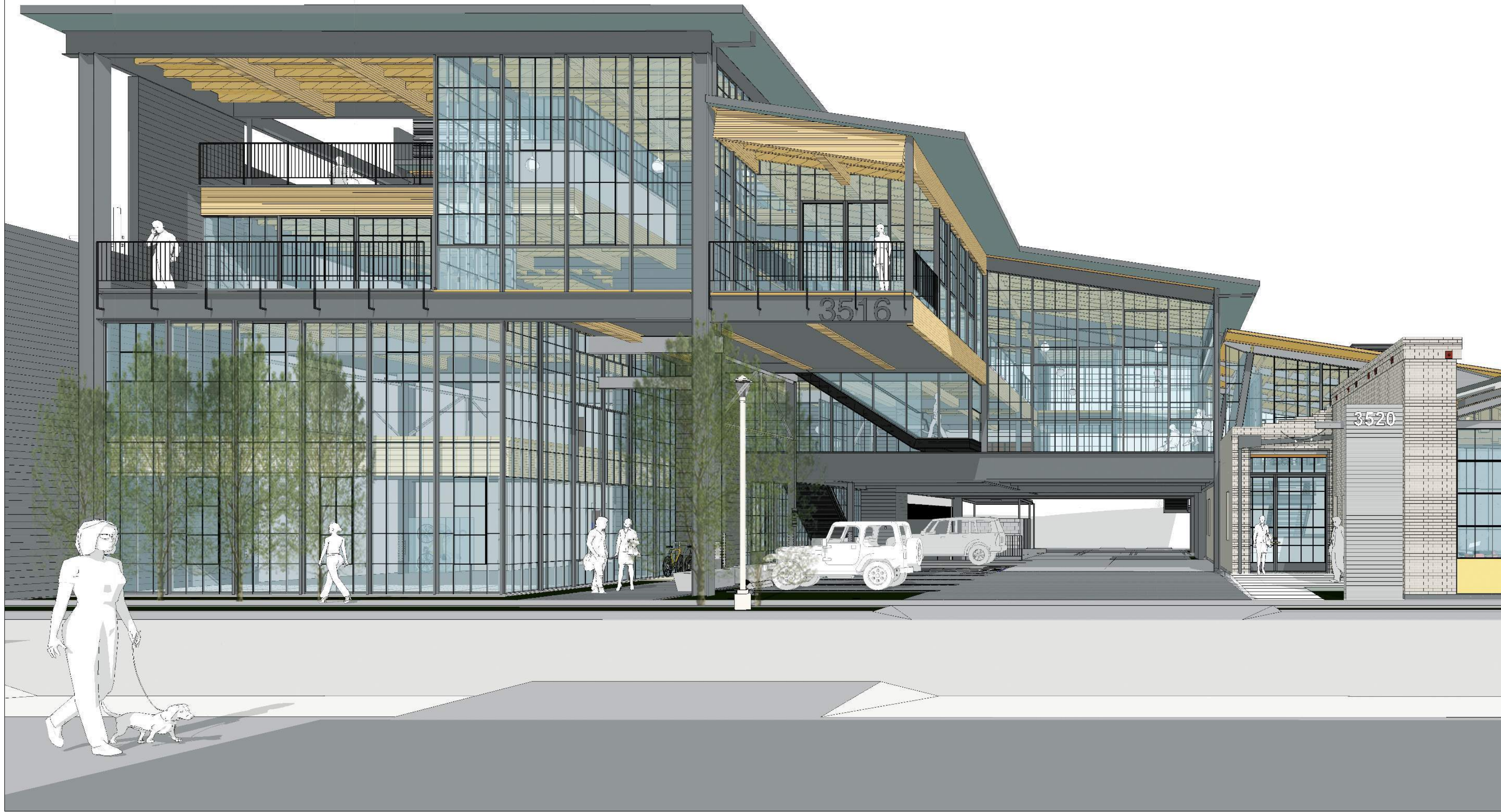


8/22/2019 11:54:07 AM
C:\Users\Ileana\Documents\SOHA-3516_A_V2_ileana.rvt



SCHAEFER 3516

CORE & SHELL

PERMIT SET

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED
OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE
ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED
DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE
FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS
DRAWING. USE FIGURED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3535

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV

DRAWING TITLE:

COVER

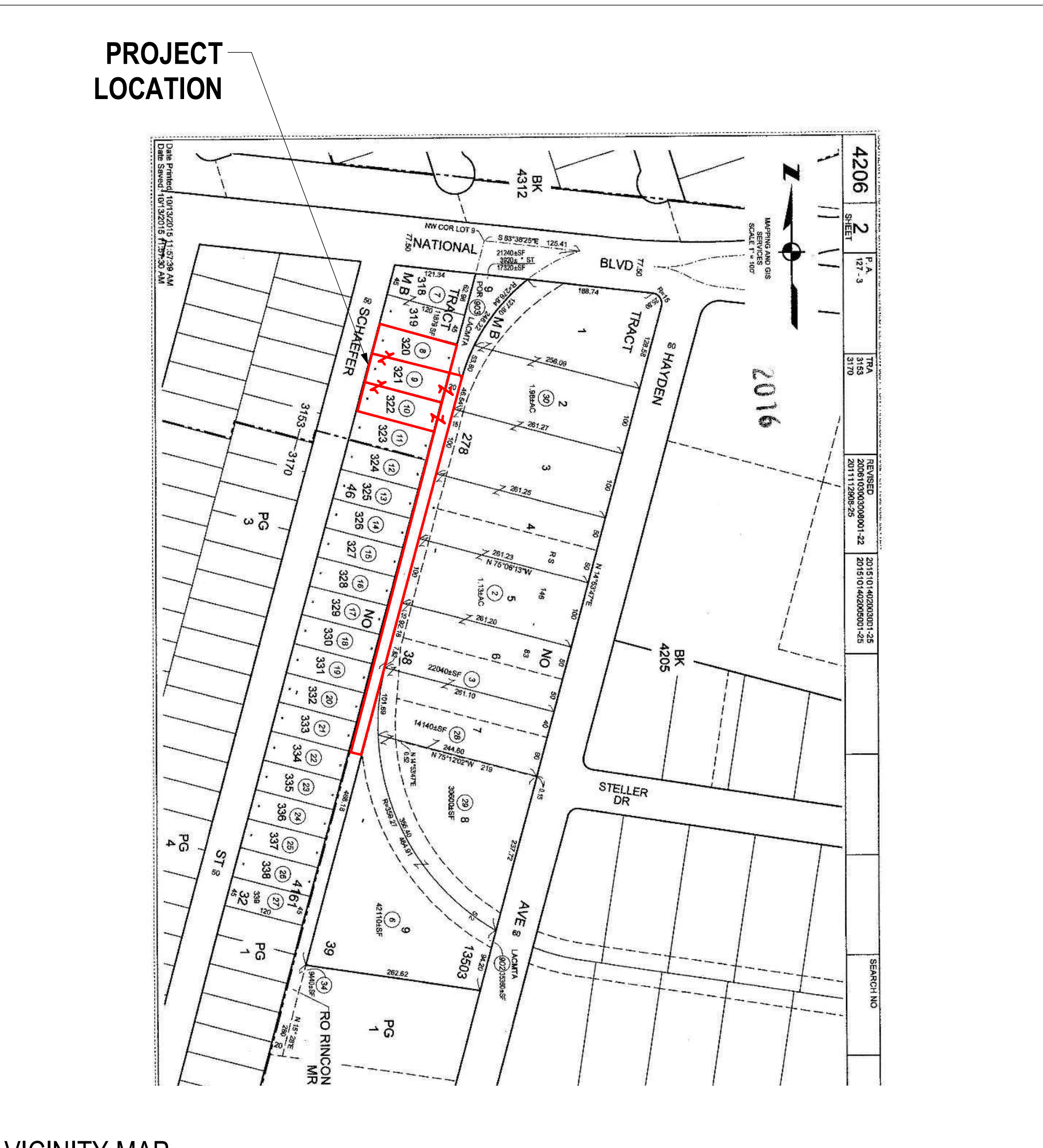
SCALE AT ARCH D (24 x 36):

DRAWN
BY: **RAC**

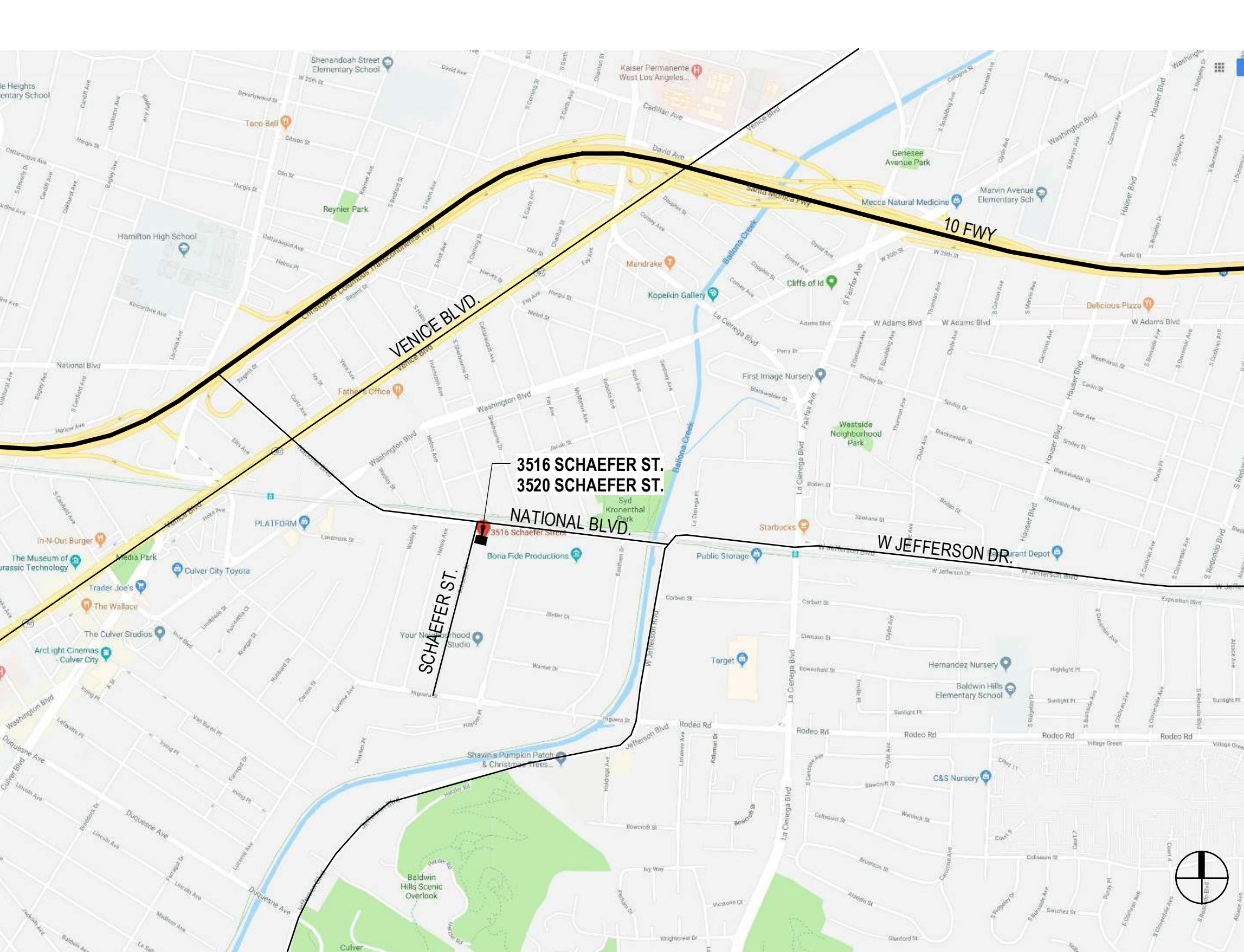
SHEET NUMBER:

000

ASSESSOR'S MAP



VICINITY MAP



DESCRIPTION OF WORK

1. REINFORCEMENT OF EXISTING CRANEWAY BUILDING ON LOT 320.
2. DEMOLITION OF EXISTING BUILDING ON LOT 321; 2,963 SF OF EXISTING BUILDING TO BE REALLOCATED AS NEW BUILDING SF.
3. DEMOLITION OF +/- 45 LF OF GUARDRAIL TO BE REMOVED ALONG THE NORTH ELEVATION OF EXISTING BUILDING 3520 SCHAEFER LOT 322 (SCH I).
4. 3520 SCHAEFER LOT 322 (SCH II), 135 SF OF NORTH DECK TO BE ENCLOSED AS INTERIOR SPACE TO JOIN WITH 3516 SCHAEFER BUILDING ADDITION.
5. NEW BUILDING ADDITION TO EXISTING 3520 SCHAEFER LOT 322 (SCH I); THREE STORIES PLUS MEZZANINE, TYPE V-B SPRINKLERED ON LOT 321 AND LOT 320 (SCH II).
6. NEW FIRE SPRINKLER SYSTEM FOR 3520 SCHAEFER LOT 322 (SCH II).
7. NEW PAVING AND PARKING STRIPING. TANDEM PARKING SUBJECT TO ADMINISTRATIVE USE PERMIT.
8. NEW OPEN PARKING STACKERS SUBJECT TO PLANNING COMMISSION APPROVAL.
9. NEW SITE LANDSCAPING
10. SITE PLAN REVIEW DEFERRED TO PLANNING COMMISSION BASED ON DIRECTOR DETERMINATION

PARKING SUMMARY

(0) PARKING STALLS REQUIRED FOR (E) 3520 SCHAEFER
SEE PERMIT# B16-0850

(0) EXISTING PARKING STALLS UNDER PERMIT # A-995, A-2535, A-2871, AND 37115
REFER TO SHEETS R001, R002 & A010 FOR HISTORIC PERMIT(S)

EXISTING AREA = 7,501 SF
CHANGE OF USE = 7,501 (1/350) = 21 STALLS **CREDIT**

BUILDING ADDITION AREA
16,950 SF (1/350) = **(27) PARKING STALLS REQUIRED PER SECTION 17.320 TITLE 17 CCMC**

PROVIDED PARKING STALLS INCLUDE:
(2) ADA VAN WITH LOADING
(16) PARKING STACKER
(9) OFF STREET, ON GRADE PARKING

(27) TOTAL PARKING STALLS PROVIDED & REQUIRED

****REFER TO CHANGE OF USE PARKING BASIS AND REQUIRED PARKING CALCULATIONS DIAGRAM ON SHEET A110****

PLUMBING SUMMARY

(2) UNISEX SINGLE ACCOMMODATION FACILITIES PROVIDED, (1) REQUIRED, FOR (E) 3520 SCHAEFER
SEE PERMIT# B16-0850

NEW
B OCCUPANCY -
(PER TABLE A, CPC CH 4 TABLE 4-1. GROUP B OCCUPANCY)

SERVED AREA = 16,950 SF / 200 = 85 OCCUPANTS (43 MALE, 42 FEMALE)

(6) UNISEX SINGLE ACCOMMODATION FACILITIES PROVIDED PER CPC SEC 422.2 SEPARATE FACILITIES, EXCEP. 3

WC: 1-50 **M** = 1 REQ'D, 2 PROV.
31-50 **F** = 3 REQ'D, 3 PROV.

LAV: 1-75 **M** = 1 REQ'D, 2 PROV.
1-50 **F** = 1 REQ'D, 3 PROV.

URINAL: 1-100 **M** = 1 REQ'D, 1 PROV.

NOTE: THREE (3) SINGLE OCCUPANT USE WOMENS RESTROOMS PROVIDED. ONE (1) SINGLE OCCUPANT USE MENS RESTROOMS PROVIDED. ONE (1) ADDITIONAL SINGLE OCCUPANT SHARED FACILITY IS PROVIDED FOR TENANT CONVENIENCE.

TYPE OF CONSTRUCTION

EXISTING: IIB, UNSPRINKLERED
PROPOSED: VB, SPRINKLERED

OCCUPANCY & USE

EXISTING
F2 OCC - FACTORY MODERATE-HAZARD USE

NEW CHANGE OF USE
B OCC - CREATIVE OFFICE

OCCUPANT LOAD **REFER TO SHEET A010**

3516 DESIGN OCCUPANCY	
GARAGE / COVERED AREA	28 OCCUPANTS
FIRST FLOOR	24 OCCUPANTS
SECOND FLOOR	71 OCCUPANTS
THIRD FLOOR	72 OCCUPANTS
THIRD FLOOR MEZZ=	27 OCCUPANTS
	222 OCCUPANTS
3520 DESIGN OCCUPANCY (NO CHANGE)	
FIRST FLOOR	45 OCCUPANTS
SECOND FLOOR	28 OCCUPANTS
	73 OCCUPANTS

APPLICABLE CODES

TITLE 19
TITLE 24
TITLE 24
TITLE 24
TITLE 24
TITLE 24
TITLE 24
TITLE 24
TITLE 24
TITLE 24
TITLE 24
2016 NFPA 72
2016 NFPA 13
CCMC TITLE 17

CCR, PUBLIC SAFETY, STATE FIRE MARSHALL REGULATIONS
CCR, PART 1 - 2016 BUILDING STANDARDS ADMINISTRATIVE CODE
CCR, PART 2 - 2016 CALIFORNIA BUILDING CODE, VOL 1 & 2 (CBC)
CCR, PART 3 - 2016 CALIFORNIA ELECTRICAL CODE (CEC)
CCR, PART 4 - 2016 CALIFORNIA MECHANICAL CODE (CMC)
CCR, PART 5 - 2016 CALIFORNIA PLUMBING CODE (CPC)
CCR, PART 6 - 2016 CALIFORNIA ENERGY CODE (CBSC)
CCR, PART 9 - 2016 CALIFORNIA FIRE CODE (CFC)
CCR, PART 10 - 2016 EXISTING BUILDING CODE (IN VOL. 2 CBC)
CCR, PART 12 - 2016 CALIFORNIA REFERENCED STANDARDS
NATIONAL FIRE ALARM AND SIGNALING CODE (CA AMENDED) SEE UL STD 1971 FOR "VISUAL DEVICES"
STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED)
LANDSCAPE, PARKING, PROPERTY DEVELOPMENT STANDARDS
MECHANICAL PARKING DESIGN REQUIREMENTS, INDUSTRIAL ZONING DISTRICTS
MANDATORY GOING GREEN MEASURES
CCR PART 11 CALIFORNIA GREEN BUILDING STANDARDS

PROJECT SUMMARY

TABLE 504.3 - ALLOWABLE BUILDING HEIGHT IN FEET
B OCCUPANCY / SPRINKLERED / TYPE V B = 43'-0"

TABLE 504.4 - ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE
B OCCUPANCY / SPRINKLERED / TYPE V B = 3

TABLE 506.2 - ALLOWABLE AREA FACTOR IN SQ. FT.
B OCCUPANCY / SPRINKLERED / TYPE V B = 36,000 SF

ALLOWED = 36,000 SF
PROPOSED = 25,833 SF

ADDRESS: 3512 SCHAEFER ST., CULVER CITY CA. 90232 (SCH II - LOT 320)

YEAR BUILT: N/A
ASSESSOR ID NUMBER: 4206-002-008
LOT AREA: 5,400 SF
LOT SIZE: 120' x 45'
TRACK/LOT/BLOCK: TRACT NO. 4161 LOT 320
ZONING: IG

(E) OCCUPANCY: F2
(E) USE: COVERED STORAGE 'CRANEWAY'
(E) STORIES: 1
(E) HEIGHT: +/- 16'-0"
(E) BUILDING SF: 4,538 SF
(E) PARKING: 0

(N) OCCUPANCY: B
(N) USE: CREATIVE OFFICE
(N) STORIES: 3 STORIES PLUS MEZZ.
(N) HEIGHT: 43'-0 MAX
(N) ADDITIONAL SF: 7,793 SF
(N) TOTAL SF: 12,331 SF

ADDRESS: 3516 SCHAEFER ST., CULVER CITY CA. 90232 (SCH II - LOT 321)

YEAR BUILT: 1950
ASSESSOR ID NUMBER: 4206-002-009
LOT AREA: 5,400 SF
LOT SIZE: 120' x 45'
TRACK/LOT/BLOCK: TRACT NO. 4161 LOT 321
ZONING: IG

(E) OCCUPANCY: F2
(E) USE: MANUFACTURING
(E) STORIES: 1
(E) HEIGHT: +/- 12'-0"
(E) BUILDING SF: 2,963 SF
(E) PARKING: 0

(N) OCCUPANCY: B
(N) USE: CREATIVE OFFICE
(N) STORIES: 3 STORIES PLUS MEZZ.
(N) HEIGHT: 43'-0 MAX
(N) ADDITIONAL SF: 1,521 SF
(N) TOTAL SF: 4,484 SF

ADDRESS: 3520 SCHAEFER ST., CULVER CITY CA. 90232 (SCH I - LOT 322)
REFER TO PERMIT# B16-0850

YEAR BUILT: 1930
ASSESSOR ID NUMBER: 4206-002-010
LOT AREA: 5,400 SF
LOT SIZE: 120' x 45'
TRACK/LOT/BLOCK: TRACT NO. 4161 LOT 322
ZONING: IG

(E) OCCUPANCY: B
(E) USE: CREATIVE OFFICE
(E) STORIES: 2
(E) HEIGHT: +/- 28'-3"
(E) BUILDING SF: 5,979 SF
(E) PARKING: 0

(N) OCCUPANCY: NO CHANGE
(N) USE: NO CHANGE
(N) STORIES: NO CHANGE
(N) HEIGHT: NO CHANGE
(N) ADDITIONAL SF: 135 SF
(N) TOTAL SF: 6,114 SF

ADDRESS: NOT AVAILABLE SPUR REMNANT (POR OF LOT 09)

YEAR BUILT: N/A
ASSESSOR ID NUMBER: 4206-002-035 (PORTION)
LOT AREA: 17,581 SF
LOT SIZE: VARIES
TRACK/LOT/BLOCK: TRACT NO. 03153 POR OF LOT 09
ZONING: IG
(E) OCCUPANCY: N/A
(E) USE: INDUSTRIAL
(E) STORIES: N/A
(E) HEIGHT: N/A

3516 SCHAEFER
EXISTING: 7,501 SF
DEMOLITION: 2,963 SF (AREA REALLOCATED)
PROPOSED ADDITION: 9,449 SF
TOTAL GSF: 16,950 SF (DOES NOT INCLUDE 135 SF @ LOT 322)

3520 SCHAEFER
EXISTING: 5,979 SF
DEMOLITION: +/- 45 LF OF GUARDRAIL
PROPOSED ADDITION: 135 SF OF (E) NORTH DECK TO BE ENCLOSED AS INTERIOR SPACE
TOTAL GSF: 6,114 SF

TOTAL AREA (INCLUDING DECKS, COVERED PARKING, AND 135 SF OF (N) INTERIOR SF ON SCH I):
25,020 SF

NOTE: SITE WORK NOT INCLUDED

AREA OF WORK / SUMMARY

SCHAEFER 3516
CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE TABLED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3515

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0211

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV

DRAWING TITLE:

PROJECT INFORMATION

SCALE AT ARCH D (24 x 36):
12" = 1'-0"

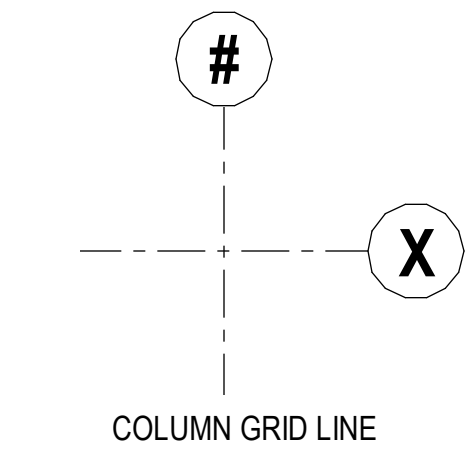
DRAWN BY: **RAC**

SHEET NUMBER:

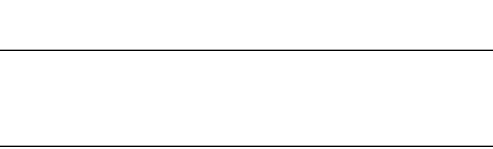
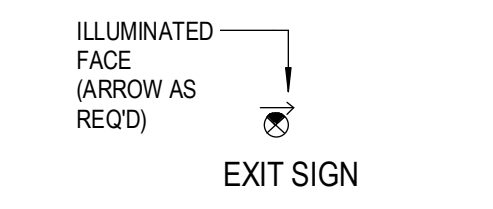
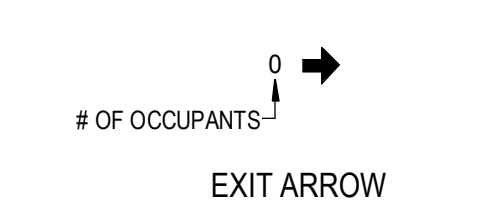
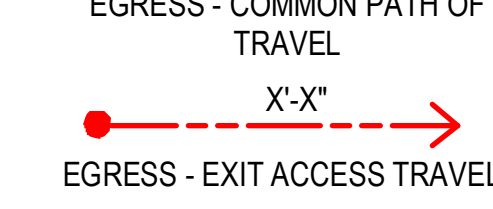
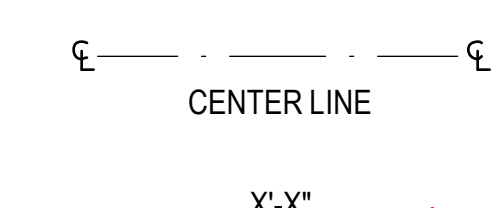
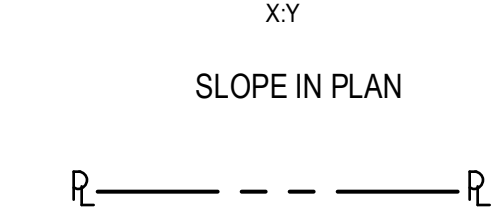
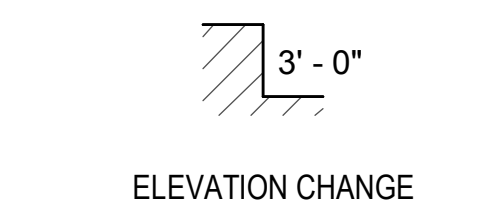
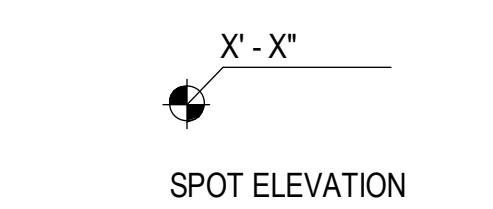
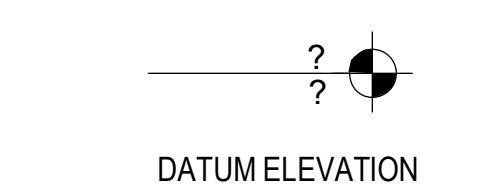
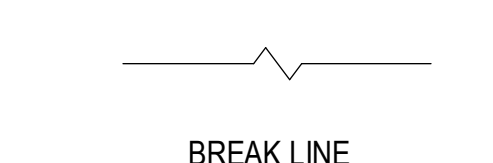
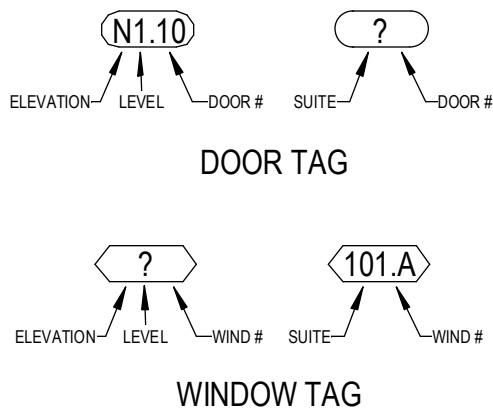
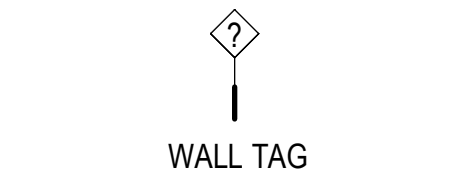
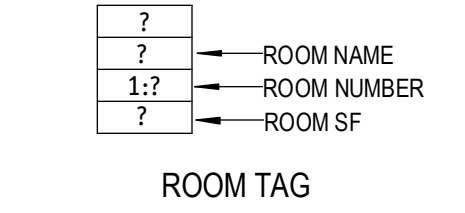
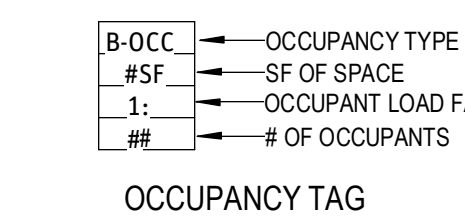
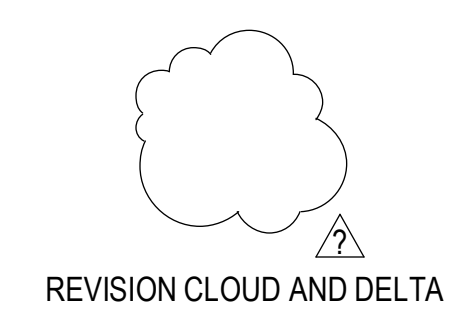
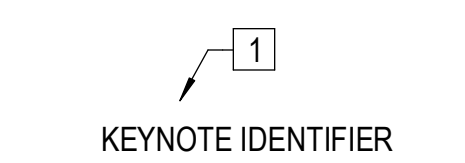
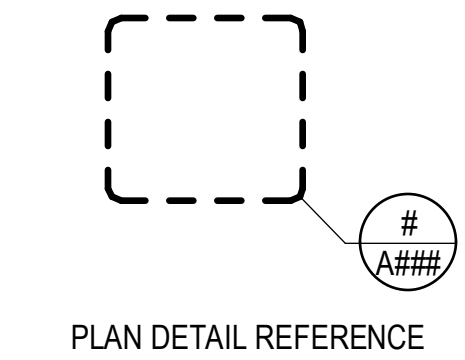
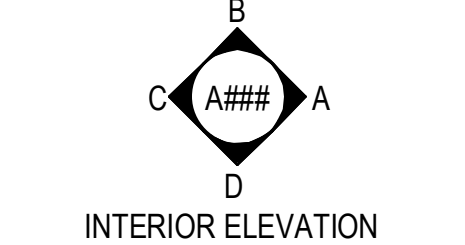
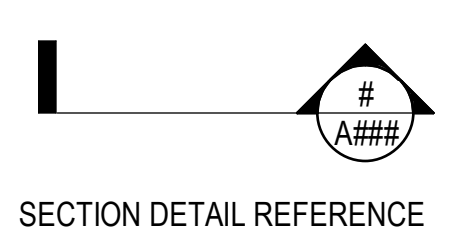
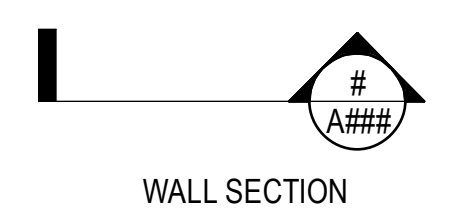
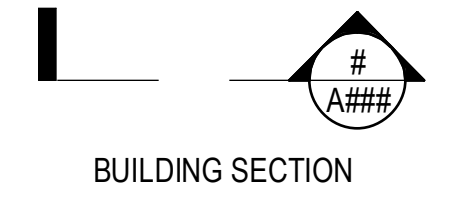
G001

