

4168 MILDRED AVE

Architectural Sheet Indoex

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G/001	Project Information
G/002	Zoning Diagrams
G/003	Floor Area Diagrams
A/100	Floor Plans - First and Second Floors
A/101	Floor Plans - Roof
A/200	Mechanical and Electrical Plans - First and Second Floors
A/201	Mechanical and Electrical Plans - Roof
A/300	Long Sections
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A/400	Long Elevations
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L/100	Landscape Plan
	Tentative Parcel Map

NOTES:

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JOB NO:	21_033 4168 Mildred Ave
BLDG DEPT. NO.	
SCALE:	NTS
STATUS:	PERMIT
DATE:	Dec 02 2021
DRAWING NAME:	SHEET INDEX
PROJECT NAME:	4168 MILDRED AVE
DRAWING NO:	INDEX



PROJECT INFORMATION

Project Address	4168 Mildred Ave, Culver City 90066
AIN	4231-022-032
Parcel Area	5,600 sq ft
Project Description	Construction of two single family homes with enclosed garages.

ZONING INFORMATION

Zoning Summary	R2
Land Use	Two Family District
Maximum Units	2
Maximum Floor Area	1,500 square feet plus 40% of net lot area for parcels less than 8,000 square feet.  (5,600 * 0.4) + 1,500 = 3,740 sq ft

Setbacks	Front	Rear	Side
	15'	10'	5'

Minimum distance between detached structures	8'		
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Open Space	Private	None required other than setbacks
	Common	None required

Height Limit	2 stories and 30'
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LANDSCAPING

Setbacks	All street-facing setback areas shall be landscaped. Such areas shall be landscaped with live plant materials for a minimum of 75% of the subject area unless paving of a larger area is required for parking.  In addition to the required driveway paving in single-family, two-family and three-family residential projects, additional paving in a street facing setback may be allowed for a pedestrian pathway provided it is not more than 4 feet in width.
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Unused Areas	All areas of a project site or a vacant lot not intended for a specific use, including areas held for future development, shall be landscaped, unless it is determined by the Director that landscaping is not necessary to fulfill the purposes of this Chapter.
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PARKING

Duplex Units	Required	2 spaces per unit
	Provided	4 spaces

2 Car Garage Dimensions	Internal dimensions of 20'6" w x 18' d
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Driveway Width	10'
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BUILDING DATA

Fire Sprinkler System	NFPA 13D Automatic Sprinkler Systems
Number of Stories	2
Floor Area	Unit 1 : 1,870 sq ft    Unit 2: 1,870 sq ft
Fire Hazard Zone	None

SEPERATE PERMITS

Demolition
Street Improvements

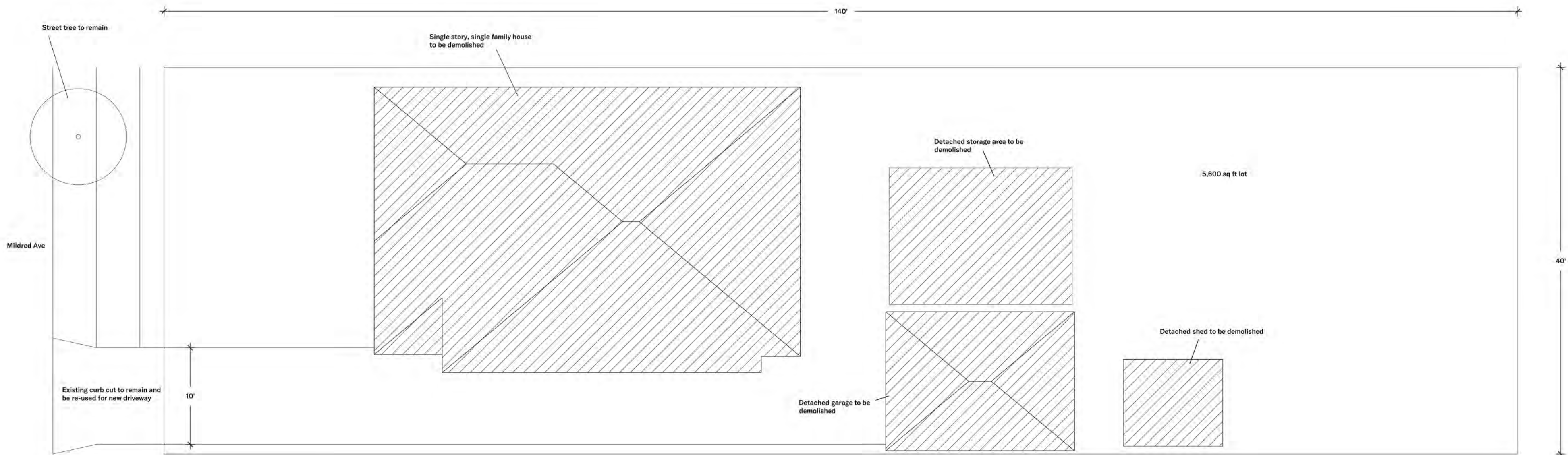
BUILDING AND SAFETY

Occupancy	R3
Construction Type	V-B
Max Height	50'
Max Stories	3

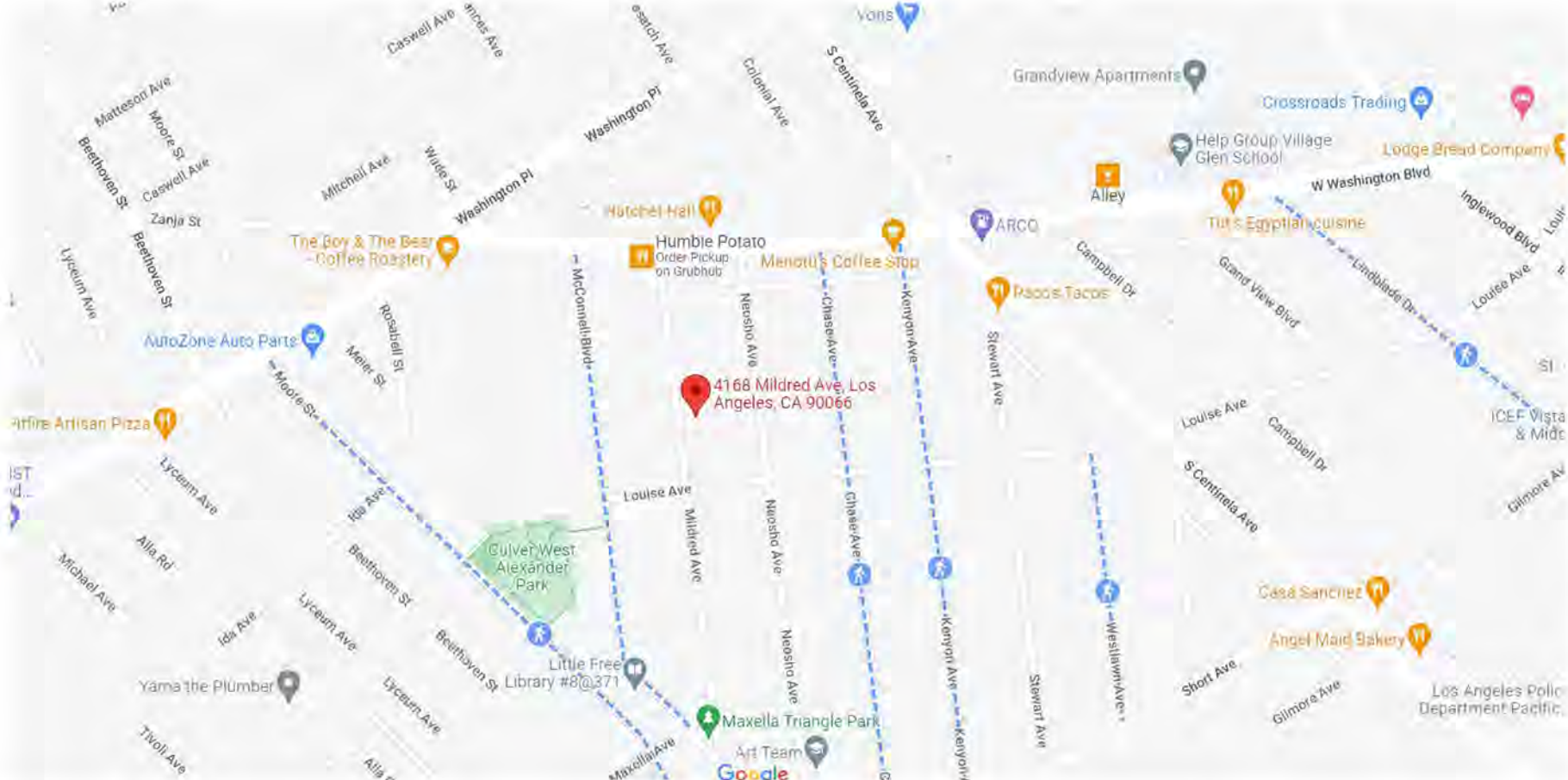
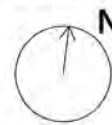
APPLICABLE CODES

