

NEW 2 UNIT CONDO PROJECT

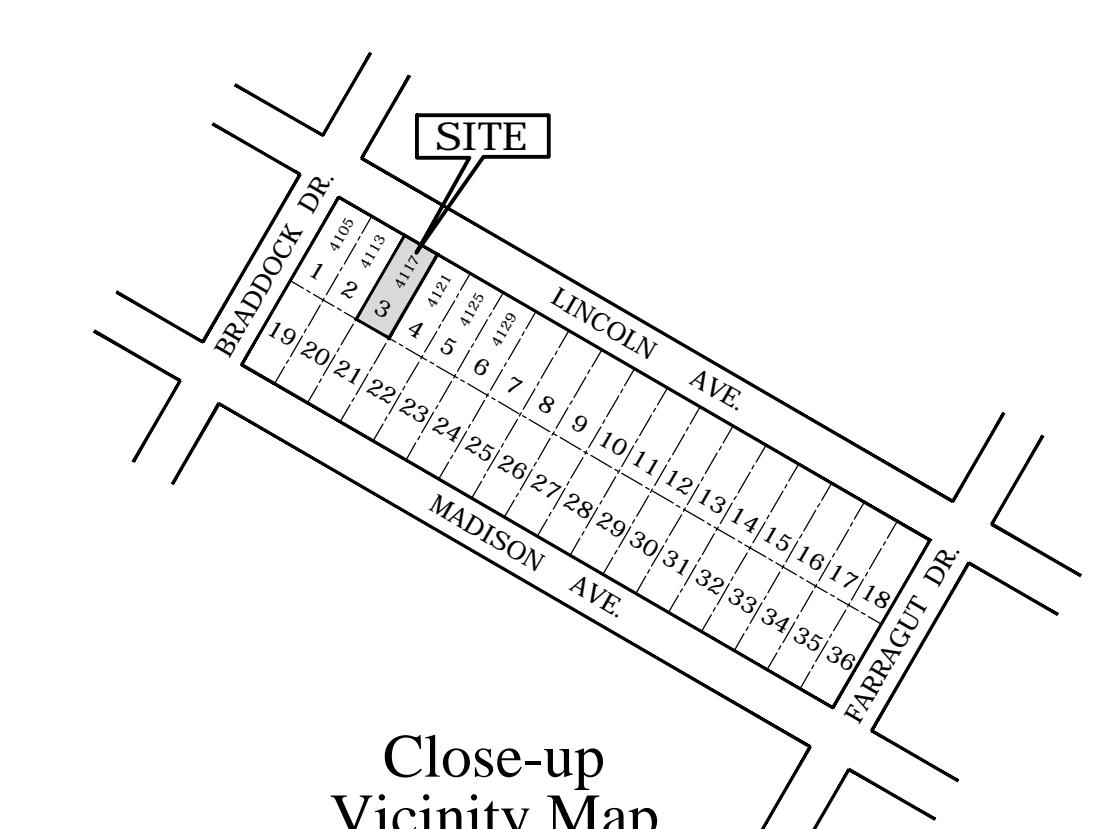
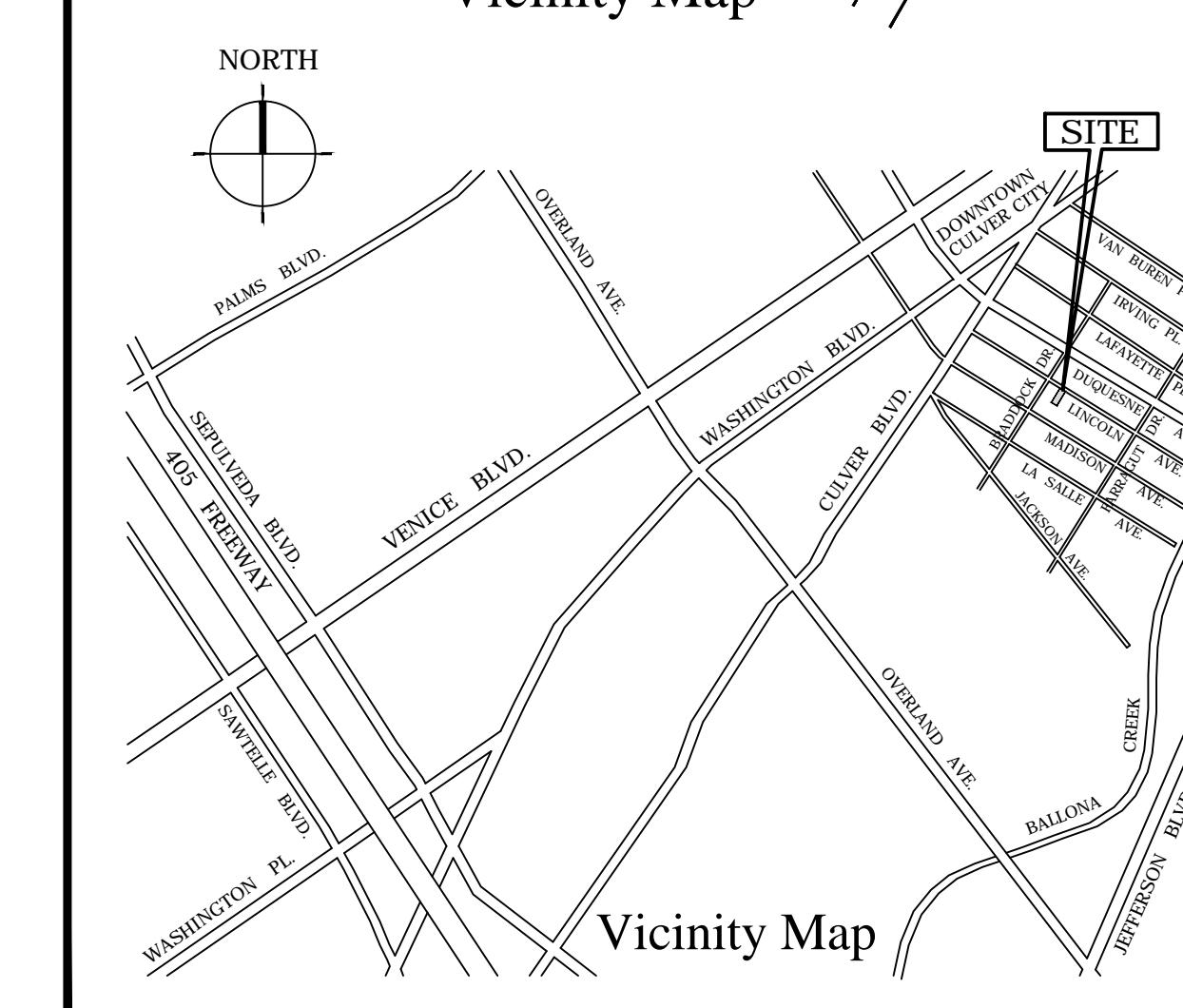
4115 & 4117 LINCOLN AVE. CULVER CITY, CA 90232

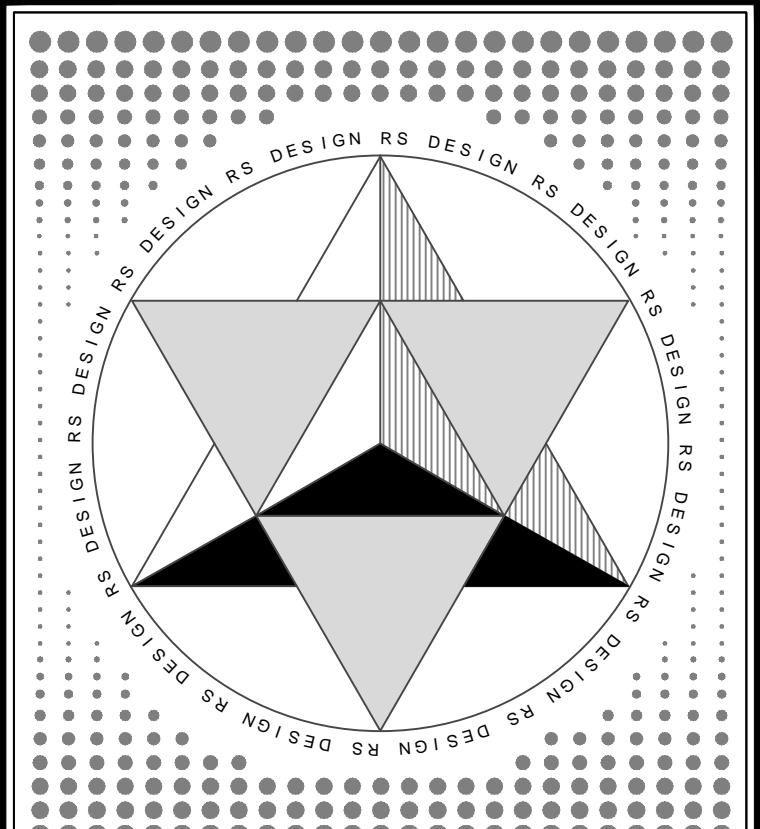
Attachment No. 4



"PROJECT RENDERING - FOR REFERENCE ONLY"

South / East Rendering

PROJECT DATA & SITE DEVELOPMENT STANDARDS				VICINITY MAP																																																														
<p>PROJECT ADDRESS: 4115 & 4117 LINCOLN AVENUE, CULVER CITY, CA 90232 PARCEL APN: 4207-016-003 PROJECT WORK SCOPE: NEW 2 STORY 2 UNIT CONTEMPORARY RESIDENTIAL DUPLEX ZONING: R2 TYPE 5B NON-RATED CONSTRUCTION OCCUPANCY GROUP: R3/U1 LEGAL DESCRIPTION: LOT 3 BLOCK 15 OF TRACT MAP NO. 1775, RECORDED IN BOOK 21 OF MAPS, PAGES 190 AND 191 OF THE LOS ANGELES COUNTY OFFICIAL RECORDS. LOT SIZE: 50.02' X 134.96' = 6750.70 S.F. ACREAGE: 6750.70 / 43560 = 0.155 ACRES OFF-STREET PARKING REQUIRED: 2 SPACES (ENCLOSED PER UNIT) OPEN SPACE PRIVATE OPEN SPACE: NONE REQUIRED OTHER THAN SETBACKS</p>				 <p>Close-up Vicinity Map</p>																																																														
<p>SITE DEVELOPMENT STANDARDS</p> <p>R2 RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS</p> <p>DWELLING SIZE:</p> <p>MAXIMUM AREA: 1500 S.F.</p> <p>MAXIMUM DWELLING SIZE: 1500 S.F. + 40% OF LOT (2700 S.F.) = 4200 S.F.</p> <p>FOR LOTS CONTAINING LESS THAN 8000 S.F. NOT MORE THAN 1500 S.F. PLUS 40% OF THE NET LOT AREA FOR THE COMBINED SQ. FOOTAGE OF ALL UNITS EXCULSIVE OF ANY GARAGE, CARPORT OR OTHER FLOOR AREA PROVIDING NONLIVING SPACE.</p> <p>ALLOWABLE FLOOR AREA PER UNIT: 4200 S.F. / 2 = 2100 S.F. OF LIVABLE FLOOR AREA</p> <p>TOTAL ACTUAL FLOOR AREA: 4199 SF</p> <p>LOT COVERAGE: LOT SIZE 6750 S.F. / BLDG. FOOTPRINT 2689 S.F. = 39.83%</p> <p>TOTAL CONCRETE DRIVEWAY AREA: 1515 S.F.</p> <p>TOTAL CONC. / PAVER SIDEWALK AREA: 454 S.F.</p> <p>TOTAL WOOD DECK ON GRADE AREA: 278 S.F.</p> <p>TOTAL LANDSCAPE AREA: 1653 S.F.</p> <p>NEW CONC. HARDSCAPE LOT COVERAGE: 1969 S.F. 29.17%</p>				 <p>Vicinity Map</p>																																																														
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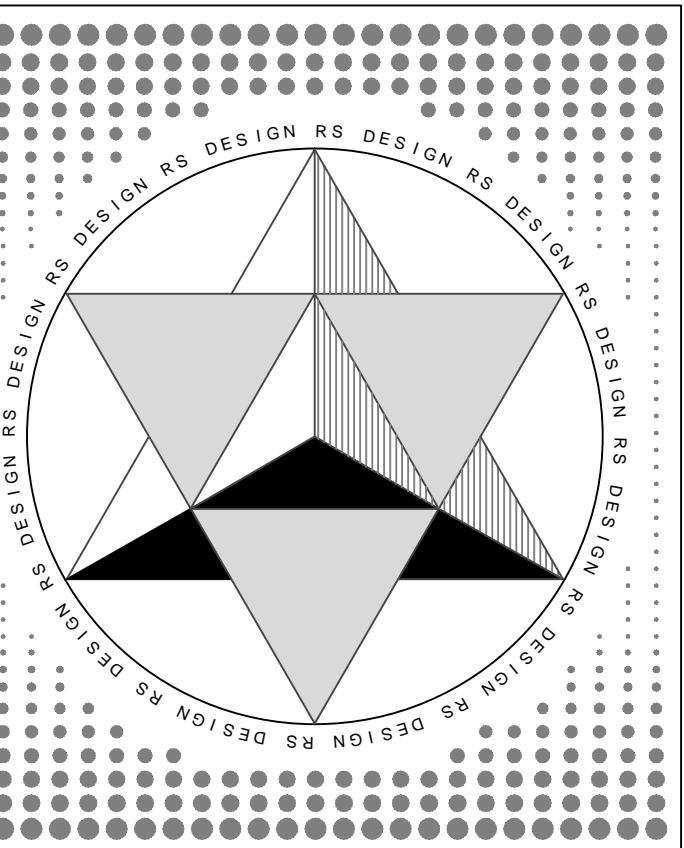
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Site Plan Key Notes:

ISSUE: DATE: DESCRIPTION:
1
2
3
PROJECT TITLE:
2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232

OWNER:
NICOLE NGUYEN & VADIM BENYATOV
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232
424-385-5355

SHEET TITLE:
COVER SHEET
PROJECT DATA
GRAPHIC SCALE:
DATE: 6-20-15 DRAWN: ROBB SIMONSON
PROJECT NO. CHECKED: NICOLE NGUYEN
SHEET NO.
A1