DRAFTING CONVENTIONS AND SYMBOLS

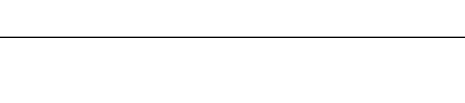
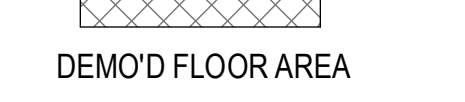
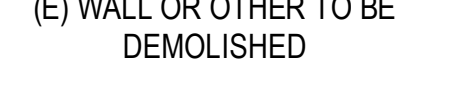
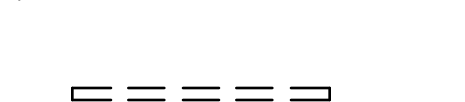
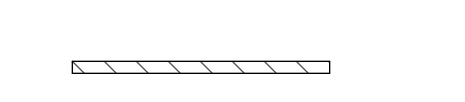
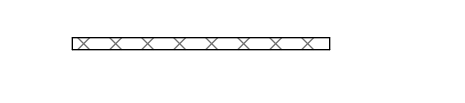
GRAPHIC SYMBOLS



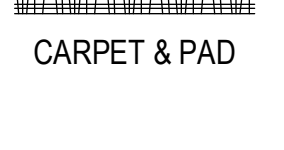
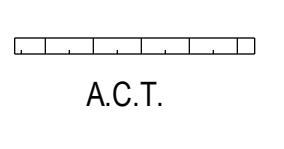
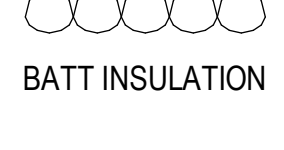
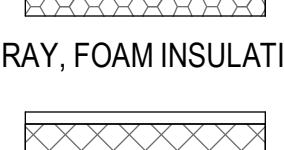
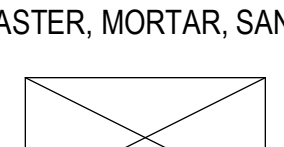
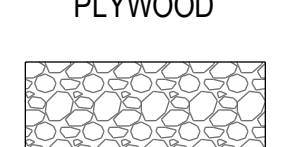
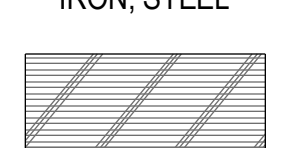
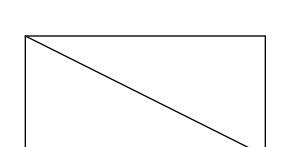
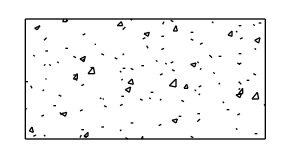
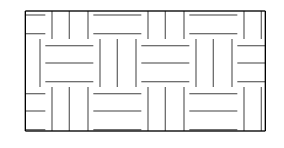
FOR CONTINUATION SEE 0/A.00
MATCH LINE DESIGNATION



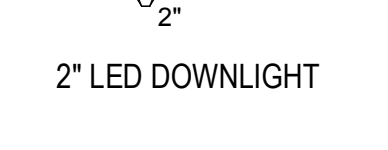
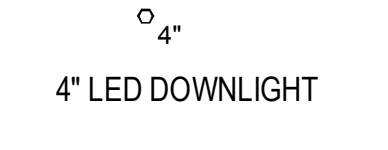
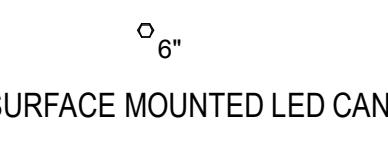
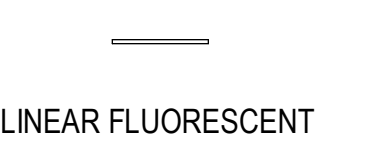
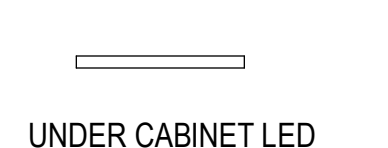
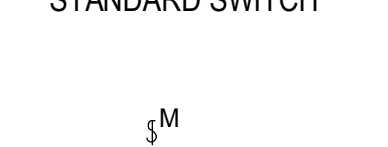
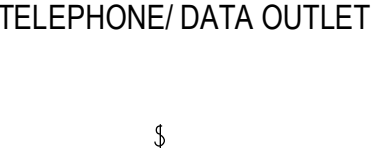
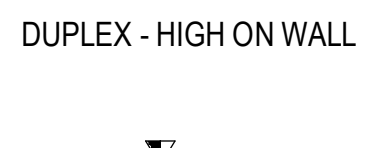
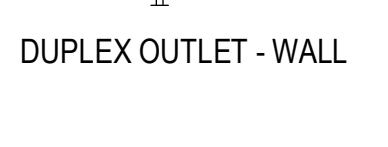
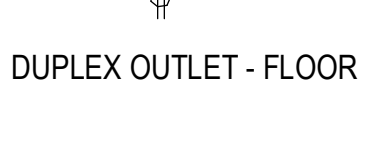
ARCHITECTURAL SYMBOLS



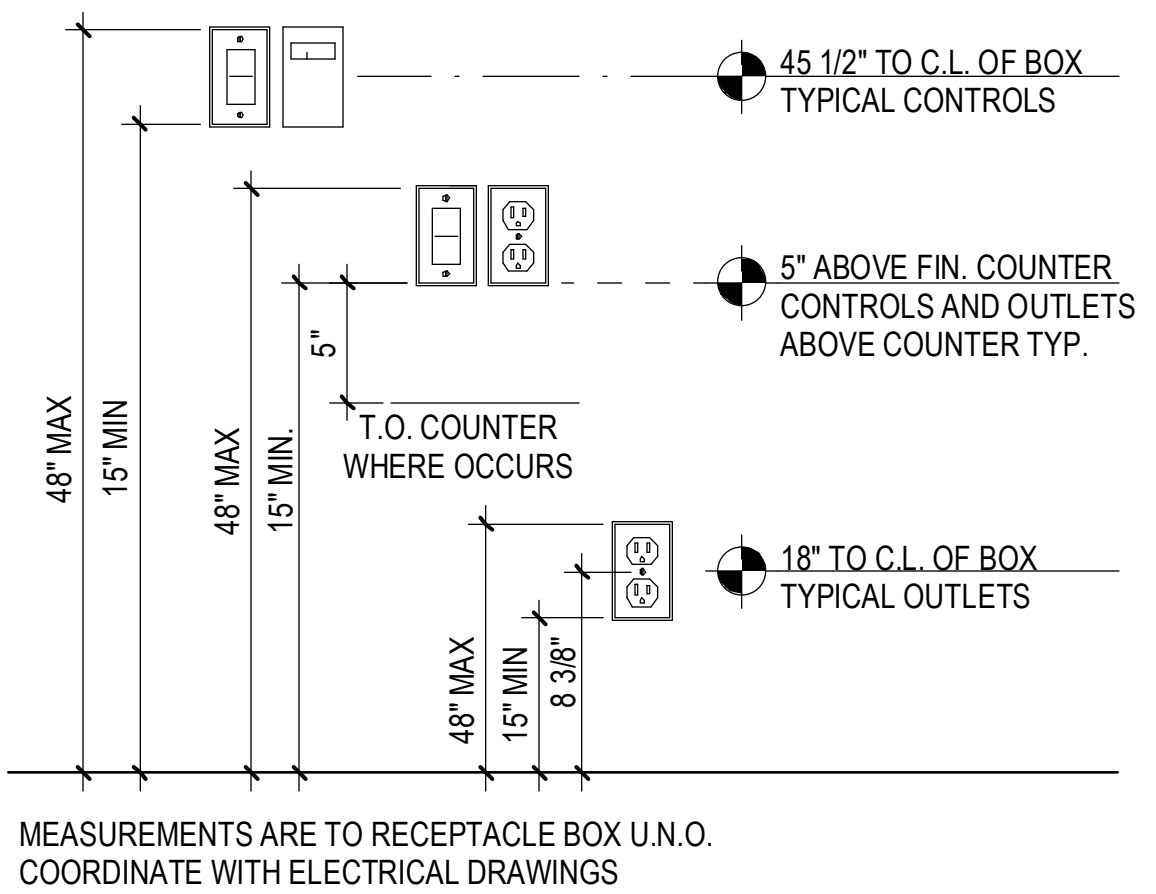
GRAPHIC HATCHES



ELECTRICAL SYMBOLS



TYPICAL MOUNTING HEIGHTS



ABBREVIATIONS

& L @ CL Ø ° #	AND ANGLE AT CENTERLINE DIAMETER DEGREE POUND	KIT. KIT	KITCHEN
ABV. ACOUST. A.C.T. A.F.F. AD ADJ. A.N.G.	ABOVE ACOUSTIC ACOUSTIC CEILING TILE ABOVE FINISHED FLOOR AREA DRAIN ADJUSTABLE AVERAGE NATURAL GRADE	LAM. L.T. MACH. MAX. M.E.P.	LAMINATE LIGHT MACHINE(D) MAXIMUM MECHANICAL, ELECTRICAL AND PLUMBING MANUFACTURER
APPROX. ARCH. ALUM.	APPROXIMATE(LY) ARCHITECTUR(AL) ALUMINUM	MANU. MIN. MISC. MTD. MTL. MHC.	MANUFACTURER MINIMUM MISCELLANEOUS MOUNTED METAL MAN HOLE COVER
BLDG. BLKG. BM. B.O. BOT.	BUILDING BLOCKING BEAM BOTTOM OF BOTTOM	N N.E.C. N.I.C. NO. NOM. N.T.S.	NORTH NATIONAL ELECTRICAL CODE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
CAB. C.C.R.	CABINET CALIFORNIA CODE OF REGULATIONS	O.C. O.D. O.H. OLF OPNG. OPP.	ON CENTER OUTSIDE DIAMETER OPPOSITE HAND OCCUPANT LOAD FACTOR OPENING OPPOSITE
CB C.B.C. CEM CLG. CLO. C.O. COL. CLR. CONC. CONT. CPT. CTR.	CATCH BASIN CALIF. BUILDING CODE CEMENT CEILING CLOSET CLEAN OUT COLUMN CLEAR CONCRETE CONTINUOUS CARPET CENTER	PTD. P.D. PL. P.LAM. PLYWD. PNL. PR. PT. PART.	PAINT(ED) PLANTER DRAIN PLATE PLASTIC LAMINATE PLYWOOD PANEL PAIR POINT PARTITION
DET. DTL. DIA. DIAG. DIM. D.O. DN. DR. D.S. DWG.	DETAIL DETAIL DIAMETER DIAGONAL DIMENSION DO OVER DOWN DOOR DOWNSPOUT DRAWING	R RAD. RE: REINF. REQ'D RM. R.O.	RISER RADIUS REFER TO REINFORCING REQUIRED ROOM ROUGH OPENING
E (E) EA. E.J. EL(EV) ELEC. EMER. E.O.S. EQ. EQUIP. EXIST. EXP. EXT.	EAST EXISTING EACH EXPANSION JOINT ELEVATION ELECTRIC(AL) EMERGENCY EDGE OF SLAB EQUAL EQUIPMENT EXISTING EXPOSED OR EXPANSION EXTERIOR	S S.C. SCHD. SEC(T) SHF SHT. SIM. SPEC. S.T.C. STD. STL. STR(UCT) SUSP.	SOUTH SOLID CORE SCHEDULE(D) SECTION SHELF SHEET SIMILAR SPECIFICATION(S) SOUND TRANSMISSION CLASSIFICATION STANDARD STEEL STRUCTURE SUSPENDED
F.A. FACT. F.E.C. F.F. F.F.E. F.G. FIN. FLR. FLUOR. F.O. F.O.F. F.O.S. F.O.W. F.R. F.S. FT. FURR. F.V.	FIRE ALARM FACTORY FIRE EXTINGUISHER CABINET FINISHED FLOOR FINISH FLOOR ELEVATION FINISHED GRADE FINISH(ED) FLOOR FLUORESCENT FACE OF FACE OF FINISH FACE OF STUDS FACE OF WALL FIRE RATED FINISHED SURFACE FOOT OR FEET FURRING FIELD VERIFY	T T&G T.G. THK. T.O. T.O.C. T.O.S. T.O.STL. T.O.W. TYP. U.B.C. U.L. UNF. U.N.O. U.O.N. U.P.C.	TREAD TONGUE & GROOVE TOP OF GRATE THICK TOP OF TOP OF CONCRETE TOP OF SLAB TOP OF STEEL TOP OF WALL TYPICAL UNIFORM BUILDING CODE UNDERWRITERS LABORATORY UNFINISHED UNLESS NOTED OTHERWISE NOTED UNIFORM PLUMBING CODE
GA. GALV. G.C. G.I. GL. GWB.	GAUGE GALVANIZED GENERAL CONTRACTOR GALVANIZED IRON GLASS GYPSUM WALLBOARD	V.C.T. VER. V.I.F.	VINYL COMPOSITION TILE VERIFY VERIFY IN FIELD
H.C. HC. HDWD. H.M. H.O. HR. HT. H.V.A.C.	HOLLOW CORE HANDICAPPED HARDWOOD HOLLOW METAL HOLD OPEN HOUR OR HANDRAIL HEIGHT HEATING VENTILATION AND AIR CONDITIONING	W.P. W W/ WD. W/O	WATER PROOFING WEST WITH WOOD WITHOUT
H.W. H.B.	HOT WATER HOSE BIB		
I.D. I.E. INSUL.	INSIDE DIAMETER PIPE INVERT ELEVATION INSULATION		
JT.	JOINT		

SCHAEFER 3516
CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:

RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED
OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE
ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED
DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE
FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS
DRAWING. USE TYPED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3535

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV
PLAN CHECK	2/14/08.01	

DRAWING TITLE:

**ABBREVIATIONS AND
DRAFTING
CONVENTIONS**

SCALE AT ARCH D (24 x 36):
As indicated

SHEET NUMBER:

DRAWN
BY: **RAC**

G002

TABLE 11B-228.3.2.1
ELECTRIC VEHICLE CHARGING STATIONS FOR PUBLIC USE AND COMMON USE

TOTAL NUMBER OF EVCS AT A FACILITY	MINIMUM NUMBER (BY TYPE) OF EVCS REQUIRED TO COMPLY WITH SECTION 11B-812		
	VAN ACCESSIBLE	STANDARD ACCESSIBLE	AMBULATORY
1 TO 4	1	0	0
5 TO 25	1	1	0
26 TO 50	1	1	1
51 TO 75	1	2	2
76 TO 100	1	3	3
101 TO OVER	1, PLUS 1 FOR EACH 300, OR FRACTION THEREOF, OVER 100	3, PLUS 1 FOR EACH 60, OR FRACTION THEREOF, OVER 100	3, PLUS 1 FOR EACH 50, OR FRACTION THEREOF, OVER 100

1. WHERE AN EV CHARGER CAN SIMULTANEOUSLY CHARGE MORE THAN ONE VEHICLE, THE NUMBER OF EVCS PROVIDED SHALL BE CONSIDERED EQUIVALENT TO THE NUMBER OF ELECTRIC VEHICLES THAT CAN BE SIMULTANEOUSLY CHARGED.

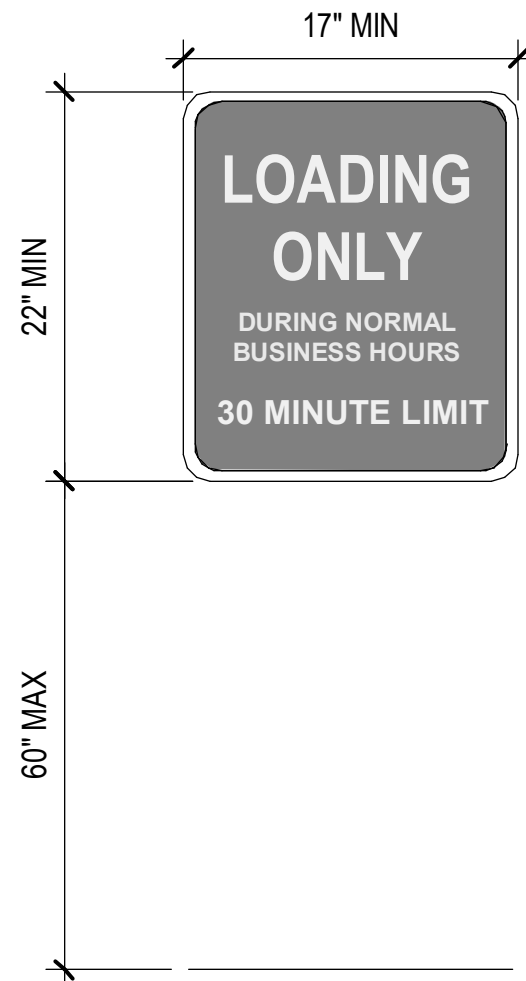
ACCESSIBLE PARKING FACILITIES ADDITIONAL SIGNAGE

AN **ADDITIONAL** SIGN SHALL BE POSTED EITHER; 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.

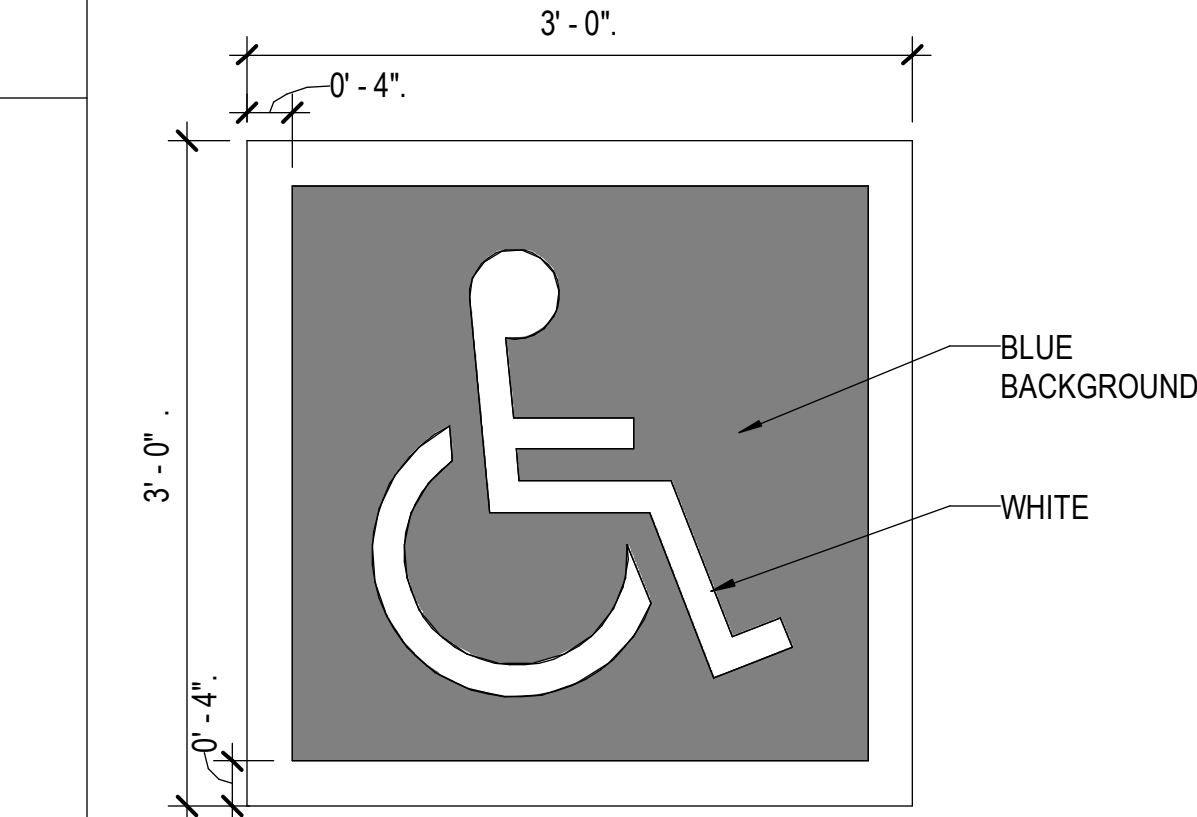
THE SIGN MUST INDICATE: "UNAUTHORIZED" VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: _____ OR BY TELEPHONING _____."

11B-502.6 IDENTIFICATION. PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 IN WHITE ON A BLUE BACKGROUND. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE." SIGN SHALL BE 60 INCHES (1524MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

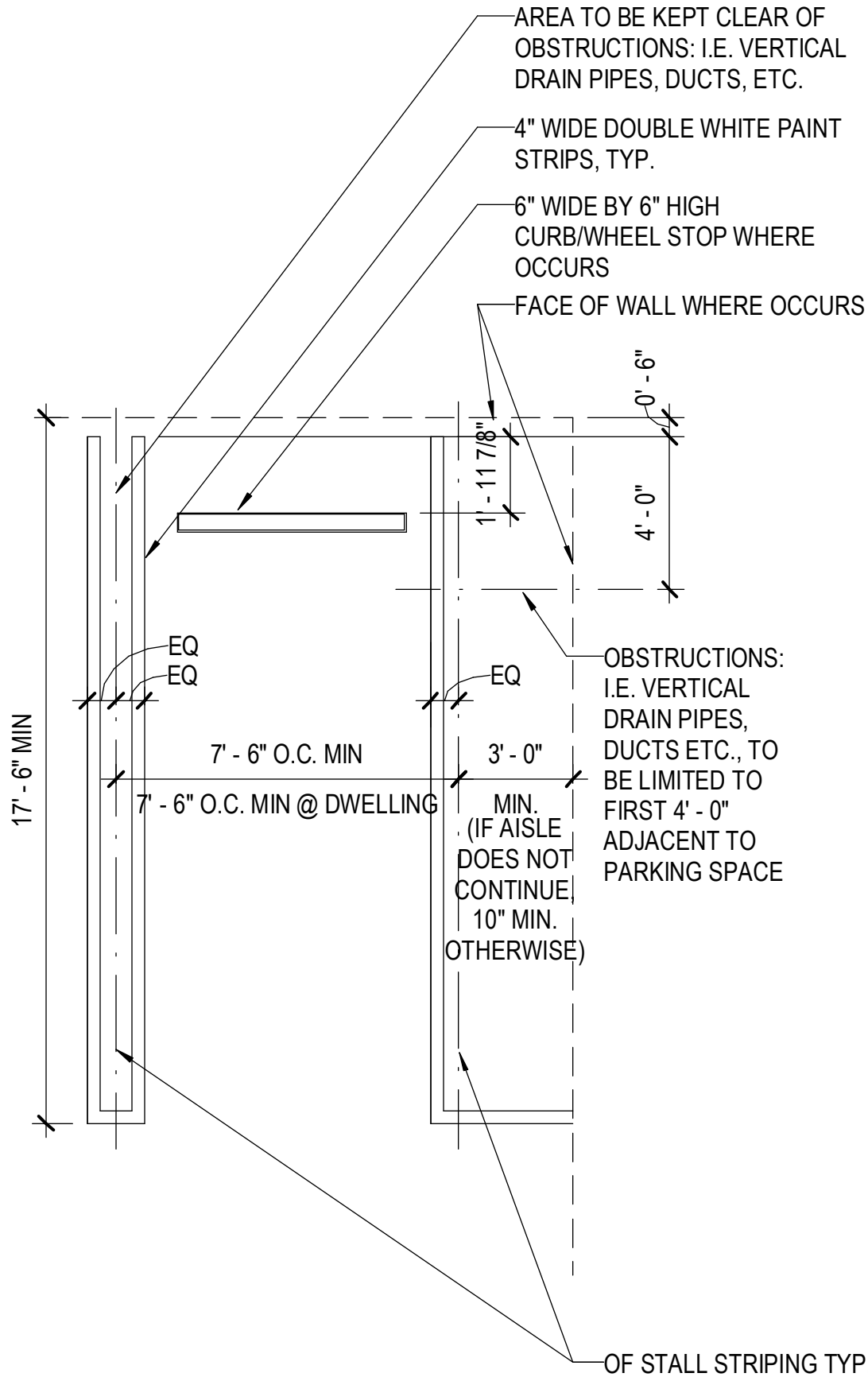
DSA - ADVISORY 11B-209.4 VALET PARKING. VALET PARKING DOES NOT ELIMINATE THE REQUIREMENT TO PROVIDE ACCESSIBLE PARKING SPACES. SOME VEHICLES MAY BE ADAPTED WITH HAND CONTROLS OR LACK A DRIVER'S SEAT, AND MAY NOT BE OPERABLE BY A VALET PARKING ATTENDANT. THE PARKING SPACE REQUIREMENTS OF SECTION 11B-208 AND 11B-502 APPLY TO FACILITIES WITH VALET PARKING, INCLUDING THE REQUIREMENT FOR AN ACCESSIBLE ROUTE OF TRAVEL TO THE ENTRANCE OF THE FACILITY. IN ADDITION, WHEN VALET PARKING IS PROVIDED, A PASSENGER DROP-OFF AND LOADING ZONE COMPLYING WITH SECTION 11B-503 SHALL BE LOCATED ON AN ACCESSIBLE ROUTE OF TRAVEL TO THE ENTRANCE OF THE FACILITY.



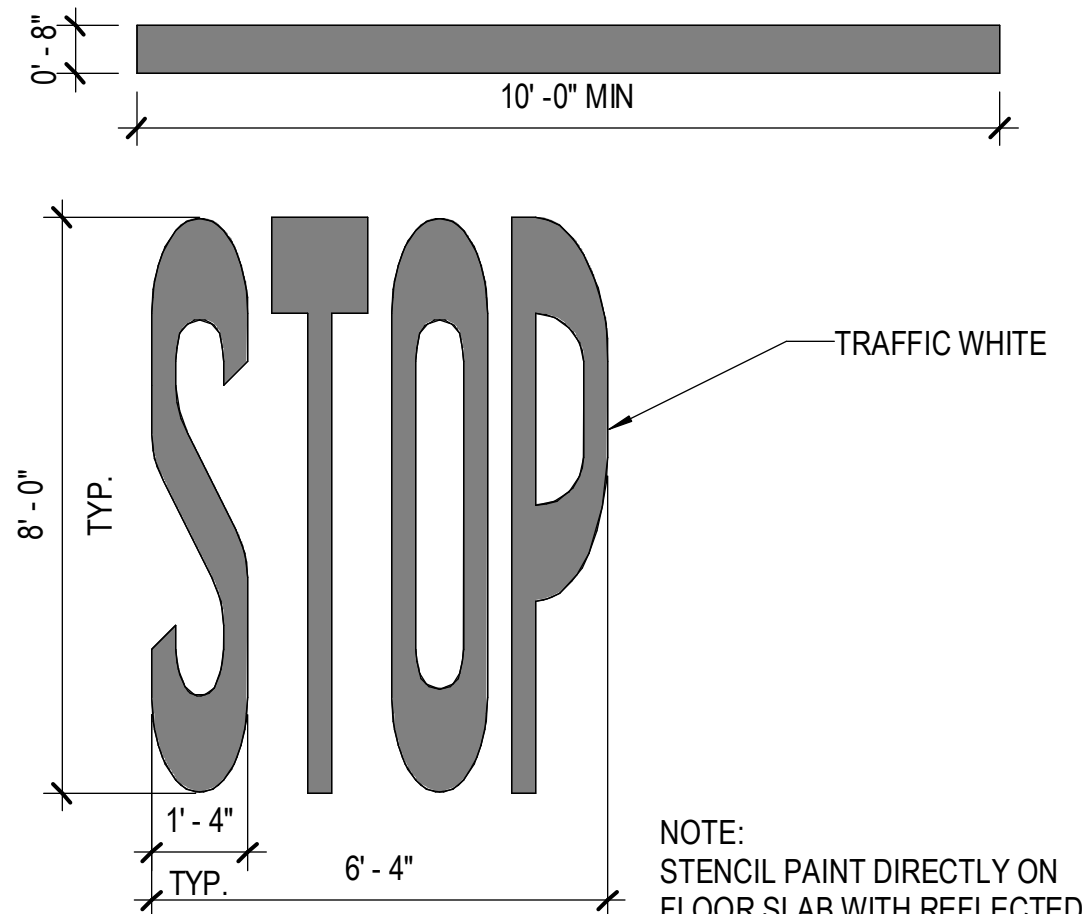
SIGNAGE ELEVATION - LOADING ONLY
3" = 1'-0"



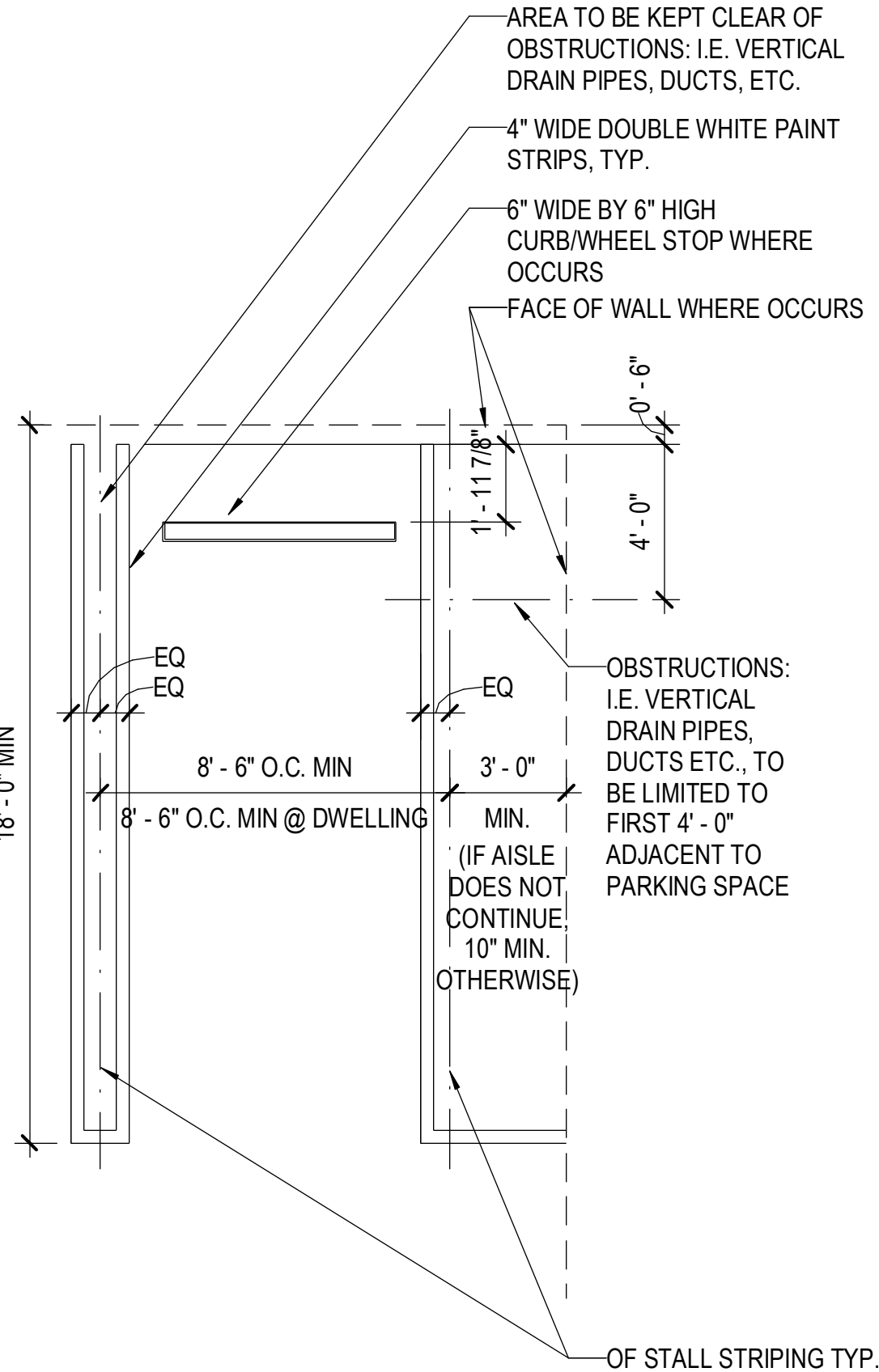
ADA SYMBOL
N.T.S.