Culver City Municipal Code
2019 California Residential Code
2019 California Green Building Standards Code
2019 California Electrical Code
2019 California Mechanical Code
2019 California Plumbing Code
2019 California Energy Code
Local Municipal Amendments

EXISTING CONDITIONS



Existing Conditions 1 / 8 " = 1' @ Arch D



Vicinity Map

PROJECT TEAM

Owner	F & G Development 4168 Mildred Ave Culver City, CA 90066 Contact: Greg Koltsov C: 310 717 6767 E: gregkoltsov@gmail.com	Soils Engineer	LC Engineering LLC 2275 Huntington Dr San Marino, CA 91108 Contact: Jack Liu C: 626 203 1879 E: landcco98@aol.com
Architect	KAP Studios 5150 Wilshire Blvd Los Angeles, CA 90036 Contact: Michael Wilson Katsibas C: 213 268 8621 E: michaelkatsibas@kapstudios.com	Structural Engineer	Kurt Fischer Structural Engineering 17547 Ventura Blvd Encino, CA 91316 Contact: Derek Wavering C: 805 598 5829 E: dw@kfseng.com

OWNER SHALL REPAIR OR REPLACE ANY DAMAGED, DEFECTIVE, OFF-GRADE, OR ANY NON-CONFORMING SIDEWALK, DRIVEWAY APPROACH, OR NON-CONFORMING CONDITIONS THAT EXIST IN THE PUBLIC RIGHT OF WAY AND BE CONSIDERED HAZARDOUS BY THE CITY ENGINEER (MUNICIPAL ORDINANCE 9.08.415). THIS WORK WILL REQUIRE A SEPARATE PERMIT THROUGH ENGINEERING DIVISION AND MUST BE OBTAINED BY A LICENSED CONTRACTOR AND COMPLETED PRIOR TO FINAL INSPECTION.

OWNER SHALL RECONSTRUCT THE DRIVEWAY APPROACH, SIDEWALKS AND/OR CURB AND GUTTER PER APWA STANDARD PLANS AND TO THE SATISFACTION OF THE PUBLIC WORKS INSPECTOR. THIS WORK WILL REQUIRE A SEPARATE PERMIT THROUGH ENGINEERING DIVISION AND MUST BE OBTAINED BY A LICENSED CONTRACTOR AND COMPLETED PRIOR TO FINAL INSPECTION.

ANY WORK PROPOSED IN THE PUBLIC RIGHT OF WAY TO INCLUDE DRIVEWAY RECONSTRUCTION REQUIRES A SEPARATE PLAN SUBMITTAL, REVIEW, APPROVAL, AND PERMIT THROUGH ENGINEERING DIVISION. PARKWAY SHALL BE IMPROVED ACCORDING TO PARKWAY PLANTING GUIDELINES TO THE SATISFACTION OF THE PUBLIC WORKS INSPECTOR .

FIRE SAFETY

- 1.)FIRE SPRINKLERS ARE REQUIRED PER CCMC 9.02 AND THE 2016 CA FIRE CODE CHAPTER 9
- 2.)WATER METER AND MAIN SERVICE LINE TO THE BUILDING SHALL MEET THE MINIMUM REQUIREMENT OF 1" TO ENSURE THE HYDRAULIC CALCULATIONS FOR THE FIRE SPRINKLER SYSTEM.
- 3.)FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN BOTH NEW AND EXISTING PORTIONS OF THE BUILDING PER CCMC 9.02
- 4.)PROVIDE AN ADDRESS VIEWABLE AND LEGIBLE FROM THE PUBLIC WAY. SIZE AND FONT SHALL MEET THE FIRE AND BUILDING CODE REQUIREMENTS.

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DATE:	Dec 02 2021

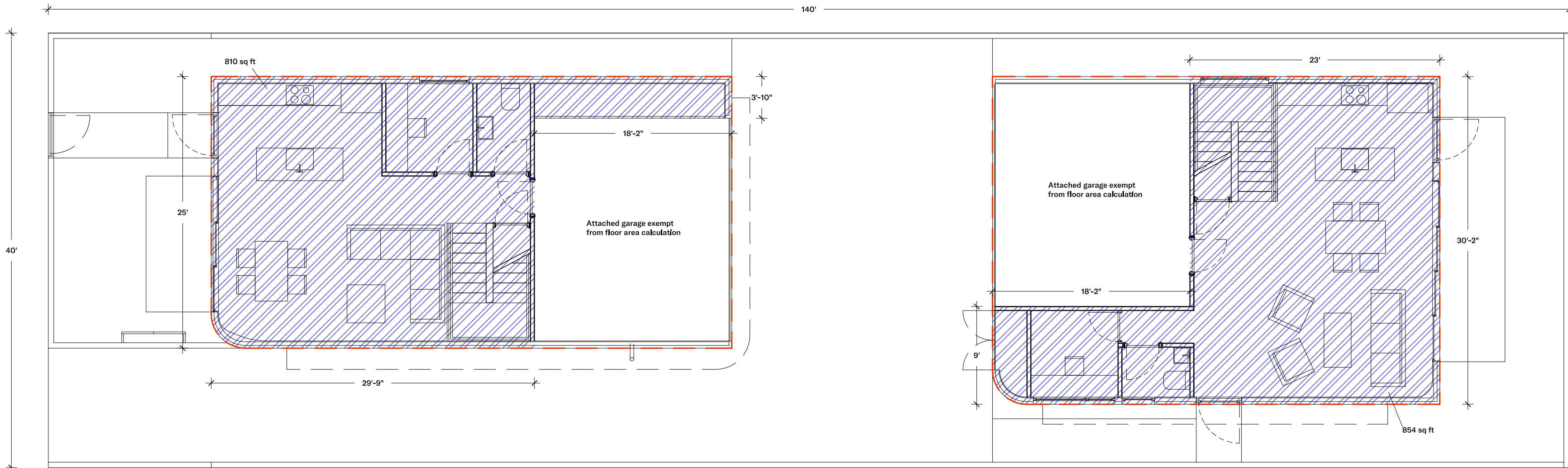
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PROJECT NAME: 4168 MILDRED AVE