RSDesign

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Site Plan Key Notes:

- (1) ELECTRIC METER AND PANEL - 200 AMP. SERVICE
- (2) 4" REINF. CONCRETE SLAB PER STRUCTURAL PLANS
- (3) PROVIDE 5' CONCRETE DRIVEWAY W/ GRASS OR PEA GRAVEL BORDERS WHERE SHOWN. PROVIDE TAN COLORED ROCK SALT FINISHED CONC. IN ALL MAIN DRIVEWAY AREAS.
- (4) TAN COLORED ROCK SALT FINISHED CONC. WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN
- (5) INDICATES CARAPA OR EQUAL WOOD DECK
- (6) INDICATES LINE OF SECOND FLOOR ABOVE
- (7) INDICATES EXIST. WATER METER
- (8) INDICATES EXIST. 5' CONCRETE SIDEWALK
- (9) INDICATES MINIMUM 12" WIDE LANDSCAPING STRIP
- (10) PROVIDE NEW CONCRETE DRIVEWAY APPROACH PER CITY STANDARDS
- (11) INDICATES EXIST. CONCRETE GUTTER
- (12) INDICATES EXIST. CONCRETE CURB FACE
- (13) INDICATES EXIST. CONCRETE DRIVEWAY AND CURB CUT
- (14) INDICATES EXIST. 30" DIAMETER CITY TREE
- (15) INDICATES NEW GAS METER
- (16) INDICATES NEW 6' + HIGH STUCCO COVERED 6" CONC. BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING EXTERIOR COLOR OF BUILDING.
- (17) INDICATES TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY
- (18) INDICATES GRASS LAWN LANDSCAPING
- (19) 3' WIDE X 6' HIGH WOOD GATE TO MATCH SIDING

ISSUE: DATE: DESCRIPTION:
1

PROJECT TITLE:
**2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232**

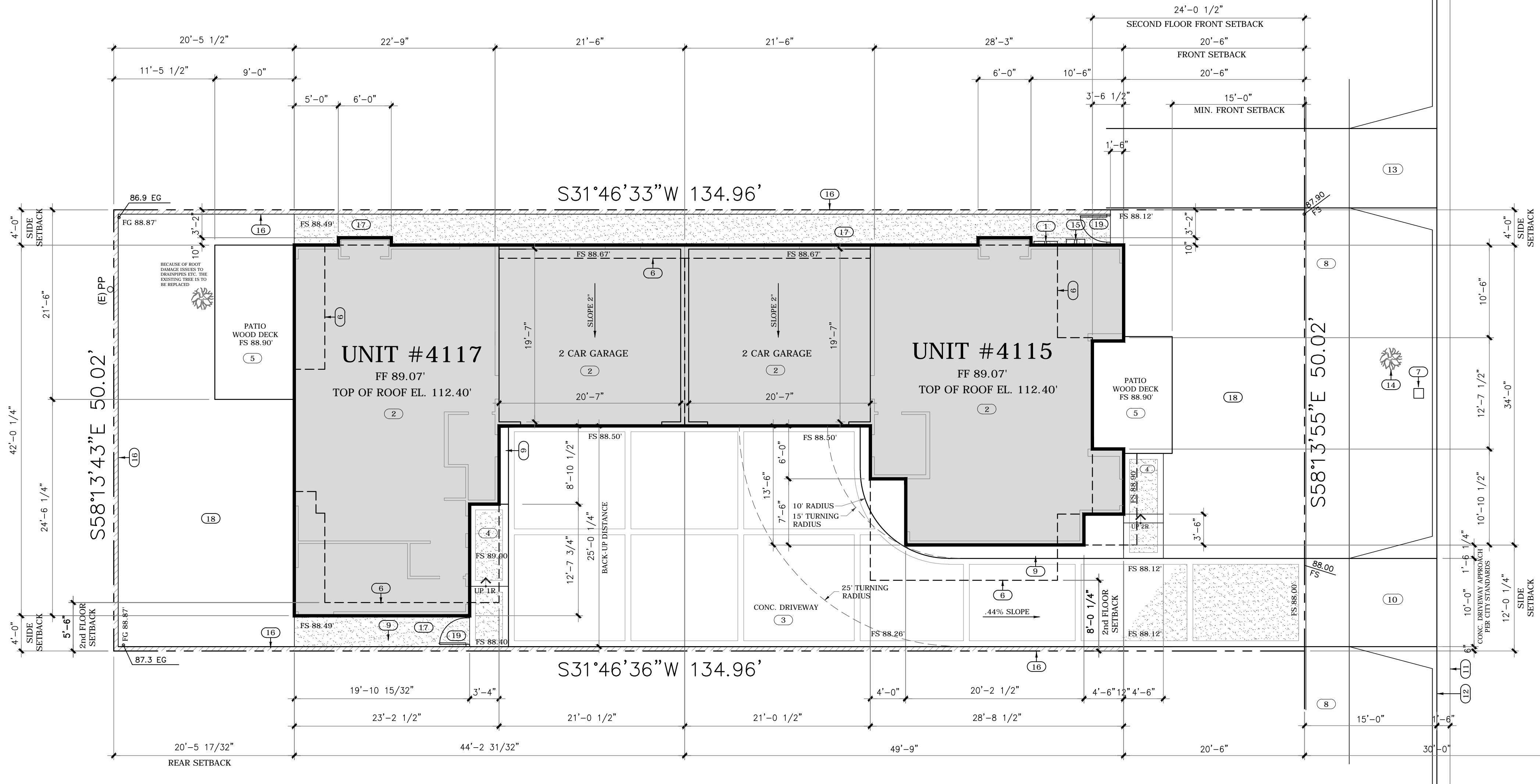
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424-385-5355**

SHEET TITLE:
SITE PLAN

0' 2' 4' 6' 8' 10' 20'
1/8" = 1'-0"

DATE: 6-15-17 DRAWN: ROBB SIMONSON
PROJECT NO. CHECKED: NICOLE NGUYEN

SHEET NO. A2



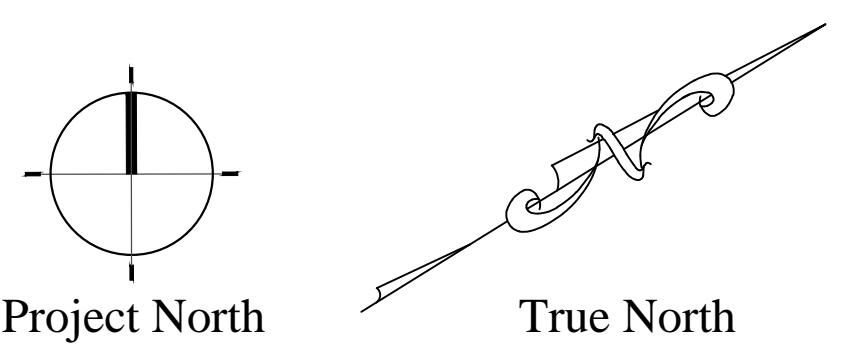
PROPOSED STRUCTURES

UNIT #4115	FIRST FLOOR AREA	889 SF
	SECOND FLOOR AREA	1204 SF
	TOTAL FLOOR AREA	2093 SF
	GARAGE AREA	431 SF
UNIT #4117	FIRST FLOOR AREA	938 SF
	SECOND FLOOR AREA	1168 SF
	TOTAL FLOOR AREA	2106 SF
	GARAGE AREA	431 SF
BOTH UNITS	TOTAL FLOOR AREA	4199 SF

LEGAL DESCRIPTION: LOT 3 BLOCK 15 OF TRACT MAP NO. 1775, RECORDED IN BOOK 21 OF MAPS, PAGES 190 AND 191 OF THE LOS ANGELES COUNTY OFFICIAL RECORDS.

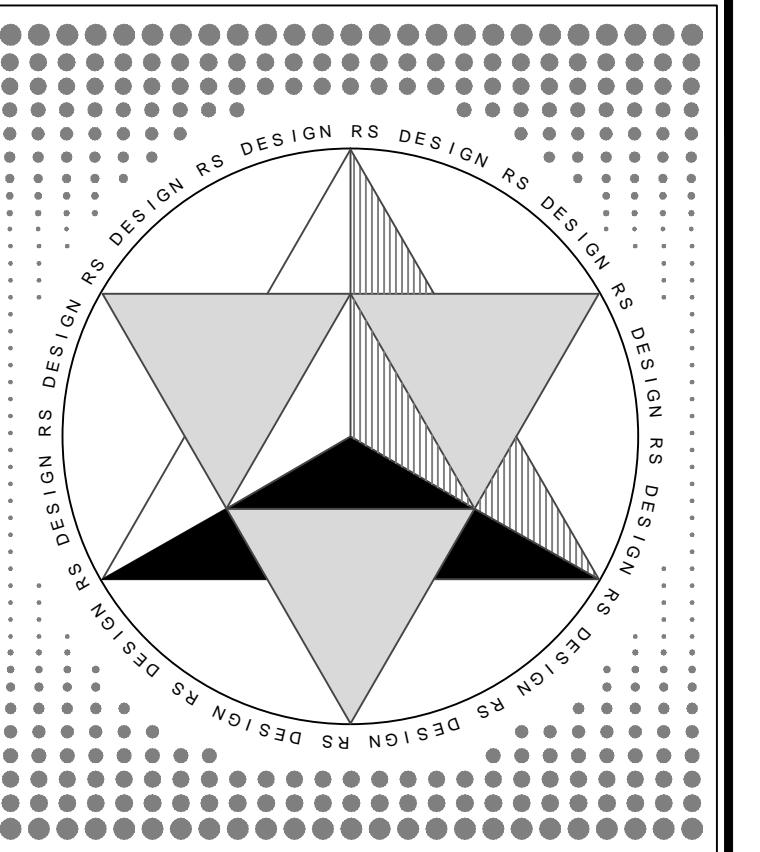
Site Plan

SCALE: 1/8" = 1'-0"



Floor Plan Key Notes:

1. ELECTRIC METER AND PANEL - 200 AMP. SERVICE
 2. NEW 4" REINF. CONCRETE SLAB PER STRUCTURAL PLANS
 3. GRANITE COUNTER TOP AND BACKSPLASH TO UPPER CAB.
 4. GRANITE COUNTER TOP W/ 12" OVERHANG AT KITCHEN ISLAND
 5. 27" WIDE STAINLESS STEEL GAS DOUBLE OVEN IN WOOD CABINET
 6. PROVIDE STAINLESS STEEL VENT HOOD W/ LIGHT (VENT TO OUTSIDE)
 7. PROVIDE 1 HR. DUCT SHFT IF PENETRATING CEILING.
 8. 36" WIDE 6 BURNER STAINLESS STEEL GAS COOKTOP (MFGR. BY OWNER)
 9. GARBAGE DISPOSER - MODEL 777ss BY IN SINK ERATOR OR EQUAL
 10. 24" WIDE STAINLESS STEEL DISHWASHER (PROVIDE ALL HOOK-UPS)
 11. PROVIDE LARGE FARMHOUSE STYLE CAST OR S.S. KITCHEN SINK
 12. UPPER CABINETS TO CEILING OR SOFFIT W/ CROWN MOULD AT TOP
 13. BUILT-IN LINEN CABINET W/ SHELVES AT 16" O.C.
 14. 36" HIGH EUROPEAN STYLE KITCHEN BASE CABINETS W/
 SIMILAR STYLE UPPER CABINETS ABOVE
 15. 32" HIGH BASE CAB. W/ GLASS DOOR UPPER CABINETS ABOVE
 16. MIRROR FACED RECESSED MEDICINE CABINET W/ WOOD FRAME
 17. GLASS VESSEL SINK TO BE MOUNTED ON TOP OF COUNTERTOP
 18. MARBLE OR GRANITE COUNTER TOP AND BACKSPLASH AT BATHROOM
 19. 18" OR 24" PORCELAIN OR MARBLE TILE FLOOR FINISH (OWNER)
 20. 36" WIDE 6 BURNER STAINLESS STEEL GAS RANGE (MFGR. BY OWNER)
21. WALL MOUNTED PLATE GLASS MIRROR IN WOOD FRAME
 22. PROVIDE MINIMUM 12" X 12" PLUMBERS ACCESS
 23. TOWEL BAR FASTENED TO WALL (PROVIDE 2X BLOCKING)
 24. PROVIDE HD FLATSCREEN TV CONNECTIONS ABOVE AT WALL AT ±48"
 25. PROVIDE 5/8" TYPE X' GYP. BD. UNDER STAIRS AT WALLS & CEILING
 26. CLOTHES CLOSET SHELF AND POLE
 27. CLOTHES CLOSET DOUBLE SHELF AND POLE AT 40" AND 80"
 28. CLOTHES CLOSET CUSTOM CABINET W/ DRAWERS & SHELVES
 29. INDICATES NEW GAS METERS
 30. ±48" RECESSED WASH MACHINE BOX HOOK UP W/ SIMPLEX VALVE
 31. 12" X 12" PORCELAIN OR MARBLE WALL TILE AT SHOWER AND TUB
 WALLS OVER GREEN GYP. BD. OR CEMENT BD. (STYLE BY OWNER)
 32. STRAP WATER HEATER FOR RIGIDITY WITH 2 STRAPS PER CPC. 510.5
 33. PROVIDE WALL TILE TO MIN. 72" ABOVE DRAIN. PROVIDE FRAMELESS
 SLIDING GLASS DOORS OR ENCLOSURE AROUND TUB OR SHOWER.
 34. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUN OF
 NOT LESS THAN 1 FOOT CANDLE (1 LUX)
 35. PROVIDE 15" CLEARANCE FROM FACE OF WALL TO CENTER LINE OF TOILET
 AND 24" CLEARANCE IN FRONT OF TOILET PER PLUMBING CODE
 36. MAJESTIC 60" NATURAL GAS METAL FIREPLACE W/ A FIRE VIEWING AREA OF 42" X 36"
 INSTALL PER MANUFACTURE'S INSTRUCTIONS. PROVIDE APPROVED GAS LOG ASSEMBLY
 WITH ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL
 37. 3/8" OR 3/4" OWNER'S PREFINISHED HARDWOOD FLOORING. PROVIDE
 PLYWOOD SUBFLOORING AT CONC. SLABS PER MFGR. S. SPECS.
 PROVIDE OPTIONAL BID FOR FINISHING FLOOR ON SITE
38. PROVIDE 4" DRYER EXHAUST DUCT TO THE OUTSIDE PER DETAIL.
 39. PAINTED 3/4" A/C PLYWOOD SHELVES WITH WOOD TRIM AT EXPOSED EDGES.
 SHELVES TO BE AT 16" O.C. VERTICALLY W/ CONT. 1X3 NAILERS BELOW.
 40. SHOWERS AND SHOWER TUBS SHALL BE PROVIDED WITH INDIVIDUAL
 CONTROL VALVES OF THE PRESSURE BALANCE/ THERMOSTATIC MIXING
 VALVE TYPE THAT PROVIDE SCALED AND THERMAL SHOCK PROTECTION
 41. TUFLEX WATERPROOF SUNDECK COATING SYSTEM
 PROVIDE 1 HOUR SEPARATION BTWN. HOUSE & GARAGE. ALL WALLS,
 CEILINGS, & BEAMS TO BE COVERED W/ 5/8" TYPE X' GYPSUM BD.
 AND TO COMPL. W/ CBC SECTIONS 406.1.4 & 715.4.3
 42. SOFFIT ABOVE AT +9'-0" FOR MECHANICAL DUCTS
 43. INDICATES RETURN AIR GRILL
 44. PROVIDE 18" HIGH PLATFORM FOR GAS APPLIANCES IN GARAGE
 45. 21" DEEP SPA STYLE JETTED TUB W/ SHOWER ENCLOSURE
 46. RECESSED WOODEN MAGAZINE RACK OR RECESSED SHELVES
 47. TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY
 W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN
 48. PRE-FABRICATED METAL CABINET WORK BENCH STORGE SYSTEM W/
 DRAWER & SHELF UNITS & PEG BOARD TOOL PANEL ABOVE
 49. PROVIDE 4K HD TV CONNECTIONS ABOVE FIREPLACE MANTLE
 MIN. ATTIC ACCESS 30" X 30" WITH F.A.U. IN ATTIC OR
 22" X 30" WITH NO MECHANICAL EQUIP. IN ATTIC
 PROVIDE MIN. 30" OF HEADROOM ABOVE OPENING
 50. PROVIDE PLYWD. PLATFORM AT FORCED AIR UNIT FROM ATTIC ACCESS
 TO SERVICE SIDE OF F.A.U. PROVIDE GAS & ELECTRICAL CONNECTION.
 PROVIDE SWITCH AND LIGHT TO ILLUMINATE SERVICE SIDE OF F.A.U.
 51. PROVIDE 5" CONCRETE DRIVEWAY W/ PEA GRAVEL BORDERS WHERE SHOWN.
 PROVIDE TAN COLORED ROCK SALT FINISHED CONC. IN ALL MAIN DRIVEWAY AREAS.
 52. 3' WIDE X 6' HIGH IPE WOOD GATE TO MATCH SIDING
 53. 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING)
 54. 1.5" X 1.5" STAINLESS STEEL TUBE GUARDRAIL, 42" IN HEIGHT.
 PROVIDE 1.5" X 1.5" STEEL TUBE NEWEL POSTS AT 3' TO 4'
 O.C. MAX. TOP RAIL TO BE 1.5" X 1.5" STEEL TUBE. PROVIDE
 STAINLESS STEEL CABLES AT 4" O.C. HORIZONTALLY.
 NEWEL POSTS TO PENETRATE DECKING OR TREAD AND BE
 DOUBLE THRU- BOLTED TO TREAD, RIM JOIST OR BEAM BELOW
 (USE SCR - STEEL CABLE & RAILING OR EQUAL)
 55. BUILT-IN WOOD BOOKCASE TO ±8'-0" OR TO SOFFIT
 RECESSED NICHE W/ WOOD OR GRANITE SILL AT MIN. 32" ABOVE
 FLOOR WITH EQUALLY SPACED WOOD SHELVES ABOVE TO ±8'-0"
 56. INDICATES THICKENED WALL WITH CASED OPENING OR ARCHED OPENING
 57. INDICATES LINE OF SECOND FLOOR ABOVE
 58. RECESS PLYWOOD SUBLLOOR 2" FOR FLUSH FIREPLACE HEARTH PER DETAIL.
 59. MAJESTIC 42" DESIGNER #STR11 SEE THRU WOOD BURNING METAL FIREPLACE.
 INSTALL PER MANUFACTURE'S INSTRUCTIONS. PROVIDE APPROVED GAS LOG ASSEMBLY
 WITH ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL
 60. RAISE METAL FIREPLACE UNIT 12" TO 18" ABOVE FINISH FLOOR
 61. 12'X12' GARAGE AIR VENTS WITHIN 12" OF FLOOR PER DETAIL
 62. CARPET AND PAD (STYLE BY OWNER)
 63. PROVIDE 5" CONCRETE DRIVEWAY W/ PEA GRAVEL BORDERS WHERE SHOWN.
 PROVIDE TAN COLORED ROCK SALT FINISHED CONC. IN ALL MAIN DRIVEWAY AREAS.
 64. 3' WIDE X 6' HIGH IPE WOOD GATE TO MATCH SIDING
 65. OBSCURE GLASS WINDOWS W/ BOTTOM AT +5' ABOVE FINISH FLOOR
 66. 4' DEEP X 3.5' HIGH X 20' LONG OVERHEAD STORAGE CABINETS SUSPENDED
 FROM CEILING AT +7'-6" ± ABOVE GARAGE FLOOR
 67. INDICATES NEW 6' ± HIGH STUCCO COVERED 6" CONC.
 BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO
 TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING
 EXTERIOR COLOR OF BUILDING.
 68. INDICATES LANDSCAPING PLANTER
 69. PROVIDE PRE-WIRED JUNCTION BOX IN GARAGE FOR THE RECHARGING
 OF ELECTRIC VEHICLES.



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Key Notes:

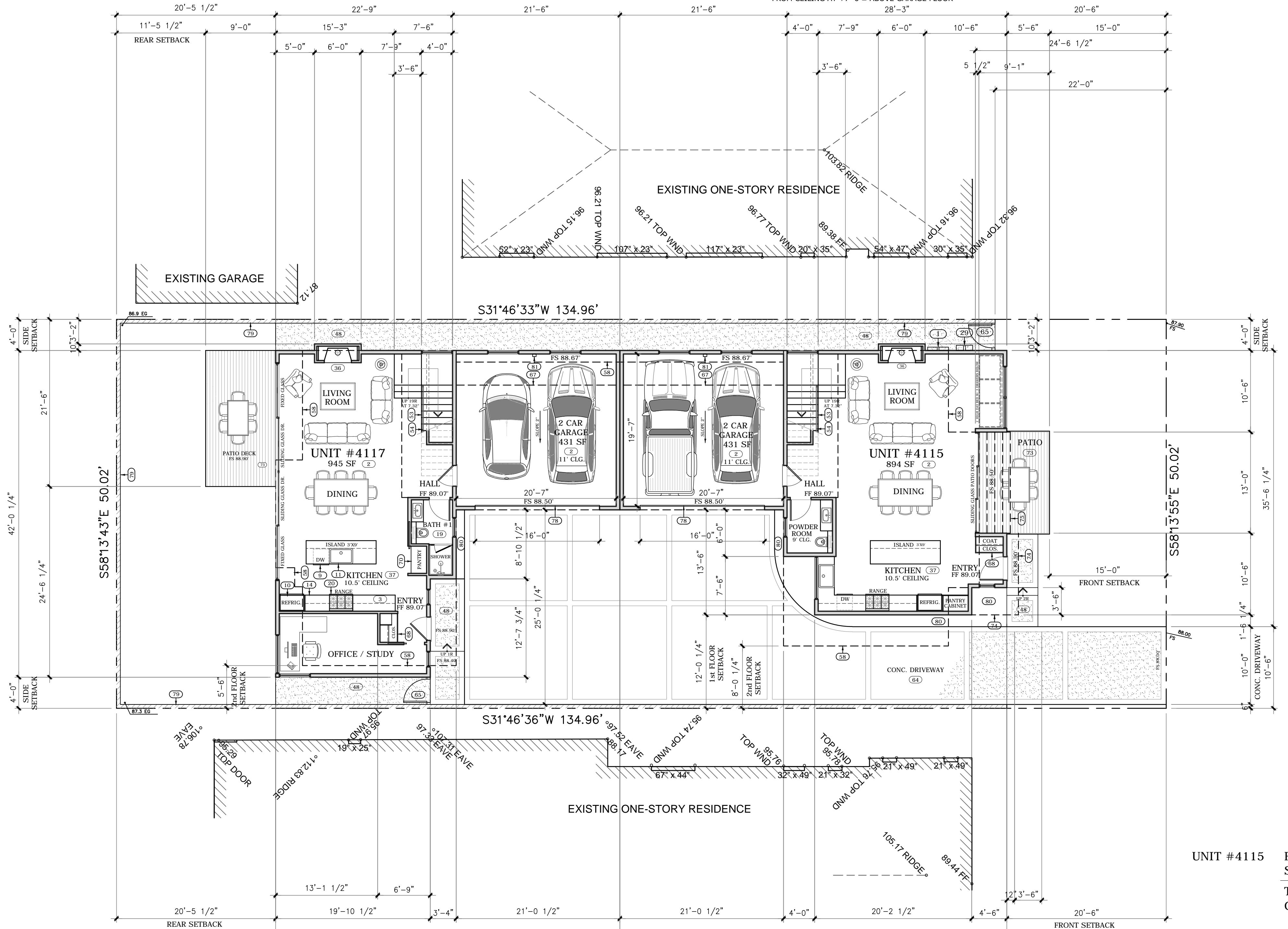
ISSUE: 1 DATE: DESCRIPTION:
 PROJECT TITLE:

**2 UNIT CONDO PROJECT
 4115 & 4117 LINCOLN AVE.
 CULVER CITY, CA 90232**

OWNER:
 NICOLE NGUYEN &
 VADIM BENYATOV
 4115 & 4117 LINCOLN AVE.
 CULVER CITY, CA 90232
 424-385-5355

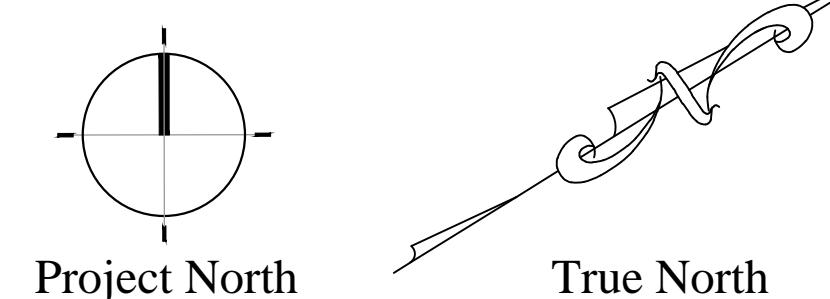
SHEET TITLE:
FIRST FLOOR PLAN

0' 2' 4' 6' 8' 10' 20'
 1/8" = 1'-0"
 DATE: 6-15-17 DRAWN: ROBB SIMONSON
 PROJECT NO. CHECKED: NICOLE NGUYEN
 SHEET NO. A3



First Floor Plan

SCALE: 1/8" = 1'-0"



UNIT #4115 FIRST FLOOR AREA 889 SF
 SECOND FLOOR AREA 1204 SF
 TOTAL FLOOR AREA 2093 SF
 GARAGE AREA 431 SF

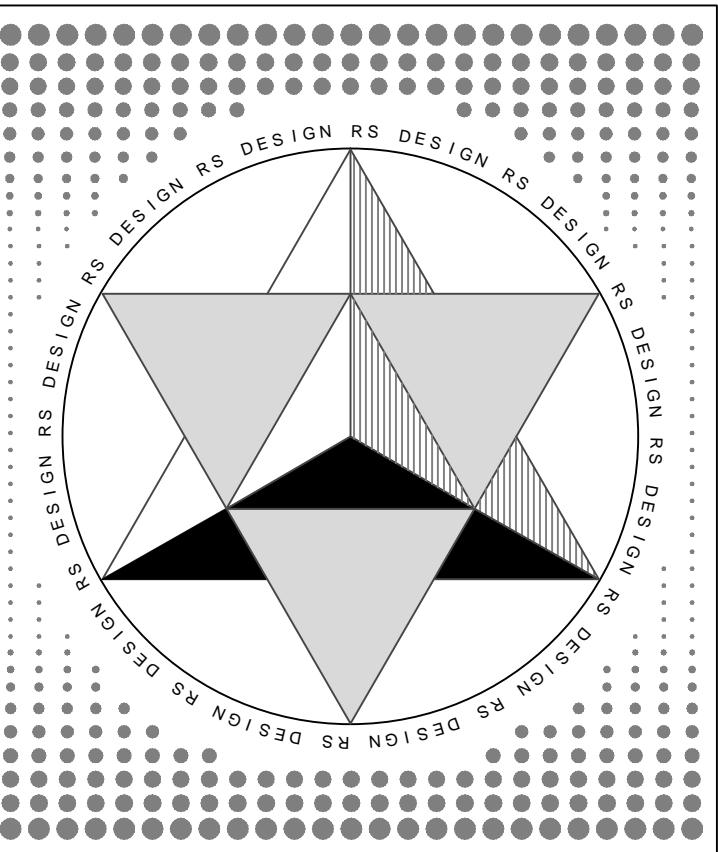
 UNIT #4117 FIRST FLOOR AREA 938 SF
 SECOND FLOOR AREA 1168 SF
 TOTAL FLOOR AREA 2106 SF
 GARAGE AREA 431 SF

 BOTH UNITS TOTAL FLOOR AREA 4199 SF

Project North True North

Floor Plan Key Notes:

1. ELECTRIC METER AND PANEL - 200 AMP. SERVICE
 2. NEW 4" REINF. CONCRETE SLAB PER STRUCTURAL PLANS
 3. GRANITE COUNTER TOP AND BACKSPLASH TO UPPER CAB.
 4. GRANITE COUNTER TOP W/ 12" OVERHANG AT KITCHEN ISLAND
 5. 27" WIDE STAINLESS STEEL GAS DOUBLE OVEN IN WOOD CABINET
 6. PROVIDE STAINLESS STEEL VENT HOOD W/ LIGHT (VENT TO OUTSIDE)
 7. PROVIDE 1 HR. DUCT SHAFT IF PENETRATING CEILING
 8. 36" WIDE 6 BURNER STAINLESS STEEL GAS COOKTOP (MFGR. BY OWNER)
 9. GARBAGE DISPOSER - MODEL 777SS BY SINK ERATOR OR EQUAL
 10. 24" WIDE STAINLESS STEEL DISHWASHER (PROVIDE ALL HOOK-UPS)
 11. 36" WIDE STAINLESS STEEL REFRIG. / FREEZER IN CABINET
 12. PROVIDE LARGE FARMHOUSE STYLE CAST OR S.S. KITCHEN SINK
 13. UPPER CABINETS TO CEILING OR SOFFIT W/ CROWN MOULD AT TOP
 14. BUILT-IN LINEN CABINET W/ SHELVES AT 16" O.C.
 15. 36" HIGH EUROPEAN STYLE KITCHEN BASE CABINETS W/ SIMILAR STYLE UPPER CABINETS ABOVE
 16. 32" HIGH BASE CAB. W/ GLASS DOOR UPPER CABINETS ABOVE
 17. MIRROR FACED RECESSED MEDICINE CABINET W/ WOOD FRAME
 18. GLASS VESSEL SINK TO BE MOUNTED ON TOP OF COUNTERTOP
 19. MARBLE OR GRANITE COUNTER TOP AND BACKSPLASH AT BATHROOM
 20. 18" OR 24" PORCELAIN OR MARBLE TILE FLOOR FINISH (OWNER)
 21. 36" WIDE 6 BURNER STAINLESS STEEL GAS RANGE (MFGR. BY OWNER)
 22. NEW 4" REINF. CONCRETE SLAB PER STRUCTURAL PLANS
 23. PROVIDE MINIMUM 12" X 12" PLUMBERS ACCESS
 24. TOWEL BAR FASTENED TO WALL (PROVIDE 2X BLOCKING)
 25. PROVIDE HD FLATSCREEN TV CONNECTIONS ABOVE AT WALL AT ±48"
 26. PROVIDE 5/8" TYPE X GYP. BD. UNDER STAIRS AT WALLS & CEILING
 27. CLOTHES CLOSET DOUBLE SHELF AND POLE AT 40" AND 80"
 28. CLOTHES CLOSET CUSTOM CABINET W/ DRAWERS & SHELVES
 29. INDICATES NEW GAS METERS
 30. +48" RECESSED WASH MACHINE BOX HOOK-UP W/ SIMPLEX VALVE
 31. 12"X12" PORCELAIN OR MARBLE WALL TILE AT SHOWER AND TUB
 32. WALLS OVER GREEN GYP. BD. OR CEMENT RD. (STYLE BY OWNER)
 33. STRAP WATER HEATER FOR RIGIDITY WITH 2 STRAPS PER CPC. 510.5
 34. PROVIDE WALL TILE TO MIN. 72" ABOVE DRAIN. PROVIDE FRAMELESS SLIDING GLASS DOORS OR ENCLOSURE AROUND TUB OR SHOWER.
 35. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUN OF NOT LESS THAN 1 FOOT CANDLE (1 LUX)
 36. PROVIDE 15" CLEARANCE FROM FACE OF WALL TO CENTER LINE OF TOILET AND 24" CLEARANCE IN FRONT OF TOILET PER PLUMBING CODE
 37. MAJESTIC 60" NATURAL GAS NATURAL FIREPLACE W/ A FIRE VIEWING AREA OF 42" X 36" INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE APPROVED GAS LOG ASSEMBLY WITH ELECTRONIC STOVE PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL
 38. PROVIDE 4" DRYER EXHAUST DUCT TO THE OUTSIDE PER DETAIL
 39. PAINTED 3/4" A/C PLYW. SHELVES WITH WOOD TRIM AT EXPOSED EDGES. SHELVES TO BE AT 16" O.C. VERTICALLY. USE 1X3 NAILERS BELOW
 40. SHOWER, TUB, SHOWER-TUBS SHALL BE PROVIDED WITH DRAIN VALVE. CONDUIT VALVES OF THE PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALED AND THERMAL SHOCK PROTECTION
 41. TUFFLEX WATERPROOF SUNDECK COATING SYSTEM
 42. PROVIDE 1 HOUR SEPARATION BTWN. HOUSE & GARAGE. ALL WALLS, CEILINGS, & BEAMS TO BE COVERED W/ 5/8" TYPE X' GYPSUM BD. AND TO COMPLY W/ CBC SECTIONS 406.1.4 & 715.4.3
 43. SOFFIT ABOVE AT +9'-0" FOR MECHANICAL DUCTS
 44. INDICATES RETURN AIR GRILL
 45. PROVIDE 18" HIGH PLATFORM FOR GAS APPLIANCES IN GARAGE
 46. 21" DEEP SPA STYLE JETTED TUB W/ SHOWER ENCLOSURE
 47. RECESSED WOODEN MAGAZINE RACK OR RECESSED SHELVES
 48. TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN
 49. PRE-FABRICATED METAL CABINET WORK BENCH STORGE SYSTEM W/ DRAWER & SHELF UNITS & PEG BOARD TOOL PANEL ABOVE
 50. PROVIDE 4K HD TV CONNECTIONS ABOVE FIREPLACE MANTLE
 51. MAJESTIC 42" DESIGNER #SSTB11 SEE THRU WOOD BURNING METAL FIREPLACE. INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE APPROVED GAS LOG ASSEMBLY WITH ELECTRONIC STOVE PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL
 52. PROVIDE PLYWD. PLATFORM AT FORCED AIR UNIT FROM ATTIC ACCESS TO SERVICE SIDE OF F.A.U. PROVIDE GAS & ELECTRICAL CONNECTION. PROVIDE SWITCH AND LIGHT TO ILLUMINATE SERVICE SIDE OF F.A.U.
 53. 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING)
 54. 1.5" X 1.5" STAINLESS STEEL TUBE GUARDRAIL, 42" IN HEIGHT. PROVIDE 1.5" X 1.5" STEEL TUBE NEWEL POSTS AT 3' TO 4' O.C. MAX. TOP RAIL TO BE 1.5" X 1.5" STEEL TUBE. PROVIDE STAINLESS STEEL CABLES AT 4" O.C. HORIZONTALLY.
 55. NEWEL POSTS TO PENETRATE DECKING OR TREAD AND BE DOUBLE THRU-BOLTED TO TREAD. RIM JOIST OR BEAM BELOW
 56. BUILT-IN WOOD BOOKCASE TO -8' 0" OR TO SOFFIT
 57. RECESSED NICHE W/ WOOD OR GRANITE SILL AT MIN. 32" ABOVE FLOOR WITH EQUALLY SPACED WOOD SHELVES ABOVE TO +8'-0"
 58. INDICATES THICKENED WALL WITH CASED OPENING OR ARCHED OPENING
 59. INDICATES LINE OF SECOND FLOOR ABOVE
 60. INDICATES LINE OF ROOF CANOPY ABOVE
 61. INDICATES ANGLED ALUMINUM SUN SHADE CANOPY BELOW
 62. INDICATES GREEN ROOF PLANTER AREA AT ROOF BELOW
 63. INDICATES LINE OF FIRST FLOOR BELOW
 64. INDICATES LINE OF ROOF ACCESS HATCH
 65. INDICATES 16'-0" X 8'-0" OVERHEAD GARAGE DOOR WITH ALUMINUM FRAME AND GLASS OR WOOD PANEL INSERTS. COLOR AND STYLE TO BE DETERMINED
 66. INDICATES NEW 6' ± HIGH STUCCO COVERED 6" CONC. BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING EXTERIOR COLOR OF BUILDING.
 67. INDICATES LANDSCAPING PLANTER
 68. INDICATES LINE OF ROOF ACCESS HATCH
 69. INDICATES COMPOSITE WOOD DECK OUTDOOR PATIO (COLOR BY OWNER)
 70. INDICATES LINE OF ROOF CANOPY ABOVE
 71. INDICATES PUSH ACTIVATED MIRROR FACED DOOR AT UNDER STAIR CLOSET
 72. INDICATES LINE OF FIRST FLOOR BELOW
 73. INDICATES LINE OF ROOF CANOPY ABOVE
 74. INDICATES LINE OF ROOF CANOPY ABOVE
 75. INDICATES ANGLED ALUMINUM SUN SHADE CANOPY BELOW
 76. INDICATES GREEN ROOF PLANTER AREA AT ROOF BELOW
 77. INDICATES 30' X 30' ROOF ACCESS HATCH
 78. INDICATES 16'-0" X 8'-0" OVERHEAD GARAGE DOOR WITH ALUMINUM FRAME AND GLASS OR WOOD PANEL INSERTS. COLOR AND STYLE TO BE DETERMINED
 79. INDICATES NEW 6' ± HIGH STUCCO COVERED 6" CONC. BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING EXTERIOR COLOR OF BUILDING.
 80. INDICATES LANDSCAPING PLANTER



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Key Notes:

ISSUE: DATE: DESCRIPTION:
 1

PROJECT TITLE:
**2 UNIT CONDO PROJECT
 4115 & 4117 LINCOLN AVE.
 CULVER CITY, CA 90232**

OWNER:
**NICOLE NGUYEN &
 VADIM BENYATOV
 4115 & 4117 LINCOLN AVE.
 CULVER CITY, CA 90232
 424-385-5355**

SHEET TITLE:
SECOND FLOOR PLAN

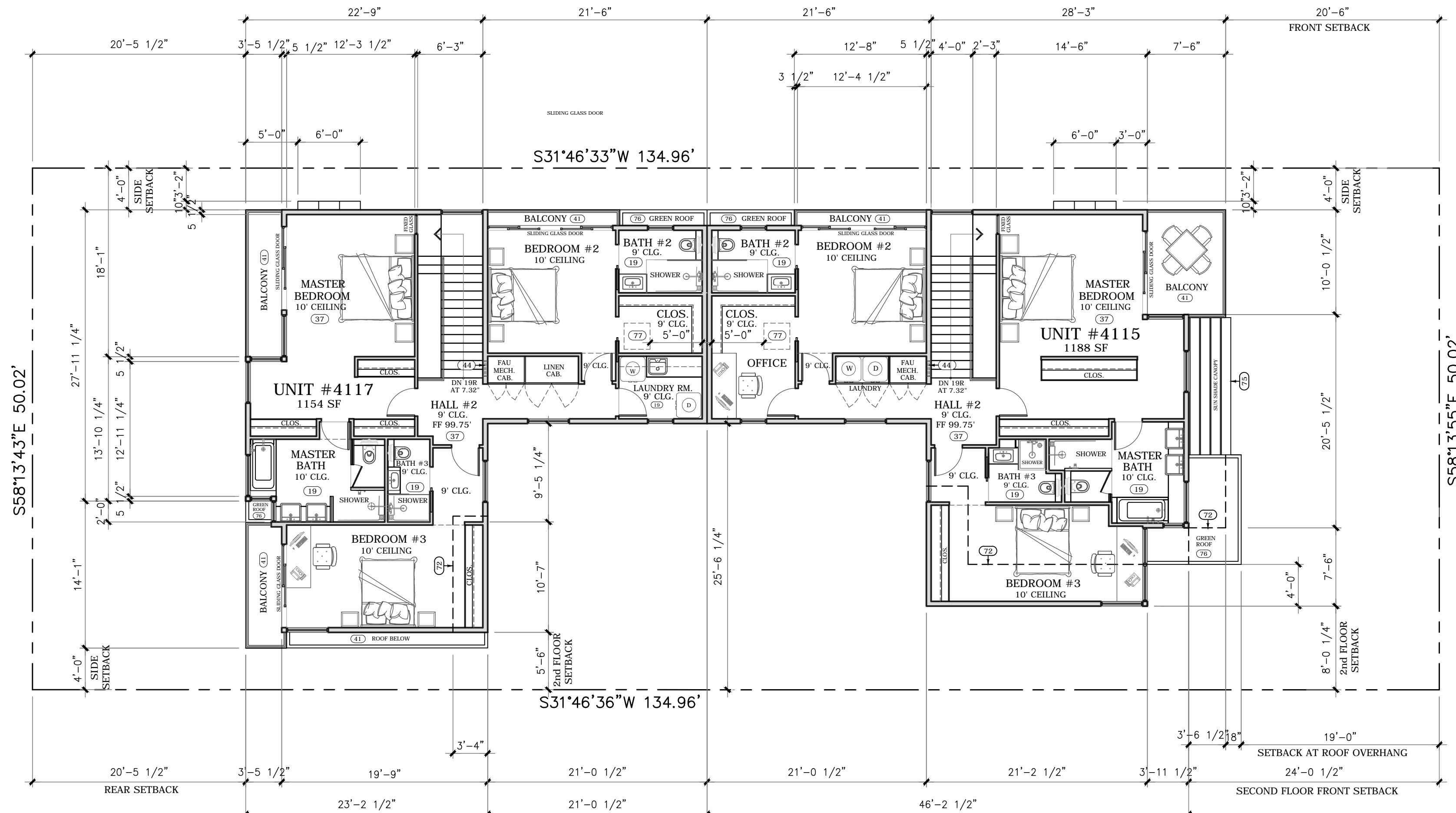
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 1/8" = 1'-0"

DATE: 6-15-17 DRAWN: ROBB SIMONSON

PROJECT NO. CHECKED:

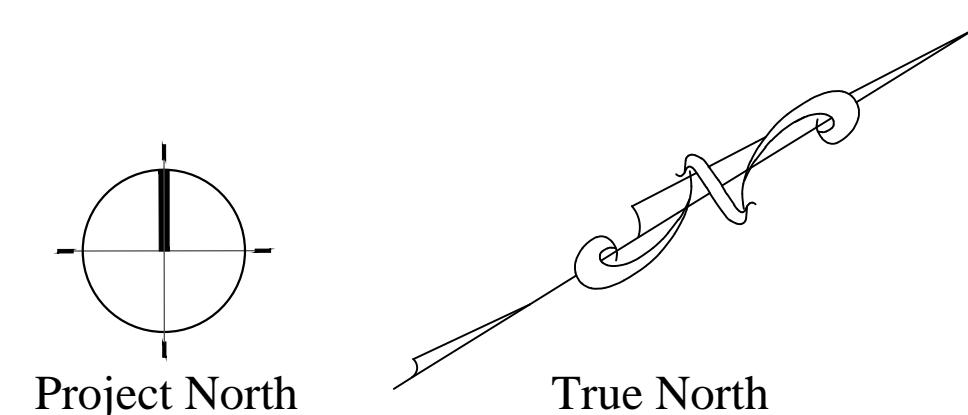
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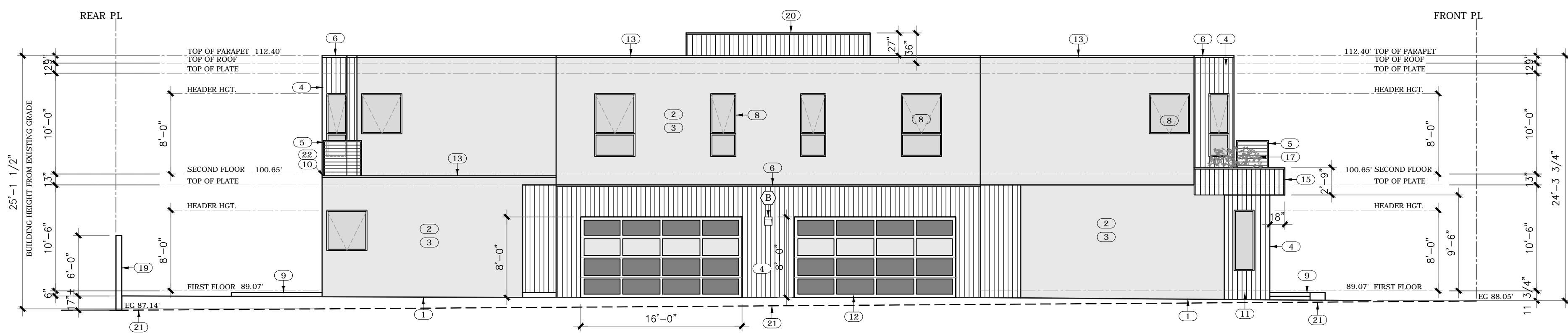
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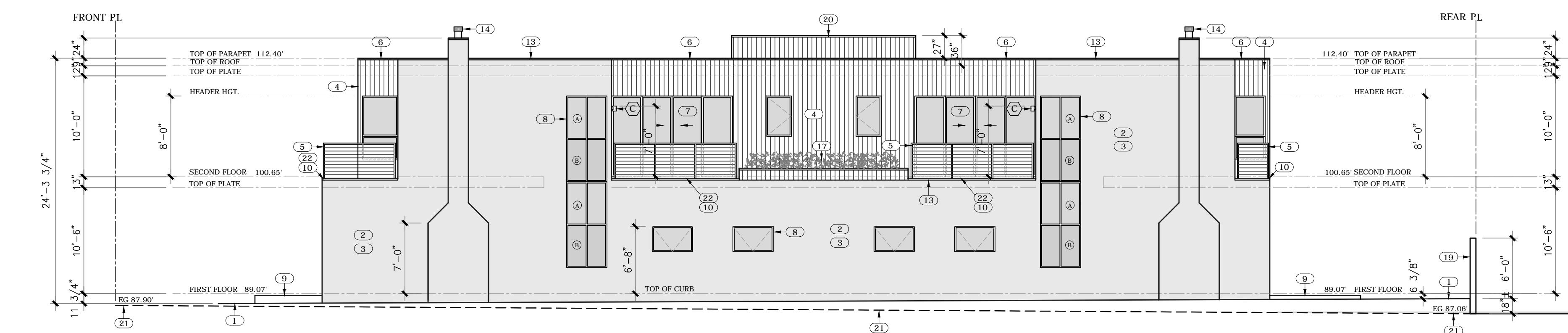
UNIT #4115	FIRST FLOOR AREA	889 SF
	SECOND FLOOR AREA	1204 SF
	TOTAL FLOOR AREA	2093 SF
	GARAGE AREA	431 SF
UNIT #4117	FIRST FLOOR AREA	938 SF
	SECOND FLOOR AREA	1168 SF
	TOTAL FLOOR AREA	2106 SF
	GARAGE AREA	431 SF
BOTH UNITS	TOTAL FLOOR AREA	4199 SF

Second Floor Plan SCALE: 1/8" = 1'-0"

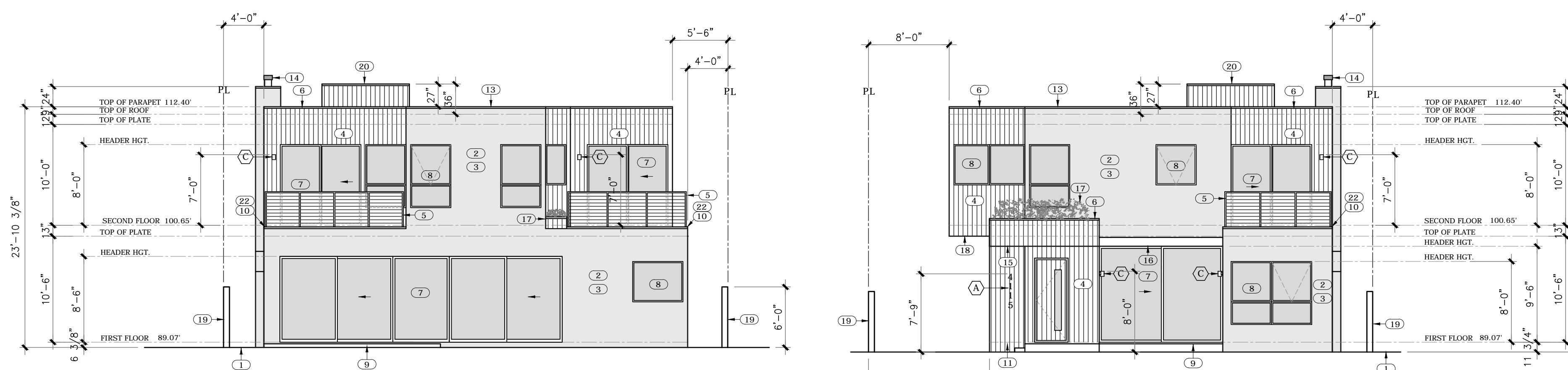




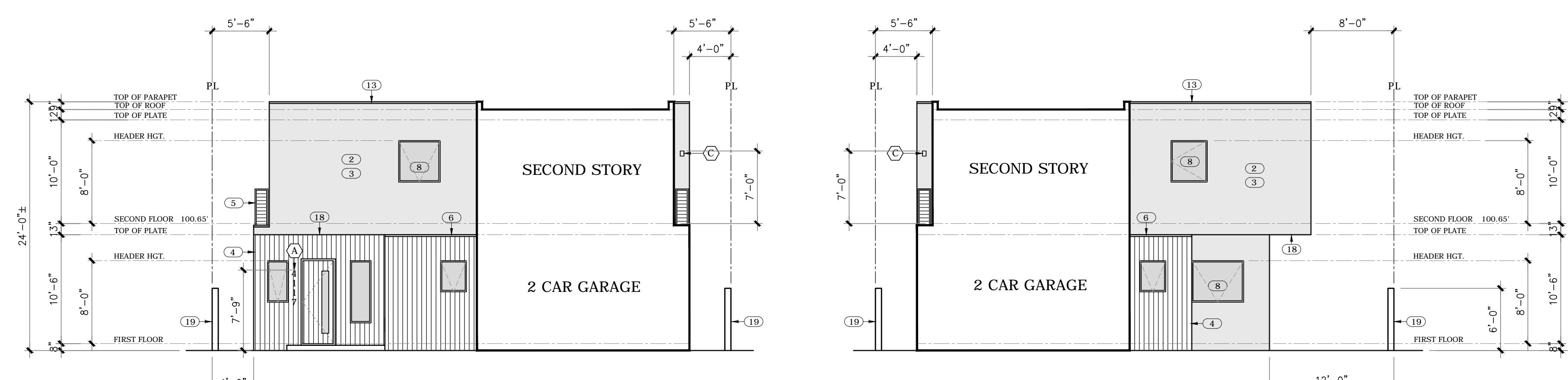
South Elevation SCALE: 1/8" = 1'-0"



North Elevation SCALE: 1/8" = 1'-0"



West Elevation SCALE: 1/8" = 1'-0"



4117 East Elevation SCALE: 1/8" = 1'-0"

4115 West Elevation SCALE: 1/8" = 1'-0"

Elevation Key Notes:

- (1) INDICATES LINE OF PROPOSED EXTERIOR FINISHED GRADE
- (2) 7/8" STUCCO OVER WIRE LATH OVER 2 LAYERS
- (3) TYPE 'D' BUILDING PAPER OVER 1/2" CDX PLYWOOD OVER 2X FRAMING PER PLAN (TYP.)
- (4) EXTERIOR STUCCO TO HAVE SMOOTH STEEL TROWEL FINISH. PROVIDE A STO FLEX OR STO REND FLEX ELASTOMERIC OR EQUAL PROTECTIVE FINISH FOR WATERPROOFING AND CRACK PREVENTION (COLOR TO BE DETERMINED)
- (5) GARAPA 1X6 HARDWOOD VERT. SHIPLAP SIDING 100% NATURAL, MAINTENANCE FREE, HAS A MINIMUM LIFE SPAN OF 75 YEARS. IT HAS NO CHEMICALLY PROVIDED ADDITIVES AND EASILY RESISTS TERMITES, MOLD & WOOD ROT.
- (6) 1.5" X 1.5" STAINLESS STEEL TUBE GUARDRAIL. 42" IN HEIGHT. PROVIDE 1.5" X 1.5" STEEL TUBE NEWEL POSTS TO BE 1.5" X 1.5" STEEL TUBE. PROVIDE 3/16" STAINLESS STEEL CABLES AT 4" O.C. HORIZONTALLY. NEWEL POSTS TO PENETRATE DECKING OR TREAD AND BE DOUBLE THRU-BOLTED TO TREAD. RIM JOIST OR BEAM BELOW. (USE SCR - STEEL CABLE & RAILING OR EQUAL)
- (7) BRONZE ANODIZED ALUMINUM DRIP EDGE CAP FLASHINGS AT SHIPLAP SIDING PARAPET
- (8) WESTERN WINDOW SYSTEMS ALUMINUM & GLASS DOORS PER PLAN
- (9) WESTERN WINDOW SYSTEMS ALUMINUM & GLASS WINDOWS PER PLAN
- (10) 5/4 X 6 GARAPA WOOD DECKING ON 2X6 JOIST AT 16" O.C. OVER 1ST. FLOOR SLAB ON GRADE
- (11) VERSA DECK OR TUFFLEX WATERPROOF SUNDECK COATING SYSTEM PER S/A10
- (12) INDICATES CONCRETE STEP OR LANDING
- (13) OVERHEAD GARAGE DOOR WITH ALUMINUM FRAME AND GLASS OR WOOD PANEL INSERTS. COLOR AND STYLE TO BE DETERMINED
- (14) PROVIDE PAINTED ALUMINUM DRIP-EDGE CAP FLASHINGS AT STUCCO COVERED PARAPET
- (15) DIRECT VENT GAS FIREPLACE CHIMNEY
- (16) INDICATES ROOF CANOPY ABOVE
- (17) INDICATES ANGLED ALUMINUM SUN SHADE CANOPY TO BE DESIGNED BY OWNER & METAL FABRICATION SHOP
- (18) INDICATES GREEN ROOF PLANTER AREA ON TOP OF FIRST FLOOR FLAT ROOF
- (19) INDICATES SECOND FLOOR BUILDING CANTILEVER ABV.
- (20) INDICATES NEW 6' ± HIGH STUCCO COVERED 6' CONC. BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING EXTERIOR COLOR OF BUILDING.
- (21) GARAPA 1X6 HARDWOOD VERTICAL SHIPLAP SIDING AT EXTERIOR SIDE OF 3' HIGH WOOD FRAME FENCE FOR THE SCREENING OF MECHANICAL EQUIPMENT. PROVIDE 4" SPACE BETWEEN ROOF AND BOTTOM OF FENCE.
- (22) INDICATES EXISTING EXTERIOR GRADE
- (23) 5/4 X 6 STANDARD GARAPA WOOD DECK OVER 2X6 SLEEPERS SITTING ON TOP OF A WATERPROOF VERSA DECK COATING AT 2nd FLOOR BALCONIES

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Key Notes:

WINDOW GLAZING KEY

- (A) INDICATES TINTED AZURITE GLASS
- (B) INDICATES TINTED EVERGREEN GLASS

EXTERIOR LIGHTING KEY

- (A) 5" LED ALUMINUM HOUSE NUMBERS
- (B) BOX LED RECESSED STEP LIGHT - SURFACE MOUNTED 10" H x 9.3" W x 2" D
- (C) BRUSHED NICKEL OUTDOOR LED SCONCE 5.875" H x 4.375" W x 4.75" D

ISSUE: DATE: DESCRIPTION:
1

PROJECT TITLE:
**2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232**

OWNER:
**NICOLE NGUYEN &
VADIM BENYATOV
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232
424-385-5355**

SHEET TITLE:
EXTERIOR ELEVATIONS

0 2' 4' 6' 8' 10' 20'
1/8" = 1'-0"

DATE: 6-20-17 DRAWN: ROBB SIMONSON

PROJECT NO. CHECKED:

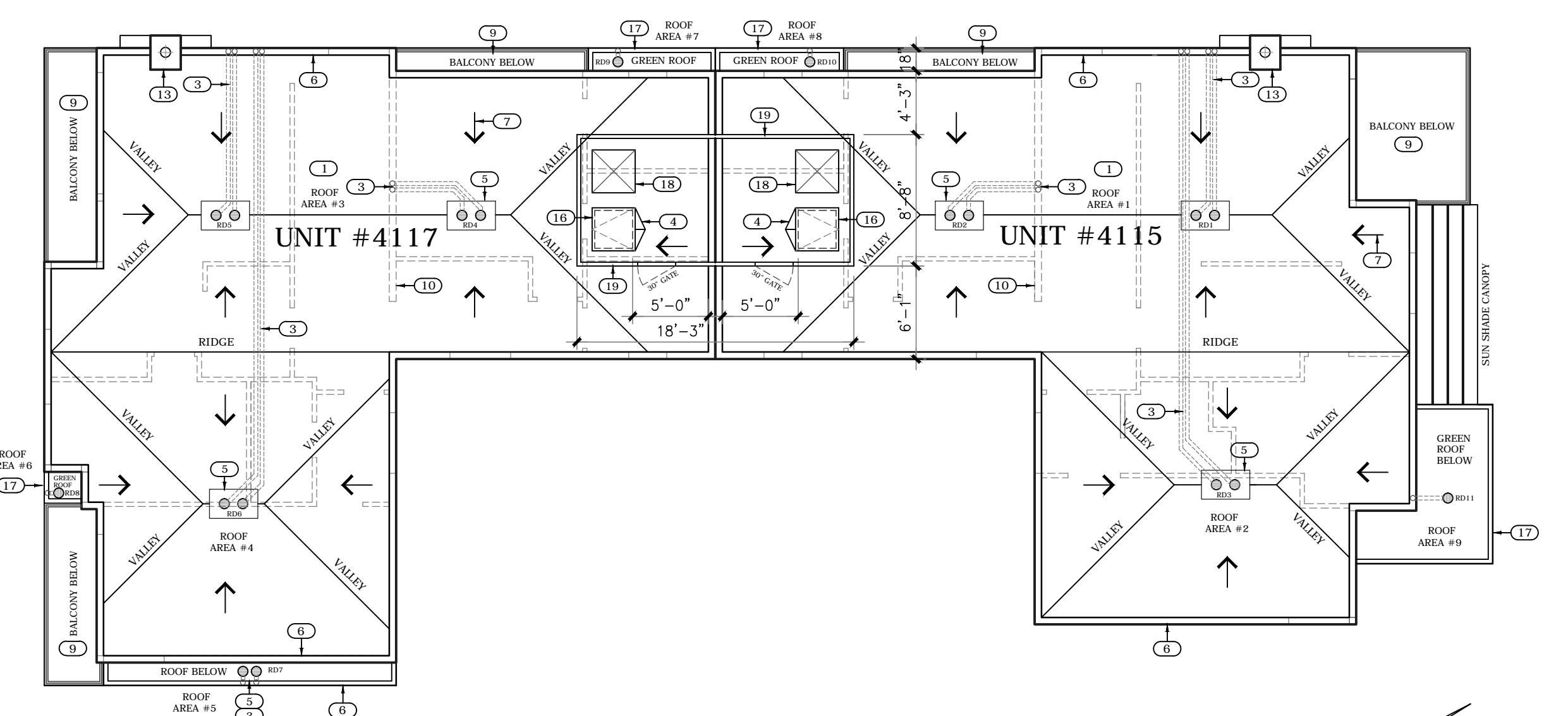
SHEET NO. A5

A5

ROOF PLAN GENERAL NOTES

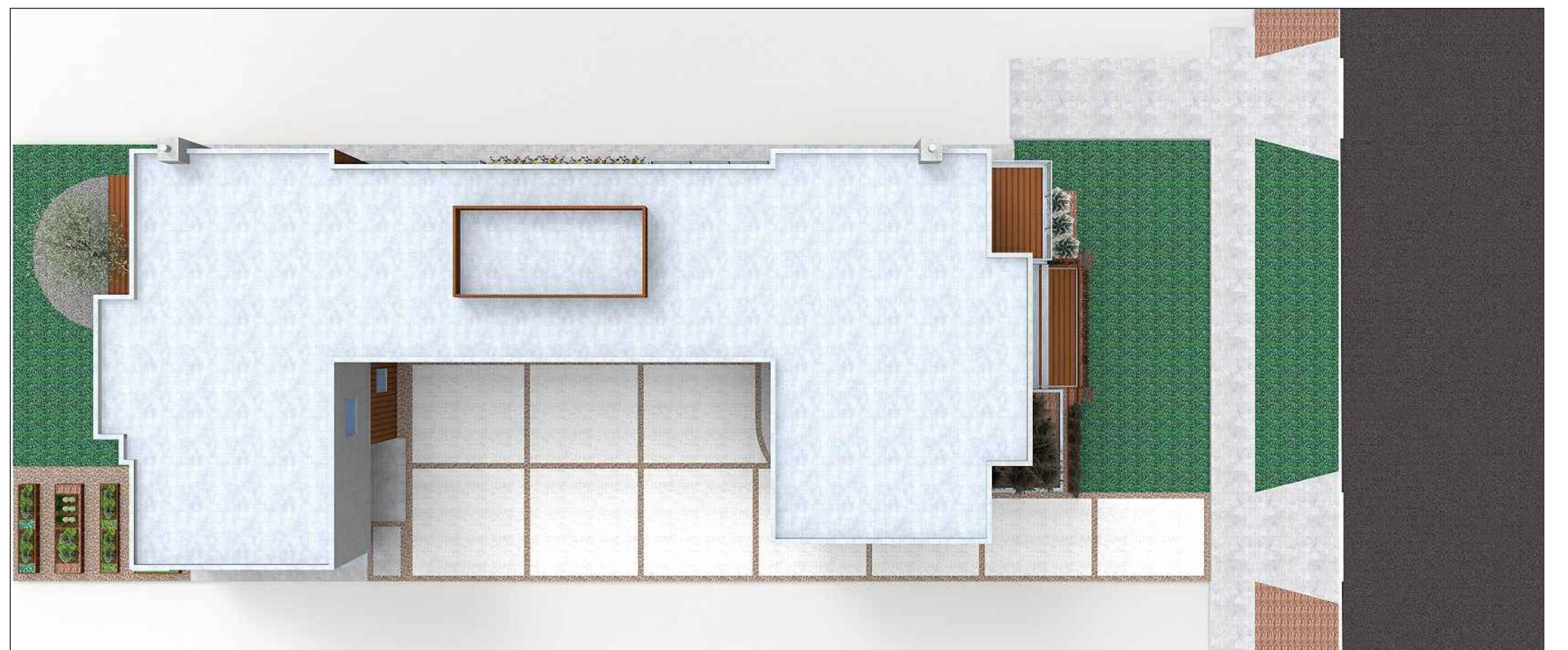
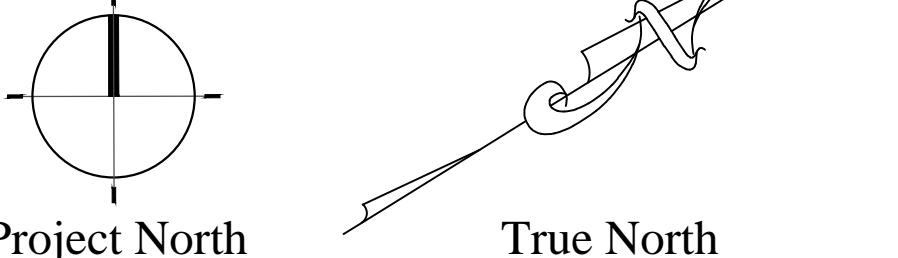
1. ROOF DRAINAGE: See Chapter 15 Roof Drainage. Minimum allowable roof slope shall be 1/4" to 1'-0" or 2% slope per Current CBC sec. 1507.10.1.
2. UNDERLAYMENT, FLASHING, ROOFING AND OTHER ROOF ELEMENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND IN COMPLIANCE WITH ALL LOCAL CODES. REFER TO ALL APPROPRIATE DETAILS AND SPECS.
3. SHEET METAL: PROVIDE MINIMUM 26 GAUGE GALVANIZED IRON FLASHING AT ALL ROOF BREAKS, TYPICAL U.N.O. ALL SCUPPERS, VENTS, FLASHINGS AND COUNTERFLASHING, VALLEY FLASHING AND ALL FASTENERS SHALL BE GALVANIZED IRON.
4. CRICKETS: ROOF CRICKETS SHALL BE PROVIDED AS PER PLAN AND WHERE REQUIRED TO PROPERLY DIVERT THE ROOF WATER TO DRAINAGE AREAS. CRICKETS SHALL BE SLOPED 1/2 INCH PER FOOT MINIMUM AND SHALL BE CONSTRUCTED WITH 5/8" (32/16) CDX PLYWOOD SHEATHING WITH ALL NECESSARY SUPPORTS AND BLOCKING INDICATED ON THE PLANS OR OTHERWISE REQUIRED.
5. INSPECTIONS: ROOF DIAPHRAGM NAILING TO BE INSPECTED PRIOR TO COVERING. CONTRACTOR TO VERIFY ROOF CONSTRUCTION COMPLIES WITH PITCH PER PLAN, AND THAT FLOW LINES, SHEET METAL FLASHING, AND RELATED DRAINAGE DEVICES ARE IN PLACE TO PROVIDE PROPER FLOW AND CONTROL OF WATER DRAINAGE.

6. ALL ROOF WATER SHALL BE CONDUCTED TO THE STREET USING A NON-EROSIVE DEVICE WHEN REQUIRED.
7. ALL ROOF WATER AT FLAT ROOFS SHALL BE COLLECTED VIA ROOF DRAINS AND CONDUCTED TO INTERNAL DOWNSPOUTS OR W/ SEPARATE 2" OVERFLOW WHICH ARE TO BE SIZED PER PLAN. SIZES PER PLAN ARE SUGGESTED MINIMUMS ONLY AND ARE TO BE SIZED BY ENGINEER OR BY CONTRACTOR. ROOF DRAINAGE PIPES TO EXTEND DOWN TO EDGE OF PATIO / WALKWAYS PER DETAIL 3-A/25. ALL ROOF DRAINAGE TO COMPLY W/ [IBC CHAPTER 13]
8. ROOF PENETRATIONS: EXHAUST FLUES, PLUMBING VENT STACKS, WATER HEATER FLUES AND THE LIKE SHALL NOT PENETRATE ROOF AREAS WHICH ARE VISIBLE FROM THE STREET, UNLESS OTHERWISE DIRECTED BY THE ARCHAEOLOGIST. PENETRATIONS SHALL BE HELD BACK 2 FEET MINIMUM FROM RIDGE AND SHALL BE BELOW RIDGE. PENETRATIONS SHALL BE HELD 3 FEET MINIMUM FROM EXTERIOR WALLS AT EAVE CONDITIONS. PROVIDE OFFSET IN ATTIC AS NECESSARY AND WHERE EVER POSSIBLE SHALL PENETRATE FLAT ROOF AREAS ONLY (TYPICAL)
9. VERSA-DECK PLUS WATERPROOF DECK COATING - ICC ES ER #6036 COLORED SEALER ACRYLIC TOPCOAT OVER ACRYLIC TEXTURED BASECOAT LAYER OVER FIBERGLASS LAYER W/ LAMINATING RESIN OVER METAL LATH POLYMER CEMENT LAYER OVER 1.75 LB. GALVANIZED EXPANDED METAL LATH STAPLED TO PLYWOOD DECK SHEATHING WITH CORROSION RESISTANT STAPLES.



Roof Plan

SCALE: 1/8" = 1'-0"



"ROOF RENDERING - FOR REFERENCE ONLY"

ROOF PLAN LEGEND:

FLAT ROOFS

1/4 :12 MINIMUM ROOF PITCH

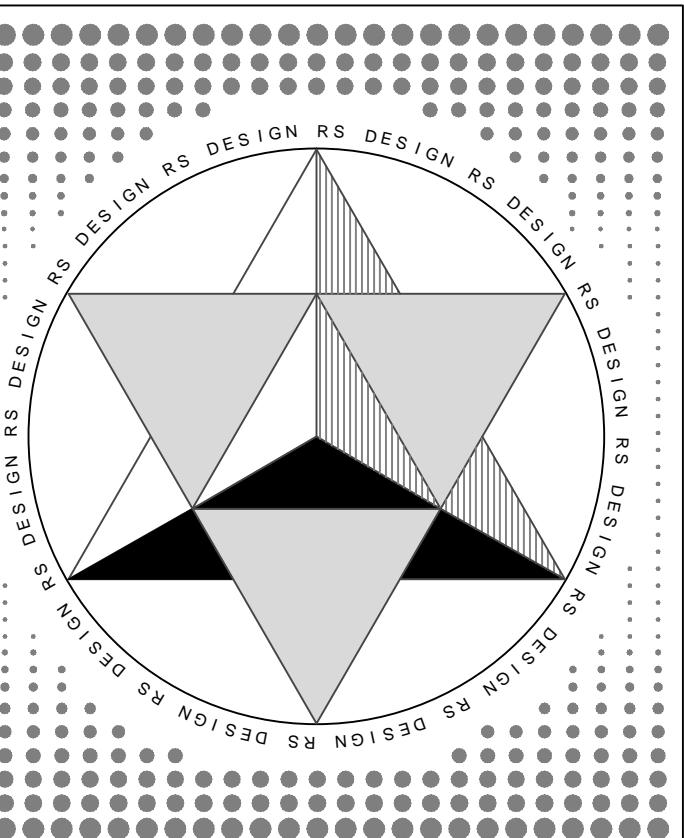
90# ASPHALT ROLLED ROOFING OVER MINIMUM 3-PLY BUILT UP ROOFING SYSTEM OR AN APPROVED SINGLE PLY WATERPROOF ROOFING MEMBRANE (CLASS 'A' OR 'B' ROOF IS REQ'D.)