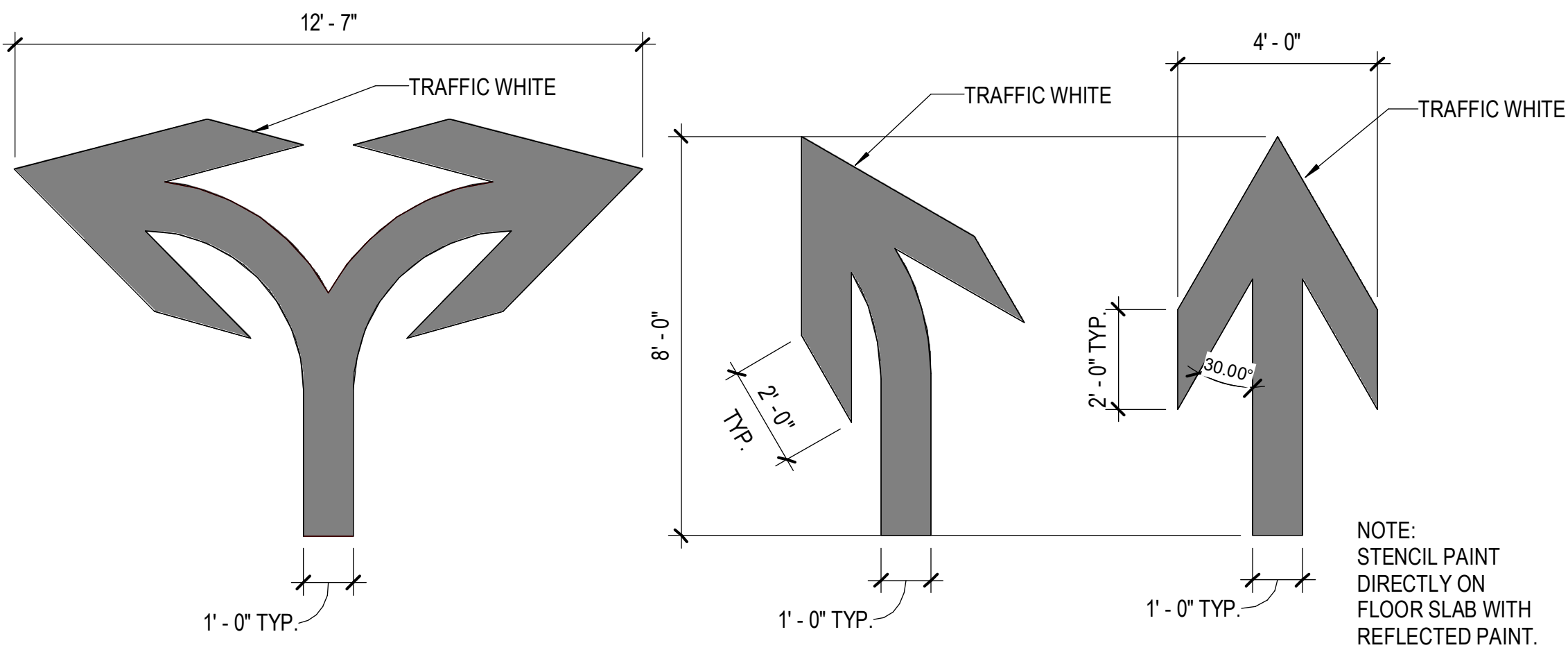
TYPICAL COMPACT STALL
N.T.S.



DIRECTIONAL SIGN
N.T.S.



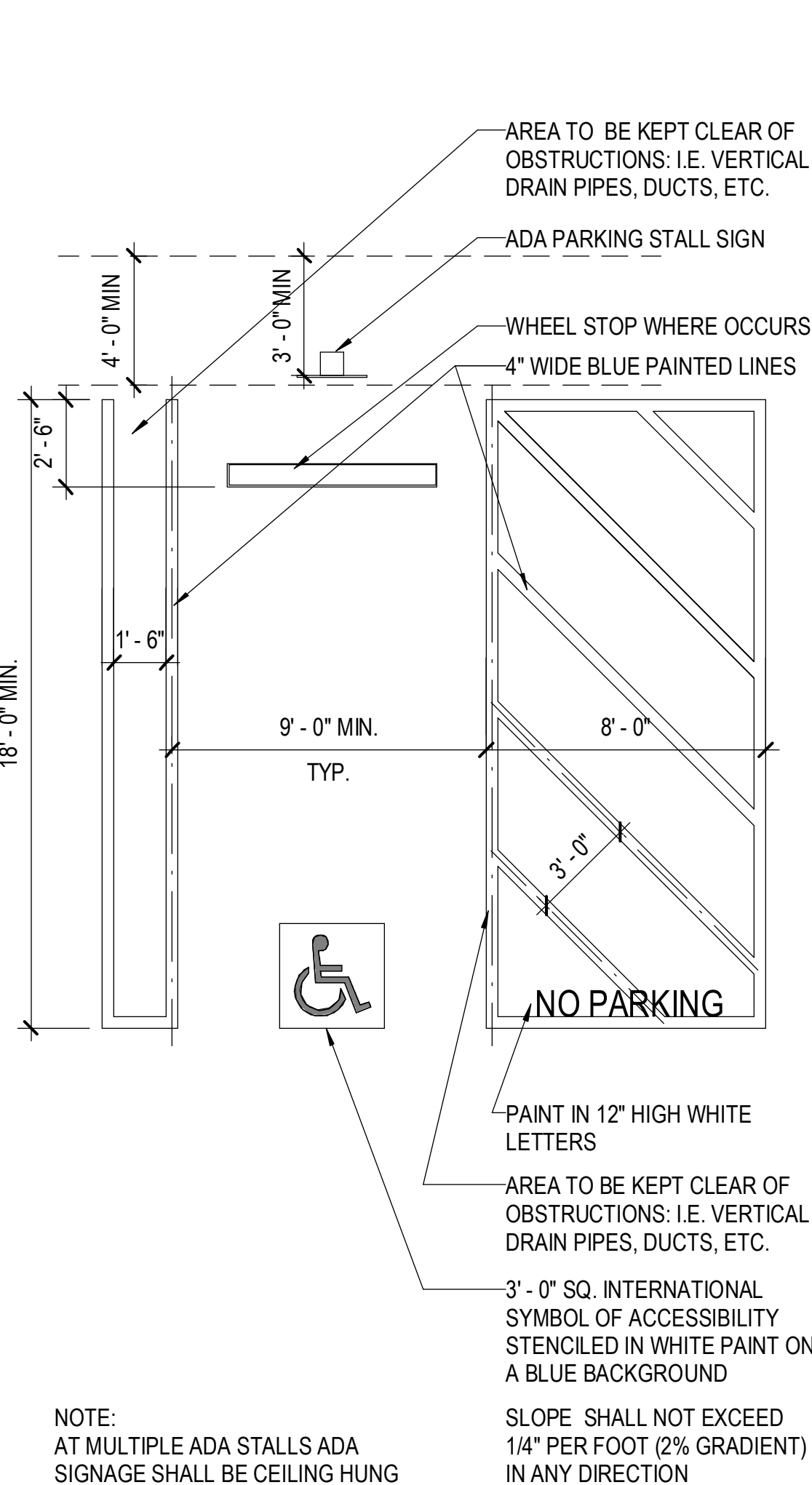
TYPICAL STANDARD STALL
N.T.S.



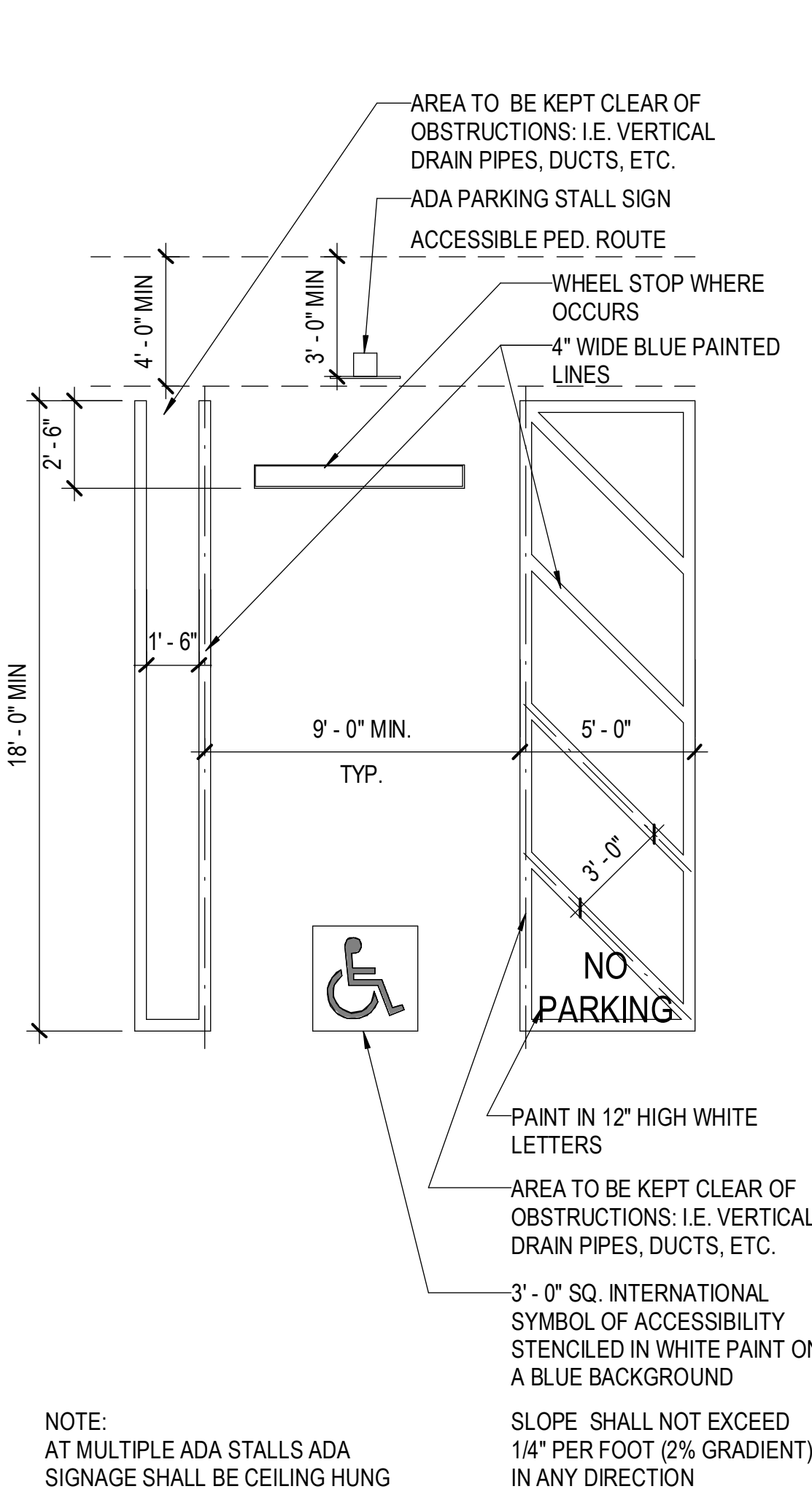
DIRECTIONAL SIGN
N.T.S.



SIGNAGE ELEVATION
N.T.S.



VAN PARKING STALL STRIPING
N.T.S.



ADA PARKING STALL STRIPING
N.T.S.

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED
OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE
ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED
DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE
FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS
DRAWING. USE FIGURED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3565

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 900017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV

DRAWING TITLE:

**CULVER CITY PARKING
NOTES**

SCALE AT ARCH D (24 x 36):
As indicated

DRAWN BY: **RAC**

SHEET NUMBER:

G030



Culver City Building Safety Division Mandatory Green Building Program

Category 1 Qualifying Projects

All new construction, new additions, and major renovations in Culver City up to 49,999 square feet of affected area are required to comply with Category 1 requirements, excluding single family and two family structures.

Major renovations are defined as a project construction valuation of 50% or greater of the value of the existing building or affected portion of a building. The value of an existing building is defined as the Los Angeles County Assessor's Office value of the existing structure not including the land, or the value listed on a recent certified appraisal. The construction valuation is as defined by the permit applicant on the construction permit, application, or at a minimum as defined by the most current Culver City Building Safety Minimum S.F. Costs Guide.

Category 1 qualifying projects must comply with 80% of the applicable following items. The project applicant shall submit this checklist with the construction permit application drawings and all items checked must be indicated in the construction permit application drawings.

- ☒ 1. Heating, ventilating and air conditioning (HVAC) units shall have a minimum seasonal energy efficiency rating (SEER) of17.
- ☐ 2. Gas heating units shall be a minimum of 93% energy efficient. NOT APPLICABLE
- ☒ 3. All heating and cooling ducts shall be located within the space to be heated or cooled.
- ☐ 4. Roof and floor structures abutting an exterior space shall be a minimum of R-38 (thermal resistance value), and all exterior walls shall be a minimum value of R-28.

CRAIG JOHNSON, RA, GC, CBO, BUILDING OFFICIAL
BUILDING SAFETY DIVISION TEL 310-253-5800 FAX 310-253-5824
Past President of the ICC Los Angeles Basin Chapter

- ☐ 5. Radiant barriers shall be installed under all new roof sheathing.
- ☒ 6. All new exterior glass shall be a minimum value of U .35 (measure of heat conducting properties) and a minimum value of .30 SHGC (solar heat gain coefficient).
- ☒ 7. Low slope roofs shall be a minimum value of 75% SRI (solar reflectance index).
- ☒ 8. Exterior shading shall be provided over all west, south, and east facing glass. Where exterior shading is infeasible all new exterior glass shall be a minimum value of U .32 and a minimum value of .27 SHGC.
- ☒ 9. All new interior and exterior lighting shall be fluorescent, LED, or other type of high efficiency lighting.
- ☒ 10. All new lighting installed in restroom or bathroom areas shall be fluorescent, LED, or other type of high efficiency lighting and shall be motion sensor controlled. Minimum base level lighting shall be permitted.
- ☒ 11. All new lighting installed in any corridor, entryway, or other typically unoccupied space shall be fluorescent, LED, or other type of high efficiency lighting and shall be motion sensor controlled. Minimum base level lighting shall be permitted.
- ☒ 12. All new lighting installed in a garage or parking structure shall be motion sensor controlled. Minimum base level lighting shall be permitted.
- ☒ 13. All new or replaced water closets shall be dual flush models.
- ☒ 14. All new or replaced urinals shall be waterless models.
- ☐ 15. Water heating units installed residential units shall be gas tankless models. NOT APPLICABLE
- ☒ 16. Two- 2" electrical conduits shall be installed from the roof to the electrical panels for future solar photovoltaic installation for each unit in residential and commercial buildings. (Qualifying projects that are subject to the Culver City Mandatory Solar Photovoltaic Requirement may not use this item toward satisfying the requirements of this section.)
- ☒ 17. A 20 square feet area to house recyclable material containers shall be provided. This requirement shall be in addition to any CCMC requirements related to solid waste and recyclable material containers.
- ☐ 18. Multistory buildings shall provide separate trash chutes for recyclable and non-recyclable materials and waste. Such chutes shall discharge directly into separate recyclable and non-recyclable materials waste containers. This requirement shall be in addition to any other CCMC requirements related to trash chutes.

CRAIG JOHNSON, RA, GC, CBO, BUILDING OFFICIAL
BUILDING SAFETY DIVISION TEL 310-253-5800 FAX 310-253-5824
Past President of the ICC Los Angeles Basin Chapter

- ☒ 19. One duplex weatherproof (WP) ground fault circuit interrupter (GFCI) outlet shall be installed for every eight new parking spaces; to be utilized for future electric "plug-in" vehicles.
- ☒ 20. All doors leading from heated or cooled spaces to non-heated and non-cooled spaces shall be insulated doors and shall include weather-stripping and adequate closers.
- ☒ 21. Any new on-site, ground level paving, which is open to the sky shall be permeable.
- ☒ 22. All on-site landscaping shall be low-water, drought tolerant. All irrigation shall be bubbler systems.
- ☐ 23. All wood floor and roof structures shall be constructed with 90% engineered lumber.
- ☐ 24. A minimum of 50% of the overall building insulation shall be formaldehyde free and recycled content. A minimum aggregate of 60% of the wall, ceiling, and floor insulation shall be cellulose, cotton ball, or bio-based foam.
- ☒ 25. 1KW of solar photovoltaic power shall be installed. (Qualifying projects that are subject to the Culver City Mandatory Solar Photovoltaic Requirement may not use this item towards satisfying the requirements of this section.)

SCHAEFER 3516
CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED
NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE
ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED
DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE
FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS
DRAWING. USE TABULATED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2375

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, THIRD FLOOR
SANTA MONICA, CA 90401
310.395.3565

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

PLUMBING FIXTURE FLOW RATES

(2017 Los Angeles Green Building Code)
Non-Residential Occupancies

SECTION 5.303.2
WATER REDUCTION FIXTURE FLOW RATES

FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE
Showerheads	1.8 gpm @ 80 psi
Lavatory faucets, residential	1.2 gpm @ 60 psi ^{1,3}
Lavatory Faucets, nonresidential	0.4 gpm @ 60 psi ^{1,3}
Kitchen faucets	1.5 gpm @ 60 psi ^{2,4,5}
Wash fountains	1.8 gpm for every 20 in. of rim space @60 psi
Metering faucets	0.2 gallons/cycle
Metering faucets for wash fountains	0.2 gpm for every 20 in. of rim space @ 60 psi
Gravity tank type water closets	1.28 gallons/flush ⁶
Flushometer tank water closets	1.28 gallons/flush ⁶
Flushometer valve water closets	1.28 gallons/flush ⁶
Urinals	0.125 gallons/flush
Clothes Washers	ENERGY-STAR certified
Dishwashers	ENERGY-STAR certified

¹ Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

² Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.

³Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

⁴Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout

⁵ This requirement does not apply to faucets in commercial kitchens.

⁶ Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.

Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2.

Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

VOC AND FORMALDEHYDE LIMITS

FORMALDEHYDE LIMITS ¹ Maximum Formaldehyde Emissions in Parts per Million.	
PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13

¹ Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333. For additional information, see California Code of Regulations, Title 17, Section 93120 through 93120.12.

² Thin medium density fiberboard has a maximum thickness of 7/16 inches (8 mm).

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{1,3}
Grams of VOC per Liter of Coating,
Less Water and Less Exempt Compounds

COATING CATEGORY ^{1,2}	CURRENT LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry film coatings	150
Flux, finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings	120
Magnesium cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	600
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Shellac	250
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

¹ Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

² The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.

³ Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

SEALANT VOC LIMIT Less Water and Less Exempt Compounds in Grams per Liter	
SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	750
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous 500	500
Marine deck	750
Other	750

Note: For additional information regarding methods to measure the VOC content specified in these tables, see South Coast Air Quality Management District Rule 1168.

ADHESIVE VOC LIMIT ^{1,2} Less Water and Less Exempt Compounds in Grams per Liter	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	450
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	60
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

¹ If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
² For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.
http://www.arb.ca.gov/DQRB/SQC/CRH/TML/R1168.PDF

(2017 Los Angeles Green Building Code)

STORM WATER POLLUTION CONTROL

(2017 Los Angeles Green Building Code)
Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain riginal line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
6. Trash and construction--related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. (Rev. 01/17/17)

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:

CULVER CITY GREEN
BUILDING NOTES

SCALE AT ARCH D (24 x 36):

DRAWN BY: Designer

SHEET NUMBER:

G040

120' - 0" (V.I.F.)

90' - 0" (V.I.F.)

1950 ORIGINAL BUILDING
PERMIT #A-995

A 1,674 SF

REQ'D PARKING: 0 STALLS

A

[illegible]

PLOT PLAN FOR BUILDING PERMIT A-2535

REQ'D PARKING: 0 STALLS

B.1

120' - 0" (V.I.F.)

90' - 0" (V.I.F.)

1950 ORIGINAL BUILDING
PERMIT #A-995

A 1,674 SF

B.2 425 SF

B.1 864 SF

1952 ADDITIONS
PERMIT #A-2535
12' X 72' 1/9/52
17' X 25' 2/21/52

REQ'D PARKING: 0 STALLS

B.2

HISTORIC PERMITS

RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHT AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THE DRAWING. USE FIGURED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CIVIL ENGINEER
KPFF
 700 SOUTH FLOWER ST. STE 2100
 LOS ANGELES, CA 90017
 213.418.02

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

PLAY PERFECT

DRAWING TITLE:

HISTORIC PERMITS

SCALE AT ARCH D (24 x 36):
1/16" = 1'-0"

SHEET NUMBER

R001

PLANNING DIVISION		PLAN CHECK LIST		BY <u>JHC</u>	
OWNER OF PROJECT NAME <u>LARRY KNOWLES</u>		3/0/676-3218		3-22-75	
JOB ADDRESS <u>3516 SCHAEFER STREET</u>		LOT 320		BLOCK 46	
ZONE <u>M-1</u>		JOB DESCRIPTION <u>"A.T.F." PERMIT FOR CRANE AND CRANEWAY INSTALLED IN 1980</u>			
CHECK	EXISTING/PROPOSED				
BLDG. SETBACKS	FRONT <u>50'</u> SIDES <u>0'</u> REAR <u>0'</u>				
BLDG. HEIGHT	<u>18'</u>				
OPEN SPACE & LOT COVERAGE	<u>OK</u>				
DISTANCE BTWN. BUILDINGS &/OR UNIT SIZE	<u>OK</u>				
FENCES, WALLS, HEDGES	<u>OK</u>				
PARKING	<u>OK</u> <u>(SEE "OTHER")</u>				
SIGNS	<u>OK</u>				
SPECIAL CONDITIONS	<u>OK</u>				
OTHER	<u>OK</u> <u>EQUIPMENT, OUTDOOR STORAGE COVER, OPEN ON ALL SIDES. THEREFORE, NOT BLDG. FLOOR AREA THAT REQUIRES NEW OR REDUCES EXISTING PRG.</u>				
☒ Approved		Special Action(s): TYPE _____ PL- _____ DATE APPROVED _____			
☐ Disapproved		Ord. No. _____ Res. No. _____ Admin. _____			
Reason:		CCPL 93			

1995 PLAN CHECKLIST

USE: SEE ABOVE
AREA: (D) 4,538 TOTAL SF

REQ'D PARKING: BUILDING FLOOR AREA DOES NOT REQUIRE NEW PARKING AND DOES NOT REDUCE EXISTING PARKING

GROUP _____ TYPE _____ FIRE ZONE _____ USE ZONE _____	APPLICATION FOR PERMIT TO BUILD Two sets of Plans and Specifications including Details and Cross Sections must be filed with Application and Approved by Building Inspector.	\$ AMOUNT OF PERMIT \$ 150.00 Value of Construction, including Labor & Materials
Permit No. <u>A-12978</u>	Culver City, Calif. <u>3-22-1964</u>	
Job Address <u>3516 SCHAEFER ST</u>	Lot <u>320-321</u>	Block <u>46</u>
Owner's Name <u>BOSTWICK & NEWBORN</u>	Address <u>1512 1/2 101st AVE</u>	Phone No. _____
Contractor <u>BURT JOHNSON CO</u>	Address <u>5919 WOODSTER</u>	Phone No. <u>776-3344</u>
State License No. _____	Workmen's Comp. _____	Policy No. _____
City License No. _____		
ONE SET OF APPROVED PLANS TO REMAIN ON JOB UNTIL WORK IS COMPLETED.		
INSPECTOR MUST APPROVE EACH BRACKET ON JOB CARD BEFORE PROCEEDING TO NEXT WORK.		
Purpose building is to be used for <u>MEN'S DRESSING ROOM PARTITION</u>		
Description of Building		
Size of New Building or Addition	1st Floor <u>6' x 7'</u>	2nd Floor _____
Size of Garage	Size of Lot _____	Size of Girders _____
Size of Mudsill _____	Size of Floor Joists _____	1st Floor _____
Size of exterior studs _____	Size of interior studs _____	2nd Floor _____
Size of Ceiling Joists _____	Size of Roof Rafters _____	_____
Material of Foundation _____	Width of Footings _____	Depth in Ground _____
Material of Exterior Walls _____	Interior Walls _____	Floor _____
Roof _____		
COMMERCIAL _____	GARAGE APTS _____	REMARKS _____
INDUSTRIAL _____	RESIDENCE _____	
APARTMENTS _____	FIREPLACE _____	
UNITS _____	FURNACE _____	
DUPLEX _____	TYPE WORK _____	

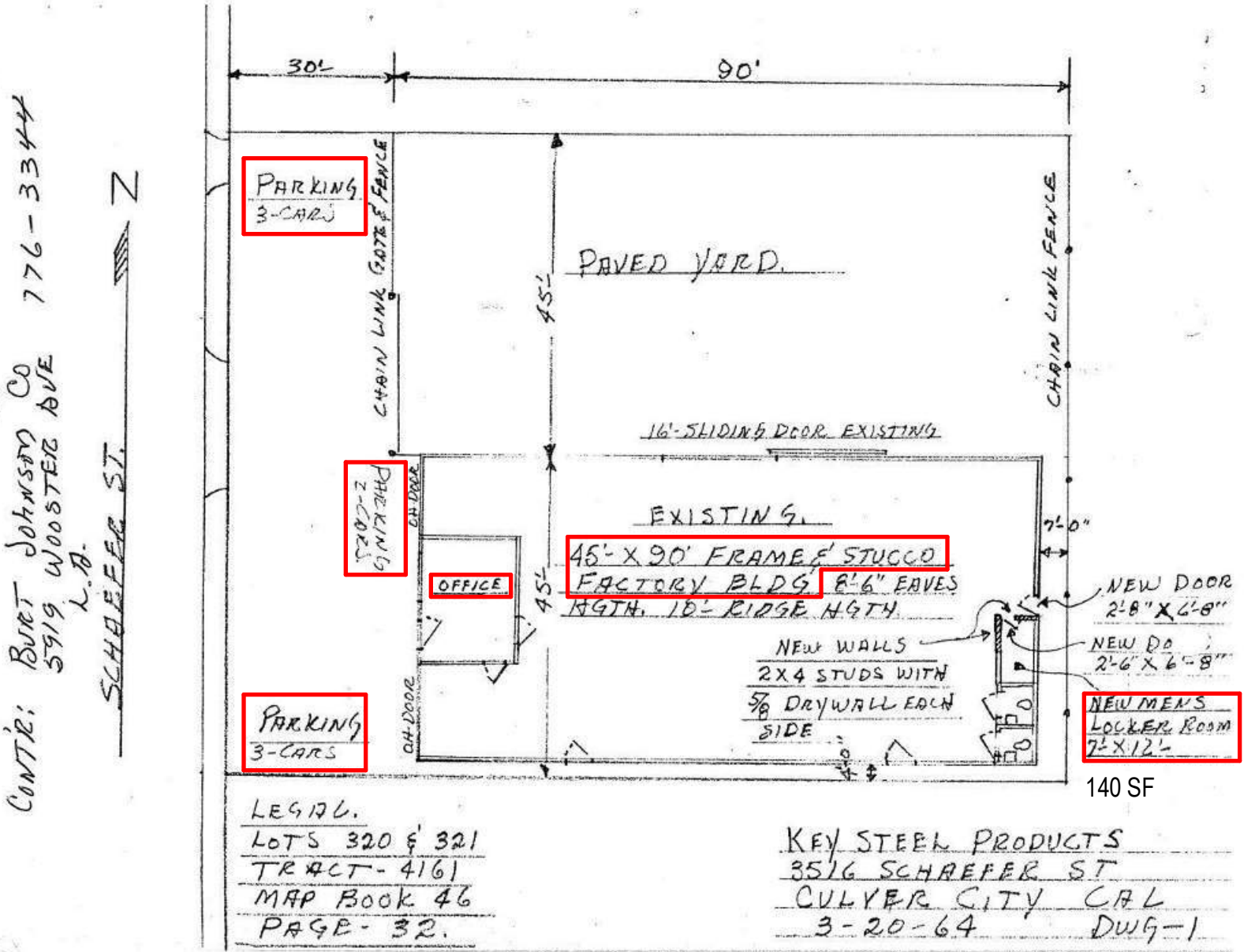
I have carefully examined and read the above application and know the same is true and correct and hereby certify and agree that if a permit is issued that all of the provisions of the Building Ordinance and the Uniform Building Code of the City of Culver City and building laws of the State of California will be complied with, whether here-by specified or not.