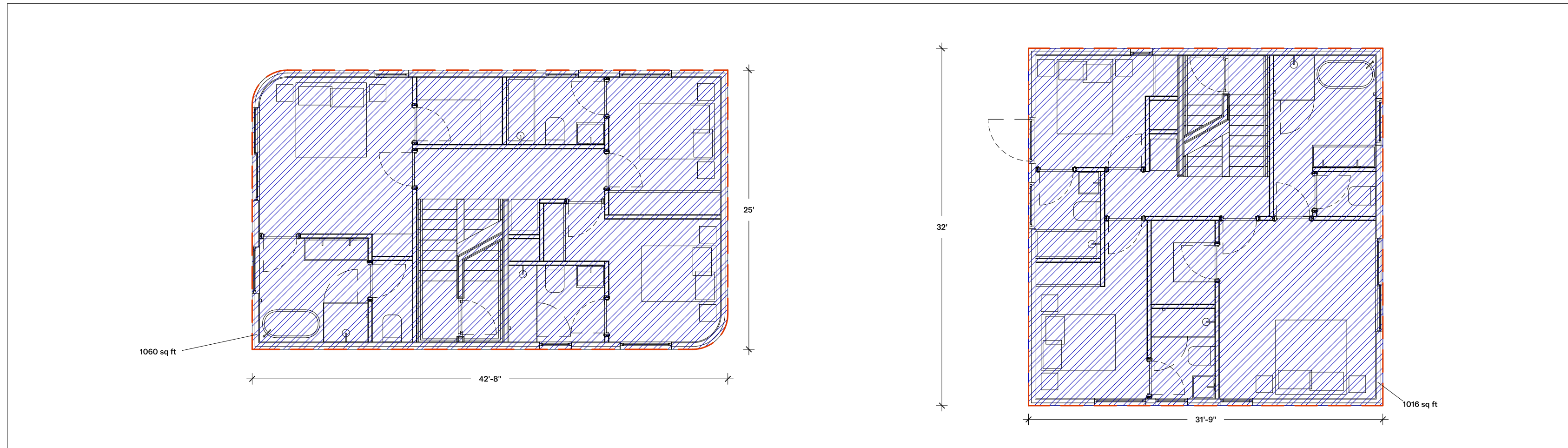
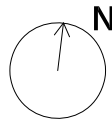
DRAWING NO: G/001







First Floor - Floor Area Diagram



Second Floor - Floor Area Diagram



Floor Area Calculation

Site Area: 5,600 sq ft  
Allowable Floor Area: 1,500 sq ft plus 40% of lot area  
(5,600 \*.40) + 1,000 = 3,740 sq ft allowed

Dwelling Unit 1  
First Floor 810 sq ft  
Second Floor 1060 sq ft

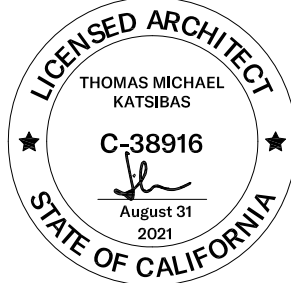
Dwelling Unit 2  
First Floor 854 sq ft  
Second Floor 1016 sq ft

Total 3,740 sq ft proposed

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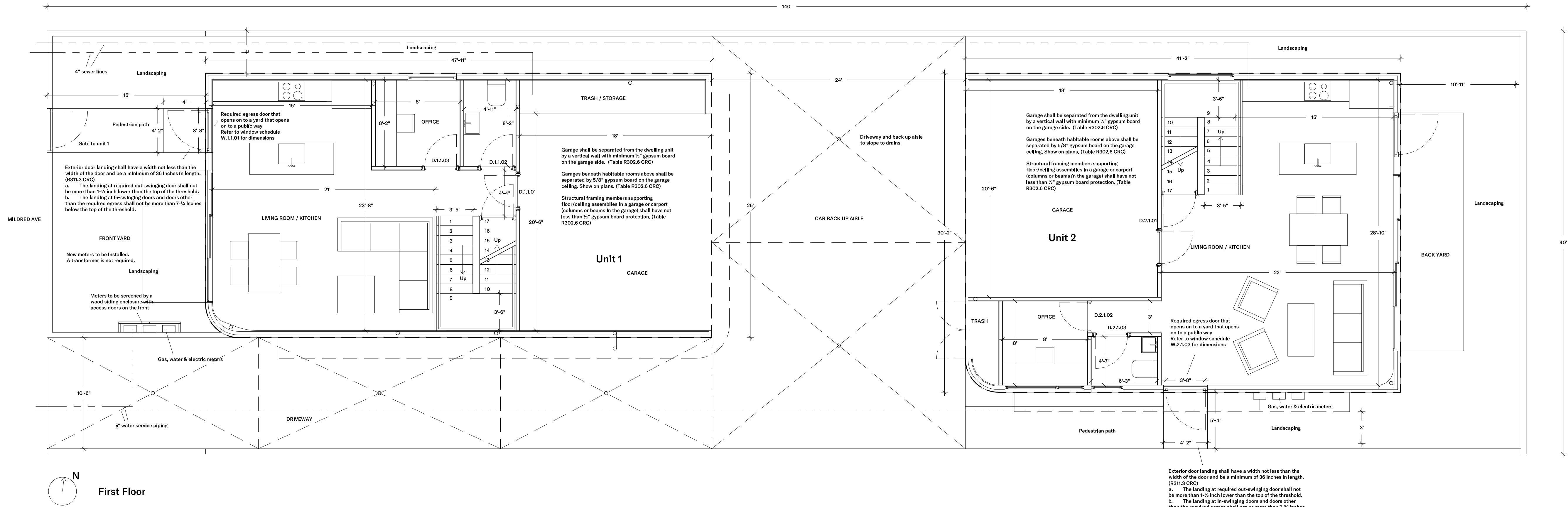
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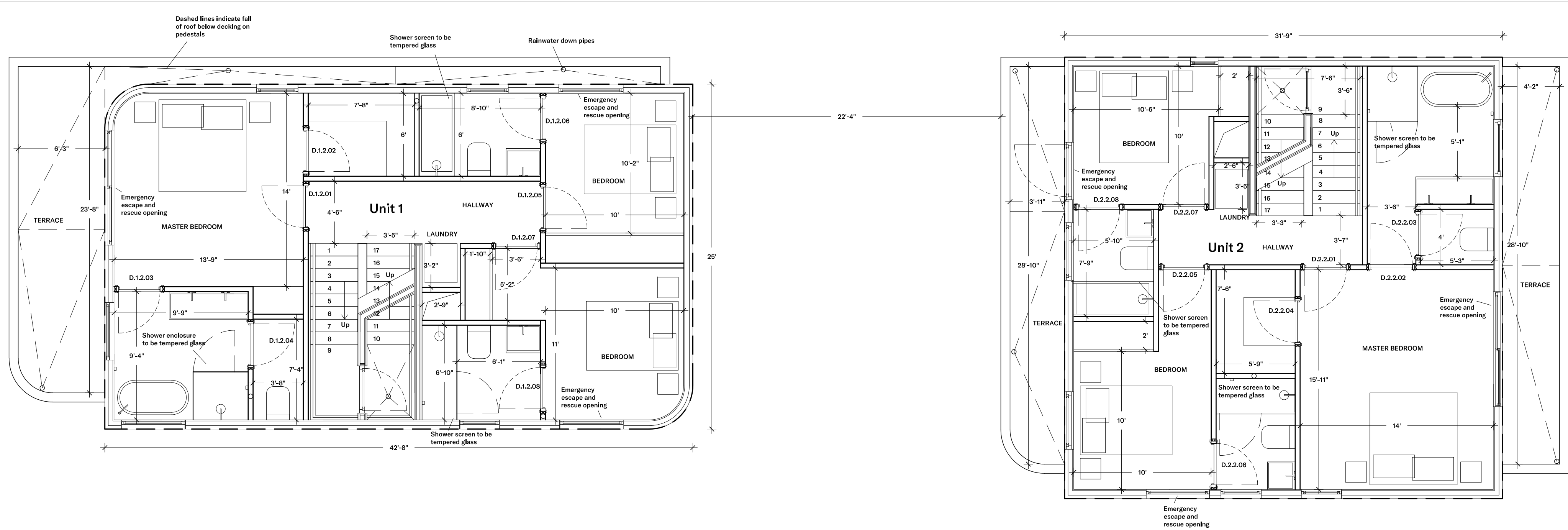
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DRAWING NAME:	FLOOR AREA DIAGRAMS
PROJECT NAME:	4168 MILDRED AVE
DRAWING NO:	G/003





First Floor



Second Floor

Door thresholds shall comply with the following (R311.3.1):