Key Notes:

- (1) 90# ASPHALT ROLLED ROOFING OVER MINIMUM 3-PLY BUILT UP ROOFING SYSTEM OR AN APPROVED SINGLE PLY WATERPROOF ROOFING MEMBRANE (CLASS 'A' OR 'B' ROOF IS REQ'D.)
- (2) BUILT UP ROOFING SHALL COMPLY WITH THE PROVISIONS OF SECTION 1507.10 OF THE I.B.C. (30 YEAR MINIMUM WARRANTY ON BUILT-UP ROOFING) (INSTALL PER MANUFACTURERS SPECIFICATIONS)
- (3) INDICATES ROOF CRICKET (TYPICAL) SEE ROOF PLAN NOTE #4
- (4) 3" DIA. PVC ROOF DRAIN PIPES IN JOIST BAYS BELOW THAT EXTEND TO VERTICAL DRAIN PIPES IN EXTERIOR WALLS THAT THEN TRANSITION INTO UNDERGROUND DRAINPIPES THAT EXTEND THE STREET AND TERMINATE AT THE FACE OF THE CONCRETE CURB.
- (5) VENT PIPE / DUCT PENETRATION AT ROOF
- (6) PROVIDE PAINTED ALUMINUM DRIP-EDGE CAP FLASHINGS AT STUCCO COVERED PARAPET
- (7) INDICATES TYPICAL DIRECTION OF ROOF SLOPE WITH A MINIMUM ROOF SLOPE OF 1/4:12
- (8) SPLASH PAN OR SPLASH BLOCK AT LOWER ROOF TO RECEIVE WATER RUN-OFF FROM DOWNSPOUTS
- (9) VERSA-DECK PLUS WATERPROOF DECK COATING - ICC ES ER #6036 COLORED SEALER ACRYLIC TOPCOAT OVER ACRYLIC TEXTURED BASECOAT LAYER OVER FIBERGLASS LAYER W/ LAMINATING RESIN OVER METAL LATH POLYMER CEMENT LAYER OVER 1.75 LB. GALVANIZED EXPANDED METAL LATH STAPLED TO PLYWOOD DECK SHEATHING WITH CORROSION RESISTANT STAPLES.
- (10) INDICATES LOCATION OF WALLS BELOW
- (11) TUFFLEX WATERPROOF SUNDECK COATING SYSTEM
- (12) INDICATES 5' W X 3' H 24 GA. G.I. ROOF SCUPPER ASSEMBLY THROUGH PARAPET WALL
- (13) DIRECT VENT GAS FIREPLACE CHIMNEY
- (14) INDICATES ANGLED ALUMINUM SUN SHADE CANOPY
- (15) INDICATES GREEN ROOF PLANTER AREA ON TOP OF FIRST FLOOR FLAT ROOF
- (16) ELMODOR ROOF ACCESS HATCH
- (17) ACCESS DOORS: RAH SERIES RAH ROOF ACCESS HATCH MODEL: E-30" X 30"-RAH-W
- (18) BRONZE ANODIZED ALUMINUM DRIP-EDGE CAP FLASHINGS AT SHIPLAP SIDING PARAPET.
- (19) CURB MOUNTED CENTRAL A/C UNITS DAVE LENNOX COLLECTION OR EQUAL UNITS TO BE SIZED BY MECH. CONTRACTOR
- (20) IPE 1X6 HARDWOOD VERTICAL SHIPLAP SIDING AT 3' HIGH WOOD FRAME SCREENING FENCE FOR MECHANICAL EQUIPMENT. PROVIDE 4" SPACE BETWEEN ROOF AND BOTTOM OF FENCE.

ROOF DRAINAGE AREAS

ROOF DRAIN NO.	ROOF AREA NO.	ROOF SQ. FT.
RD1 & RD2	ROOF AREA #1	865 S.F.
RD3	ROOF AREA #2	422 S.F.
RD4 & RD5	ROOF AREA #3	816 S.F.
RD6	ROOF AREA #4	434 S.F.
RD7	ROOF AREA #5	29 S.F.
RD8	ROOF AREA #6	5 S.F.
RD9	ROOF AREA #7	13 S.F.
RD10	ROOF AREA #8	13 S.F.
RD11	ROOF AREA #9	67 S.F.



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1		

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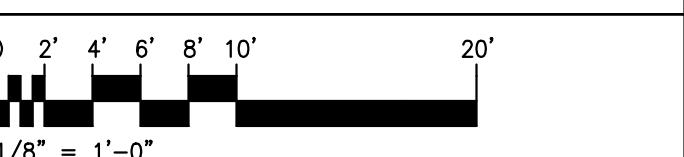
**2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232**

OWNER:

**NICOLE NGUYEN &
VADIM BENYATOV
4115 & 4117 LINCOLN AVE.
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SHEET TITLE:

ROOF PLAN

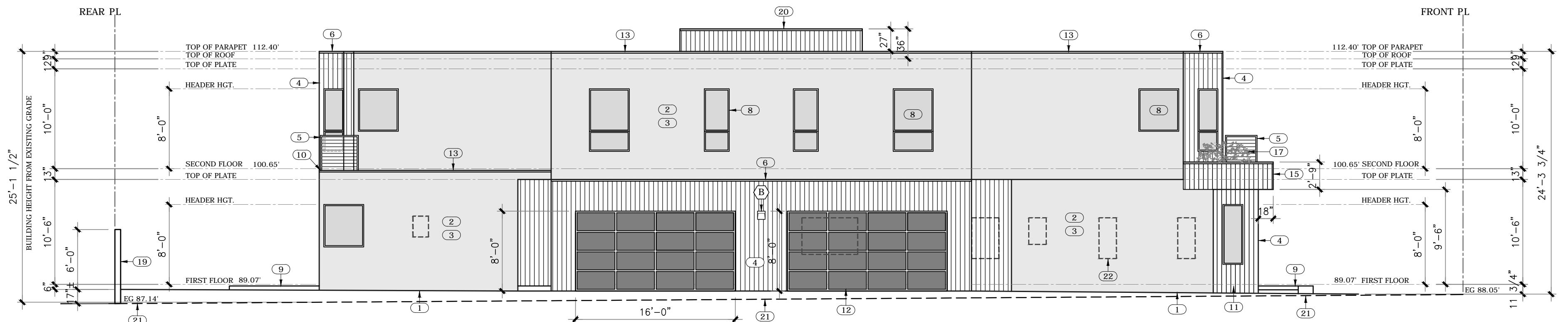


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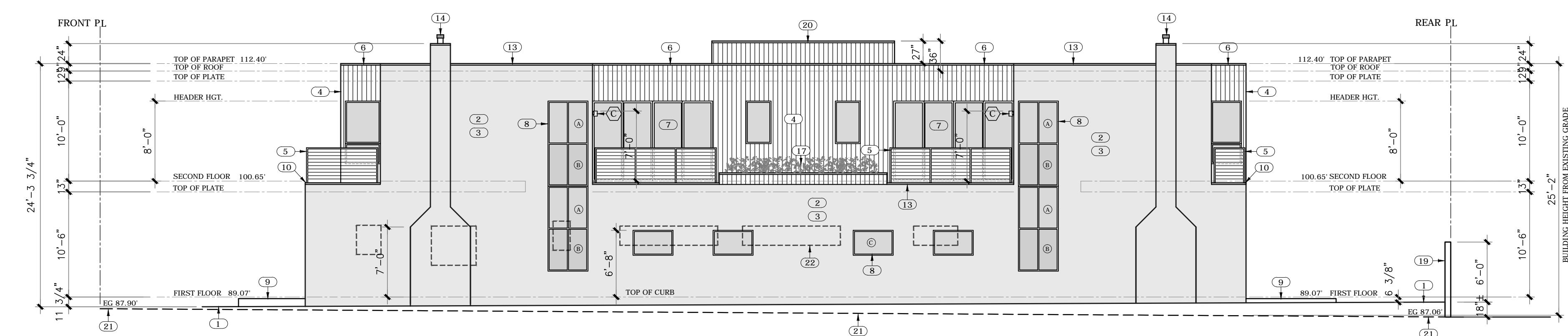
SHEET NO.

A6



Elevation Key Notes:

- (1) INDICATES PROPOSED EXTERIOR FINISHED GRADE
- (2) 7/8" STUCCO OVER WIRE LATH OVER 2 LAYERS
- (3) TYPE 'D' BUILDING PAPER OVER 1/2" CDX PLYWOOD OVER 2X FRAMING PER PLAN (TYP.)
- EXTERIOR STUCCO TO HAVE SMOOTH STEEL TROWEL FINISH. PROVIDE A STO FLEX OR STO BEND FLEX ELASTOMERIC OR EQUAL PROTECTIVE FINISH FOR WATERPROOFING AND CRACK PREVENTION (COLOR TO BE DETERMINED)
- IPE 1X6 HARDWOOD VERT. SHIPLAP SIDING THAT IS 100% NATURAL MAINTENANCE FREE. HAS A MINIMUM LIFE SPAN OF 75 YEARS. IT HAS NO CHEMICALLY PROVIDED ADDITIVES AND EASILY RESISTS TERMITES, MOLD & WOOD ROT.
- 1.5" X 1.5" STAINLESS STEEL TUBE GUARRAIL, 42" IN HEIGHT. PROVIDE 1.5" X 1.5" STEEL TUBE NEWEL POSTS AT 3' TO 4' O.C. MAX. TOP RAIL TO BE 1.5" X 1.5" STEEL TUBE. PROVIDE 3/16" STAINLESS STEEL CABLES AT 4" O.C. HORIZONTALLY. NEWEL POSTS TO PENETRATE DECKING OR TREAD AND BE DOUBLE THRU- BOLTED TO TREAD. RIM JOIST TO BEAM BELOW. (USE SCR - STEEL CABLE & RAILING OR EQUAL)
- BRONZE ANODIZED ALUMINUM DRIP-EDGE CAP FLASHINGS AT SHIPLAP SIDING PARAPET.
- WESTERN WINDOW SYSTEMS ALUMINUM & GLASS DOORS PER PLAN
- WESTERN WINDOW SYSTEMS ALUMINUM & GLASS WINDOWS PER PLAN
- INDICATES IPE HARDWOOD OR COMPOSITE WOOD OUTDOOR PATIO DECK ON GRADE (STYLE BY OWNER)
- TIFFLEX WATERPROOF SUNDECK COATING SYSTEM
- INDICATES CONCRETE STEP OR LANDING
- OVERHEAD GARAGE DOOR WITH ALUMINUM FRAME AND GLASS OR WOOD PANEL INSERTS. COLOR AND STYLE TO BE DETERMINED
- PROVIDE PAINTED ALUMINUM DRIP-EDGE CAP FLASHINGS AT STUCCO COVERED PARAPET
- DIRECT VENT GAS FIREPLACE CHIMNEY
- INDICATES ROOF CANOPY ABOVE
- INDICATES ANGLED ALUMINUM SUN SHADE CANOPY
- INDICATES GREEN ROOF PLANTER AREA ON TOP OF FIRST FLOOR FLAT ROOF
- INDICATES SECOND FLOOR BUILDING CANTILEVER ABV.
- INDICATES NEW 6' + HIGH STUCCO COVERED 6' CONC. BLOCK WALL AT PERIMETER OF PROPERTY. STUCCO TO HAVE 20/30 SAND FINISH WITH COLOR MATCHING EXTERIOR COLOR OF BUILDING.
- IPE 1X6 HARDWOOD VERTICAL SHIPLAP SIDING AT EXTERIOR SIDE OF 3' HIGH WOOD FRAME FENCE FOR THE SCREENING OF MECHANICAL EQUIPMENT. PROVIDE 4" SPACE BETWEEN ROOF AND BOTTOM OF FENCE.
- INDICATES LINE OF EXISTING EXTERIOR GRADE
- HEAVY DASHED LINES DESIGNATING ADJACENT PROPERTY WINDOW LOCATIONS AND HOW THEY ALIGN WITH THE WINDOWS ON THE PROPOSED NEW 2 UNIT STRUCTURE.



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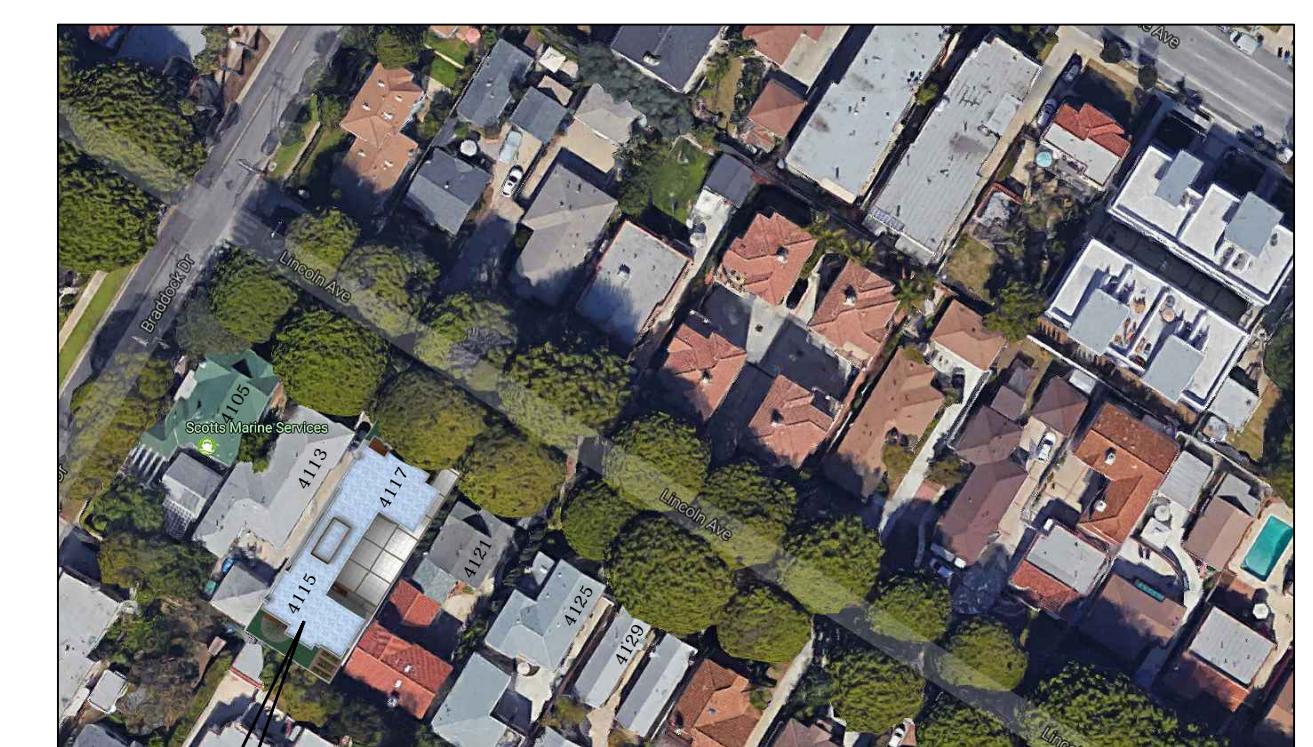
Elevation Key Notes:

WINDOW GLAZING KEY

- (A) INDICATES TINTED GLASS GLAZING
- (B) INDICATES SOLAR REFLECTIVE GLAZING
- (C) INDICATES STANDARD CLEAR DUAL GLAZING

EXTERIOR LIGHTING KEY

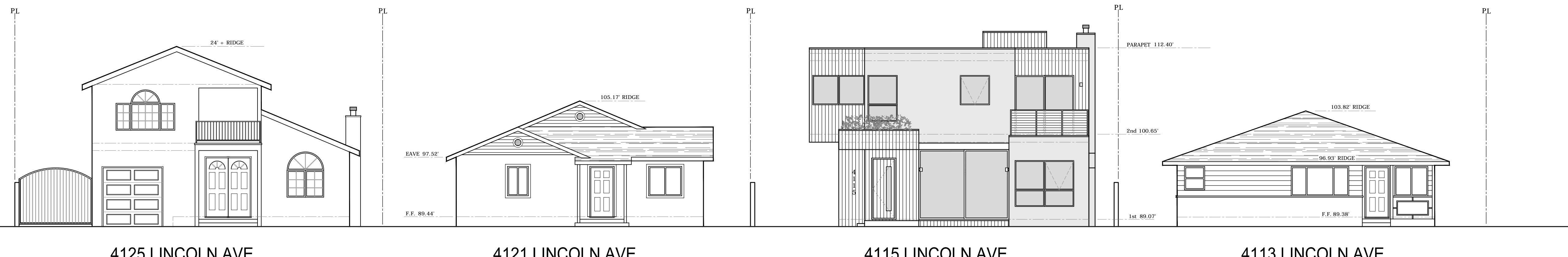
- (A) 5" LED ALUMINUM HOUSE NUMBERS
- (B) BOX LED RECESSED STEP LIGHT - SURFACE MOUNTED 10" H x 9.3" W x 2" D
- (C) BRUSHED NICKEL OUTDOOR LED SCONCE 5.875" H x 4.375" W x 4.75" D



Northwest Street View Rendering

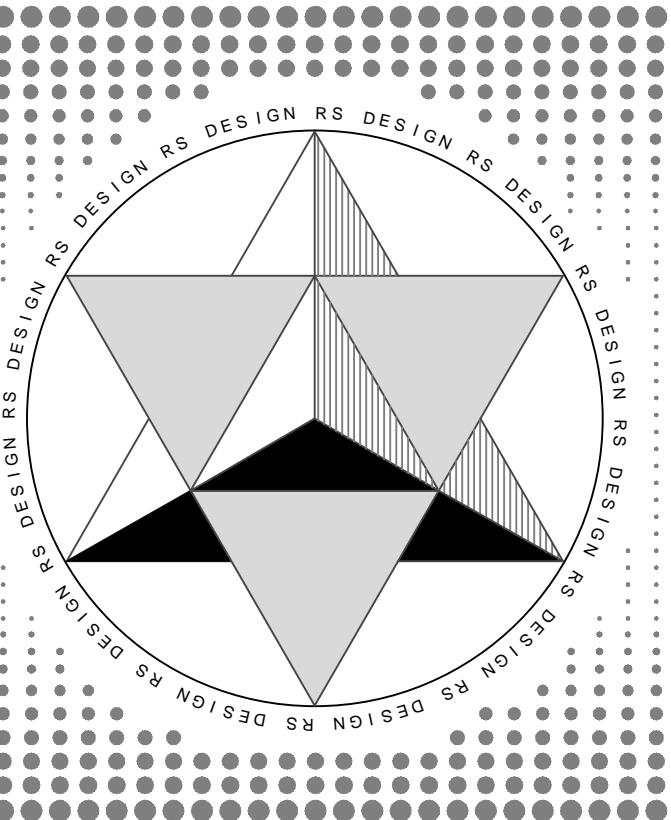
Southeast Street View Rendering

Overhead View



Street Elevation

SCALE: 1/8" = 1'-0"



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EXTERIOR LIGHTING KEY

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- (B) BOX LED RECESSED STEP LIGHT - SURFACE MOUNTED 10" H x 9.3" W x 2" D
- (C) BRUSHED NICKEL OUTDOOR LED SCONCE 5.875" H x 4.375" W x 4.75" D

ISSUE: DATE: DESCRIPTION:

1

PROJECT TITLE:

2 UNIT CONDO PROJECT
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232

OWNER:

NICOLE NGUYEN &
VADIM BENYATOV
4115 & 4117 LINCOLN AVE.
CULVER CITY, CA 90232
424-385-5355

SHEET TITLE:
STREET ELEVATIONS
ADJACENT WINDOW ELEVS.
& STREET RENDERINGS

0' 2' 4' 6' 8' 10' 20'
1/8" = 1'-0"

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A7



West Rendering



East Rendering



South / East Rendering



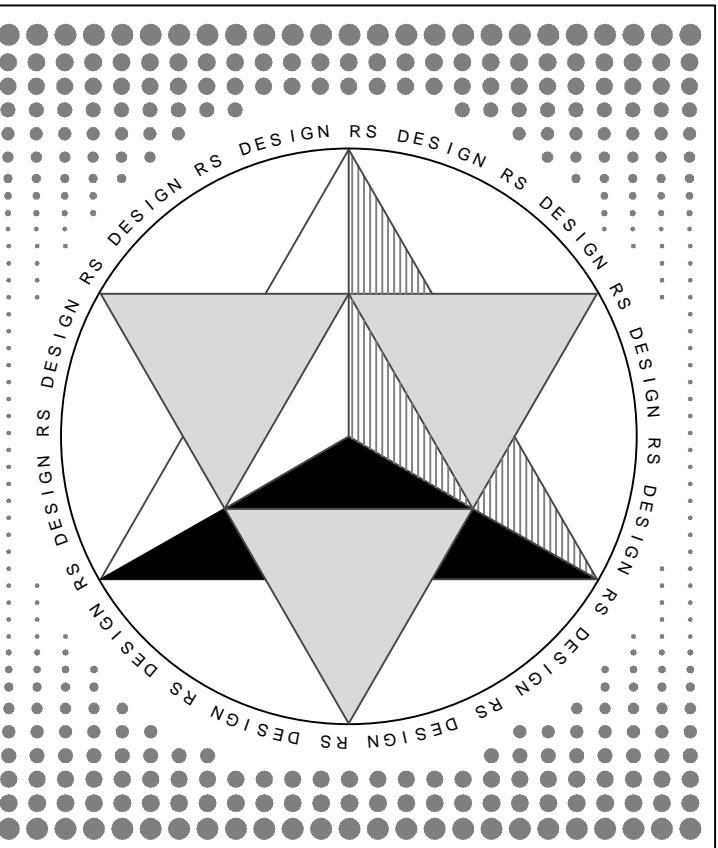
South / West Rendering



North / East Rendering



North / West Rendering



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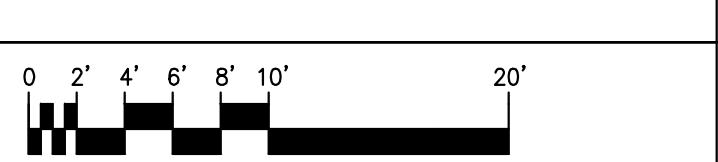
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sheet title:
PROJECT RENDERINGS

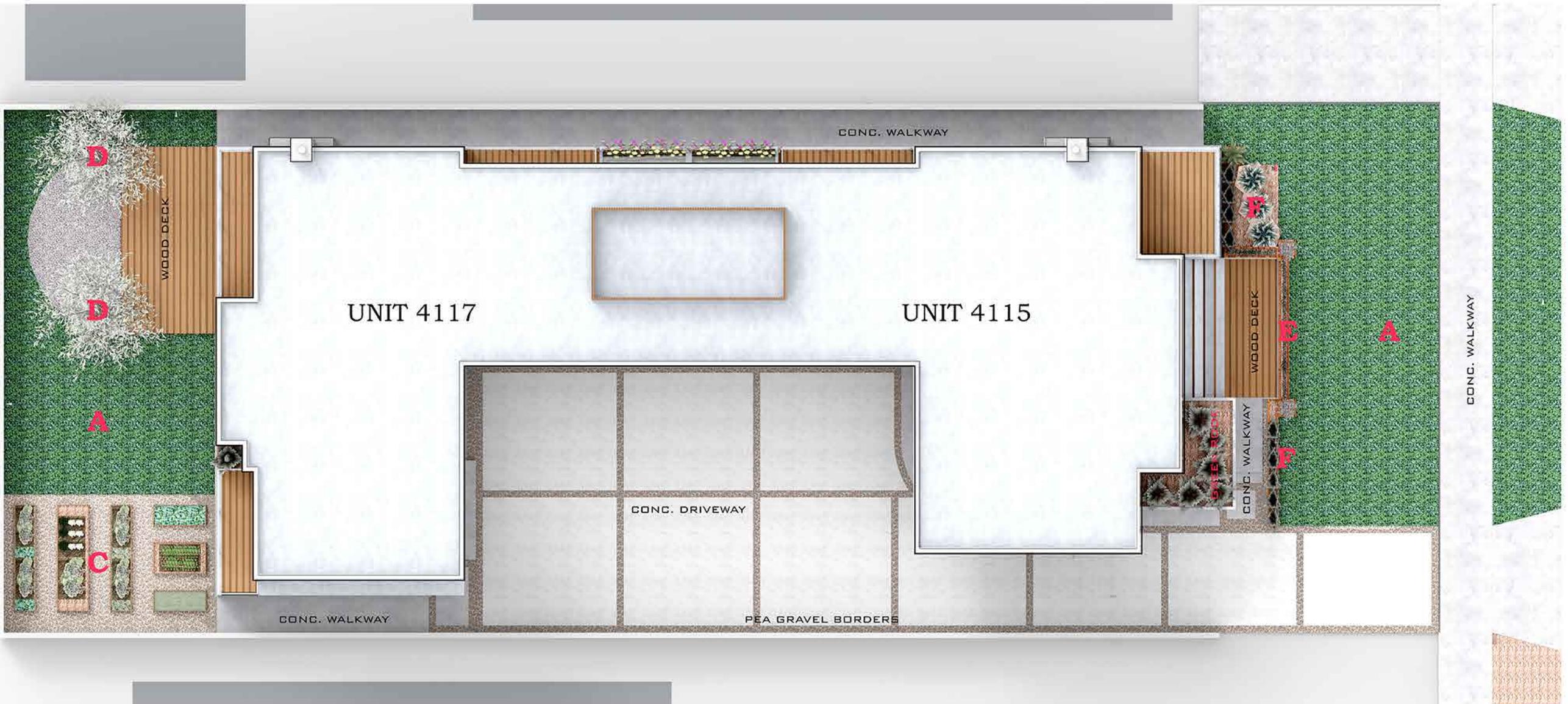


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sheet no.

A8



St. Augustine is broad bladed and medium green in color, this grass can tolerate heat and humidity and also has a tolerance for partial shade.

Raised Bed Vegetable Gardening



Olive or Orange or Eucalyptus Tree, Lavender Bushes



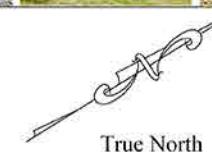
Ornamental Grasses



Preliminary Landscape Plan



Project North



True North



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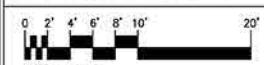
Landscape Key Notes:

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SHEET TITLE:



1/8" = 1'-0"	
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SHEET NO. **AC**

A9

A9

BRADDOCK DRIVE

N 31°46'28"E 339.91'

TO FOUND MAG S&W
@ MADISON AVENUE
PER PWFB 1116-1049,1050

E'LY LINE LOT 2 *

FOUND STK
2.05' N'LY & 1.97' E'LY
OF PROP. CORNER
TAG ELEV = 86.98'

EXISTING GARAGE

12" TREE $\odot 87.08$

87.06 86.88 86.98

87.36 87.29 87.33 GFF

87.13 86.73 86.51 86.66 86.74 87.01

87.13 86.73 86.51 86.66 86.74 87.01

N'LY LINE LOT 21 *

FOUND STK
2.13' N'LY & 2.02' W'LY
OF PROP. CORNER
TAG ELEV = 87.43'

EXISTING GARAGE

SET L&T RCE 30826
ON TOP OF WALL
2.00' N'LY & 0.50' W'LY
OF PROP. CORNER
TAG ELEV = 92.45'

85.29 TOP DOOR
83.82 REIDGE
19" X 25" TYP WND

NOTES

—
CK 15
CT NO. 1775
21-190-191

PER PWFB 1116-1049,1050

FARRAGUT DRIVE

SCALE: 1/8" = 1'-0"

True North

DENN ENGINEERS
3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433

3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433

DATE 2/1/2017

GARY J BOEHLI R.C.E. 30826

Existing Survey

SCALE: 1/8" = 1'-0"

EXISTING STRUCTURES:

EXISTING (1 STORY) 2 UNIT RESIDENTIAL STRUCTURE:	1511 S.F.
EXISTING (1 STORY) 2 CAR GARAGE:	410 S.F.
EXISTING CONCRETE HARDSCAPE:	1920 S.F.
EXISTING STRUCTURES LOT COVERAGE:	28.46%
EXISTING HARDSCAPE LOT COVERAGE:	28.44%

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424 385 5355**

SHEET TITLE:

A piano keyboard diagram showing note heads and labels for 0, 2', 4', 6', 8', 10', and 20'.

1/8" = 1'-0"	
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SHEET NO.	A 10

A10