF
- 16

ELMDOR ROOF ACCESS HATCH ACCESS DOORS: RAH SERIES RAH ROOF ACCESS HATCH MODEL: E-30" X 30" -RAH-W
- 17

BRONZE ANODIZED ALUMINUM DRIP-EDGE CAP FLASHINGS AT SHIPLAP SIDING PARAPET.
- 18

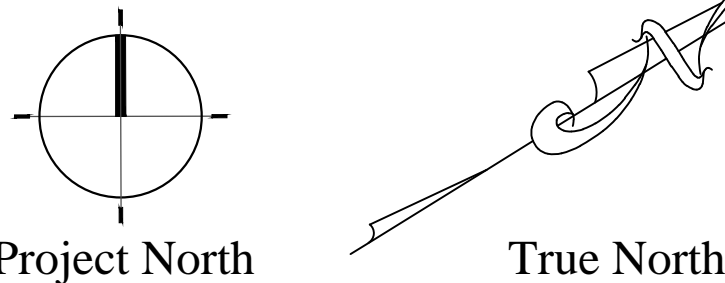
CURB MOUNTED CENTRAL A/C UNITS DAVE LENNOX COLLECTION OR EQUAL UNITS TO BE SIZED BY MECH. CONTRACTOR
- 19

IPE 1X6 HARDWOOD VERTICAL SHIPLAP SIDING AT 3" HIGH WOOD FRAME SCREENING FENCE FOR MECHANICAL EQUIPMENT. PROVIDE 4" SPACE BETWEEN ROOF AND BOTTOM OF FENCE.



Roof Plan

SCALE: 1/8" = 1'-0"



"ROOF RENDERING - FOR REFERENCE ONLY"

ROOF DRAINAGE AREAS

ROOF DRAIN NO.	ROOF AREA NO.	ROOF SQ. FT.
RD1 & RD2	ROOF AREA #1	865 S.F.
RD3	ROOF AREA #2	422 S.F.
RD4 & RD5	ROOF AREA #3	816 S.F.
RD6	ROOF AREA #4	434 S.F.
RD7	ROOF AREA #5	29 S.F.
RD8	ROOF AREA #6	5 S.F.
RD9	ROOF AREA #7	13 S.F.
RD10	ROOF AREA #8	13 S.F.
RD11	ROOF AREA #9	67 S.F.

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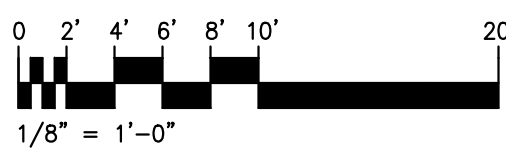
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SHEET TITLE:

ROOF PLAN



DATE: 6-15-17

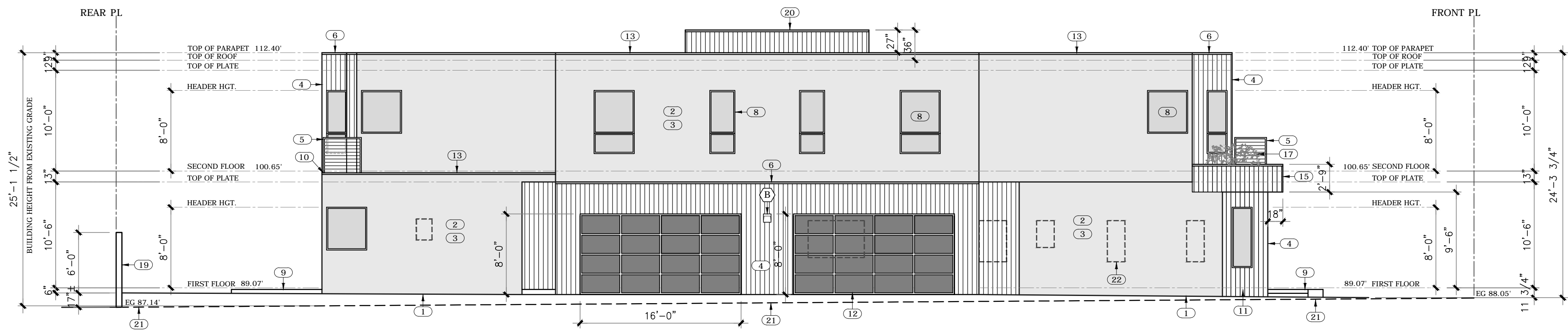
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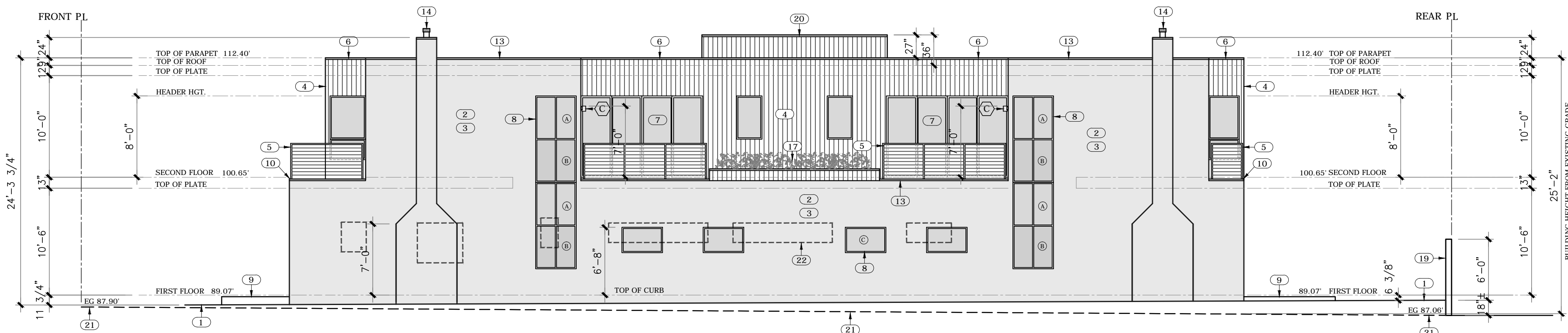
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SHEET NO.

A6



North Elevation Showing Neighbor's Windows SCALE: 1/8" = 1'-0"



South Elevation Showing Neighbor's Windows SCALE: 1/8" = 1'-0"