- ¾ inches maximum at sliding doors
- ½ inches for other doors
- 7 ¾ inches maximum threshold drop for exterior doors that are not a component of the means of egress and do not swing over a landing or step.
- Thresholds > ¼ inch shall be beveled at 1:2

Emergency escape and rescue openings, refer to Window Schedule for dimensions

- Emergency escape and rescue openings shall have a net clear opening of 5.7 sf. Exception: Minimum clear opening for grade floor openings shall be 5.0 sf.
- Minimum net clear opening height dimension shall be 24 inches.
- Minimum net clear opening width dimension shall be 20 inches.
- Emergency escape and rescue opening shall have a sill height not more than 44 inches above the floor. (R310.2.2 CRC)

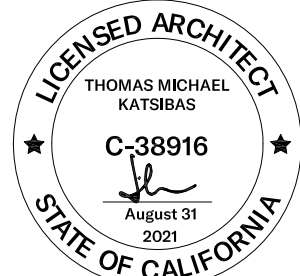
In all bathtubs and showers, a nonabsorbent surface shall be installed to a height of 6 feet above the floor. (R307.2 CRC)

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KATSBAS  
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August 31, 2023  
STATE OF CALIFORNIA

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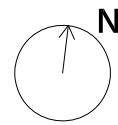
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PROJECT NAME: 4168 MILDRED AVE

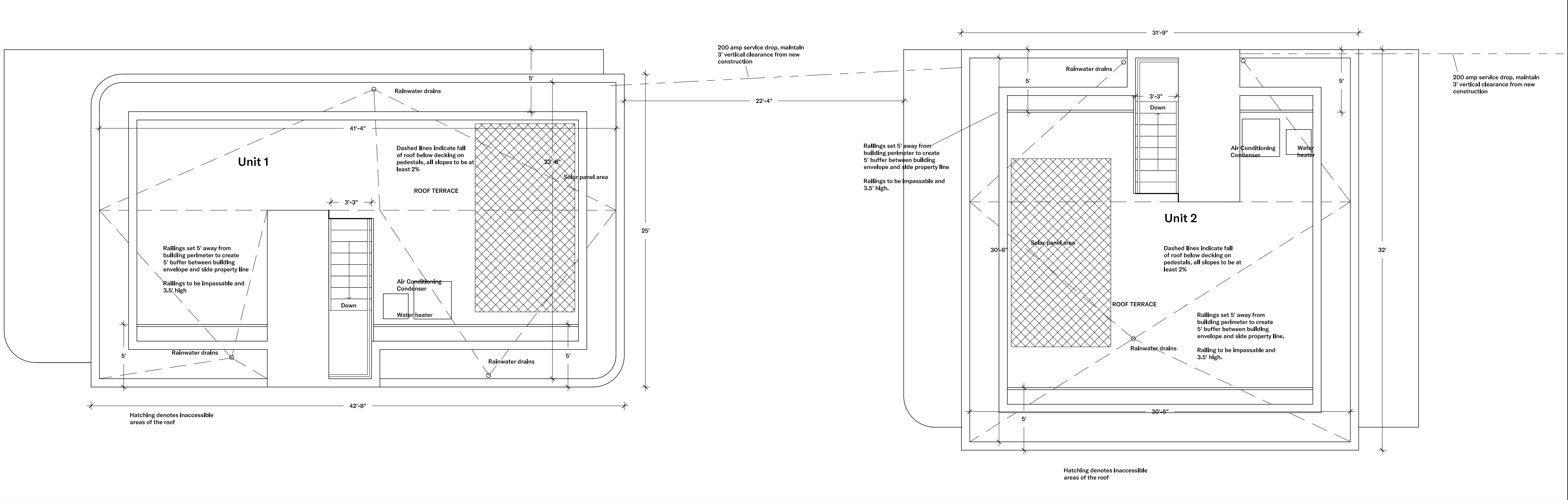
DRAWING NO: A/100

ORIGINAL SHEET SIZE 24" x 36"

MILDRED AVE



Roof Plan



No solar panel zone is required for the houses as they will qualify for an exemption under Exemption 7 to Section 110.10(b)(1A), California Energy Code by:

- having all thermostats comply with Reference Joint Appendix JAS and are capable of resetting and responding to Demand Response Signals prior to granting of an occupancy permit by the enforcing agency and
- installing dishwashers that meet or exceed the ENERGY STAR® Program requirements with refrigerators that meet or exceed the ENERGY STAR Program requirements.

Unit 1	Unit 2
Roof Area: 975 sq ft	Roof Area: 930 sq ft
At 3" per hour, 1,01 2" pipes are required	At 3" per hour, 0,97 2" pipes are required
Number of 2" pipes allowed for: 3	Number of 2" pipes allowed for: 3

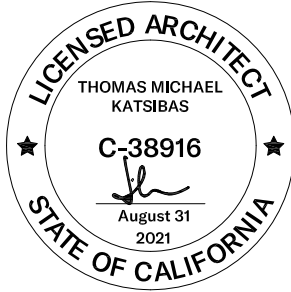
Leader / Pipe Size (in.)	Hourly Rainfall (in.)							
	1	1.5	2	2.5	3	4	5	6
2	2,890	3,920	1,440	1,150	960	720	575	460
3	8,800	13,960	4,400	3,520	2,930	2,200	1,760	1,470
4	18,400	12,700	9,200	7,360	6,130	4,600	3,680	3,370
5	34,600	23,050	17,300	13,840	11,530	8,650	6,920	5,765
6	54,000	36,000	27,000	21,600	18,000	13,500	10,800	9,300
8	116,000	77,400	58,000	46,400	38,660	29,000	23,200	19,315

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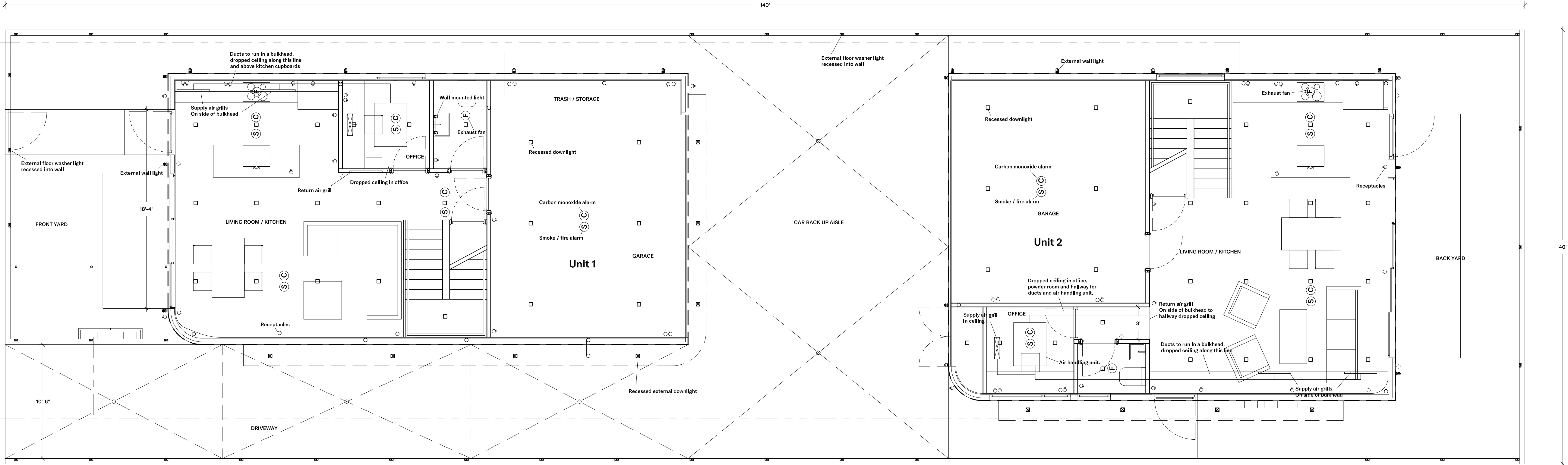
JOB NO: 21\_033 4168 Mildred Ave  
BLDG DEPT. NO.  
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STATUS: PERMIT  
DATE: Dec 02 2021