Applicant KEY STEEL PRODUCTS
By Dwight M. Boggs

1964 BUILDING PERMIT # A-12938
INTERIOR PARTITIONS

USE: MANUFACTURING / OFFICE
AREA: NO CHANGE

REQ'D PARKING: 0 STALLS



PLOT PLAN FOR BUILDING
PERMIT A-12938

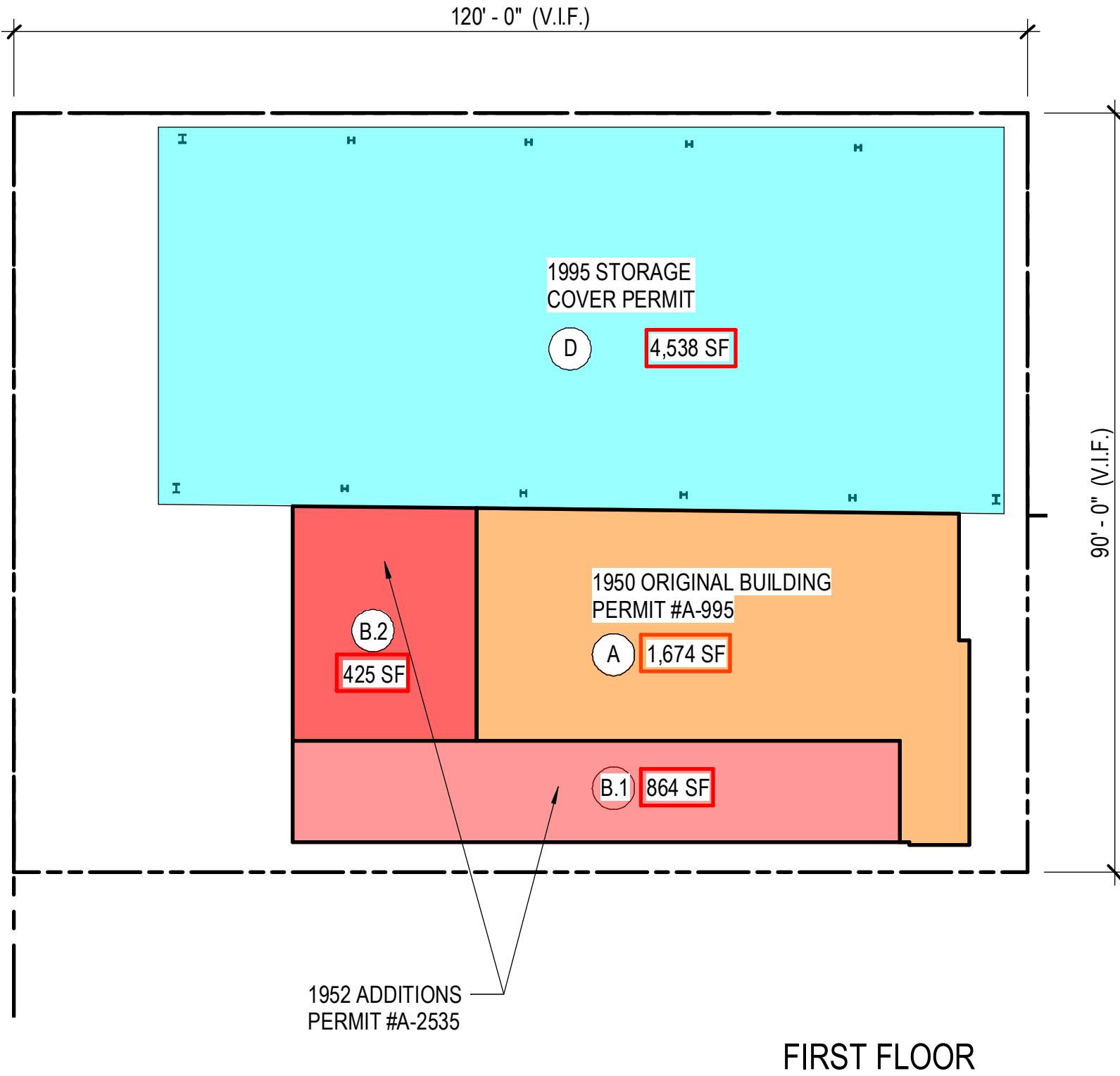
REQ'D PARKING:
PARKING STALLS UNDER PERMIT A-995 / A-2535 / A-2871 = 0 STALLS

PERMIT A-12938 = 2,963 SF (1/500 SF) = 5.9 STALLS (6)
(C.O.U) 2,763 SF (1/500 SF) = 5.52 STALLS (6)

TOTAL PARKING REQUIRED = 0

CULVER CITY BUILDING AND SAFETY, 4095 OVERLAND AVENUE CULVER CITY, CALIFORNIA 90232-0507 FOR INSPECTION CALL 818 202-5806		
Transaction	Account Number	Amount
118	01-497-3211	Building Permit
120	01-497-3211	Tax
132	01-20005	Disposal
138	01-457-3488	Plan Check
APPLICATION FOR BUILDING PERMIT		
(PLEASE PRINT, YOU ARE MAKING FOUR COPIES)		
Job Address <u>3516 Schaefer</u>	Legal: Map Book _____ Page _____ Parcel _____	Zone _____ Lot _____ Tract _____
Occupancy Type _____ Construction Type _____	Owner <u>Larry Knowles</u>	Mailing Address <u>1512 1/2 101st Ave</u>
Phone Number <u>776-3344</u>	City <u>Culver City</u>	State <u>CA</u>
Signature <u>Larry Knowles</u>	City Business License No. _____	Inspector _____
Engineer _____	Address _____	City/Zip _____
Phone Number _____	State Registration Number _____	Permit Issued By _____
1st Floor Area Square Footage: _____	Number of Stories _____	Total Floor Area Square Footage: _____
Number of Parking Spaces: _____	Permit Issued By _____	Date <u>3/27/75</u>

1995 COVERED CRANEWAY PERMIT #37115



AREA: (A) 1,674 + (B.1) 864 + (B.2) 425 + (D) 4,538 = 7,501 TOTAL SF

SUMMARY OF EXISTING
PERMITTED BLDGS

HISTORIC PERMITS

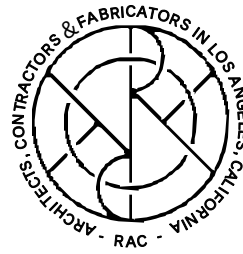
SCHAEFER 3516
CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3515

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0211

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV

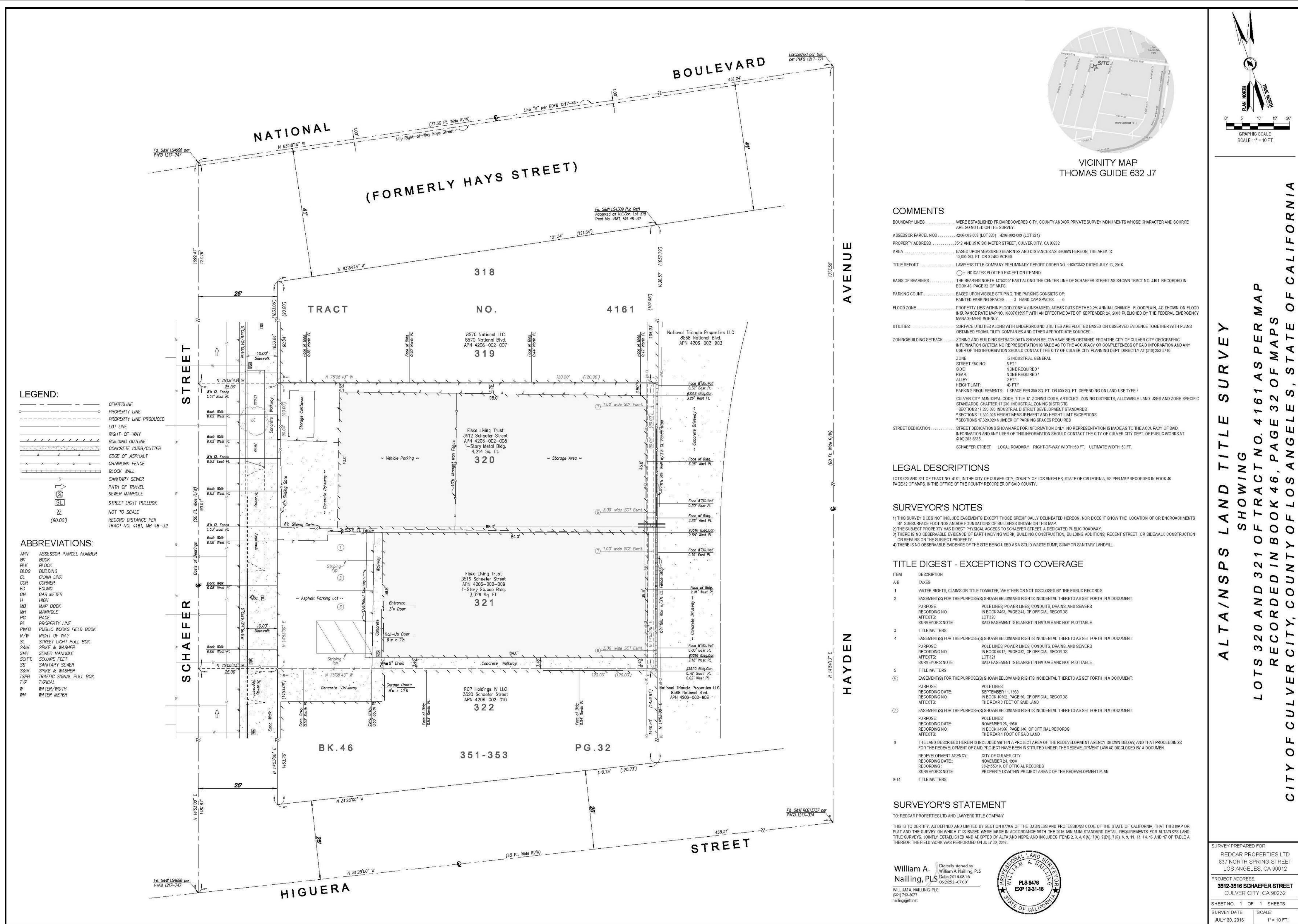
DRAWING TITLE:
HISTORIC PERMITS

SCALE AT ARCH D (24 x 36):
1/16" = 1'-0"

DRAWN BY: RAC

SHEET NUMBER:

R002



LEGEND:

- CENTERLINE
- PROPERTY LINE
- PROPERTY LINE PRODUCED
- LOT LINE
- RIGHT-OF-WAY
- BUILDING OUTLINE
- CONCRETE CURB/GUTTER
- EDGE OF ASPHALT
- CHAINLINK FENCE
- BLOCK WALL
- SANITARY SEWER
- PATH OF TRAVEL
- SEWER MANHOLE
- STREET LIGHT PULLBOX
- NOT TO SCALE
- RECORD DISTANCE PER TRACT NO. 4161, MB 46-32

ABBREVIATIONS:

- APN ASSESSOR PARCEL NUMBER
- BK BLOCK
- BLDG BUILDING
- CL CHAIN LINK
- COR CORNER
- FD FOUND
- GM GAS METER
- H HIGH
- MB MAP BOOK
- MH MANHOLE
- PD PACE
- PL PROPERTY LINE
- PWB PUBLIC WORKS FIELD BOOK
- R/W RIGHT OF WAY
- SL STREET LIGHT PULL BOX
- SAW SPIKE & WASHER
- SMH SEWER MANHOLE
- SQ FT SQUARE FEET
- SS SANITARY SEWER
- S&W SPIKE & WASHER
- TS&B TRAFFIC SIGNAL PULL BOX
- TYP TYPICAL
- W WATER/WIDTH
- WM WATER METER

COMMENTS

BOUNDARY LINES: WERE ESTABLISHED FROM RECOVERED CITY, COUNTY AND/OR PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

ASSESSOR PARCEL NOS: 4206-002-008 (LOT 320) 4206-002-009 (LOT 321)

PROPERTY ADDRESS: 3512 AND 3516 SCHAEFER STREET, CULVER CITY, CA 90032

AREA: 30,980 SQ. FT. OR 0.70480 ACRES

TITLE REPORT: LAWYERS' TITLE COMPANY PRELIMINARY REPORT ORDER NO. 11607382 DATED JULY 13, 2016.

BASIS OF BEARINGS: THE BEARING NORTH 14°57'00" EAST ALONG THE CENTER LINE OF SCHAEFER STREET AS SHOWN TRACT NO. 4161 RECORDED IN BOOK 46, PAGE 32 OF MAPS.

PARKING COUNT: BASED UPON VISIBLE STRIPING, THE PARKING CONSISTS OF: PAINTED PARKING SPACES: 3 HANDICAP SPACES: 0

FLOOD ZONE: PROPERTY LIES WITHIN FLOOD ZONE X (UNSHADED), AREAS OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 4607010567 WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2004 PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITIES: SURFACE UTILITIES ALONG WITH UNDERGROUND UTILITIES ARE PLOTTED BASED ON OBSERVED EVIDENCE TOGETHER WITH PLANS OBTAINED FROM UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES.

ZONING/BUILDING SETBACK: ZONING AND BUILDING SETBACK DATA SHOWN BELOW HAVE BEEN OBTAINED FROM THE CITY OF CULVER CITY GEOGRAPHIC INFORMATION SYSTEM. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE CITY OF CULVER CITY PLANNING DEPT. DIRECTLY AT (310) 253-5710.

STREET DEDICATION: STREET DEDICATIONS SHOWN ARE FOR INFORMATION ONLY. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF SAID INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE CITY OF CULVER CITY DEPT. OF PUBLIC WORKS AT (310) 253-5635.

SCHAEFER STREET LOCAL ROADWAY RIGHT-OF-WAY WIDTH: 50 FT. ULTIMATE WIDTH: 50 FT.

LEGAL DESCRIPTIONS

LOTS 320 AND 321 OF TRACT NO. 4161, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 46, PAGE 32 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SURVEYOR'S NOTES

1) THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON, NOR DOES IT SHOW THE LOCATION OF OR ENCROACHMENTS BY SUBSURFACE FOOTINGS AND/OR FOUNDATIONS OF BUILDINGS SHOWN ON THIS MAP.

2) THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO SCHAEFER STREET, A DEDICATED PUBLIC ROADWAY.

3) THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, BUILDING ADDITIONS, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT PROPERTY.

4) THERE IS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

TITLE DIGEST - EXCEPTIONS TO COVERAGE	
ITEM	DESCRIPTION
A8	TAXES
1	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS
2	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: POLE LINES, POWER LINES, CONDUITS, DRAINS, AND SEWERS RECORDING NO: IN BOOK 3463, PAGE 241, OF OFFICIAL RECORDS AFFECTS: LOT 320 SURVEYOR'S NOTE: SAID EASEMENT IS BLANKET IN NATURE AND NOT PLOTTABLE.
3	TITLE MATTERS
4	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: POLE LINES, POWER LINES, CONDUITS, DRAINS, AND SEWERS RECORDING NO: IN BOOK 3417, PAGE 332, OF OFFICIAL RECORDS AFFECTS: LOT 321 SURVEYOR'S NOTE: SAID EASEMENT IS BLANKET IN NATURE AND NOT PLOTTABLE.
5	TITLE MATTERS
6	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: POLE LINES RECORDING DATE: SEPTEMBER 11, 1939 RECORDING NO: IN BOOK 3492, PAGE 36, OF OFFICIAL RECORDS AFFECTS: THE REAR 3 FEET OF SAID LAND.
7	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: POLE LINES RECORDING DATE: NOVEMBER 26, 1959 RECORDING NO: IN BOOK 3496, PAGE 346, OF OFFICIAL RECORDS AFFECTS: THE REAR 1 FOOT OF SAID LAND.
8	THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW AS DISCLOSED BY A DOCUMENT. REDEVELOPMENT AGENCY: CITY OF CULVER CITY RECORDING DATE: NOVEMBER 24, 1994 RECORDING NO: 94-255314, OF OFFICIAL RECORDS SURVEYOR'S NOTE: PROPERTY IS WITHIN PROJECT AREA 3 OF THE REDEVELOPMENT PLAN.
9-14	TITLE MATTERS

SURVEYOR'S STATEMENT

TO: REDCAR PROPERTIES LTD AND LAWYERS' TITLE COMPANY

THIS IS TO CERTIFY, AS DEFINED AND LIMITED BY SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA, THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5(A), 7(A), 7(B), 7(C), 8, 9, 11, 14, 15, AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS PERFORMED ON JULY 30, 2016.

William A. Nailling, PLS
Digitally signed by William A. Nailling, PLS
Date: 2016.08.16 06:26:53 -0700
WILLIAM A. NAILLING, PLS
(818) 715-1427
nailling@tdt.net



SURVEY PREPARED FOR:
REDCAR PROPERTIES LTD
837 NORTH SPRING STREET
LOS ANGELES, CA 90012

PROJECT ADDRESS:
3512-3516 SCHAEFER STREET
CULVER CITY, CA 90032

SHEET NO. 1 OF 1 SHEETS

SURVEY DATE: JULY 30, 2016 SCALE: 1" = 10 FT.

**SCHAEFER 3516
CORE & SHELL**

3516 SCHAEFER STREET
CULVER CITY, CA 90032

OWNER:
REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:
RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE TABULATED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3535

CIVIL ENGINEER
KPFF
700 SOUTH POWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV

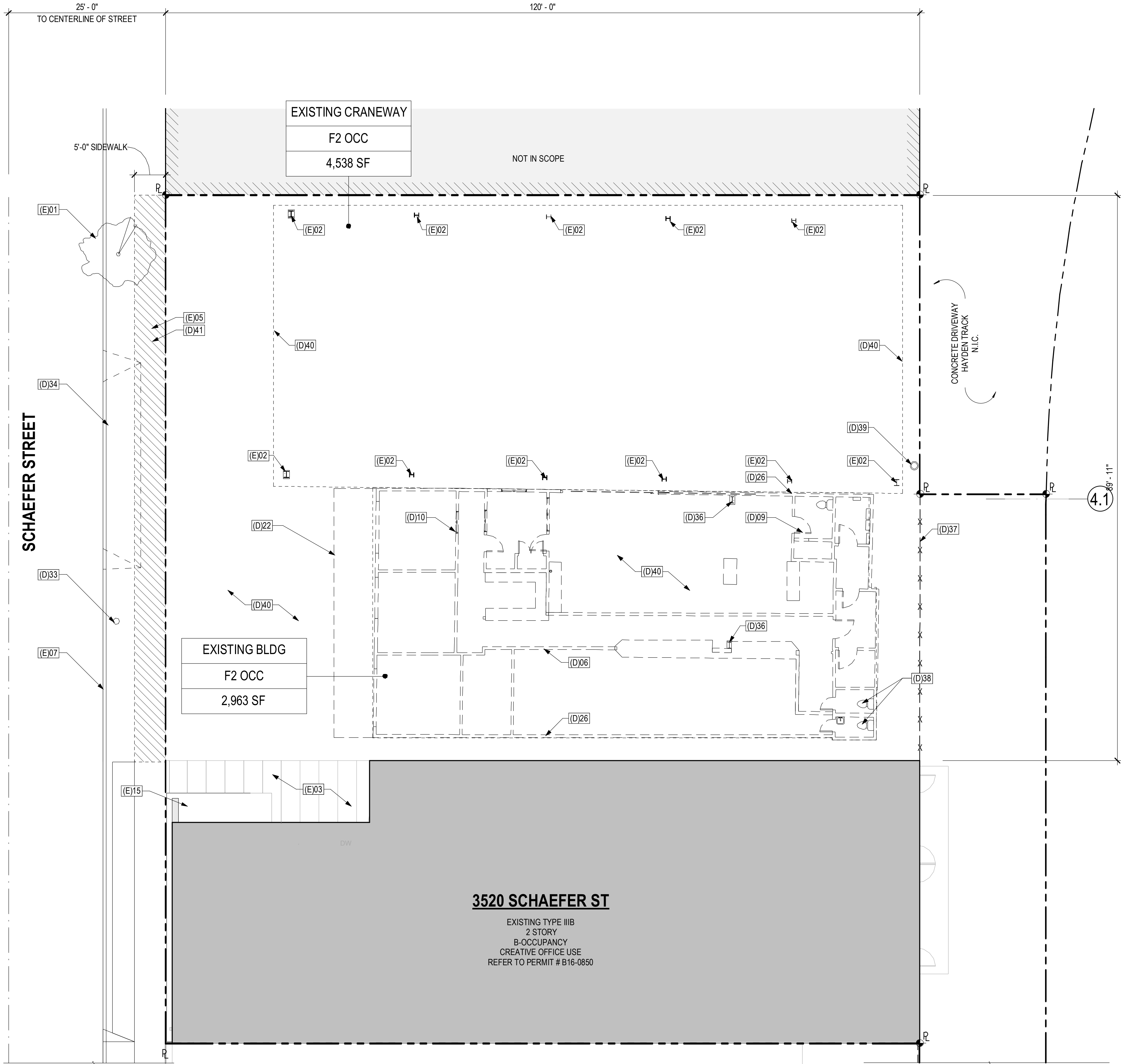
DRAWING TITLE:
REFERENCE SURVEY

SCALE AT ARCH D (24 x 36):
1" = 10'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

R110



SITE DEMOLITION PLAN
1/8" = 1'-0"

GENERAL NOTES - DEMOLITION

- CONTRACTOR SHALL BE RESPONSIBLE FOR AN EXISTING SITE AND BUILDING INSPECTING TO VERIFY EXISTING CONDITIONS AND ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK TO BE PERFORMED. DEMOLITION CALLOUTS INDICATED ARE REPRESENTATIVE OF THE WORK TO BE DONE AND IS NOT AN ITEMIZED ACCOUNTING FOR BUILDING ELEMENTS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.
- UTILITIES AND EQUIPMENT SHOWN OR NOTED REPRESENT ITEMS THAT WERE READILY VISIBLE AND MAY NOT INDICATE ALL UTILITIES AND/OR EQUIPMENT WHICH ARE TO BE REMOVED AS PART OF THIS SCOPE. EXISTING WALL, FOOTINGS AND STRUCTURAL ELEMENTS TO REMAIN ARE TO BE PROTECTED FOR DURATION OF DEMOLITION AND CONSTRUCTION.
- DEMOLISH ALL WALL MOUNTED EQUIPMENT, BOARDS, DEVICES, ETC. U.O.N.
- DIMENSIONS ARE FROM FACE OF (E) BRICK AND FACE OF FINISH WALL, U.O.
- SEE ELECTRICAL DEMOLITION DWGS FOR ADDITIONAL REQUIREMENTS.
- SEE MECHANICAL DEMOLITION DWGS FOR ADDITIONAL REQUIREMENTS.
- SEE PLUMBING DEMOLITION DWGS FOR ADDITIONAL REQUIREMENTS.
- NO DEMOLITION SHALL COMMENCE ON ANY FIRE SPRINKLER OR FIRE ALARM COMPONENTS WITHOUT QUALIFIED FIRE PROTECTION SUB CONTRACTOR CONTRACTED TO PROJECT.
- COPIES OF NOTIFICATION TO AQMD SHALL BE PROVIDED TO BUILDING AND SAFETY PRIOR TO THE REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL. PER AQMD RULE 1403.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS

KEYNOTE - (D)EMOLITION

(D)06	DEMO INT. PARTITION
(D)09	DOOR TO BE REMOVED, TYP.
(D)10	WINDOW TO BE REMOVED, TYP.
(D)22	OVERHANG ABV TO BE REMOVED.
(D)26	WALL TO BE REMOVED, TYP.
(D)33	RELOCATE (E) STREET LAMP
(D)34	ALL EXISTING DRIVEWAY APPROACHES WHICH WILL NO LONGER BE NECESSARY DUE TO THIS PROJECT SHALL BE REMOVED AND REPLACED WITH FULL HEIGHT SIDEWALK, CURB AND GUTTER PER AMERICAN PUBLIC WORKS ASSOC (APWA) STANDARD PLANS
(D)36	STL. COLUMN TO BE REMOVED, TYP.
(D)37	CHAINLINK FENCE TO BE REMOVED.
(D)38	PLUMBING FIXTURES TO BE REMOVED IN ENTIRETY. ALL PLUMBING LINES TO BE CAPPED.
(D)39	UTILITY POLE TO BE REMOVED.
(D)40	DEMO (E) SLAB.
(D)41	DEMO (E) CONC. SIDEWALK AND REPLACE WITH NEW SIDEWALK STARTING AT PROPERTY LINE AND EXTENDING TOWARDS STREET 5 FEET.

KEYNOTE - (E)XISTING

(E)01	(E) SITE TREE TO REMAIN
(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)03	(E) CONC. SLAB TO REMAIN
(E)05	(E) SIDEWALK
(E)07	(E) CURB CUT AND GUTTER
(E)15	(E) PARKWAY TO REMAIN

DEMO SITE PLAN LEGEND

- EXISTING STEEL STRUCTURE TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING CHAIN-LINK FENCE TO BE DEMOLISHED

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3565

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:

**(E) SITE PLAN
DEMOLITION**

SCALE AT ARCH D (24 x 36):

As indicated

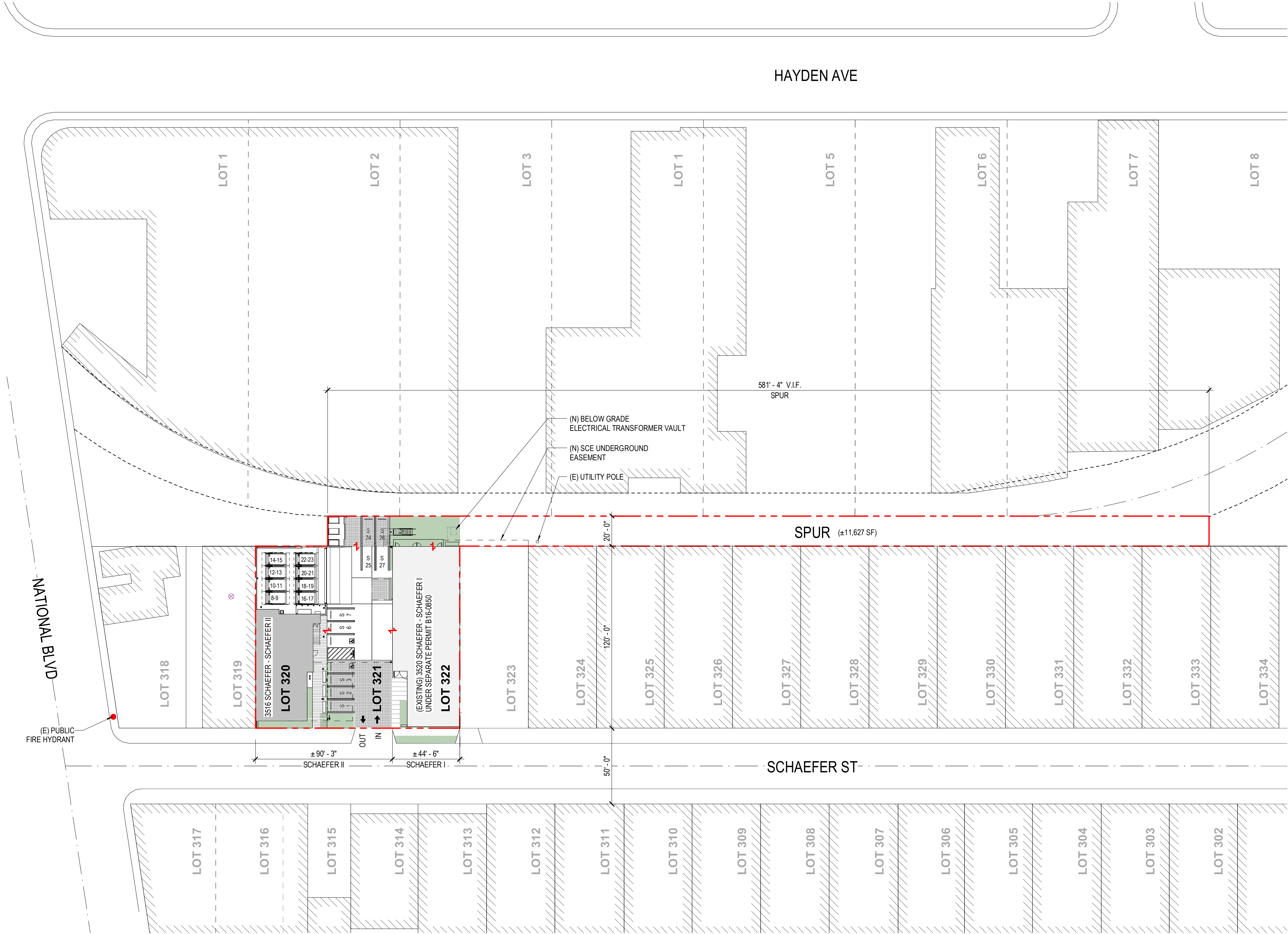
DRAWN

BY:

RAC

SHEET NUMBER:

D101



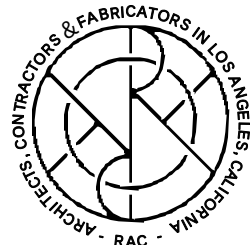
SCHAEFER 3516
CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED
NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE
ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED
DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE
FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS
DRAWING. USE TYPED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2375

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, THIRD FLOOR
SANTA MONICA, CA 90401
310.395.3555

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV

DRAWING TITLE:
PROPOSED SITE PLAN

SCALE AT ARCH D (24 x 36):
1" = 30'-0"

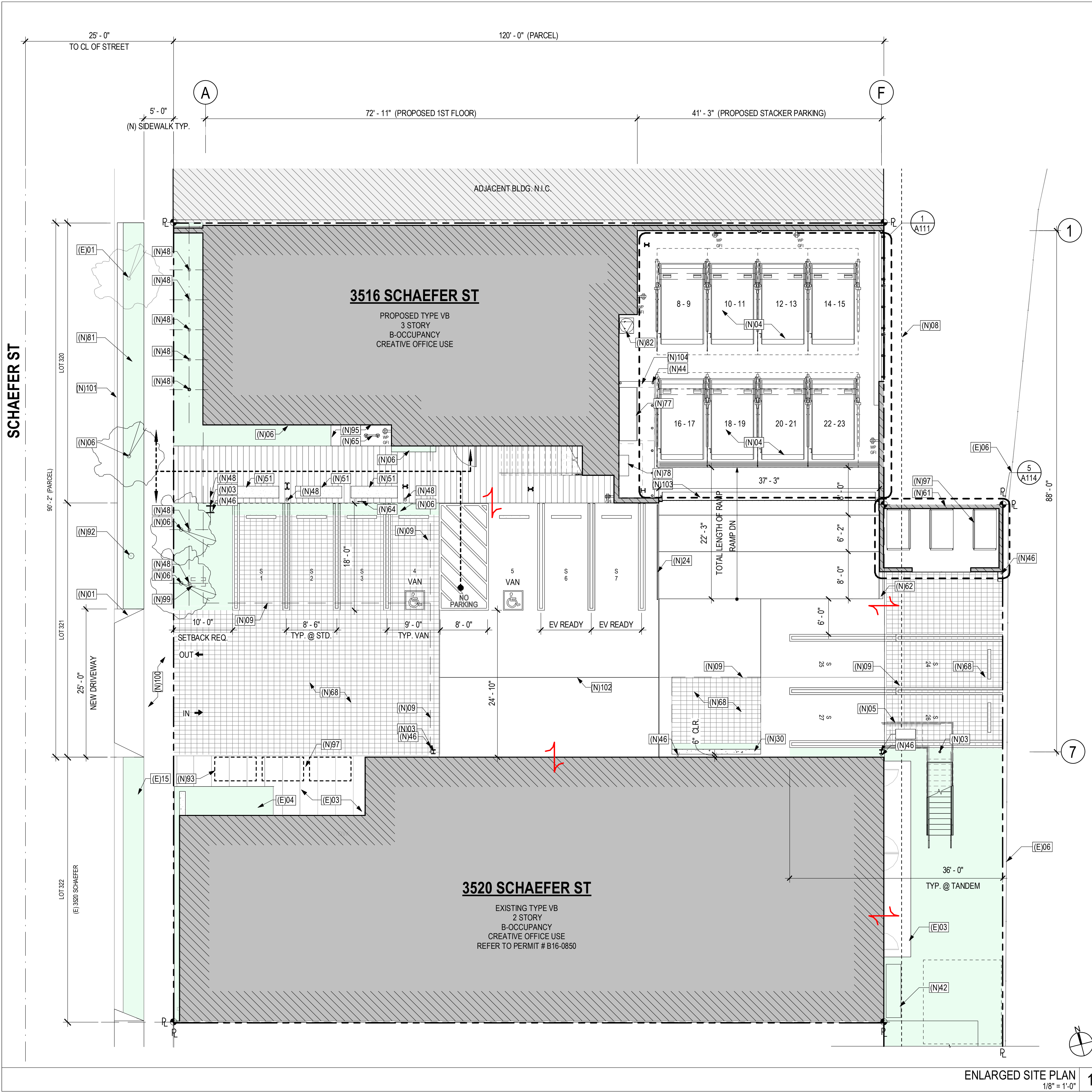
DRAWN
BY: **RAC**

SHEET NUMBER:

PROPOSED SITE PLAN
1" = 30'-0"

1

A100



GENERAL NOTES - SITE PLAN

GENERAL SITE NOTES

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO NAY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE. OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (SMMC 8.32.070) SEPARATE PLUMBING PERMIT IS REQUIRED.
3. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CITY ENCROACHMENT PERMITS FROM THE AHJ PRIOR TO COMMENCING ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING LANE CLOSURE.
4. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO PUBLIC STREETS AND/OR SIDEWALKS DUE TO CONSTRUCTION OR BY CONSTRUCTION VEHICLES TRAVELING TO OR FROM THE PROJECT SITE.