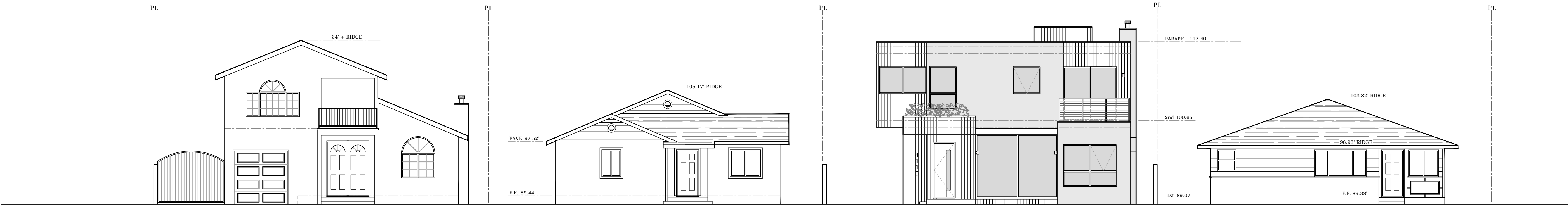
Northwest Street View Rendering



Southeast Street View Rendering



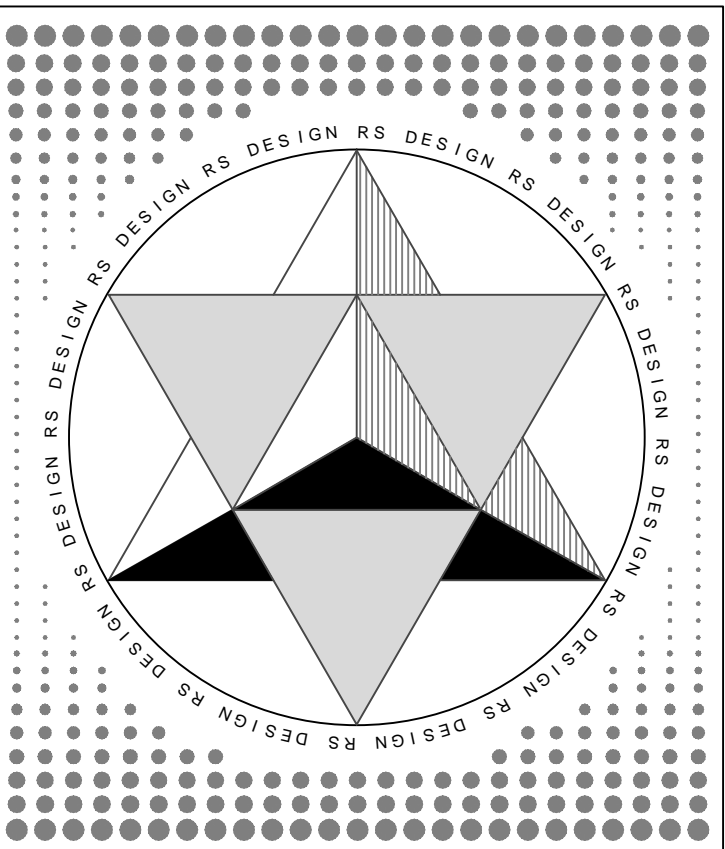
Overhead View



Street Elevation SCALE: 1/8" = 1'-0"

Elevation Key Notes:

- INDICATES PROPOSED EXTERIOR FINISHED GRADE
- 7/8" STUCCO OVER WIRE LATH OVER 2 LAYERS TYPE 'D' BUILDING PAPER OVER 1/2" CDX PLYWOOD OVER 2X FRAMING PER PLAN (TYP.)
- EXTERIOR STUCCO TO HAVE SMOOTH STEEL TROWEL FINISH. PROVIDE A STO FLEX OR STO REND FLEX ELASTOMERIC OR EQUAL. PROTECTIVE FINISH FOR WATERPROOFING AND CRACK PREVENTION (COLOR TO BE DETERMINED)
- 1PE 1X6 HARDWOOD VERT. SHIPLAP SIDING THAT IS 100% NATURAL. MAINTENANCE FREE. HAS A MINIMUM LIFE SPAN OF 75 YEARS. IT HAS NO CHEMICALLY PROVIDED ADDITIVES AND EASILY RESISTS TERMITES, MOLD & WOOD ROT.
- 1.5" X 1.5" STAINLESS STEEL TUBE GUARDRAIL, 42" IN HEIGHT. PROVIDE 1.5" X 1.5" STEEL TUBE NEWEL POSTS AT 3' TO 4' O.C. MAX. TOP RAIL TO BE 1.5" X 1.5" STEEL TUBE. PROVIDE 3/16" STAINLESS STEEL CABLES AT 4" O.C. HORIZONTALLY. NEWEL POSTS TO PENETRATE DECKING OR TREAD AND BE DOUBLE THRU- BOLTED TO TREAD. RIM JOIST OR BEAM BELOW. (USE SC&R - STEEL CABLE & RAILING OR EQUAL)
- BRONZE ANODIZED ALUMINUM DRIP-EDGE CAP FLASHINGS AT SHIPLAP SIDING PARAPET.
- WESTERN WINDOW SYSTEMS ALUMINUM & GLASS DOORS PER PLAN
- WESTERN WINDOW SYSTEMS ALUMINUM & GLASS WINDOWS PER PLAN
- INDICATES 1PE HARDWOOD OR COMPOSITE WOOD OUTDOOR PATIO DECK ON GRADE (STYLE BY OWNER)
- TUFFLEX WATERPROOF SUNDECK COATING SYSTEM
- INDICATES CONCRETE STEP OR LANDING
- OVERHEAD GARAGE DOOR WITH ALUMINUM FRAME AND GLASS OR WOOD PANEL INSERTS. COLOR AND STYLE TO BE DETERMINED
- PROVIDE PAINTED ALUMINUM DRIP-EDGE CAP FLASHINGS AT STUCCO COVERED PARAPET
- DIRECT VENT GAS FIREPLACE CHIMNEY
- INDICATES ROOF CANOPY ABOVE
- INDICATES ANGLED ALUMINUM SUN SHADE CANOPY
- INDICATES GREEN ROOF PLANTER AREA ON TOP OF FIRST FLOOR FLAT ROOF
- INDICATES SECOND FLOOR BUILDING CANTILEVER ABV.
- INDICATES NEW 6" ± HIGH STUCCO COVERED 6" CONC. BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING EXTERIOR COLOR OF BUILDING.
- 1PE 1X6 HARDWOOD VERTICAL SHIPLAP SIDING AT EXTERIOR SIDE OF 3' HIGH WOOD FRAME FENCE FOR THE SCREENING OF MECHANICAL EQUIPMENT. PROVIDE 4" SPACE BETWEEN ROOF AND BOTTOM OF FENCE.
- INDICATES LINE OF EXISTING EXTERIOR GRADE
- HEAVY DASHED LINES INDICATING ADJACENT PROPERTY WINDOW LOCATIONS AND HOW THEY ALIGN WITH THE WINDOWS ON THE PROPOSED NEW 2 UNIT STRUCTURE.