DRAWING NAME: Roof Plan

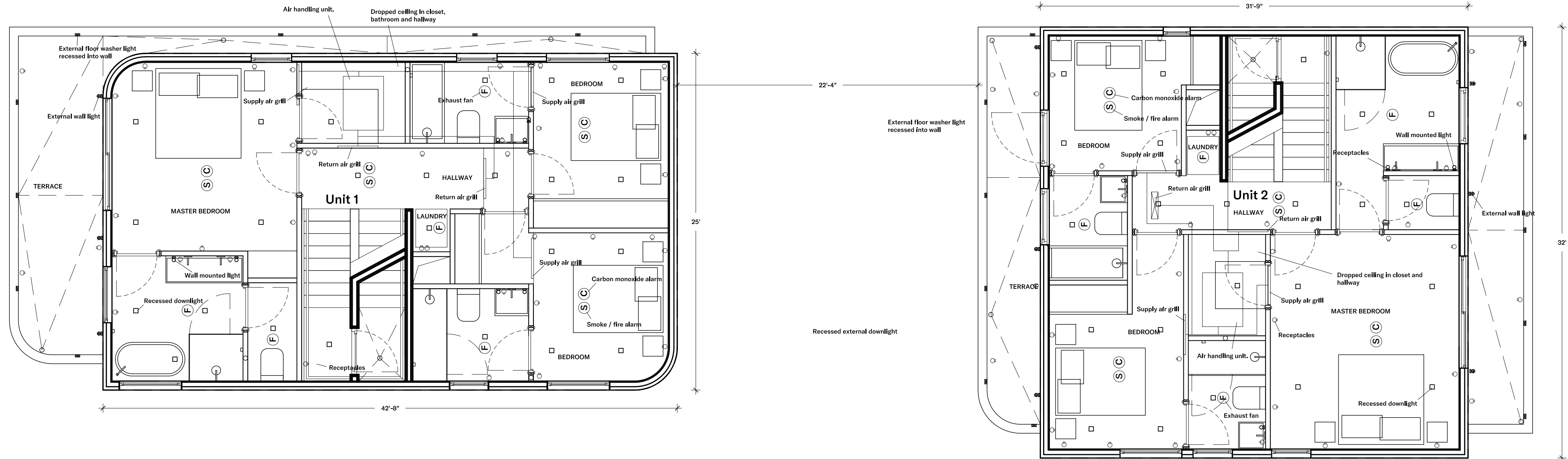
PROJECT NAME: 4168 MILDRED AVE

DRAWING NO: A/101





First Floor



Second Floor

Smoke alarm requirements:

- An approved smoke alarm shall be installed for new construction and alteration, repair, or additions requiring a building permit. (CRC R314.8.2)
- Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring. (CRC R314.6 exceptions 1, 3, CBC 907.2.11.9)
- Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit. (CRC R314.4, CBC 907.10.5)
- Smoke detectors shall be "hard wired" and shall be equipped with battery backup. (CRC R314.6, CBC 907.12.6, CBC 907.2.11.9)

Carbon monoxide alarm requirements:

- An approved carbon monoxide alarm shall be installed for existing buildings and new construction when the dwelling unit contains a fuel-fired appliance, fireplace, and/or an attached garage with an opening that communicates with the dwelling. (CRC 315.2.1, CBC 915.1.1, CBC 915.1.5)
- CO alarms shall be "hard wired" and shall be equipped with battery backup. (CRC R315.5, CBC 915.4.1)
- CO alarms shall be listed for compliance with UL 2034, UL 217, UL 2075, and maintained per NFPA 720. (CRC R315.1.1, R315.7.2, CBC 915.4.2, CBC 915.4.4, CBC 915.5.2)
- CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basement. (CRC R315.3, CBC 915.2)
- CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit. (CRC R315.5, CBC 915.4.5)
- In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes. (CRC R315.5 exception 4, CBC 915.4.1 exception 3)

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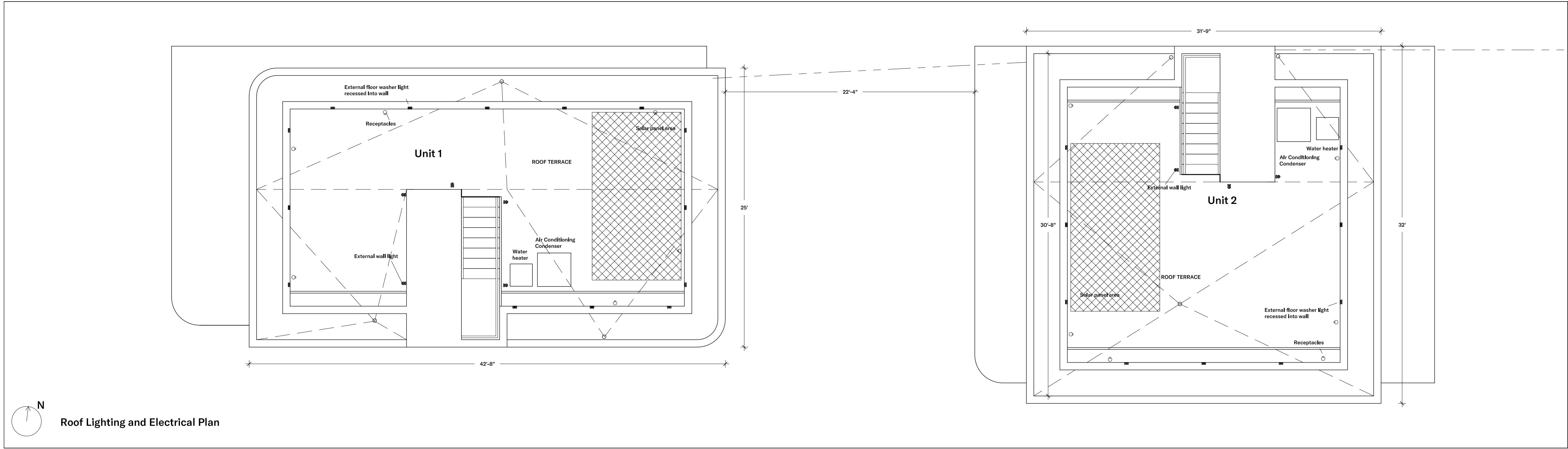
DATE: Dec 02 2021

DRAWING NAME: First and Second Floor Lighting, Electrical and Mechanical Floor Plans

PROJECT NAME: 4168 MILDRED AVE

DRAWING NO: A/200





Electrical Notes

All receptacles in bathrooms, garages, accessory buildings, outdoors, crawl spaces, unfinished basements, kitchens (where receptacles serve counter top surfaces), laundry, utility, wet bar sinks (within 6' of the edge of the sink), shall have ground-fault circuit-interrupter (GFCI) protection. (210.8 CEC)

All branch circuits supplying 120v 15-ampere and 20-ampere outlets or devices in kitchen, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by a listed arc-fault circuit interrupter (AFCI). (210.12(B) CEC)

All wall spaces, 2' or more in width, shall have receptacles installed such that no point measured horizontally is more than 6' from a receptacle (12' maximum spacing). (210.52 (A) (1) & (2) CEC)

Countertops in kitchens, pantries, breakfast rooms, dining rooms and similar areas spaces 12" or wider shall have receptacles installed such that no point along the wall is more than 2' from a receptacle. (210.52 (C) (1) CEC) Receptacle outlets shall be located above, but not more than 20" above, the countertop. Receptacle shall be readily accessible.

Island and peninsular counters 24" x 12" or greater in length shall have at least one receptacle. (210.52 (C) (2) & (3) CEC)

Range hoods shall be permitted to be cord-and-plug connect. The receptacle shall be accessible and shall be supplied by an individual branch circuit.