LANDSCAPING NOTES

- L1. PROVIDE 6" HIGH BY 6" WIDE CURB AROUND LANDSCAPED AREAS ADJACENT TO DRIVE AISLES AND PARKING AREAS. CURBS SHALL BE DESIGNED TO ALLOW FOR STORM WATER RUNOFF TO PASS THROUGH.
- L2. LANDSCAPING IN PLANTERS AT ENDS OF PARKING AISLES SHALL NOT OBSTRUCT A DRIVER'S VISION OF VEHICULAR AND PEDESTRIAN CROSS-TRAFFIC AND SHALL BE BUILT IN COMPLIANCE WITH HAZARDOUS VISUAL OBSTRUCTION GUIDELINES. MAXIMUM HEIGHT TO BE NO GREATER THAN 24" ABOVE PAVEMENT SURFACE.

LIGHTING NOTES

- LT1. PUBLIC PARKING AREAS SHALL BE PROVIDED WITH A MIN. 0.5 FOOT-CANDLES AND MAX. 3 FOOT-CANDLES OF LIGHT OVER THE PARKING SURFACE DURING THE HOURS OF USE FROM ONE HALF HOUR BEFORE DUSK UNTIL ONE HALF HOUR AFTER DAWN.
- LT2. ALL LIGHTING ILLUMINATING PARKING AREAS SHALL BE ARRANGED SO THAT ALL DIRECT RAYS FROM SUCH LIGHTING FALL ENTIRELY WITHIN SUCH PARKING LOT.
- LT3. ALL EXTERIOR DOORS ARE TO BE ILLUMINATED, DURING THE HOURS OF DARKNESS, WITH A MINIMUM OF ONE FOOT-CANDLE OF LIGHT.
- LT4. ALL LIGHTING FIXTURES SHALL BE SHIELDED SO AS NOT TO PRODUCE OBTRUSIVE GLARE ONTO THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTIES. ALL LUMINARIES SHALL MEET THE CRITERIA OF THE IESNA FOR "CUT OFF" OF "FULL CUT OFF" LUMINARIES.

KEYNOTE - (E)XISTING

(E)01	(E) SITE TREE TO REMAIN
(E)03	(E) CONC. SLAB TO REMAIN
(E)04	(E) PLANTING TO REMAIN
(E)06	(E) CHAINLINK FENCE
(E)15	(E) PARKWAY TO REMAIN

KEYNOTE - (N)EW

(N)01	(N) CURB CUT/DRIVEWAY PER AMERICAN PUBLIC WORKS ASSOC (APWA) STANDARD PLANS
(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)04	(N) STACKER PARKING
(N)05	(N) EXT. STAIR
(N)06	(N) PLANTING, REFER TO LANDSCAPE DWGS
(N)08	(N) SCE UNDERGROUND EASEMENT
(N)09	DASH LINE DENOTES FLOOR ABOVE
(N)24	(N) STL. GUARDRAIL
(N)30	(N) CONC. SHEAR WALL
(N)42	(N) ELECTRICAL SWITCH GEAR
(N)43	(N) ELECTRICAL TRANSFORMER VAULT BELOW GRADE
(N)44	(N) REMOVABLE BOLLARD
(N)46	(N) BONDERIZED SHT. MTL. DOWNSPOUT
(N)48	(N) EXTERIOR UPLIGHT, SEE SPEC
(N)51	(N) CONC. BENCH SEATING, T.I. ONLY
(N)61	(N) TRASH ENCLOSURE
(N)62	(N) 6" CONC. CURB
(N)64	(N) CITY-APPROVED "LOADING ONLY" SIGN W/ DESIGNATED TIME PERIOD NOT EXCEEDING ONE-HALF HOUR PER DAY DURING NORMAL BUSINESS HOURS, SEE CCMC 17.320.050.C.1.B.
(N)65	(N) U-SHAPED BIKE RACK, SHORT TERM
(N)68	(N) PERVIOUS SURFACE, SEE SPEC.
(N)77	(N) MAIN SWITCHGEAR
(N)78	(N) POWER PACK FOR HYDRAULIC SYSTEM PER PARK PLUS
(N)81	(N) PROPOSED PARKWAY, UNDER SEPARATE PERMIT
(N)82	(N) BOOSTER PUMP, REFER TO PLUMBING DWGS
(N)92	(N) RELOCATED STREET LAMP
(N)93	(N) TRASH BIN STAGING AREA
(N)95	(N) DECOMPOSED GRANITE
(N)97	OWNER/TENANT SHALL BE RESPONSIBLE FOR BRINGING TRASH BINS TO THE STAGING AREA DURING COLLECTION SERVICE DAYS AND SHALL BE RESPONSIBLE TO BRING BACK THE TRASH BINS IMMEDIATELY UPON TRASH COLLECTION INSIDE TRASH ENCLOSURE FOR STORAGE.
(N)99	(N) BACKFLOW PREVENTER, REFER TO CIVIL DWGS
(N)100	(N) 5' SIDEWALK ALONG PROJECT FRONTAGE PER AMERICAN PUBLIC WORKS ASSOC (APWA) STANDARD PLANS
(N)101	(N) CURB/GUTTER TO REPLACE (E) CURB/GUTTER PER AMERICAN PUBLIC WORKS ASSOC (APWA) STANDARD PLANS
(N)103	(N) OVERHEAD ROLLING DOOR
(N)104	(N) CONC PAD AT ELECTRICAL EQUIPMENT

LEGEND

	PERVIOUS PAVING		(N) GRIDLINE		LOT TIE
	PLANTING AREAS		ACC. PATH TO PUBLIC WAY		

ENLARGED SITE PLAN
1/8" = 1'-0"

1

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:

RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE TYPED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3515

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0211

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:

ENLARGED SITE PLAN

SCALE AT ARCH D (24 x 36):

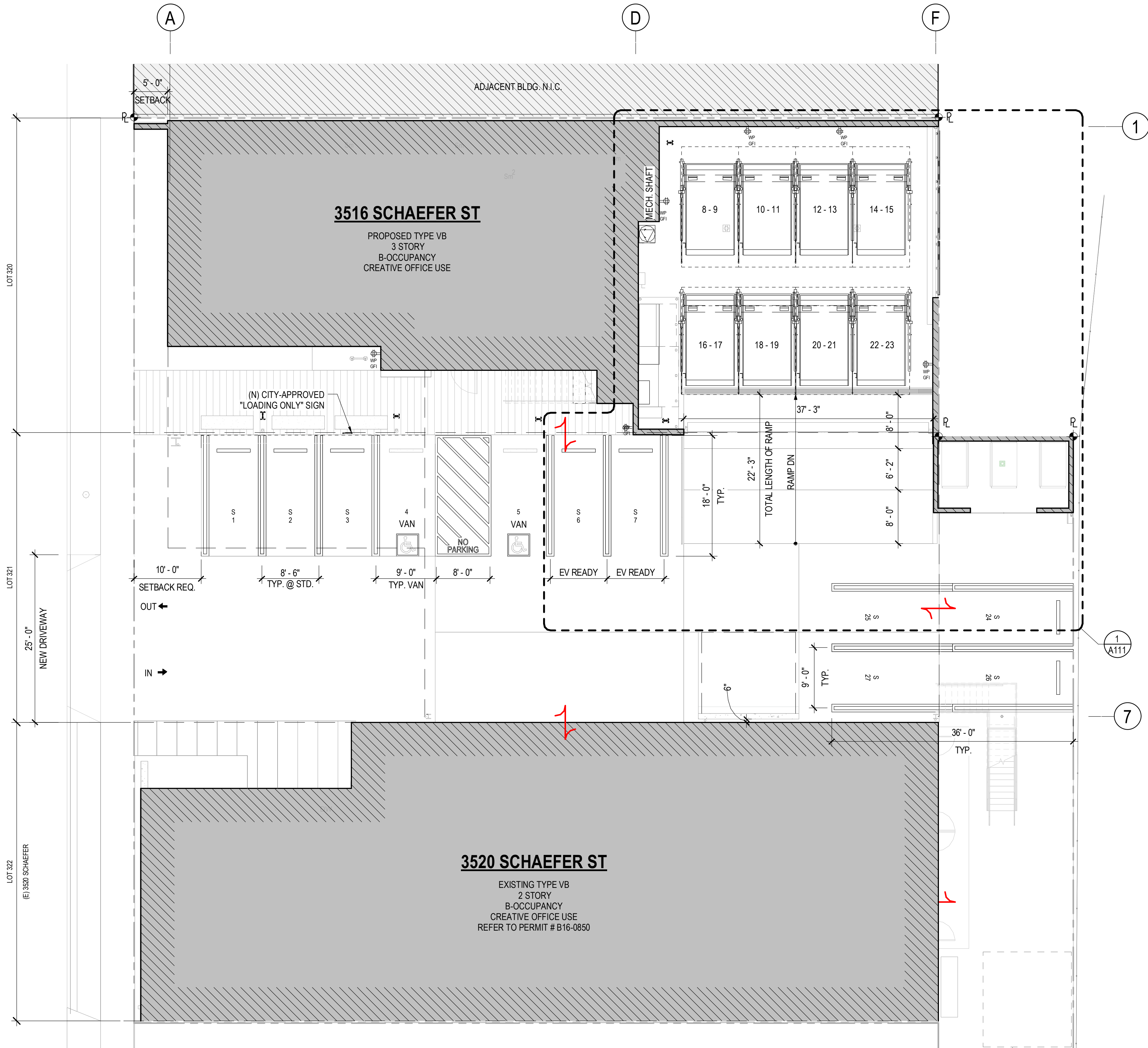
As indicated

DRAWN BY:

RAC

SHEET NUMBER:

A101



CCMC NOTES FOR REFERENCE

CCMC 17.320.020 - NUMBER OF PARKING SPACES REQUIRED
D. NON-RESIDENTIAL CHANGE OF USE, EXPANSE OF STRUCTURE
3. WHEN A CHANGE OF USE REQUIRES MORE OFF-STREET PARKING THAN THE PREVIOUS USE, ADDITIONAL PARKING SPACES SHALL BE PROVIDED EQUIVALENT TO THE DIFFERENCE BETWEEN THE NUMBER OF SPACES REQUIRED BY THIS TITLE FOR THE IMMEDIATELY PREVIOUS USE AND THE TOTAL NUMBER OF SPACES REQUIRED BY THE NEW USE.
CC 17.320.025.D.5 - COMPACT SPACES. EXCEPT AS OTHERWISE PROVIDED IN SECTION 17.320.035 COMPACT SPACES OF 7'-6" x 17'-6" MAY BE PROVIDED FOR UP TO 30% OF REQUIRED ON-SITE OR OFF-SITE PARKING WITHIN THE PARKING DISTRICTS.
CC 17.320.035.C.1.B - TANDEM PARKING SPACES. EACH TANDEM PARKING SPACE SHALL BE 9'-0" IN WIDTH BY 18'-0" IN DEPTH.
ii. WITHIN NON-RESIDENTIAL DISTRICTS, TANDEM PARKING MAY BE PROVIDED FOR REQUIRED PARKING SPACES WHERE AUTHORIZED THROUGH AN ADMINISTRATIVE USE PERMIT. THE USE OF THE TANDEM PARKING FOR NON-RESIDENTIAL USES SHALL REQUIRE THAT THE OPERATOR OF THE PARKING FACILITY PROVIDE A VALET OR ATTENDANT AT ALL TIMES THAT THE PARKING IS ACCESSIBLE TO USERS, EXCEPT WHERE THE DIRECTOR DETERMINES THAT THE NATURE OF THE USE AND ITS OPERATION WILL NOT REQUIRE ATTENDED PARKING. TANDEM PARKING MAY BE ARRANGED TO BE NO MORE THAN 3 SPACES IN DEPTH.

CCMC 17.610.020 - NONCONFORMING STRUCTURES
A. ALTERATIONS OR ADDITIONS
2. IMPROVEMENTS TO NONCONFORMING MULTIPLE-FAMILY AND NON-RESIDENTIAL PRIMARY STRUCTURE(S).
A. MAJOR IMPROVEMENT DEFINED: A MAJOR IMPROVEMENT IS AN IMPROVEMENT THAT WILL ADD 10% OR MORE, WITH A MINIMUM OF 750 SF, TO THE EXISTING GROSS FLOOR AREA OF THE MULTIPLE-FAMILY OR NON-RESIDENTIAL STRUCTURE(S) ON THE SITE, AS DETERMINED BY THE BUILDING OFFICIAL.

B. NONCONFORMING DUE TO PARKING
3. NON-RESIDENTIAL STRUCTURES AND USES. STRUCTURES WITH PARKING SPACE DEFICIENCIES SHALL BE ALLOWED TO EXPAND OR ACCOMMODATE A CHANGE OF USE, PROVIDED THAT:
B. THE EXPANSION OR NEW USE HAS A GREATER PARKING REQUIREMENT THAN THE EXISTING OR PREVIOUS USE OR STRUCTURE, AND A SUFFICIENT NUMBER OF ADDITIONAL PARKING SPACES HAVE BEEN PROVIDED TO ACCOMMODATE THE NET INCREASE OF REQUIRED SPACES IN THE FOLLOWING MANNER:
i. THE NET NEW PARKING SPACES SHALL EQUAL THE NUMBER OF SPACES DIRECTLY REQUIRED BY THE CHANGE IN USE ONLY.
ii. THE NUMBER OF ADDITIONAL PARKING SPACES SHALL EQUAL THE NUMBER OF SPACES DIRECTLY REQUIRED BY THE EXPANSION AREA ONLY
iii. WHERE THERE ARE 2 OR MORE NONCONFORMING STRUCTURES ON A SITE, BUT NOT ALL STRUCTURES ARE PROPOSED FOR ADDITIONS, CHANGES, OR INTENSIFICATIONS, PARKING NONCONFORMITIES FOR THE STRUCTURES NOT PROPOSED FOR ADDITIONS, CHANGES, OR INTENSIFICATIONS MAY REMAIN AS THEY ARE.

LOADING ZONE
A "SMALL LOADING ZONE" MAY OCCUPY A STANDARD SIZE PARKING STALL WITH RESTRICTED TIME LIMITS (1/2 HOUR) FOR DELIVERIES. SEE SECTION 17.320.050.C.1.B. FOR SIGN POSTING REQUIREMENTS. THE SPACE DOES NOT HAVE TO BE IN ADDITION TO REQUIRED PARKING, BUT CAN SERVE AS REQUIRED PARKING OUTSIDE THE LOADING SPACE TIMES.

CGBSC 2016 NOTES FOR REFERENCE

CGBSC 2016 5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES - 3 REQUIRED
ANY COMBINATION CARPOOL VAN POOL VEHICLES
CGBSC 2016 5.106.5.2.1 PARKING STALL MARKING
CLEAN AIR/ VANPOOL/ EV
CGBSC 2016 5.106.5.3 ELECTRICAL VEHICLE (EV) CHARGING - 2 CHARGING STATIONS
REQUIRED PER TABLE **CGBSC 2016 5.106.5.3.3**

LOT 320 321 PARKING CALCULATIONS

REFER TO HISTORIC PERMIT SHEET R001 AND R002, FOR EXISTING PARKING BASIS				
EXISTING USE	EXISTING AREA		CHANGE OF USE	
CCMC 17.320.020_TABLE 3-3D			CCMC 17.320.020_TABLE 3-3B	STALLS
MANUFACTURING / OFFICE	$(A) + (B.1) + (B.2)$	= 2,963 SF	COMMERCIAL USE CREATIVE OFFICE	
STORAGE	(D)	= 4,538 SF		
	TOTAL EXISTING	= 7,501 SF	7,501 (1/350) = 21.43	21
			TOTAL C.O.U. PARKING CREDIT	21

	AREA (EXCLUDING EXTERIOR DECKS)	PARKING REQUIREMENTS		
		RATIO	EVALUATION PER CURRENT CODE	STALLS
FIRST FLOOR	2,366 SF			
SECOND FLOOR	6,147 SF			
THIRD FLOOR	6,565 SF			
THIRD FLOOR MEZZ.	1,872 SF			
TOTAL SF	16,950 TOTAL SF	1/350	16,950 SF (1/350) = 48.43	48
			B; OFFICE (NEW AREA)	48
			B; OFFICE (CHANGE OF USE CREDIT)	21
			TOTAL PARKING REQUIRED	27

LOT 322 PARKING CALCULATIONS

(0) PARKING STALLS REQUIRED FOR (E) 3520 SCHAEFER SEE PERMIT # B16-0850				
	AREA (EXCLUDING EXTERIOR DECKS)	PARKING REQUIREMENTS		
		RATIO	EVALUATION PER CURRENT CODE	STALLS
(E) FIRST FLOOR	4,495 SF			
(E) SECOND FLOOR	1,484 SF			0
(N) SECOND FLOOR	135 SF	1/350	135 SF (1/350) = .39	0
TOTAL SF	6,114 TOTAL SF			0
			TOTAL PARKING REQUIRED	0

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:
REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:
**RAC**
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE TABULATED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, THIRD FLOOR
SANTA MONICA, CA 90401
310.395.3535

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0211

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

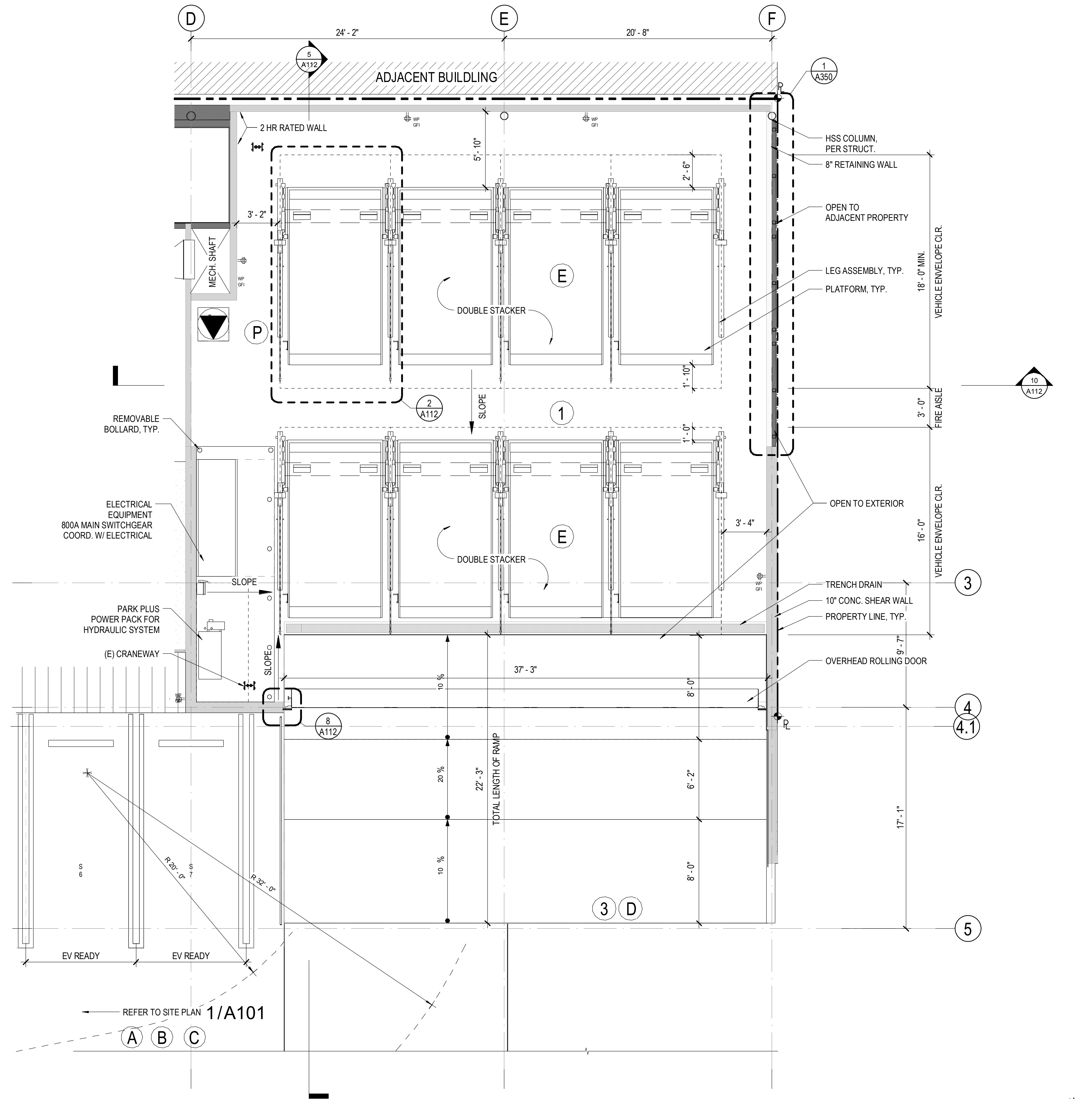
ISSUE	DATE	REV

DRAWING TITLE:
PARKING PLAN

SCALE AT ARCH D (24 x 36):
1/8" = 1'-0"

SHEET NUMBER:

A110



MECHANICAL PARKING DESIGN REQUIREMENTS

FIRE DEPARTMENT DEFINITIONS

- ① *ALL AISLE DIMENSIONS ARE MEASURED FROM THE VEHICLE ENVELOPE
*THE MINIMUM VEHICLE ENVELOPE SHALL BE 8'X16', AND MAY EXTEND BEYOND THE LENGTH OF EQUIPMENT PLATFORM
- ③ **MAIN AISLE** IS AN UNOBSTRUCTED WAY OF EGRESS IN FRONT OF A MECHANICAL CAR STACKER. THE MAIN AISLE IS USED AS A DRIVE AISLE IN FRONT OF A MECHANICAL CAR STACKER FOR ATTENDANTS TO LOAD AND UNLOAD VEHICLES. MUST HAVE MIN CLEARANCE PER TABLE 1A

TABLE 1A			
CAR STACKERS	MAIN AISLE	SIDE AISLE	ACCESS AISLE
2-HIGH	12'-0"	4'-0"	36" CLR*

FIRE DEPARTMENT SITE ACCESS

- ① ANY PERSON OWNING OR HAVING CONTROL OF ANY FACILITY, STRUCTURE, GROUP OF STRUCTURES OR PREMISES USING MECHANICAL PARKING SYSTEMS SHALL MAINTAIN FIRE DEPARTMENT ACCESS IN ACCORDANCE WITH CULVER CITY FIRE DEPARTMENT REQUIREMENTS
- ② IF ANY PORTION OF THE MECHANICAL PARKING STORAGE AREA IS MORE THAN 150 FEET FROM THE EDGE OF THE ROADWAY OF AN APPROVED STREET, AN APPROVED FIRE LANE SHALL BE PROVIDED SO THAT SUCH PORTION IS WITHIN 150 FEET OF THE EDGE OF THE FIRE LANE. FIRE LANES SHALL BE PAINTED AND STENCILED.
- ③ WHERE ACCESS IS REQUIRED FOR FIRE DEPARTMENT APPARATUS, OVERHEAD CLEARANCE SHALL BE NOT LESS THAN 20 FEET WIDE AND 13'-6" AND/OR OPEN TO THE SKY, KNOX BOX AND KEY SYSTEM SHALL BE PROVIDED.

FIRE DEPARTMENT EQUIPMENT ACCESSIBILITY (OPEN GARAGE)

- ④ EACH PLATFORM MUST BE DIRECTLY ACCESSIBLE FROM A MAIN AISLE OR FIRE LANE.
- ⑤ PROJECT USING TANDEM MECHANICAL PARKING MUST PROVIDE ACCESS TO THE BACK ROW OF PLATFORMS VIA SIDE AISLE, ACCESS AISLES, AND CATWALK. EXCEPTION: TWO LEVEL TANDEM MECHANICAL PARKING INSTALLATIONS DO NOT REQUIRE CATWALKS BUT MUST MAINTAIN MINIMUM VEHICLE ENVELOPE REQUIREMENTS.
- ⑥ OPEN GARAGE INSTALLATIONS OF MECHANICAL CAR STACKERS MUST MEET REQUIREMENTS A-E.
- ⑦ OPEN GARAGE MECHANICAL PARKING STORAGE AREAS MUST BE FULLY SPRINKLERED. MECHANICAL CAR STACKERS PILES MUST BE 18" BELOW AUTOMATIC SPRINKLER HEADS.
- ⑧ ***FIRE PROTECTION ENGINEER TO SUBMIT DESIGN FOR APPROVAL.**
- ⑨ INDOOR MECHANICAL PARKING STORAGE AREAS MUST PROVIDE TWO EXITS AT THE LOWER LEVEL WITH A MAXIMUM TRAVEL DISTANCE LIMITED TO 250'.
- ⑩ ALLOWABLE BUILDING HEIGHTS AND AREA SHALL BE LIMITED PER TABLE 504.3, TABLE 504.4, AND TABLE 506.2 OF CBC FOR S-2 OCCUPANCY REQUIREMENTS FOR OPEN OR ENCLOSED PARKING STRUCTURES. ALLOWABLE AREA SHALL BE CALCULATED USING THE SUM OF EACH TIER OF THE MECHANICAL CAR STACKERS ALLOWABLE VEHICLE ENVELOPE.

TABLE 506.2				AREA OF VEHICLE ENVELOPE = 128 SF SUM OF EACH TIER = (2)128 SF = 296 SF TOTAL AREA = (8)296 SF = 2,368 SF
OCC.	S1 CLASS.	TYPE OF CONSTRUCTION	ALLOWABLE AREA	
S-2	SPRINKLERED	VB	54,000 SF	

ZONING					
INDUSTRIAL GENERAL (IG)	LOT AREA	FAR	MAX AREA (SF)	MAX HEIGHT	MAX STORIES
	10,800 SF	N/A	PENDING PARKING & LAND USE	43 SF	N/A

- ① MECHANICAL PARKING STORAGE AREAS SHALL BE SEPARATED FROM OTHER USES BY A 2HR FIRE WALL
- ② MECHANICAL VENTILATION MUST BE PROVIDED PER THE MECHANICAL CODE AT A MINIMUM OF FOUR AIR CHANGES PER HOUR.
- ③ A SMOKE EXHAUST SYSTEM SHALL BE REQUIRED FOR LARGE INDOOR MECHANICAL AREAS WITH TWO OR MORE MECHANICAL CAR STACKER PILES WITH A MINIMUM OF SIX AIR CHANGES PER HOUR.

BUILDING SETBACK REQ.			
STREET FACING	SIDE	REAR	ALLEY
5'-0"	N/A	N/A	2'-0"

(2) LONG TERM SPACES, PARKING SPACES AND TWO SHORT TERM PARKING SPACES. LONG TERM SPACES SHALL BE PROVIDED IN INDIVIDUAL BIKE LOCKERS OR BIKE RACKS IN A SECURE LOCKING ENCLOSURE, ACCESSIBLE ONLY TO THE BICYCLE OWNERS, AND SHALL BE LOCATED SO THEY ARE PROTECTED FROM THE WEATHER, EASILY ACCESSED.

(2) SHORT TERM SPACES MAY BE PROVIDED ON THE PROJECT SITE, USING ONE INVERTED U BICYCLE RACK OR SIMILAR. THE SHORT TERM BICYCLE PARKING SPACES SHALL BE PROVIDED 72" AISLES AND 48" BETWEEN BICYCLE PARKING AREAS, WITH A MINIMUM 24" SEPARATION BETWEEN THE BICYCLE RACK AND ANY ADJACENT ENCLOSURE WALL.