RSDesign

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Elevation Key Notes:

WINDOW GLAZING KEY

- INDICATES TINTED GLASS GLAZING
- INDICATES SOLAR REFLECTIVE GLAZING
- INDICATES STANDARD CLEAR DUAL GLAZING

EXTERIOR LIGHTING KEY

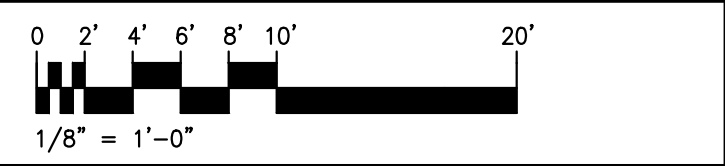
- 5" LED ALUMINUM HOUSE NUMBERS
- BOX LED RECESSED STEP LIGHT - SURFACE MOUNTED 10" H x 9.3" W x 2" D
- BRUSHED NICKEL OUTDOOR LED SCONCE 5.875" H x 4.375" W x 4.75" D

ISSUE:	DATE:	DESCRIPTION:
1		

PROJECT TITLE:
**2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232**

OWNER:
**NICOLE NGUYEN &
VADIM BENYATOV
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232
424-385-5355**

SHEET TITLE:
**STREET ELEVATIONS
ADJACENT WINDOW ELEVS.
& STREET RENDERINGS**



DATE: 6-20-17	DRAWN: ROBB SIMONSON
PROJECT NO.	CHECKED:
SHEET NO.	