In bathrooms, at least one receptacle shall be installed within 3' of the outside edge of each basin. (210.52 (D) CEC)

a. At least one 20-ampere branch shall be provided to supply bathroom receptacle outlets. This circuit shall have no other outlets. (210.11(C)(3) CEC)

At least one receptacle at grade level shall be installed in both the front and back of each dwelling unit.(210.52 (E) (1) CEC)

Balconies, decks and porches accessible from inside the dwelling unit shall have at least one receptacle installed within the perimeter of the deck balcony or porch. (210.52 (E) CEC)

At least one receptacle shall be installed for the laundry. (210.52 (F) CEC) The receptacle shall be supplied by at least one additional 20-ampere circuit.

At least one receptacle, in addition to those for specific equipment, shall be provided in each attached or detached garage and in each unfinished basement. Show receptacles on the plans. (210.52 (G) (1) CEC)

Any hallway 10' or more in length shall have at least one receptacle. (210.52 (H) CEC)

TABLE 150.0-A CLASSIFICATION OF HIGH-EFFICACY LIGHT SOURCES	
HIGH-EFFICACY LIGHT SOURCES	
Light sources shall comply with one of the columns below:	
Light sources in this column, other than those installed in ceiling recessed downlight luminaires, are classified as high efficacy and are <b>not</b> required to comply with Reference Joint Appendix JAB.	Light sources in this column are only considered to be high efficacy if they are certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JAB and marked as required by JAB.
1. Pin-based linear fluorescent or compact fluorescent light sources using electronic ballasts.	3. All light sources installed in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in Section 150.00(1)(C).
2. Pulse-start metal halide light sources.	4. Any light source not otherwise listed in this table.
3. High pressure sodium light sources.	
4. Luminaires with hardwired high frequency generator and induction lamp.	
5. LED light sources installed outdoors.	
6. Inseparable SSL luminaires containing colored light sources that are installed to provide decorative lighting.	

Mechanical Notes

Condensate lines from mechanical equipment shall discharge to a plumbing fixture or an approved location by means of an indirect waste pipe. Condensate lines shall not terminate in landscape or yard areas. (310.5 CMC)

A domestic clothes dryer duct shall be of metal and a minimum of 4" in diameter. The exhaust duct shall not exceed a total combined horizontal and vertical length of 14', including two 90 degree elbows. Two feet shall be deducted for each 90 degree elbow in excess of two. (504.4.2 CMC)

All new construction and additions exceeding 1,000 sf shall meet the requirements of ANSI/ASHRAE 62.2 ventilation and acceptable indoor air quality in low-rise residential buildings. Window operation is not a permissible method of providing the whole building ventilation required.

In closets, luminaries shall be (a) surface-mounted or recessed incandescent with completely enclosed lamps, (b) Surface mounted or recessed fluorescent luminaries, (c) surface mounted or LED luminaries identified as suitable for installation within storage areas. Minimum clearances between luminaries and the nearest point of storage space shall be as follows. (410.16 CEC)

a. 12" for surface-mounted incandescent or LED luminaries with completely enclosed light installed on the wall above the door or on the ceiling.

b. 6" for surface mounted fluorescent luminaries installed on the wall above the door or on the ceiling.

c. 6" for recessed incandescent or LED luminaries with a completely enclosed light installed in the wall or ceiling.

d. 6" for recessed fluorescent luminaries installed in the wall or ceiling.

e. Surface-mounted fluorescent or LED luminaries installed within storage space where identified for this use.

Electrical boxes shall have drywall, plaster, or plasterboard surfaces finished so there will be no gaps or open spaces greater than 1/8" at the edge of the box per article 314.21 (CEC). In walls or ceilings boxes shall be installed so that the front edge of the box or plaster ring shall not be recessed more than ¼" from non-combustible finish surface and shall be flushed with a combustible surface per article 314.20 (CEC).

No cord-connected, chain, cable, cord-suspended, lighting track, pendant or ceiling-suspended fans shall be located within 3' horizontally and 8' vertically from the top of the bathtub rim or shower stall threshold, including directly over the tub or shower. Luminaries located in this zone shall be listed for damp areas or listed for wet locations where subject to shower spray. (410.10 (D) CEC)

All 125v 15-ampere and 20-ampere receptacles in areas specified in article 210.52 (CEC) shall be listed tamper resistant receptacle. (406.12 CEC)

Electric Vehicle (EV) Charging: Newly constructed one-and two-family dwellings and townhouses with attached garages shall comply with electric vehicle (EV) charging infrastructure requirements in accordance with 2019 CALGreen Section 4.1. (CALGreen Section 4.106.4)

For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

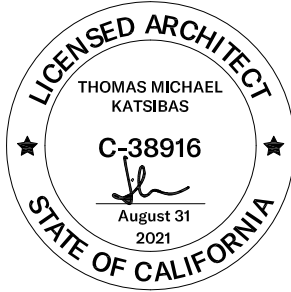
TABLE 7.1 PRESCRIPTIVE DUCT SIZING REQUIREMENTS (FROM ASHRAE 62.2)								
Duct Type	Flex Duct				Smooth Duct			
Fan Rating (cfm at 0.25 in. w.g.)	50	80	100	125	50	80	100	125
Maximum Allowable Duct Length (ft)								
Diameter, (in)	Flex Duct				Smooth Duct			
3	X	X	X	X	5	X	X	X
4	70	3	X	X	105	35	5	X
5	NL	70	35	20	NL	135	85	55
6	NL	NL	125	95	NL	NL	NL	145
7 and above	NL	NL	NL	NL	NL	NL	NL	NL
This table assumes no elbows. Deduct 15 ft of allowable duct length for each turn, elbow, or fitting. Interpolation and extrapolation in Table 7.1 is not allowed. For fan rating values not listed, use the next higher value. This table is not applicable for fan ratings > 125 cfm. NL = no limit on duct length of this size. X = not allowed, any length of duct of this size with assumed turns and fittings will exceed the rated pressure drop (0.25 in w.g.). Note: water gauge (w.g.) is the same as water column (w.c.)								