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3535

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0211

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:

**ENLARGED STACKER
PARKING PLAN**

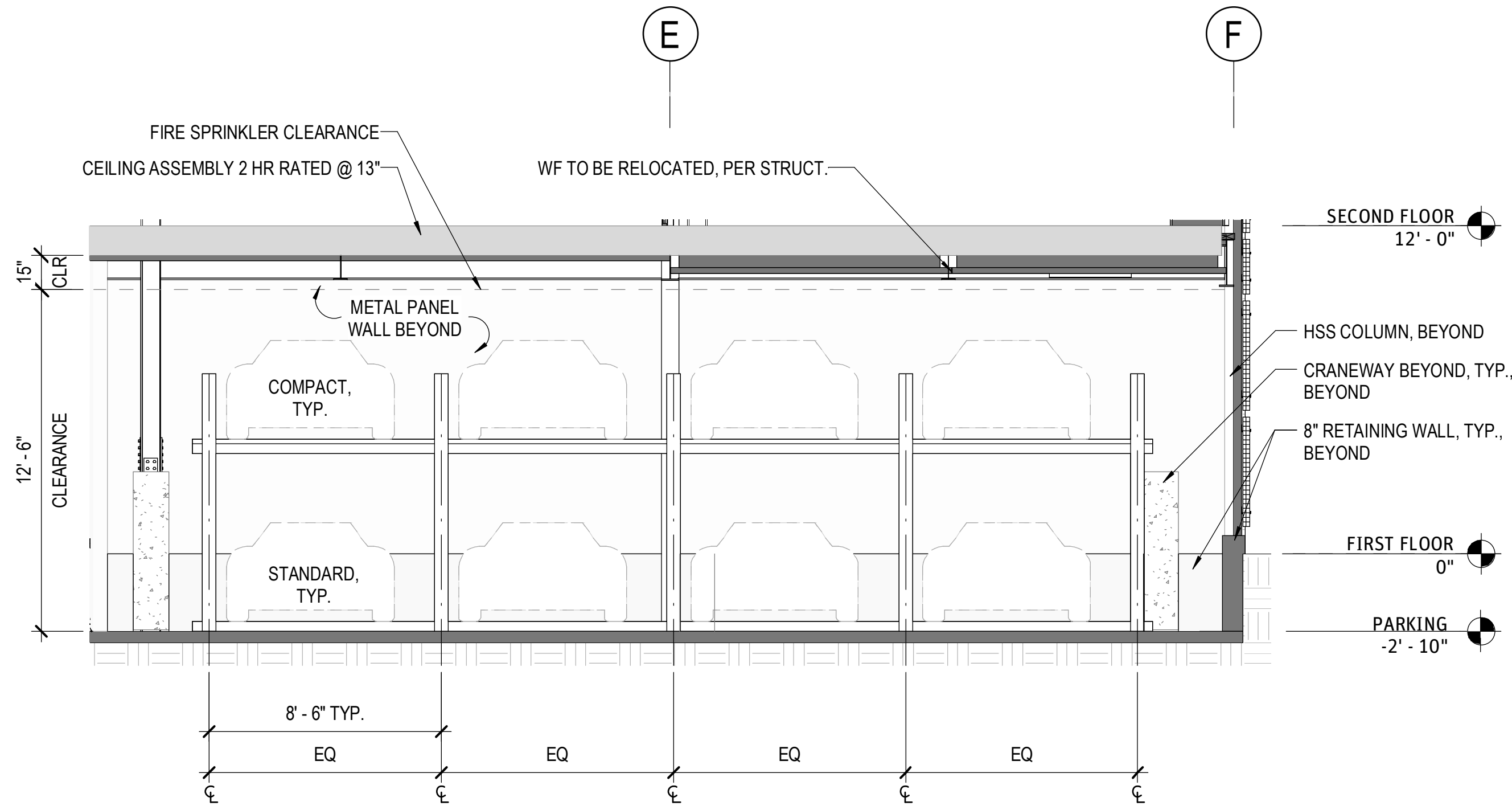
SCALE AT ARCH D (24 x 36):
As indicated

DRAWN BY: **RAC**

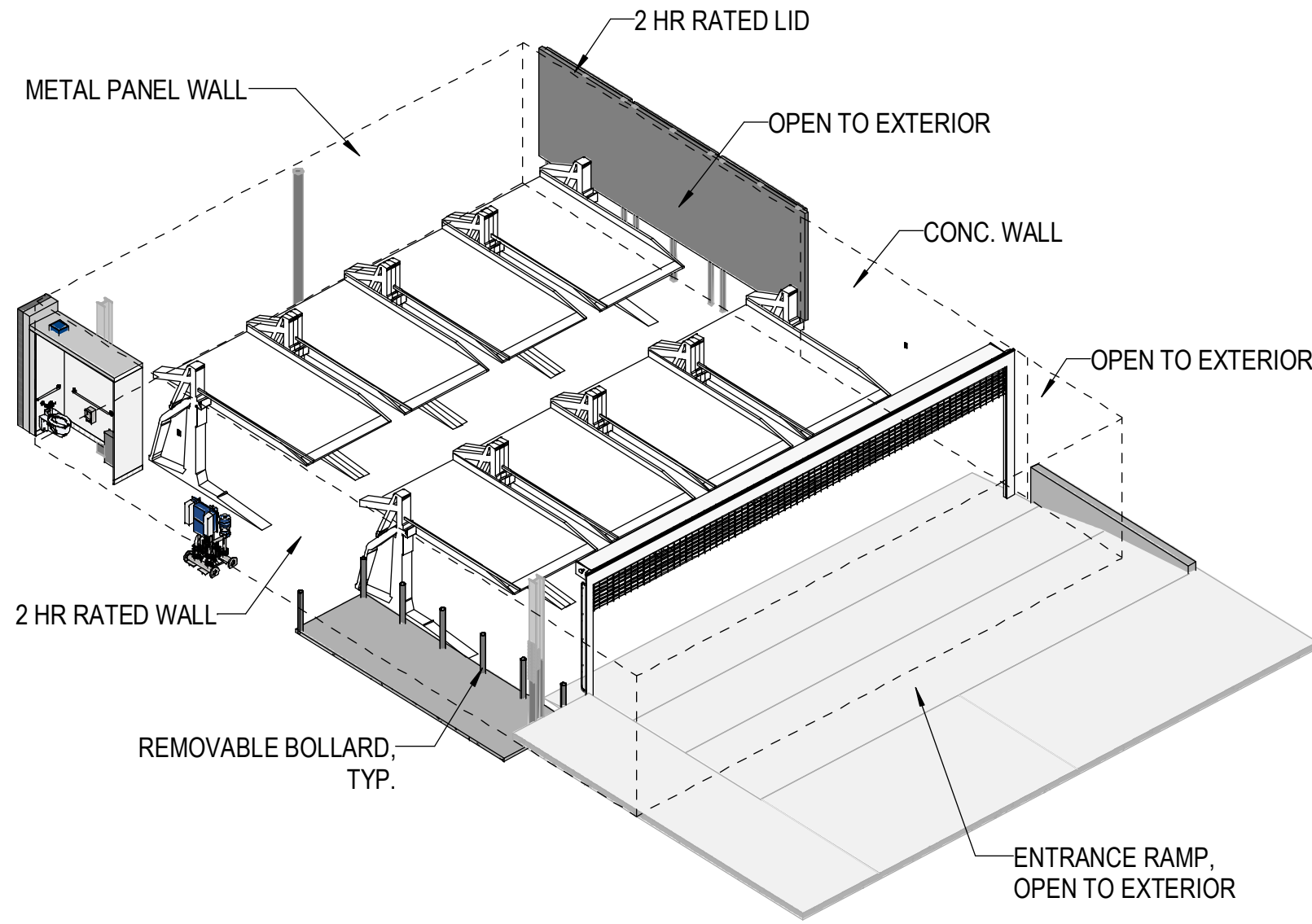
SHEET NUMBER:

A111

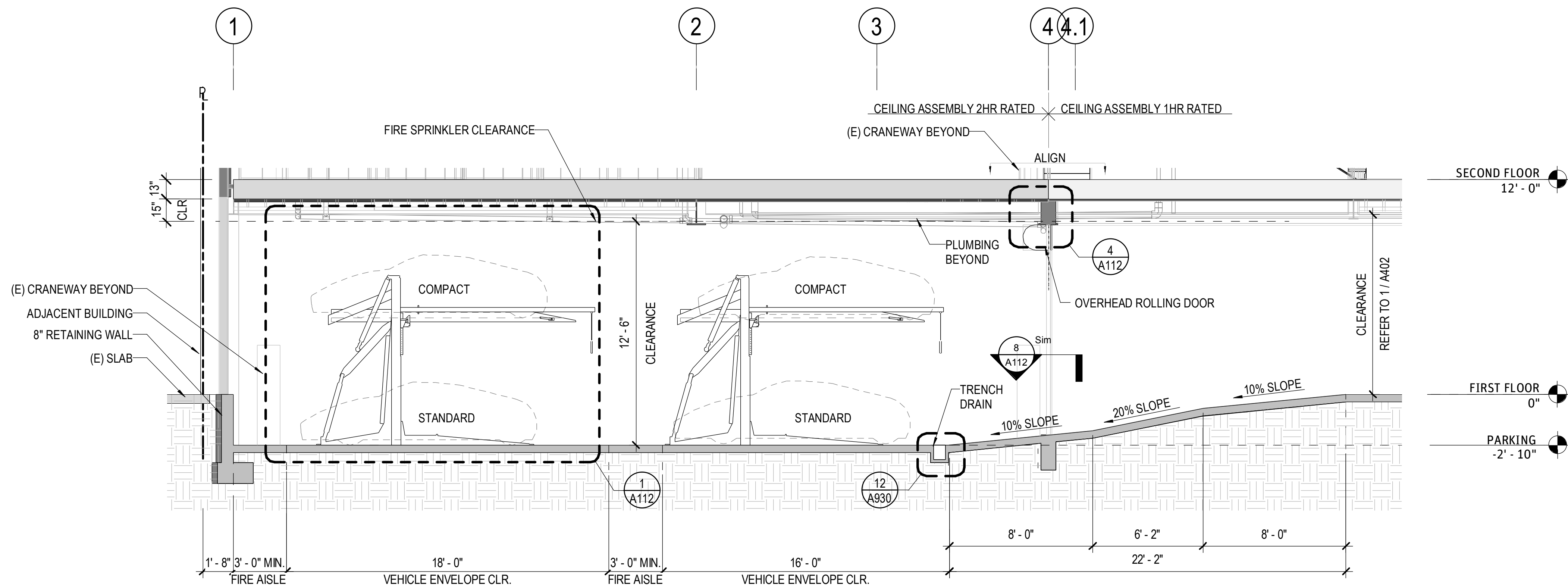
8/22/2019 11:54:46 AM
C:\Users\ileana\Documents\SOHA-3516_A_V2_ileana.rvt



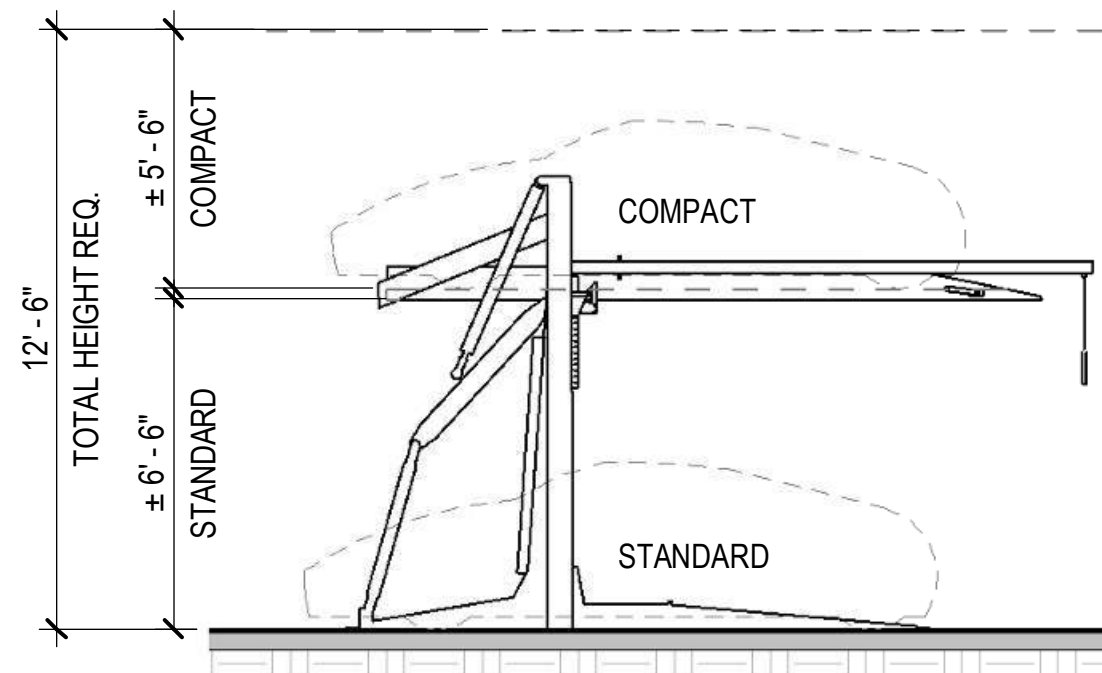
ENLARGED STACKER - CROSS SECTION
1/4" = 1'-0" 10



PARKING - AXON 6



ENLARGED STACKER - LONGITUDINAL SECTION
1/4" = 1'-0" 5



ENLARGED STACKER - SECTION
1/4" = 1'-0" 1

DETAIL - OVERHEAD DOOR RAIL
1" = 1'-0" 8

DOOR DETAIL - OVERHEAD DOOR
1" = 1'-0" 4

**SCHAEFER 3516
CORE & SHELL**

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED
NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE
ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED
DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE
FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS
DRAWING. USE TABULATED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, THIRD FLOOR
SANTA MONICA, CA 90401
310.395.3555

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:
**ENLARGED STACKER
PARKING SECTIONS**

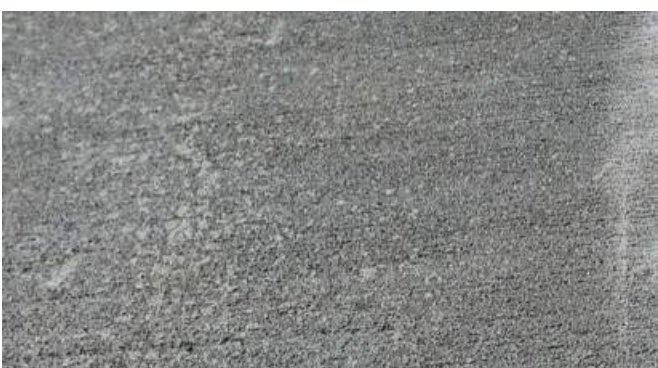
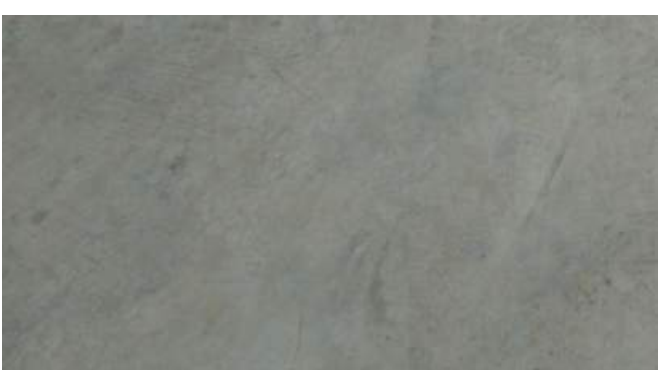
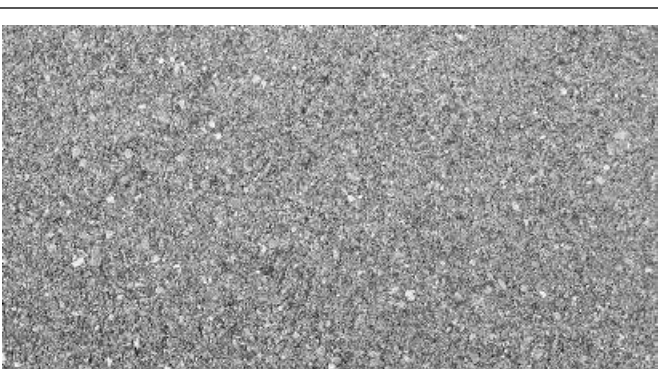
SCALE AT ARCH D (24 x 36):
As indicated

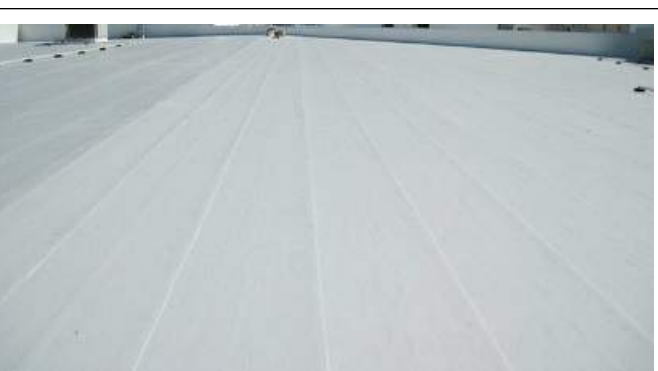
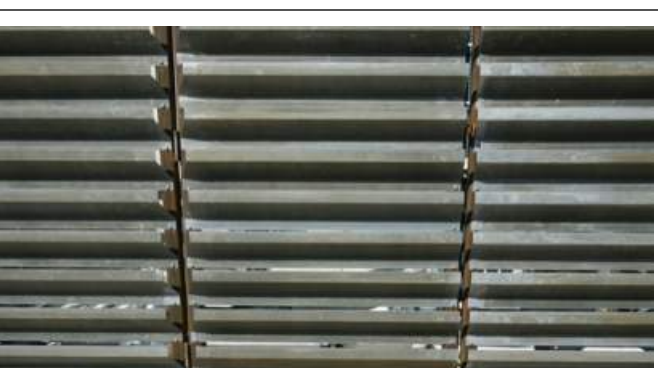
DRAWN BY: **RAC**

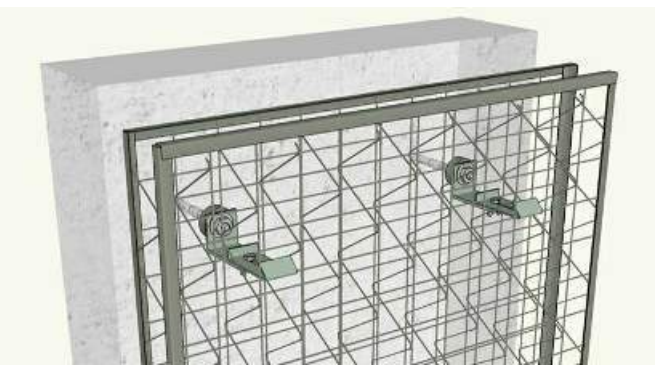
SHEET NUMBER:

A112

8/22/2019 11:54:53 AM
C:\Users\lleana\Documents\SCHA-3516_A_V2_leana.rvt

MATERIAL LEGEND A-S		
#	IMAGE	DESCRIPTION
CMU1		CONCRETE MASONRY UNITS 04-2200
CONC1		(N) POURED-IN-PLACE CONCRETE, GRIND AND SEAL FINISH
CONC2		CONCRETE SLAB ON GRADE, FLOAT & SEAL FINISH
CONC3		CONCRETE, WOOD FLOAT FINISH
CONC7		SHOTCRETE, ROUGH SCREED FINISH
CONC8		BOARDFORMED CONCRETE 2"X4" BOARDS 03-1100
CONC9		CONCRETE SLAB ON GRADE, ACID ETCH FINISH
CONC11		PERVIOUS CONCRETE
DG1		DECOMPOSED GRANITE

MATERIAL LEGEND A-S		
#	IMAGE	DESCRIPTION
FLR1		3" POURED-IN-PLACE CONCRETE OVER PLYWOOD 03-1000
IMP1		INSULATED METAL PANEL 07-4213
PLST1		CEMENT PLASTER 09-2423
PT1		PAINT, WHITE 09-9100
PVR1		24"X24"X2" THK CONCRETE PAVER 32-1413
RF1		2" THK CONCRETE ROOF PAVER & PEDESTAL ASSEMBLY 07-7600
RF4		CORRUGATED STEEL DECKING
RFG1		POLYVINYL CHLORIDE, FLEXIBLE 07-5419
SCRN1		BONDERIZED SHEET STEEL 05-7500

MATERIAL LEGEND S-Z		
#	IMAGE	DESCRIPTION
SCRN2		METAL GREEN SCREEN TRELLIS 10-8200
SMF2		HOT-ROLLED CLEAR COAT STEEL 05-1200
SWF1		GLUE LAMINATED BEAM WOOD FLOOR JOIST STRUCTURAL PLYWOOD
TL-01		3"X6" WHITE SUBWAY TILE

MATERIAL LEGEND S-Z		
#	IMAGE	DESCRIPTION

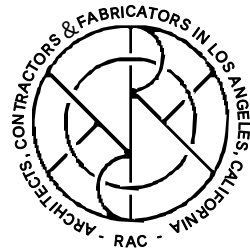
SCHAEFER 3516
CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED
NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE
ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED
DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE
FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS
DRAWING. USE FIGURED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3535

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90007
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV

DRAWING TITLE:

MATERIAL LEGEND

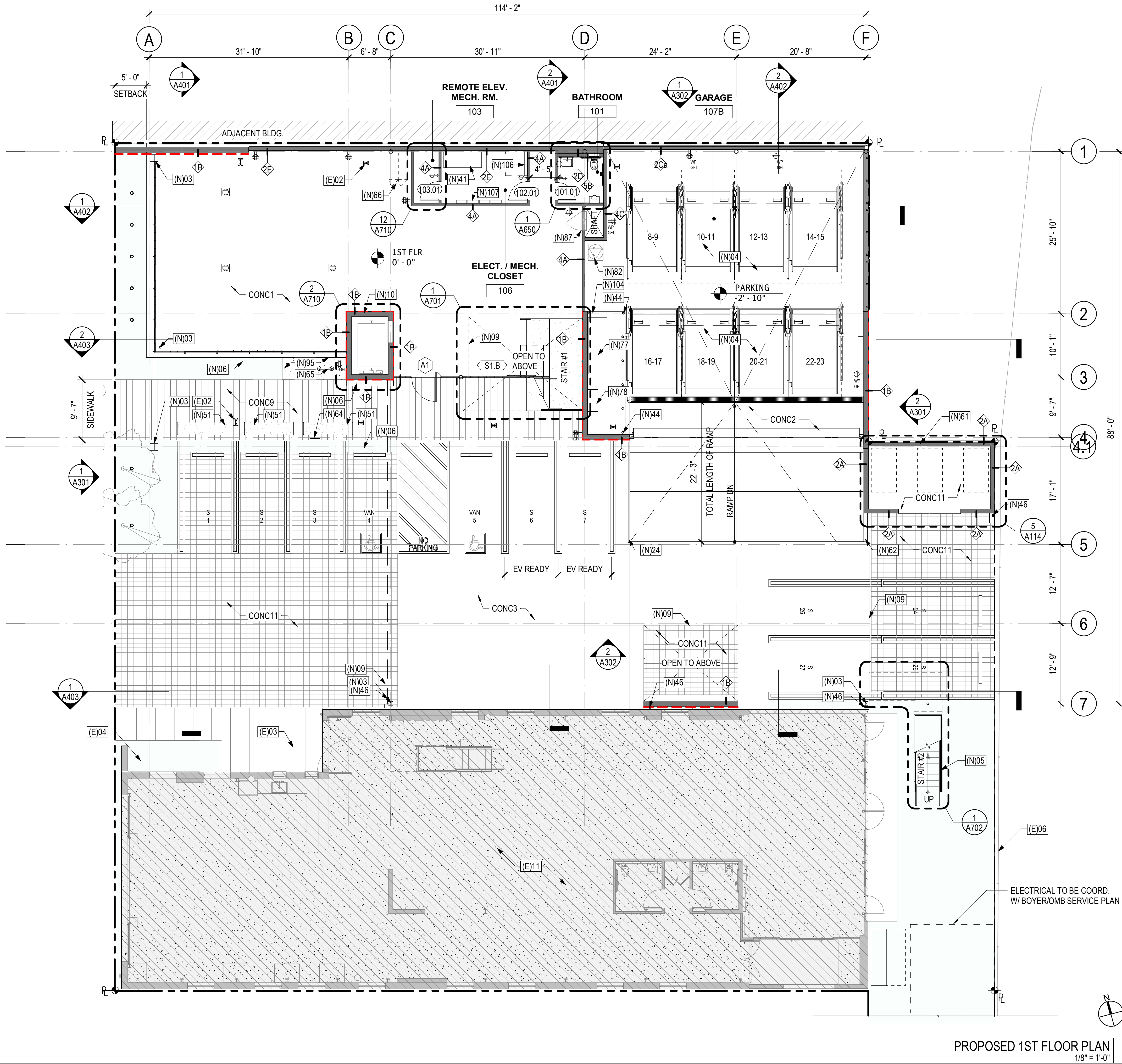
SCALE AT ARCH D (24 x 36):

DRAWN
BY:

RAC

SHEET NUMBER:

A200



FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
- PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

KEYNOTE - (E)XISTING

(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)03	(E) CONC. SLAB TO REMAIN
(E)04	(E) PLANTING TO REMAIN
(E)06	(E) CHAINLINK FENCE
(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.

KEYNOTE - (N)EW

(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)04	(N) STACKER PARKING
(N)05	(N) EXT. STAIR
(N)06	(N) PLANTING, REFER TO LANDSCAPE DWGS
(N)09	DASH LINE DENOTES FLOOR ABOVE
(N)10	(N) CONC. ELEVATOR SHAFT
(N)24	(N) STL. GUARDRAIL
(N)41	(N) ELECTRICAL DISTRIBUTION BOARD
(N)44	(N) REMOVABLE BOLLARD
(N)46	(N) BONDERIZED SHT. MTL. DOWNSPOUT
(N)51	(N) CONC. BENCH SEATING, T.I. ONLY
(N)61	(N) TRASH ENCLOSURE
(N)62	(N) 6" CONC. CURB
(N)64	(N) CITY-APPROVED "LOADING ONLY" SIGN W/ DESIGNATED TIME PERIOD NOT EXCEEDING ONE-HALF HOUR PER DAY DURING NORMAL BUSINESS HOURS, SEE CCMC 17.320.050.C.1.B.
(N)65	(N) U-SHAPED BIKE RACK, SHORT TERM
(N)66	(N) VERTICAL BIKE RACKS, LONG TERM
(N)77	(N) MAIN SWITCHGEAR
(N)78	(N) POWER PACK FOR HYDRAULIC SYSTEM PER PARK PLUS
(N)82	(N) BOOSTER PUMP, REFER TO PLUMBING DWGS
(N)87	(N) SPRINKLER CABINET, SEE PLUMBING.
(N)95	(N) DECOMPOSED GRANITE
(N)104	(N) CONC PAD AT ELECTRICAL EQUIPMENT
(N)106	(N) PLYWOOD BACKBOARD, SEE ELECTRICAL.
(N)107	(N) ELECTRICAL PANEL, SEE ELECTRICAL.

WALL TYPE LEGEND

1B	CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
2A	CMU1, CMU BLOCK WALL
2C	IMP1, INSULATED METAL PANEL WALL (2 HR)
2D	IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
2E	IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
2F	IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
3A	PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
3D	PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
4A	NON RATED PARTITION
4C	INTERIOR PARTITION (2 HR)
5B	PLUMBING WALL

FLOOR PLAN LEGEND

(N) WALL	PERMEABLE PAVING CONC11
(N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8	PLANTING AREAS
EXIT SIGN	DECOMPOSED GRANITE DG1
AREA NOT IN SCOPE	

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE FURNISHED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2375

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3555

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90007
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

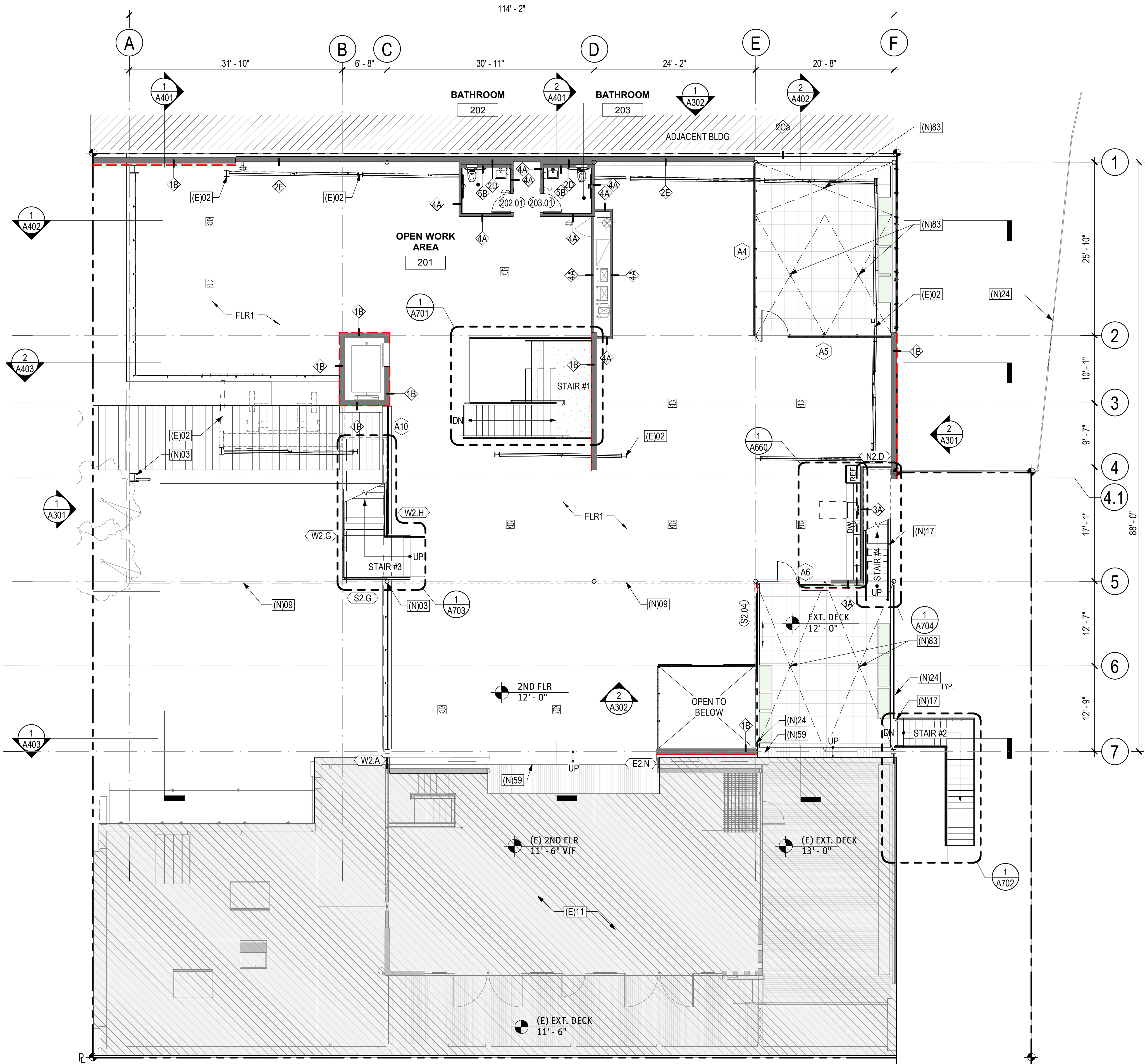
DRAWING TITLE:
FIRST FLOOR PLAN

SCALE AT ARCH D (24 x 36):
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

A201



PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
- PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

KEYNOTE - (E)XISTING

(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.