A7



West Rendering



East Rendering



South / East Rendering



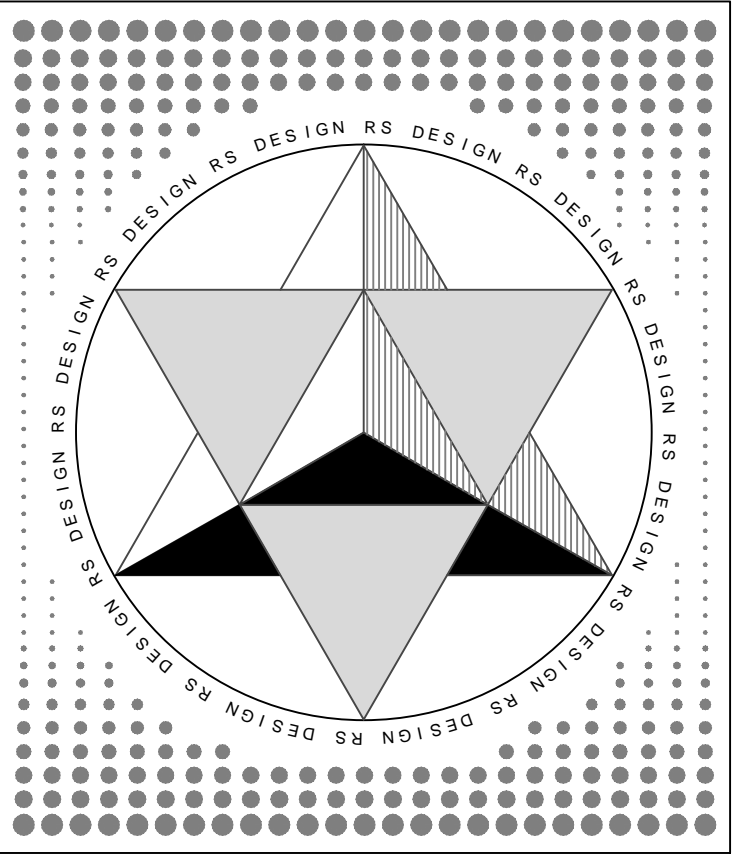
South / West Rendering



North / East Rendering



North / West Rendering



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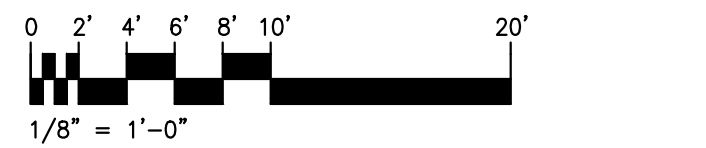
Key Notes:

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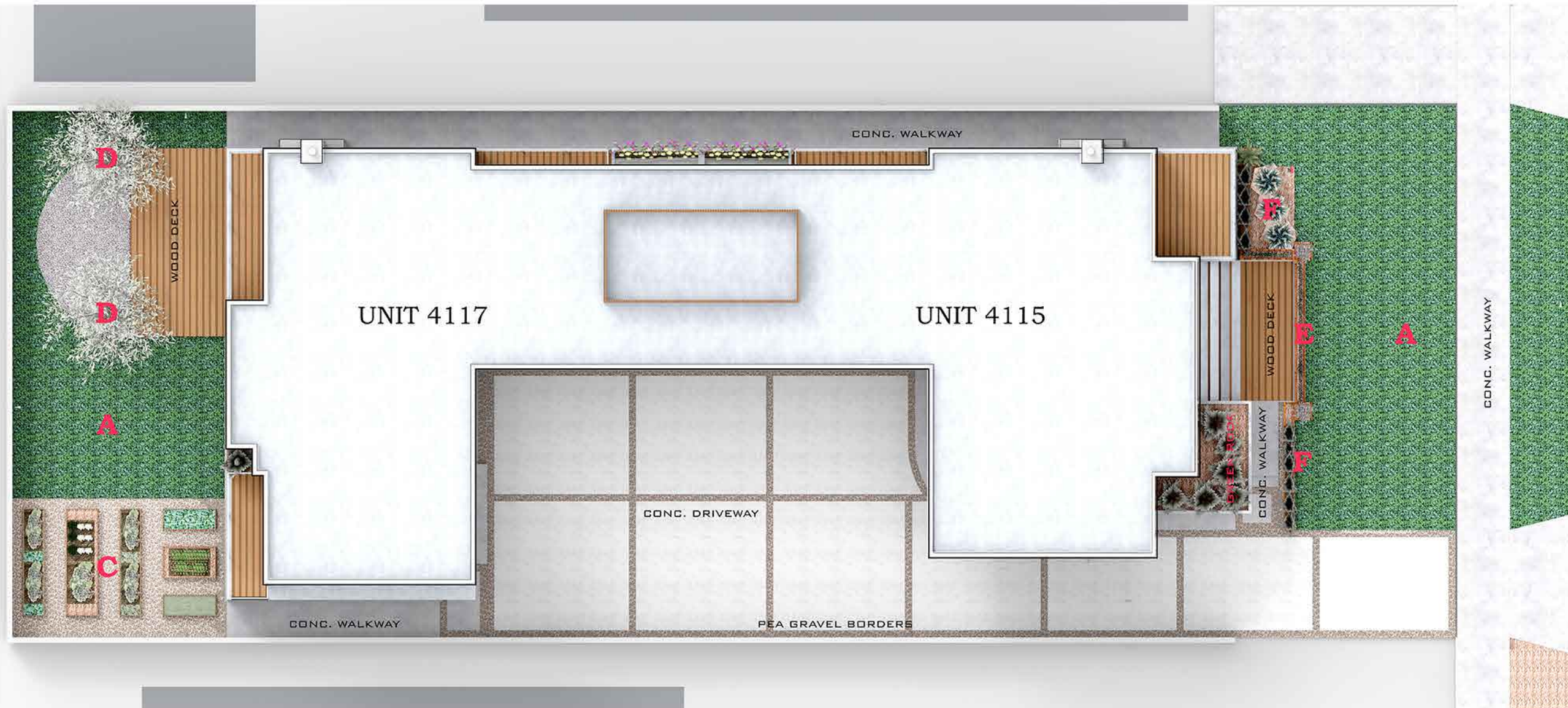
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CULVER CITY, CA 90232
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SHEET TITLE:
PROJECT RENDERINGS



DATE: 6-20-17	DRAWN: ROBB SIMONSON
PROJECT NO.	CHECKED: NICOLE NGUYEN

SHEET NO. **A8**



St. Augustine is broad bladed and medium green in color, this grass can tolerate heat and humidity and also has a tolerance for partial shade.

Raised Bed Vegetable Gardening

Olive or Orange or Eucalyptus Tree, Lavender Bushes

Ornamental Grasses

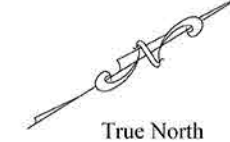
Horsetail Reed is a water loving plant, evergreen in mild climates. Fast growing to 3-4 feet, it spreads underground and will spread indefinitely if not contained, because of this, a great container plant.



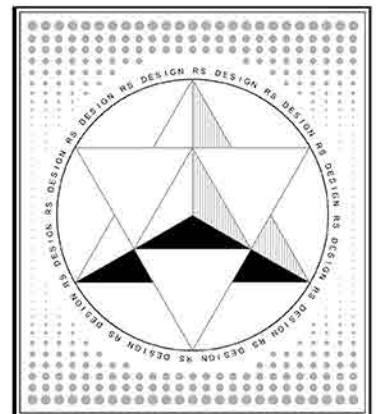
Preliminary Landscape Plan



Project North



True North



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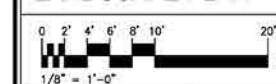
Landscape Key Notes:

ISSUE	DATE	DESCRIPTION
1		

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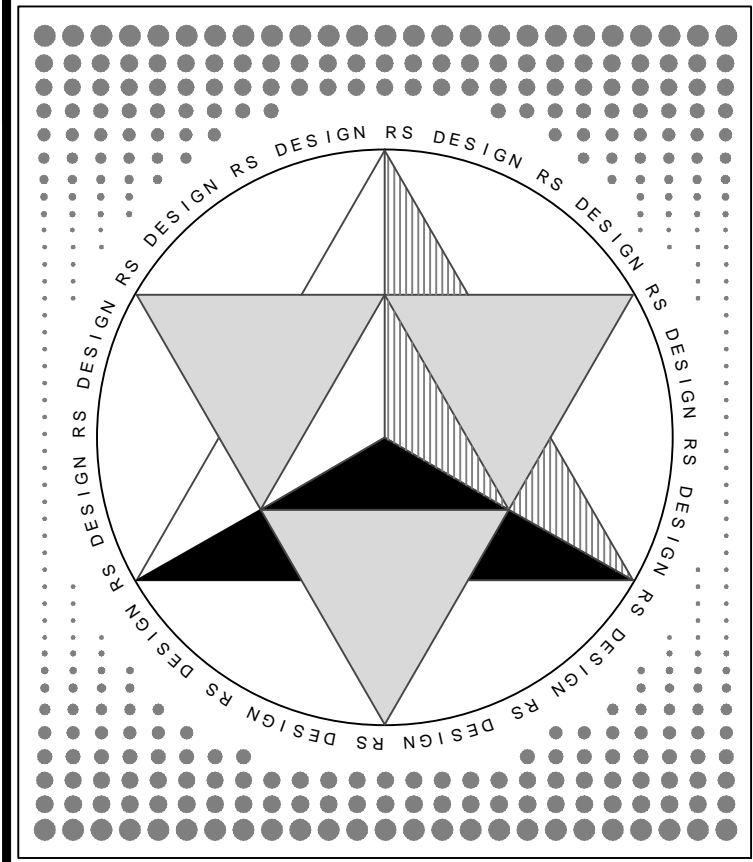
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SHEET TITLE:
PRELIMINARY
LANDSCAPE PLAN



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PROJECT NO.	CHECKED: NICOLE NGUYEN
SHEET NO.	

A9



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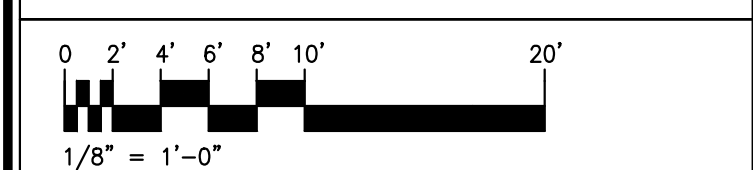
Key Notes:

ISSUE:	DATE:	DESCRIPTION:
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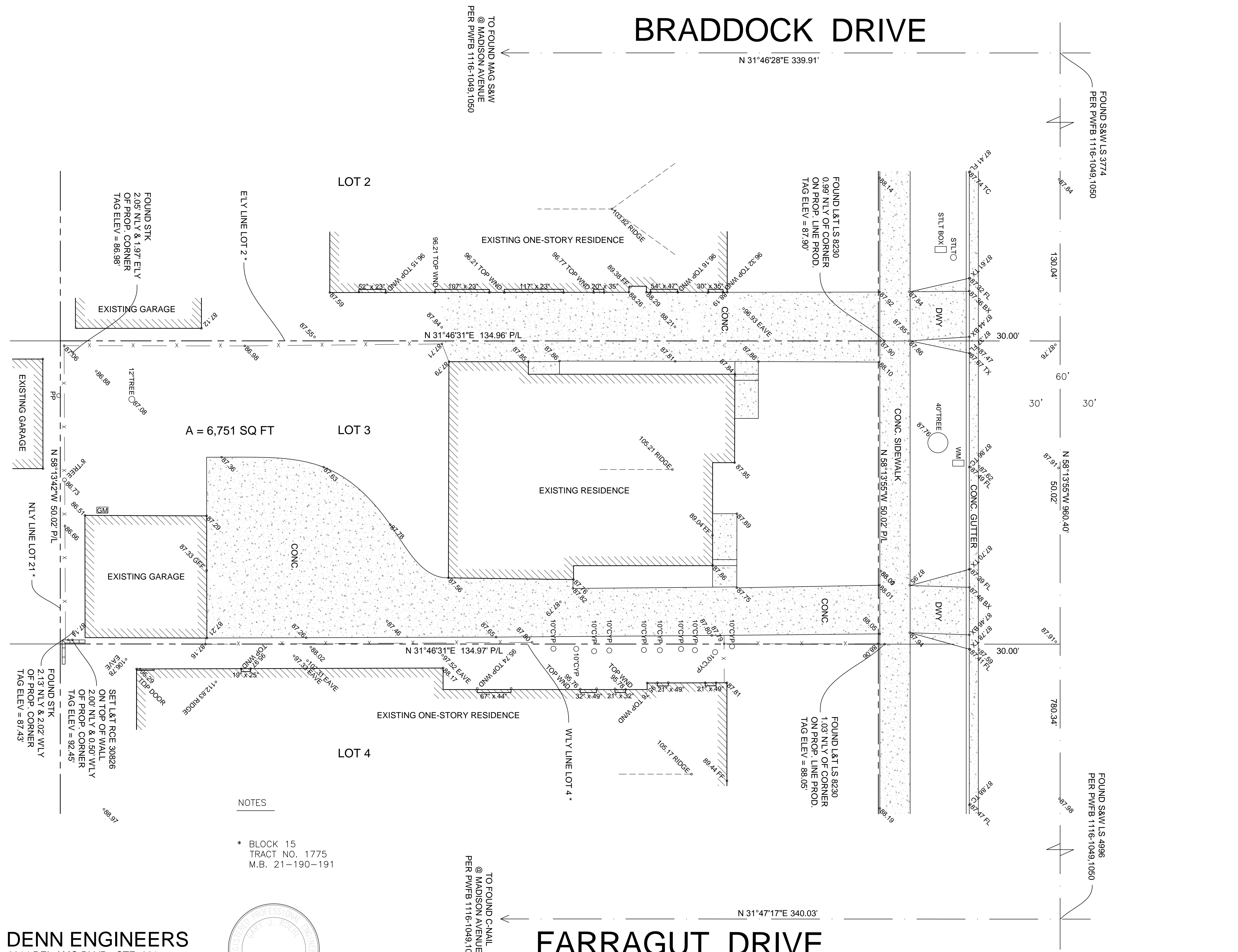
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SHEET TITLE:
EXISTING SURVEY



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A10



NOTES

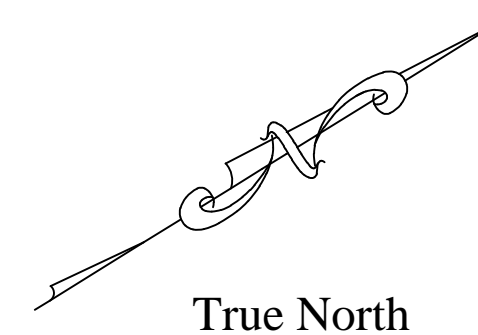
* BLOCK 15
TRACT NO. 1775
M.B. 21-190-191

DENN ENGINEERS
3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433



DATE 2/1/2017
GARY J. ROEHL R.C.E. 30826

Existing Survey SCALE: 1/8" = 1'-0"



EXISTING STRUCTURES:

EXISTING (1 STORY) 2 UNIT RESIDENTIAL STRUCTURE:	1511 S.F.
EXISTING (1 STORY) 2 CAR GARAGE:	410 S.F.
EXISTING CONCRETE HARDSCAPE:	1920 S.F.
EXISTING STRUCTURES LOT COVERAGE:	28.46%
EXISTING HARDSCAPE LOT COVERAGE:	28.44%