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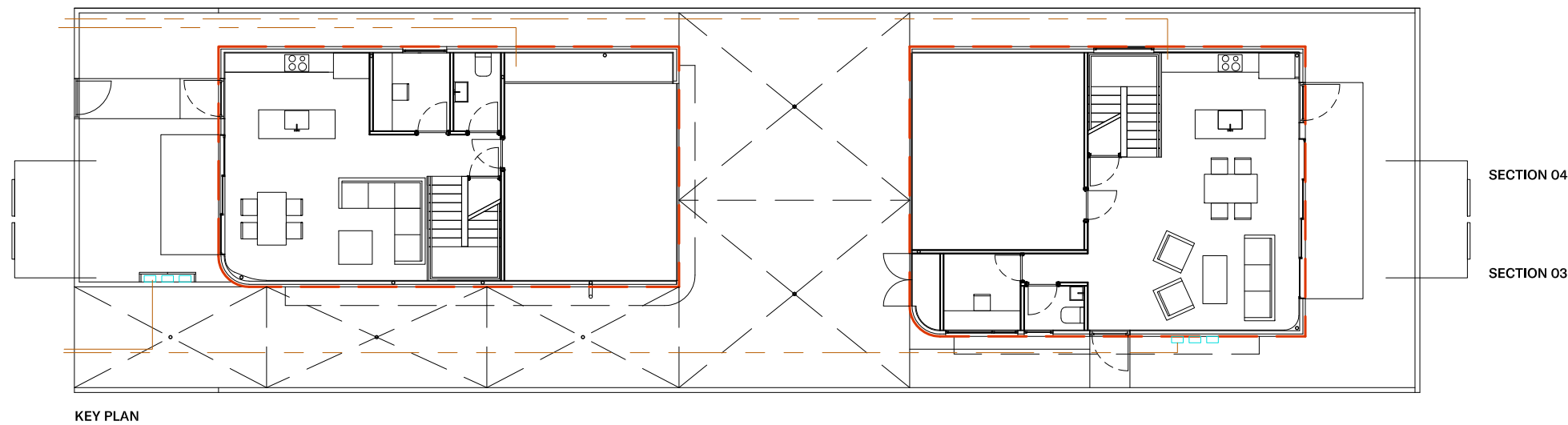
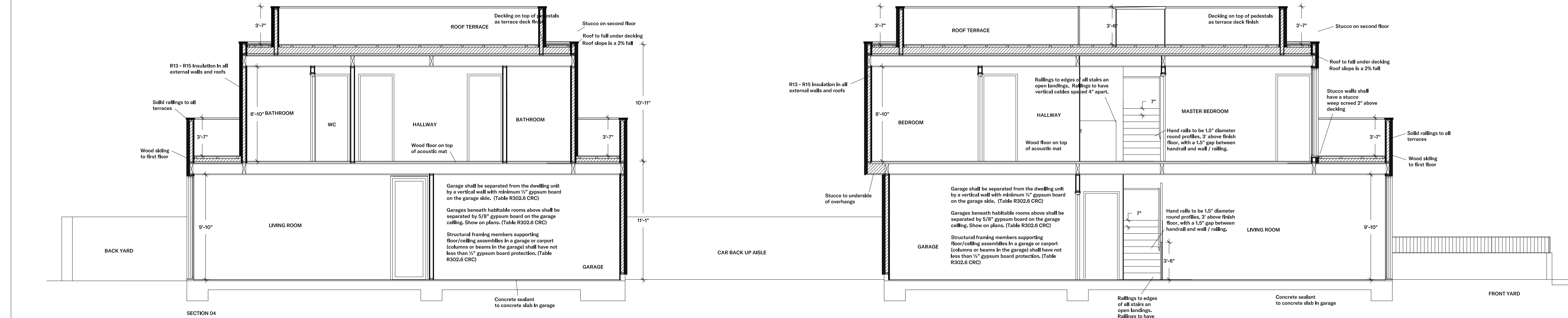
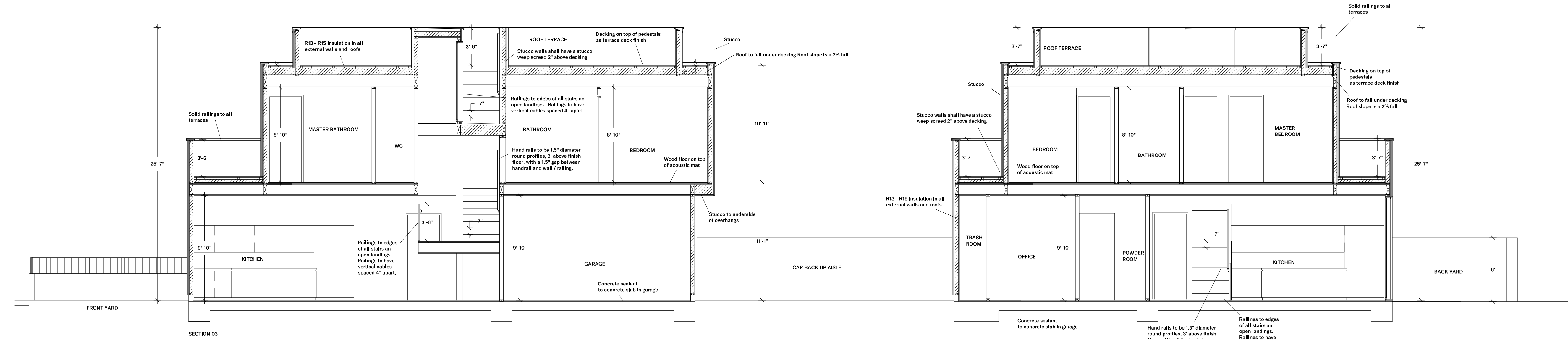
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ARCHITECT

JOB NO:	21_033 4168 MILDRED AVE
BLDG DEPT. NO.	
SCALE:	3 / 16" = 1"
STATUS:	PERMIT
DATE:	Dec 02 2021

DRAWING NAME:	Roof Electrical Lighting Plan
PROJECT NAME:	4168 MILDRED AVE
DRAWING NO:	A/201