KEYNOTE - (N)EW

(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)09	DASH LINE DENOTES FLOOR ABOVE
(N)17	(N) MTL. STAIR, SEE ENLARGED PLANS AND DETAILS
(N)24	(N) STL. GUARDRAIL
(N)59	(N) (2) RISERS AT 4.5" EA, STEP TRANSITION ONTO (E) 3520 SCH BLDG
(N)83	(N) AREA DRAIN & OVERFLOW BELOW DECKING, SLOPE BELOW DECKING 1/4" PER FT.

WALL TYPE LEGEND

1B	CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
2A	CMU1, CMU BLOCK WALL
2C	IMP1, INSULATED METAL PANEL WALL (2 HR)
2D	IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
2E	IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
2F	IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
3A	PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
3D	PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
4A	NON RATED PARTITION
4C	INTERIOR PARTITION (2 HR)
5B	PLUMBING WALL

FLOOR PLAN LEGEND

(N) WALL	PERMEABLE PAVING CONC11
(N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8	PLANTING AREAS
EXIT SIGN	DECOMPOSED GRANITE DG1
AREA NOT IN SCOPE	

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE FURNISHED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3555

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:

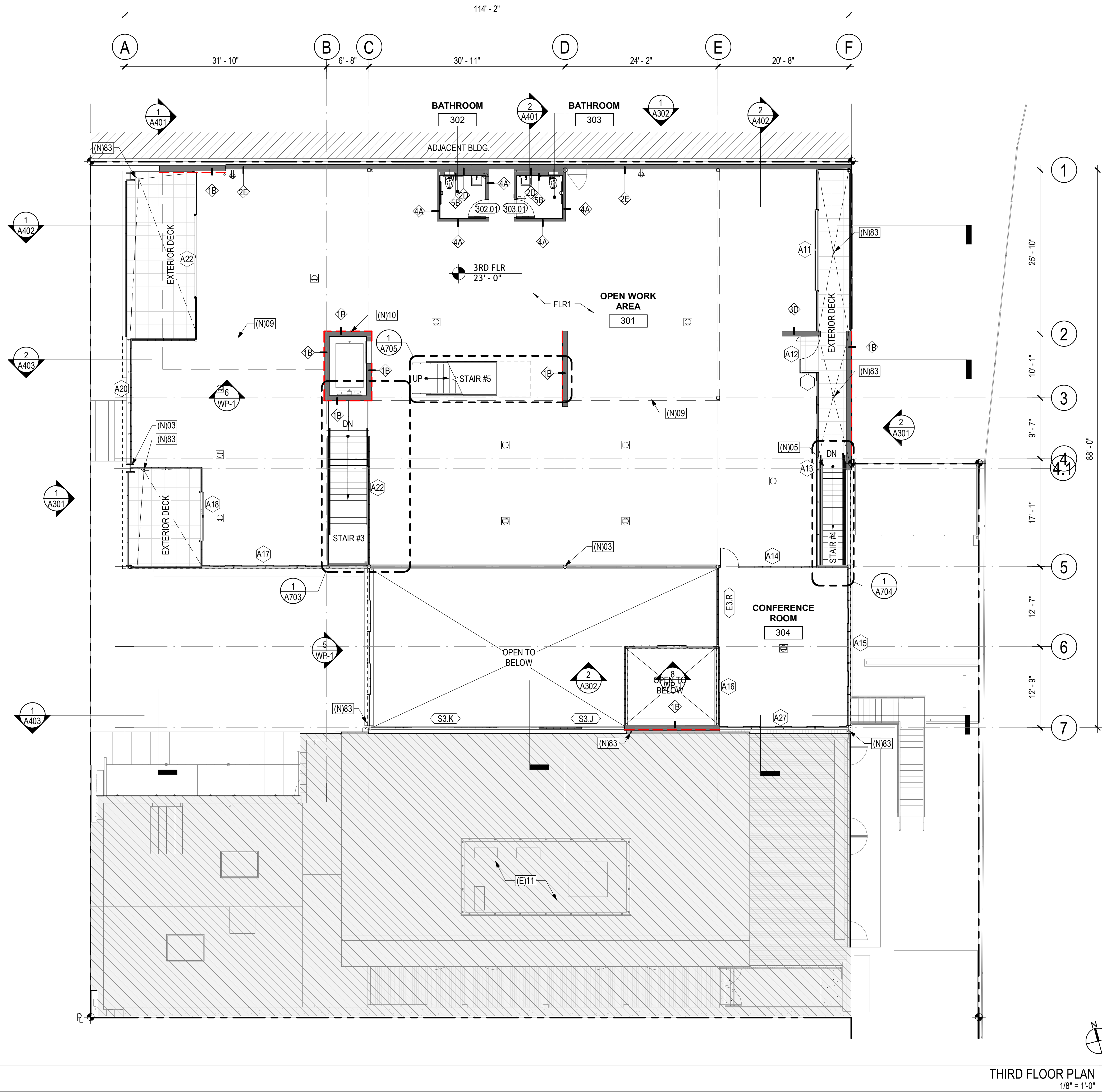
SECOND FLOOR PLAN

SCALE AT ARCH D (24 x 36):
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

A202



THIRD FLOOR PLAN
1/8" = 1'-0" 1

FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
- PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

KEYNOTE - (E)XISTING

(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.
-------	---

KEYNOTE - (N)EW

(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)05	(N) EXT. STAIR
(N)09	DASH LINE DENOTES FLOOR ABOVE
(N)10	(N) CONC. ELEVATOR SHAFT
(N)82	(N) BOOSTER PUMP, REFER TO PLUMBING DWGS
(N)83	(N) AREA DRAIN & OVERFLOW BELOW DECKING, SLOPE BELOW DECKING 1/4" PER FT.

WALL TYPE LEGEND

1B	CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
2A	CMU1, CMU BLOCK WALL
2C	IMP1, INSULATED METAL PANEL WALL (2 HR)
2D	IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
2E	IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
2F	IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
3A	PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
3D	PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
4A	NON RATED PARTITION
4C	INTERIOR PARTITION (2 HR)
5B	PLUMBING WALL

FLOOR PLAN LEGEND

(N) WALL	PERMEABLE PAVING CONC11
(N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8	PLANTING AREAS
EXIT SIGN	DECOMPOSED GRANITE DG1
AREA NOT IN SCOPE	

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2375

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, THIRD FLOOR
SANTA MONICA, CA 90401
310.395.3555

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:

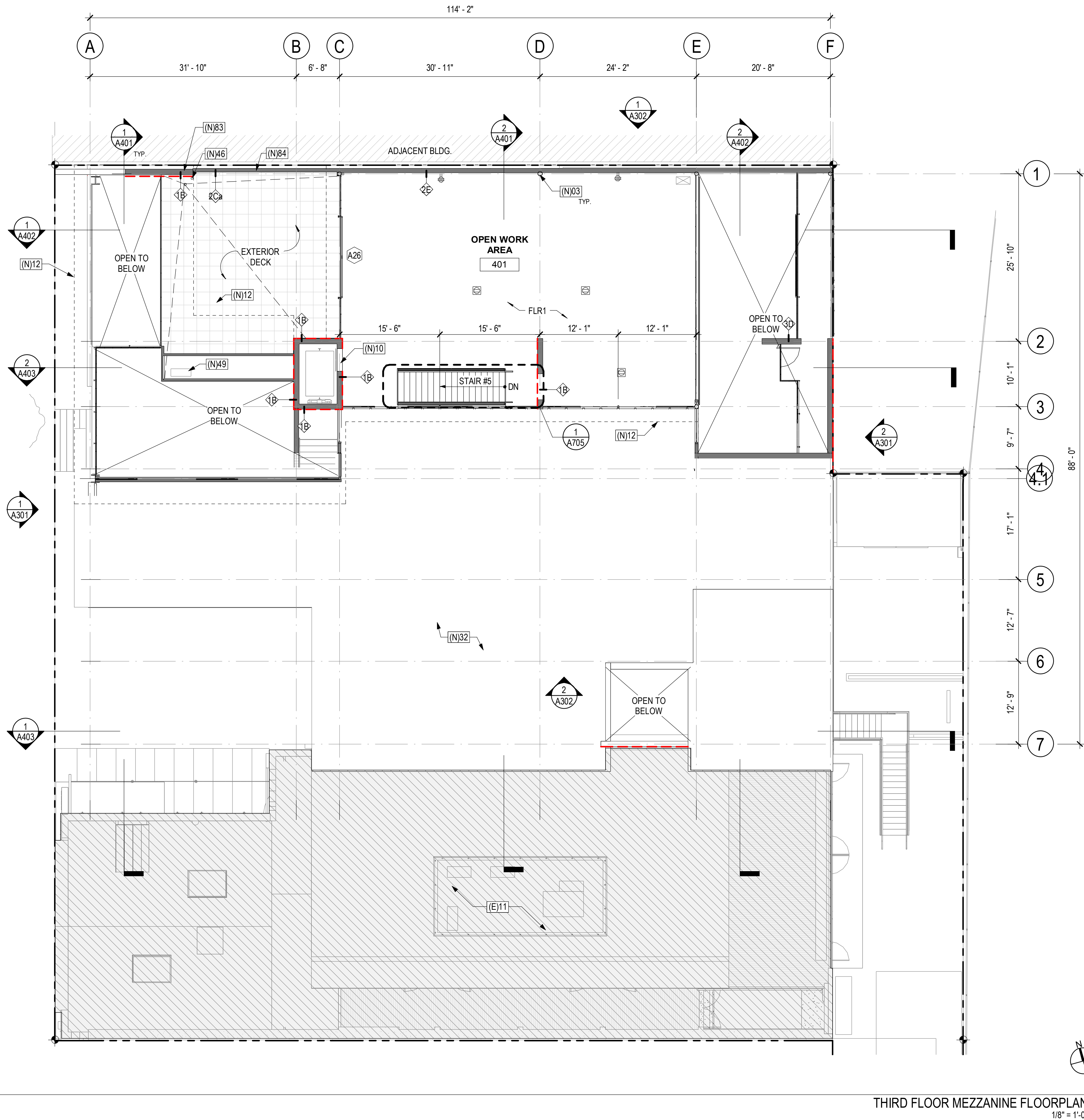
THIRD FLOOR PLAN

SCALE AT ARCH D (24 x 36):
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

A203



THIRD FLOOR MEZZANINE FLOORPLAN
1/8" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
- PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

KEYNOTE - (E)XISTING

(E)11 (E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.

KEYNOTE - (N)EW

(N)03 (N) COLUMN, TYP. SEE STRUCT.
(N)10 (N) CONC. ELEVATOR SHAFT
(N)12 (N) LINE OF ROOF ABOVE.
(N)32 (N) SLOPE ROOF, MATCH (E) SLOPE OF ADJ. BLDG. (SCHAEFER I)
(N)46 (N) BONDERIZED SHT. MTL DOWNSPOUT
(N)49 (N) MECHANICAL UNIT, UNDER SEPARATE PERMIT
(N)83 (N) AREA DRAIN & OVERFLOW BELOW DECKING, SLOPE BELOW DECKING 1/4" PER FT.
(N)84 (N) TOP OF WALL 42" AFF

WALL TYPE LEGEND

- 1B CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
- 2A CMU1, CMU BLOCK WALL
- 2C IMP1, INSULATED METAL PANEL WALL (2 HR)
- 2D IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
- 2E IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
- 2F IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
- 3A PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
- 3D PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
- 4A NON RATED PARTITION
- 4C INTERIOR PARTITION (2 HR)
- 5B PLUMBING WALL

FLOOR PLAN LEGEND

- (N) WALL
- (N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8
- EXIT SIGN
- AREA NOT IN SCOPE
- PERMEABLE PAVING CONC11
- PLANTING AREAS
- DECOMPOSED GRANITE DG1

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3555

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:

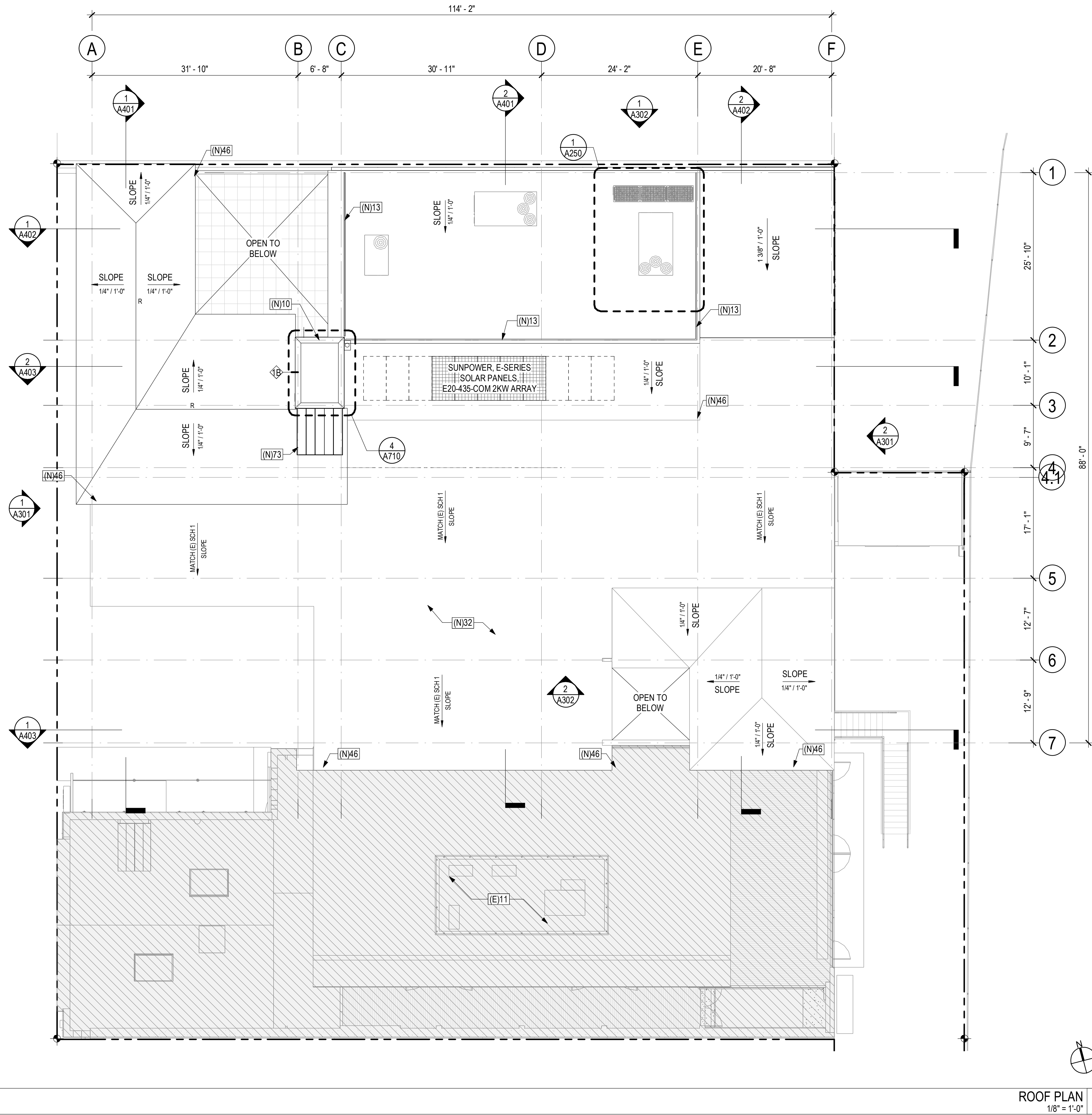
**THIRD FLOOR
MEZZANINE FLOOR
PLAN**

SCALE AT ARCH D (24 x 36):
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

A204



ROOF PLAN
1/8" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A DISTANCE OF 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FT. OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2%.
- PAINT ALL NEW GWB WALLS WHITE, SPEC PER ARCHITECT.
- ALL NEW CONCRETE FLOORS TO HAVE A GRIND AND SEAL FINISH.
- PROVIDE CODE REQUIRED POWER OUTLETS, SEE ELECTRICAL FOR ADDITIONAL INFORMATION (UNDER SEPARATE PERMIT SUBMITTAL).
- ALL (N) WALL TO UNDERSIDE OF PLYWOOD SHEATHING UNLESS OTHERWISE NOTED.
- CAP ALL ABANDONED PLUMBING LINES.
- CRANEWAY TO BE DISASSEMBLED PER CONTRACTOR'S MEANS & METHODS.

KEYNOTE - (E)XISTING

(E)11 (E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.

KEYNOTE - (N)EW

(N)10 (N) CONC. ELEVATOR SHAFT
(N)13 (N) RAISED MECHANICAL PLATFORM W/ SCREENING
(N)46 (N) BONDERIZED SHT. MTL DOWNSPOUT
(N)73 (N) FIXED CURB MOUNTED SKYLIGHT

WALL TYPE LEGEND

- CONC8, NEW 10" CONCRETE SHEAR WALL BOARDFORM
- CMU1, CMU BLOCK WALL
- IMP1, INSULATED METAL PANEL WALL (2 HR)
- IMP1, INSULATED METAL PANEL WALL, FURRED (1 HR)
- IMP1, INSULATED METAL PANEL WALL, W/ GWB FIN. (1 HR)
- IMP1, INSULATED METAL PANEL WALL, W/ PLST1 FIN. (1 HR)
- PLST1, EXTERIOR CEMENT PLASTER WALL (1 HR)
- PLST1, INTERIOR & EXTERIOR CEMENT PLASTER WALL (1 HR)
- NON RATED PARTITION
- INTERIOR PARTITION (2 HR)
- PLUMBING WALL

FLOOR PLAN LEGEND

- (N) WALL
- (N) SHOTCRETE WALL BOARDFORM SIDE DASHED CONC8
- EXIT SIGN
- AREA NOT IN SCOPE
- PERMEABLE PAVING CONC11
- PLANTING AREAS
- DECOMPOSED GRANITE DG1

SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE FURNISHED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 3RD FLOOR
SANTA MONICA, CA 90401
310.395.3555

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90017
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD:

ISSUE	DATE	REV

DRAWING TITLE:

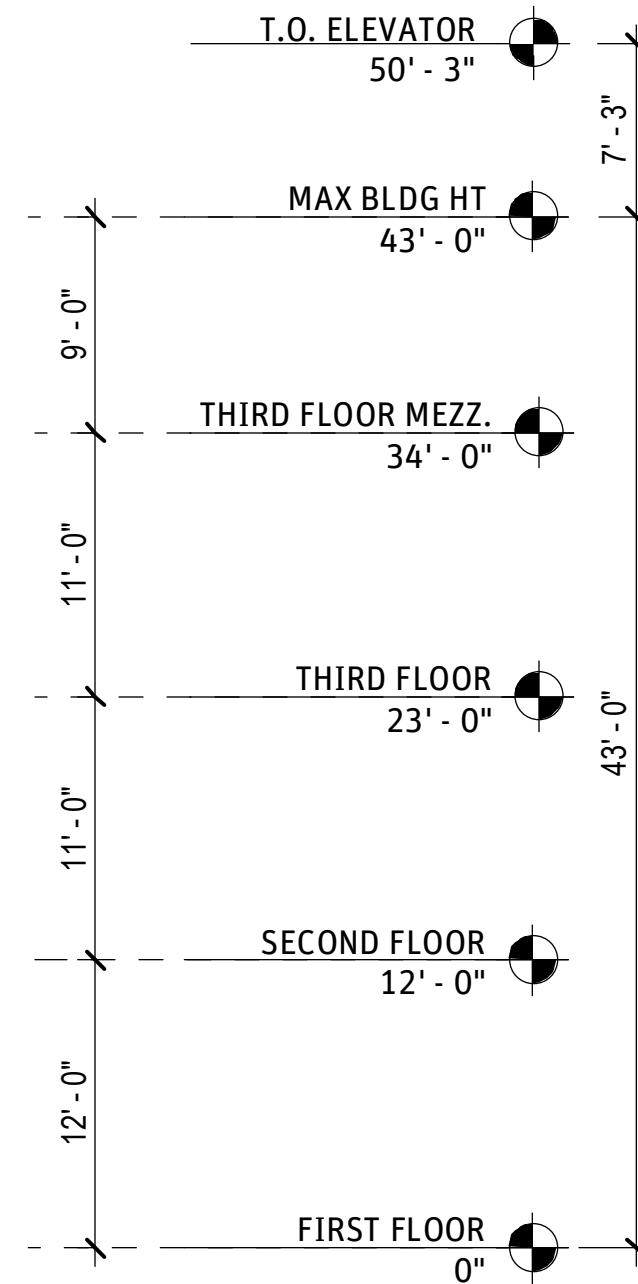
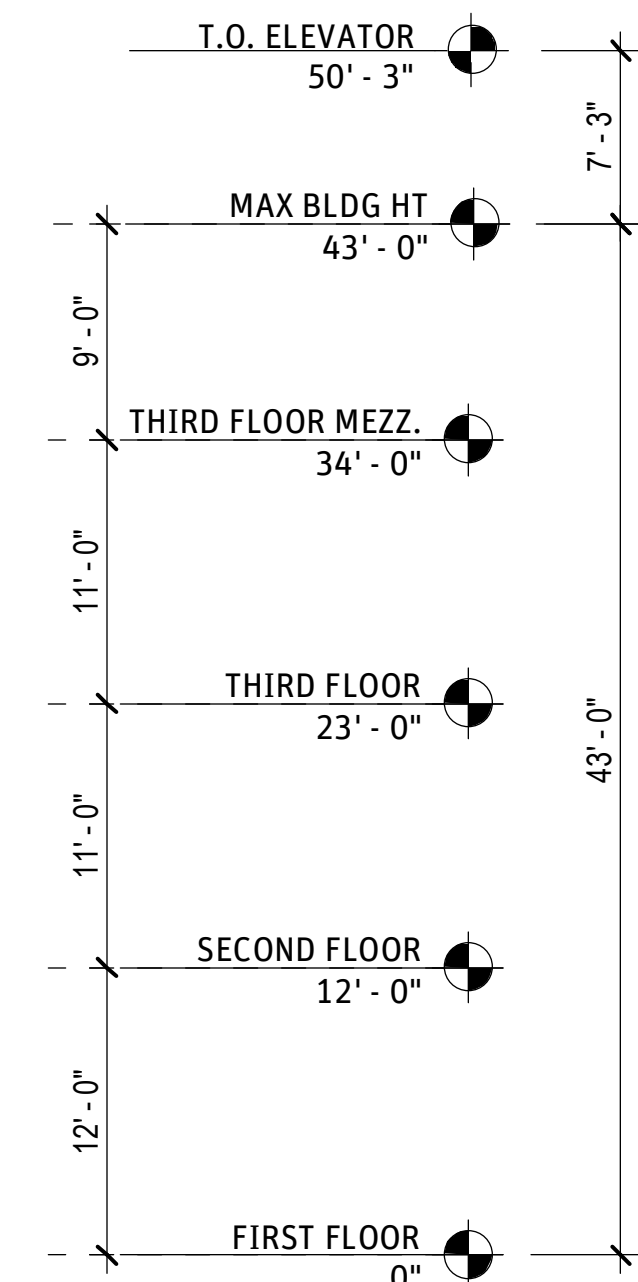
ROOF PLAN

SCALE AT ARCH D (24 x 36):
1/8" = 1'-0"

DRAWN BY: **RAC**

SHEET NUMBER:

A205


$$1/8" = 1'-4"$$

$$1/8" = 1'-10"$$

CCMC 17.300.025

MATERIAL KEY	
	CONCRETE
	STEEL
	GLASS
	WOOD
	INSULATION
	ROOFING
	LANDSCAPE
	WATER
	SKY
	VEGETATION
	PATH
	POLE
	WALL

	CMU1 CONCRETE MASONRY UNIT		SCRN1 MECH. SCREEN
	CONC7 SHOTCRETE ROUGH SCREED FINISH		SCRN2 METAL GREEN SCREEN TRELLIS
	CONC8 BOARDFORMED CONCRETE		SMF2 STRUCTURAL METAL FRAMING
	IMP1 INSULATED METAL PANEL		SWF1 STRUCTURAL WOOD FRAMING
	PLST1 CEMENT PLASTER		

(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.

(N)05	(N) EXT. STAIR
(N)10	(N) CONC. ELEVATOR SHAFT
(N)13	(N) RAISED MECHANICAL PLATFORM W/ SCREENING
(N)20	(N) EXHAUST DUCT, SEE MECH.
(N)24	(N) STL. GUARDRAIL
(N)31	(N) STL. BEAM, SEE STRUCT.
(N)35	(N) CANE RAIL
(N)36	(N) PARKING STALL, WHEEL STOP
(N)51	(N) CONC. BENCH SEATING, T.I. ONLY
(N)52	(N) BONDERIZED SHT. MTL. SCUPPER & DOWNSPOUT
(N)61	(N) TRASH ENCLOSURE
(N)65	(N) U-SHAPED BIKE RACK, SHORT TERM
(N)72	(N) COOL ROOF TOPPING SHT. OVER RIGID INSULATION
(N)73	(N) FIXED CURB MOUNTED SKYLIGHT
(N)82	(N) BOOSTER PUMP, REFER TO PLUMBING DWGS

3516 SCHAEFER

3520 SCHAEFER

SCHAEFER ST

SPUR

3516 SCHAEFER STREET
CULVER CITY, CA 90232

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404



RAC
 3048 N COOLIDGE AVE
 LOS ANGELES, CA 90039
 T: 323-663-9898
 F: 323-663-9899
 WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2315

MEP ENGINEERS
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, 5TH FLOOR
SANTA MONICA, CA 90401
310.395.3595

CIVIL ENGINEER
KPFF
 700 SOUTH FLOWER ST. STE 2100
 LOS ANGELES, CA 90017
 213.418.0211

SEALS OR APPROVALS:

ISSUE & REVISION RECORD:

ISSUE	DATE	REV
-------	------	-----

DRAWING TITLE:

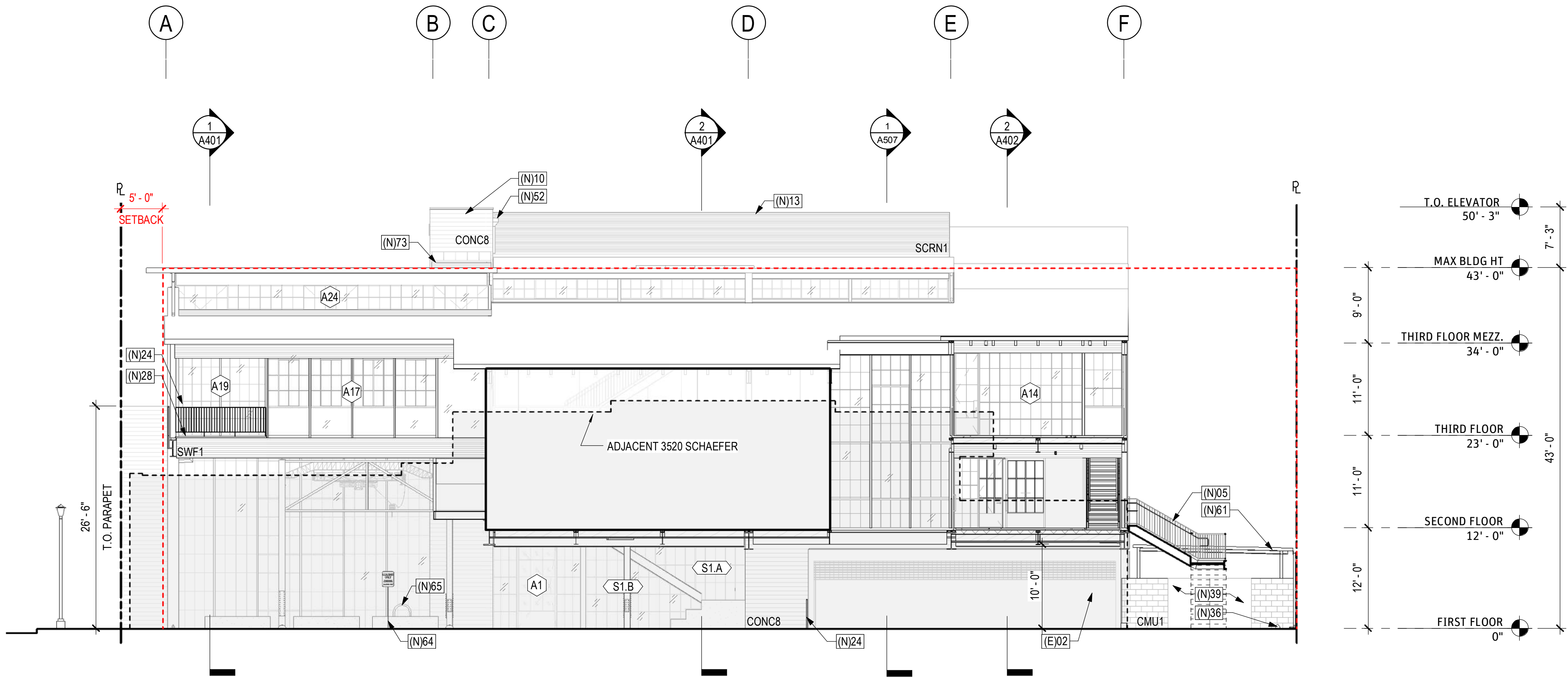
BUILDING ELEVATIONS

SCALE AT ARCH D (24 x 36): DRAWN

As indicated BY: **RAC**

SHEET NUMBER:

A301



PROPOSED SOUTH SECTION ELEVATION
1/8" = 1'-0"

NOTES

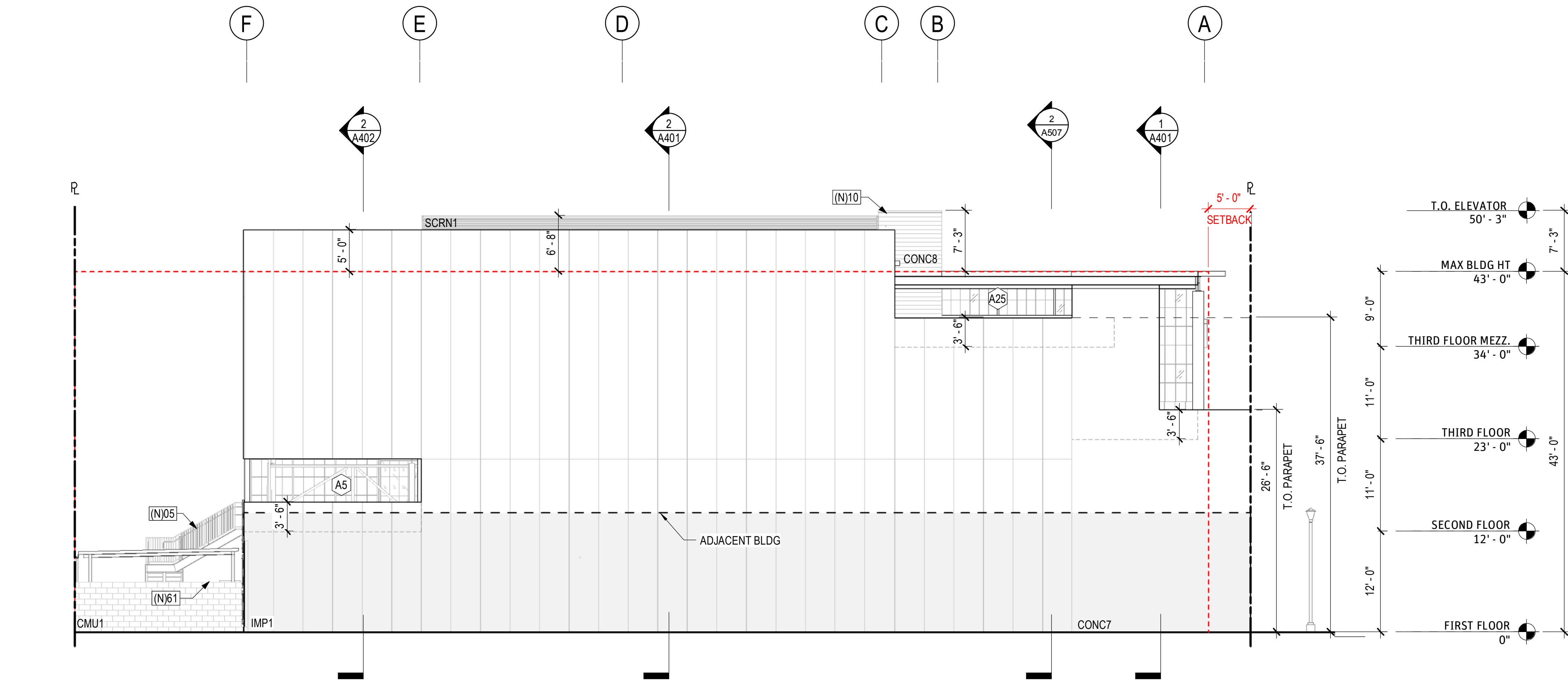
CCMC 17.300.025
IN NON-RESIDENTIAL ZONES, ARCHITECTURAL FEATURES THAT ARE NON-HABITABLE DESIGN ELEMENTS, SUCH AS SPIRES, TURRETS, BELL TOWERS, CLOCK TOWERS, CUPOLAS AND SIMILAR DESIGN ELEMENTS AS DETERMINED BY THE DIRECTOR, SHALL BE ALLOWED, UP TO A MAXIMUM 13'- 6" ABOVE THE HEIGHT OF THE BUILDING, AND ARE LIMITED TO 15% OF THE TOTAL ROOF AREA. IN MULTIPLE-FAMILY RESIDENTIAL ZONES AND NON-RESIDENTIAL ZONES, ROOF MOUNTED STRUCTURES FOR THE HOUSING OF MECHANICAL EQUIPMENT, ANTENNAS, ELEVATORS, STAIRWAYS, TANKS, TOWERS, VENTILATING FANS, OR SIMILAR EQUIPMENT REQUIRED TO OPERATE AND MAINTAIN THE STRUCTURE, SHALL BE ALLOWED, UP TO A MAXIMUM OF 13'- 6" ABOVE THE HEIGHT OF THE BUILDING. ANY ROOF-MOUNTED STRUCTURE SHALL BE SET BACK FROM THE EDGE OF THE STRUCTURE A MINIMUM OF 1 FOOT FOR EVERY FOOT IN HEIGHT ABOVE THE ROOF OF WHICH THEY ARE SITUATED.

MATERIAL KEY

	CMU1 CONCRETE MASONRY UNIT		SCRN1 MECH. SCREEN
	CONC7 SHOTCRETE ROUGH SCREED FINISH		SCRN2 METAL GREEN SCREEN TRELLIS
	CONC8 BOARDFORMED CONCRETE		SMF2 STRUCTURAL METAL FRAMING
	IMP1 INSULATED METAL PANEL		SWF1 STRUCTURAL WOOD FRAMING
	PLST1 CEMENT PLASTER		

KEYNOTE - (E)XISTING

(E)02	(E) CRANEWAY TO REMAIN, TYP.
-------	------------------------------

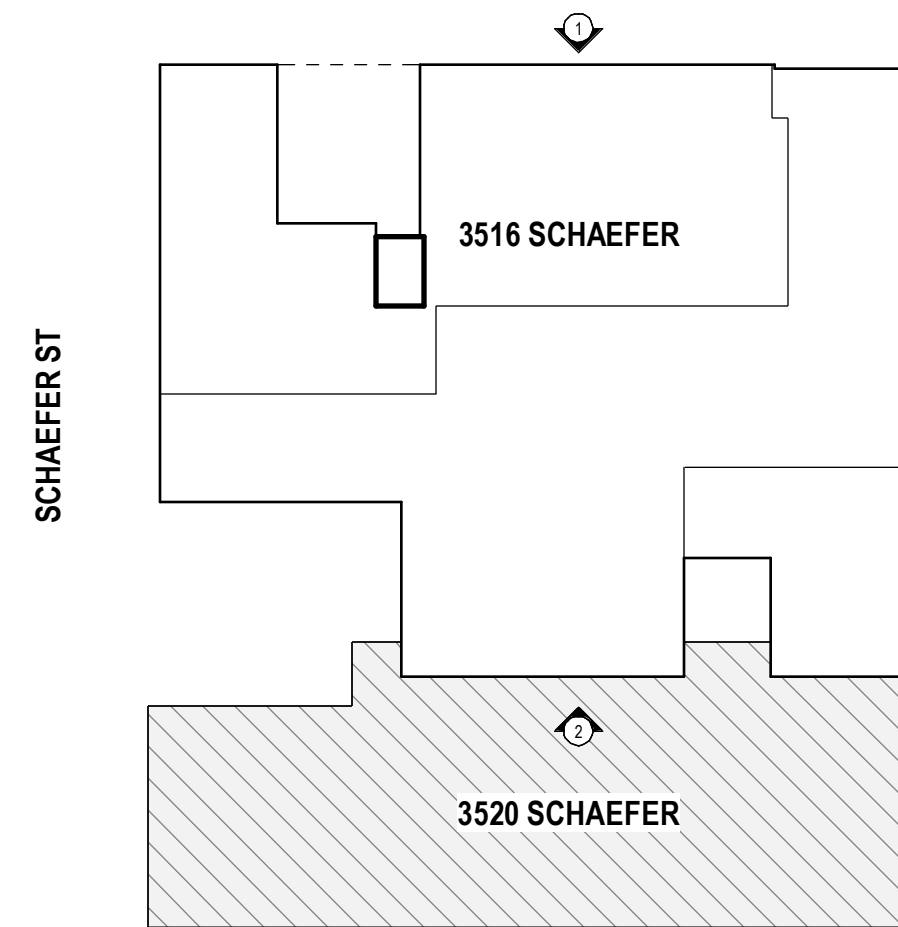


PROPOSED NORTH ELEVATION
1/8" = 1'-0"

KEYNOTE - (N)EW

(N)05	(N) EXT. STAIR
(N)10	(N) CONC. ELEVATOR SHAFT
(N)13	(N) RAISED MECHANICAL PLATFORM W/ SCREENING
(N)24	(N) STL. GUARDRAIL
(N)28	(N) GLULAM BEAM, SEE STRUCT.
(N)36	(N) PARKING STALL, WHEEL STOP
(N)39	(N) TRASH ENCLOSURE GATE
(N)52	(N) BONDORIZED SHT. MTL SCUPPER & DOWNSPOUT
(N)61	(N) TRASH ENCLOSURE
(N)64	(N) CITY-APPROVED "LOADING ONLY" SIGN W/ DESIGNATED TIME PERIOD NOT EXCEEDING ONE-HALF HOUR PER DAY DURING NORMAL BUSINESS HOURS, SEE CCMC 17.320.050.C.1.B.
(N)65	(N) U-SHAPED BIKE RACK, SHORT TERM
(N)73	(N) FIXED CURB MOUNTED SKYLIGHT

KEY PLAN



SCHAEFER 3516
CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED NOR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE TYPED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH ST. THIRD FLOOR
SANTA MONICA, CA 90401
310.395.3555

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90007
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

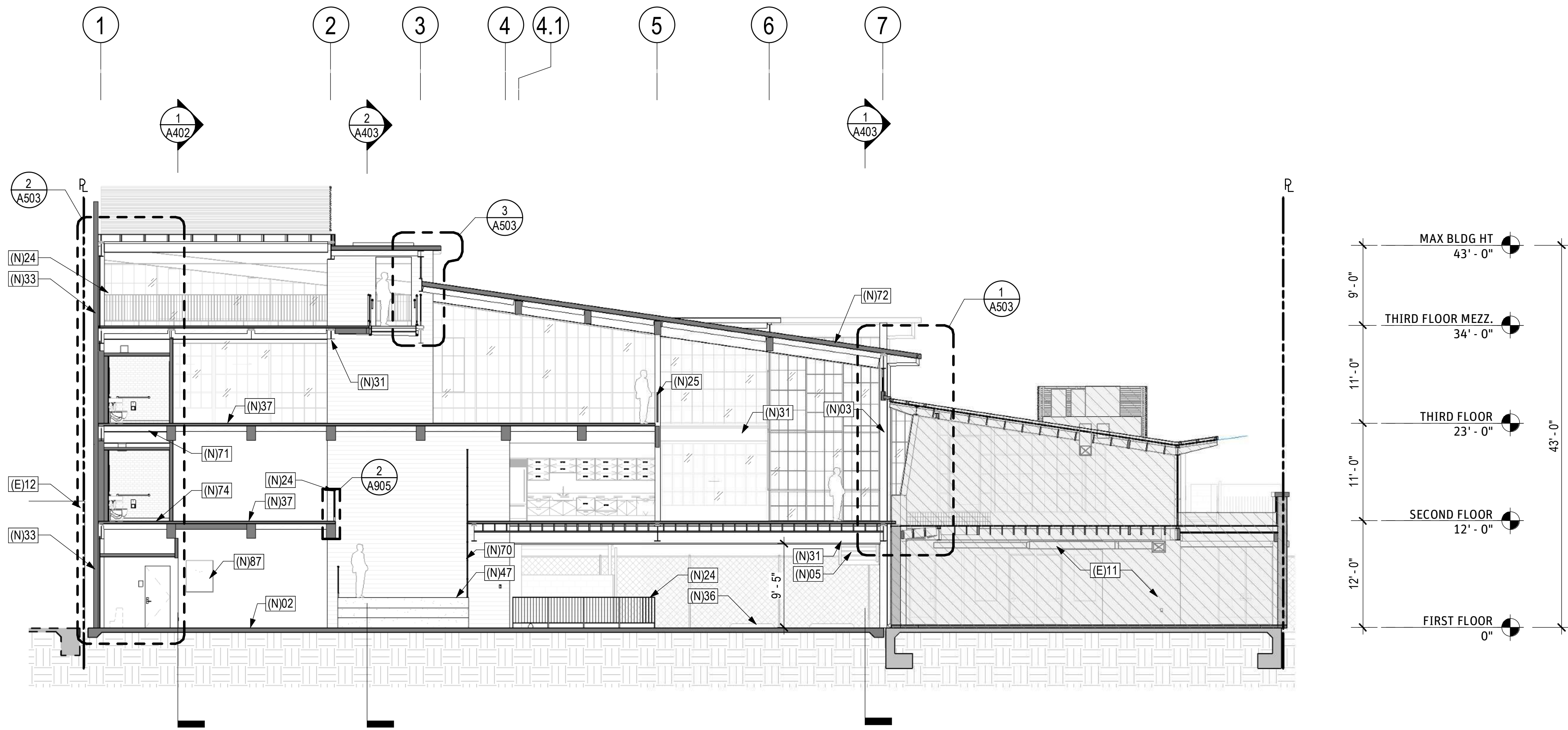
DRAWING TITLE:
BUILDING ELEVATIONS

SCALE AT ARCH D (24 x 36):
As indicated

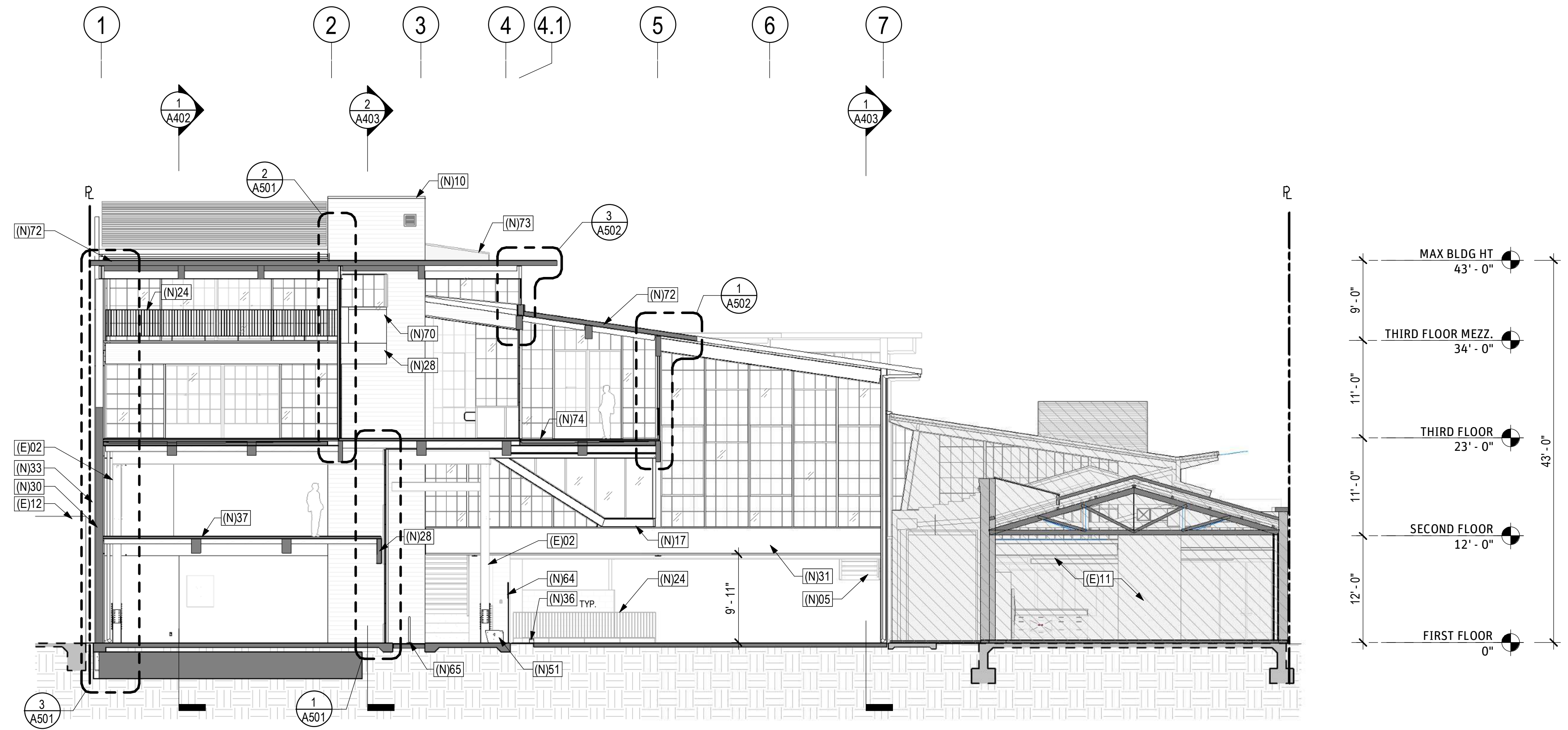
DRAWN BY: **RAC**

SHEET NUMBER:

A302



TRANSVERSE BUILDING SECTION B
1/8" = 1'-0" 2



TRANSVERSE BUILDING SECTION A
1/8" = 1'-0" 1

NOTES

CCMC 17.300.025
IN NON-RESIDENTIAL ZONES, ARCHITECTURAL FEATURES THAT ARE NON-HABITABLE DESIGN ELEMENTS, SUCH AS SPIRES, TURRETS, BELL TOWERS, CLOCK TOWERS, CUPOLAS AND SIMILAR DESIGN ELEMENTS AS DETERMINED BY THE DIRECTOR, SHALL BE ALLOWED, UP TO A MAXIMUM 13'- 6" ABOVE THE HEIGHT OF THE BUILDING, AND ARE LIMITED TO 15% OF THE TOTAL ROOF AREA. IN MULTIPLE-FAMILY RESIDENTIAL ZONES AND NON-RESIDENTIAL ZONES, ROOF MOUNTED STRUCTURES FOR THE HOUSING OF MECHANICAL EQUIPMENT, ANTENNAS, ELEVATORS, STAIRWAYS, TANKS, TOWERS, VENTILATING FANS, OR SIMILAR EQUIPMENT REQUIRED TO OPERATE AND MAINTAIN THE STRUCTURE, SHALL BE ALLOWED, UP TO A MAXIMUM OF 13'- 6" ABOVE THE HEIGHT OF THE BUILDING. ANY ROOF-MOUNTED STRUCTURE SHALL BE SET BACK FROM THE EDGE OF THE STRUCTURE A MINIMUM OF 1 FOOT FOR EVERY FOOT IN HEIGHT ABOVE THE ROOF OF WHICH THEY ARE SITUATED.

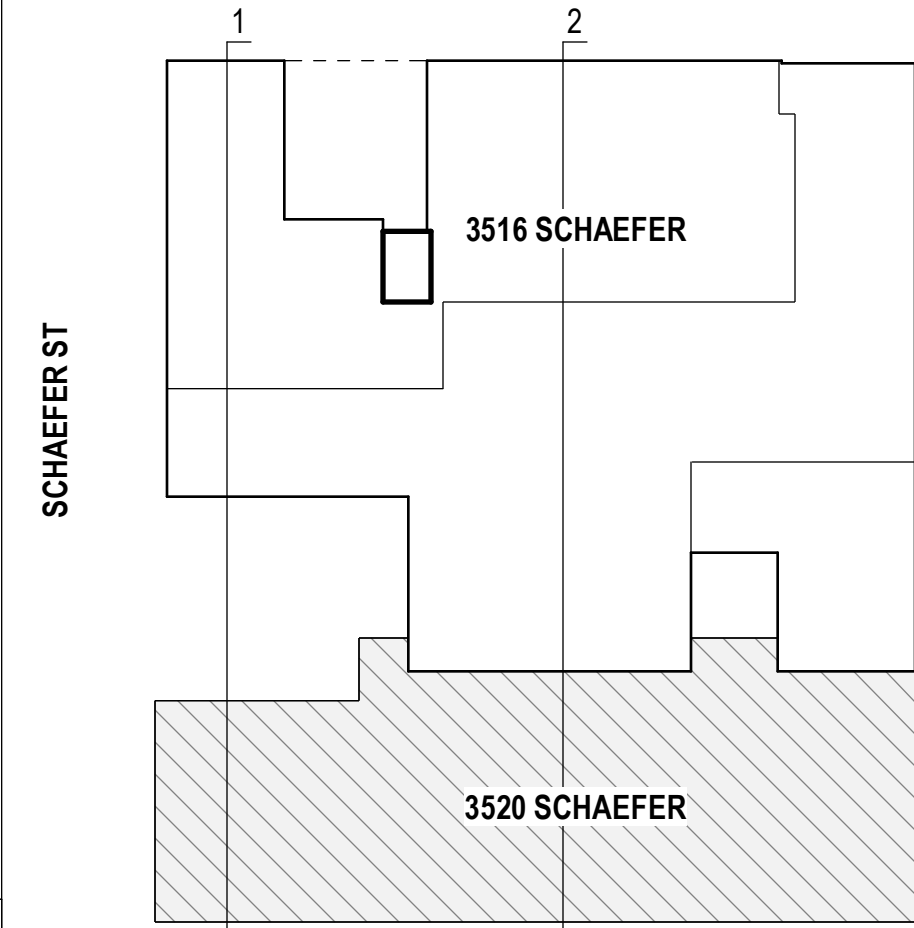
KEYNOTE - (E)XISTING

(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.
(E)12	ADJACENT BLDG. N.I.C.

KEYNOTE - (N)EW

(N)02	(N) CONC. SLAB.
(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)05	(N) EXT. STAIR
(N)10	(N) CONC. ELEVATOR SHAFT
(N)17	(N) MTL. STAIR, SEE ENLARGED PLANS AND DETAILS
(N)24	(N) STL. GUARDRAIL
(N)25	(N) STL. & GLASS GUARDRAIL
(N)28	(N) GLULAM BEAM, SEE STRUCT.
(N)30	(N) CONC. SHEAR WALL
(N)31	(N) STL. BEAM, SEE STRUCT.
(N)33	(N) INSULATED MTL. PANEL WALL
(N)36	(N) PARKING STALL, WHEEL STOP
(N)37	(N) 2.5" THK. CONC. OVER 3/4" THK. PLYWD.
(N)47	(N) CONC. STEPS & LANDING
(N)51	(N) CONC. BENCH SEATING, T.I. ONLY
(N)64	(N) CITY-APPROVED "LOADING ONLY" SIGN W/ DESIGNATED TIME PERIOD NOT EXCEEDING ONE-HALF HOUR PER DAY DURING NORMAL BUSINESS HOURS, SEE CCMC 17.320.050.C.1.B.
(N)65	(N) U-SHAPED BIKE RACK, SHORT TERM
(N)70	(N) EXT. STL. & GLASS ASSEMBLY
(N)71	(N) EXT. PLYWOOD CLADDING & SOFFIT
(N)72	(N) COOL ROOF TOPPING SHT. OVER RIGID INSULATION
(N)73	(N) FIXED CURB MOUNTED SKYLIGHT
(N)74	(N) ROOF TERRACE, RAISED PEDESTAL PAVERS OVER WP
(N)82	(N) BOOSTER PUMP, REFER TO PLUMBING DWGS
(N)87	(N) SPRINKLER CABINET, SEE PLUMBING.
(N)88	(N) DIFFUSER RETURN, SEE MECHANICAL.

KEY PLAN



SCHAEFER 3516 CORE & SHELL

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER:

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHTED AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2373

MEP ENGINEER
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, THIRD FLOOR
SANTA MONICA, CA 90401
310.395.3565

CIVIL ENGINEER
KPFF
700 SOUTH TOWER ST. STE 2100
LOS ANGELES, CA 90007
213.418.0200

SEALS OR APPROVALS

ISSUE & REVISION RECORD

ISSUE	DATE	REV

DRAWING TITLE:
BUILDING SECTIONS

SCALE AT ARCH D (24 x 36):
As indicated

DRAWN
BY: **RAC**

SHEET NUMBER:

A401



CCMC 17.300.025

IN NON-RESIDENTIAL ZONES, ARCHITECTURAL FEATURES THAT ARE NON-HABITABLE DESIGN ELEMENTS, SUCH AS SPIRES, TURRETS, BELL TOWERS, CLOCK TOWERS, CUPOLAS AND SIMILAR DESIGN ELEMENTS AS DETERMINED BY THE DIRECTOR, SHALL BE ALLOWED, UP TO A MAXIMUM 13' - 6" ABOVE THE HEIGHT OF THE BUILDING, AND ARE LIMITED TO 15% OF THE TOTAL ROOF AREA. IN MULTIPLE-FAMILY RESIDENTIAL ZONES AND NON-RESIDENTIAL ZONES, ROOF MOUNTED STRUCTURES FOR THE HOUSING OF MECHANICAL EQUIPMENT, ANTENNAS, ELEVATORS, STAIRWAYS, TANKS, TOWERS, VENTILATING FANS, OR SIMILAR EQUIPMENT REQUIRED TO OPERATE AND MAINTAIN THE STRUCTURE, SHALL BE ALLOWED, UP TO A MAXIMUM OF 13' - 6" ABOVE THE HEIGHT OF THE BUILDING. ANY ROOF-MOUNTED STRUCTURE SHALL BE SET BACK FROM THE EDGE OF THE STRUCTURE A MINIMUM OF 1 FOOT FOR EVERY FOOT IN HEIGHT ABOVE THE ROOF OF WHICH THEY ARE SITUATED.

(E)02	(E) CRANEWAY TO REMAIN, TYP.
(E)06	(E) CHAINLINK FENCE
(E)11	(E) BLDG. TO REMAIN (SCHAEFER I). REFER TO PERMIT # B16-0850.
(E)12	ADJACENT BLDG. N.I.C.

(N)02	(N) CONC. SLAB.
(N)03	(N) COLUMN, TYP. SEE STRUCT.
(N)04	(N) STACKER PARKING
(N)05	(N) EXT. STAIR
(N)10	(N) CONC. ELEVATOR SHAFT
(N)13	(N) RAISED MECHANICAL PLATFORM W/ SCREENING
(N)17	(N) MTL. STAIR, SEE ENLARGED PLANS AND DETAILS
(N)24	(N) STL. GUARDRAIL
(N)28	(N) GLULAM BEAM, SEE STRUCT.
(N)31	(N) STL. BEAM, SEE STRUCT.
(N)33	(N) INSULATED MTL. PANEL WALL
(N)35	(N) CANE RAIL
(N)36	(N) PARKING STALL, WHEEL STOP
(N)37	(N) 2.5" THK. CONC. OVER 3/4" THK. PLYWD.
(N)38	(N) CUSTOM STL. GLASS SLIDING DOOR
(N)47	(N) CONC. STEPS & LANDING
(N)50	(N) 2" THK. CONC. PAVER
(N)55	(N) PLANTER
(N)60	(N) 2 HR RATED FLOOR
(N)61	(N) TRASH ENCLOSURE
(N)70	(N) EXT. STL. & GLASS ASSEMBLY
(N)71	(N) EXT. PLYWOOD CLADDING & SOFFIT
(N)72	(N) COOL ROOF TOPPING SHT. OVER RIGID INSULATION
(N)74	(N) ROOF TERRACE, RAISED PEDESTAL PAVERS OVER WP
(N)76	(N) EXT. PLASTER & SOFFIT
(N)81	(N) PROPOSED PARKWAY, UNDER SEPARATE PERMIT
(N)86	(N) TRENCH DRAIN
(N)103	(N) OVERHEAD ROLLING DOOR

3516 SCHAEFER

3520 SCHAEFER

SCHAEFER ST

35TH ST

0 100 FEET

1

3516 SCHAEFER STREET
CULVER CITY, CA 90232

OWNER

REDCAR PROPERTIES LTD
2341 MICHIGAN AVE
SANTA MONICA, CA 90404

ARCHITECT:



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHT AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING, USE FIGURED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

CONSULTANTS:

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2315

MEP ENGINEERS
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 90245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET, THIRD FLOOR
SANTA MONICA, CA 90401
310.395.3595

CIVIL ENGINEER
KPFF
 700 SOUTH FLOWER ST. STE 2100
 LOS ANGELES, CA 90017
 213.418.02

SEALS OR APPROVALS

ISSUE & REVISION RECORD

PLAY FERRER

DRAWING TITLE:
BUILDING SECTIONS

SCALE AT ARCH D (24 x 36): As indicated

DRAWN BY: **RAC**

SHEET NUMBER

A402

1/8" = 1'-0" 2

1/8" = 1'-0"

CCMC 17.300.02

HABITABLE DESIGN ELEMENTS, SUCH AS SPIRES, TURRETS, BELL TOWERS, CLOCK TOWERS, COPULAS AND SIMILAR DESIGN ELEMENTS AS DETERMINED BY THE DIRECTOR, SHALL BE ALLOWED, UP TO A MAXIMUM 13'- 6" ABOVE THE HEIGHT OF THE BUILDING, AND ARE LIMITED TO 15% OF THE TOTAL ROOF AREA. IN MULTIPLE-FAMILY RESIDENTIAL ZONES AND NON-RESIDENTIAL ZONES, ROOF MOUNTED STRUCTURES FOR THE HOUSING OF MECHANICAL EQUIPMENT, ANTENNAS, ELEVATORS, STAIRWAYS, TANKS, TOWERS, VENTILATING FANS, OR SIMILAR EQUIPMENT REQUIRED TO OPERATE AND MAINTAIN THE STRUCTURE, SHALL BE ALLOWED, UP TO A MAXIMUM OF 13'- 6" ABOVE THE HEIGHT OF THE BUILDING, ANY ROOF-MOUNTED STRUCTURE SHALL BE SET BACK FROM THE EDGE OF THE STRUCTURE A MINIMUM OF 1 FOOT FOR EVERY FOOT IN HEIGHT ABOVE THE ROOF OF WHICH THEY ARE SITUATED.



RAC
3048 N COOLIDGE AVE
LOS ANGELES, CA 90039
T: 323-663-9898
F: 323-663-9899
WWW.RACDB.COM

RAC DESIGN BUILD ARCHITECTS - DISCLAIMER
THIS DRAWING AND/OR ELECTRONIC FILE IS COPYRIGHT AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELATED DRAWINGS AND DOCUMENTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FULL COMPLIANCE WITH BUILDING DEPARTMENT REGULATIONS. DO NOT SCALE FROM THIS DRAWING, USE FIGURED DIMENSIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS ON SITE. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO ARCHITECT & OWNER PRIOR TO INSTALLATION OF WORK.

STRUCTURAL ENGINEER
GLOTMAN SIMPSON
600 WILSHIRE BLVD., STE 650
LOS ANGELES, CA 90017
213.283.2315

MEP ENGINEERS
AMA CONSULTING ENGINEERS
2101 EL SEGUNDO BLVD.
EL SEGUNDO, CA 9245
310.846.4664

LANDSCAPE ARCHITECT
MTLA INC.
1424 4TH STREET THIRD FLOOR
SANTA MONICA CA 90401
310.395.3595

CIVIL ENGINEER
KPFF
 700 SOUTH FLOWER ST. STE 2100
 LOS ANGELES, CA 90017
 213.418.02

DRAWING TITLE:
BUILDING SECTIONS

SCALE AT ARCH D (24 x 36): As indicated

DRAWN BY: **RAC**

A403