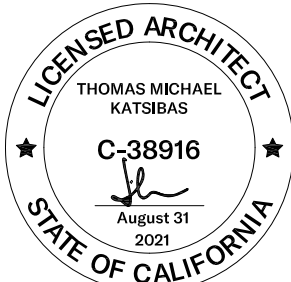


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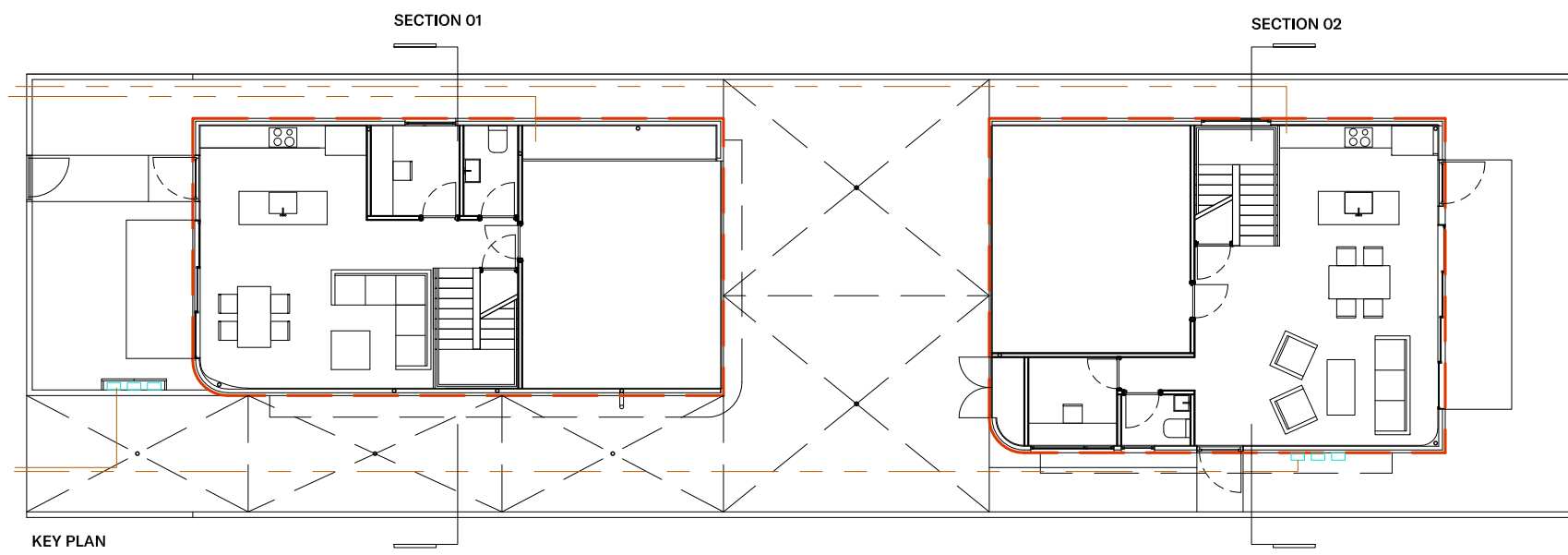
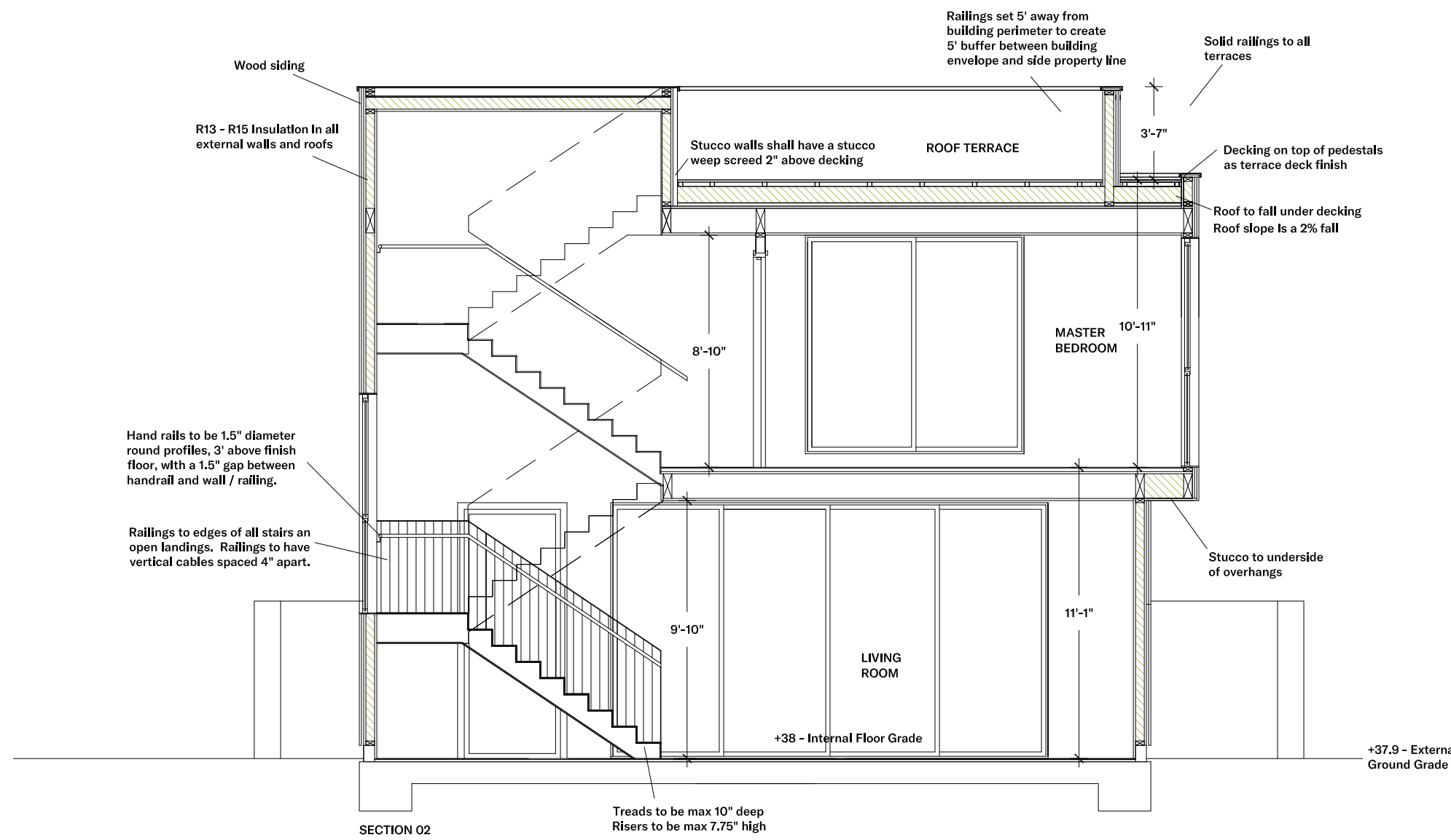
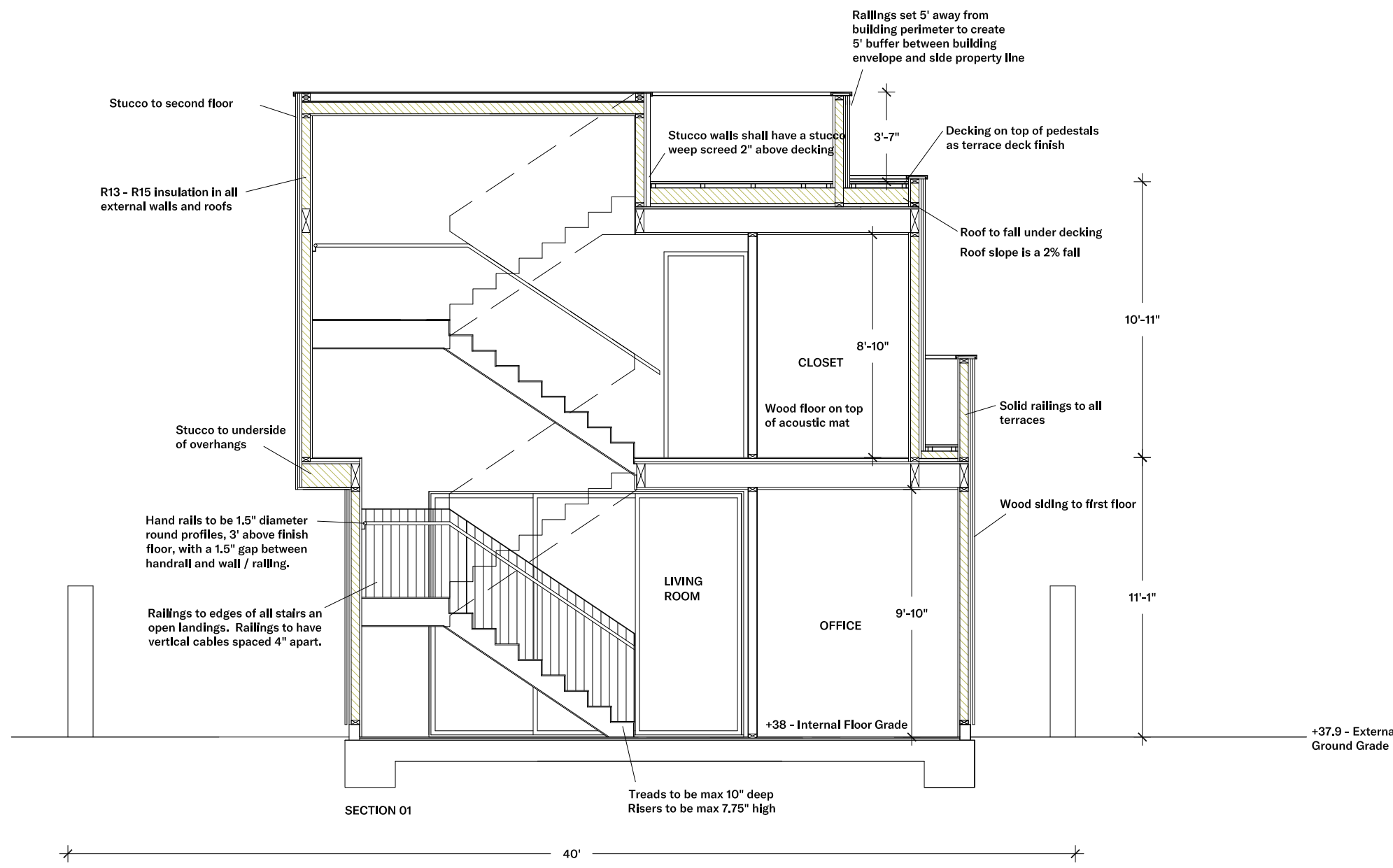
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BLDG DEPT. NO.  
SCALE: 3 / 16" = 1'  
STATUS: PERMIT  
DATE: Dec 02 2021

DRAWING NAME: Long Sections

PROJECT NAME: 4168 MILDRED AVE

DRAWING NO: A/300



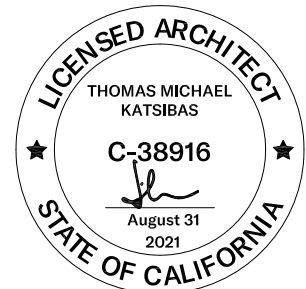


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JOB NO: 21\_033 4168 Mildred Ave  
BLDG DEPT. NO.  
SCALE: 3 / 16" = 1'  
STATUS: PERMIT  
DATE: Dec 02 2021

DRAWING NAME: Short Sections

PROJECT NAME: 4168 MILDRED AVE

DRAWING NO: A/301

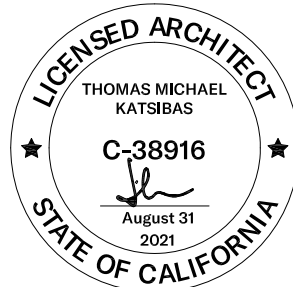


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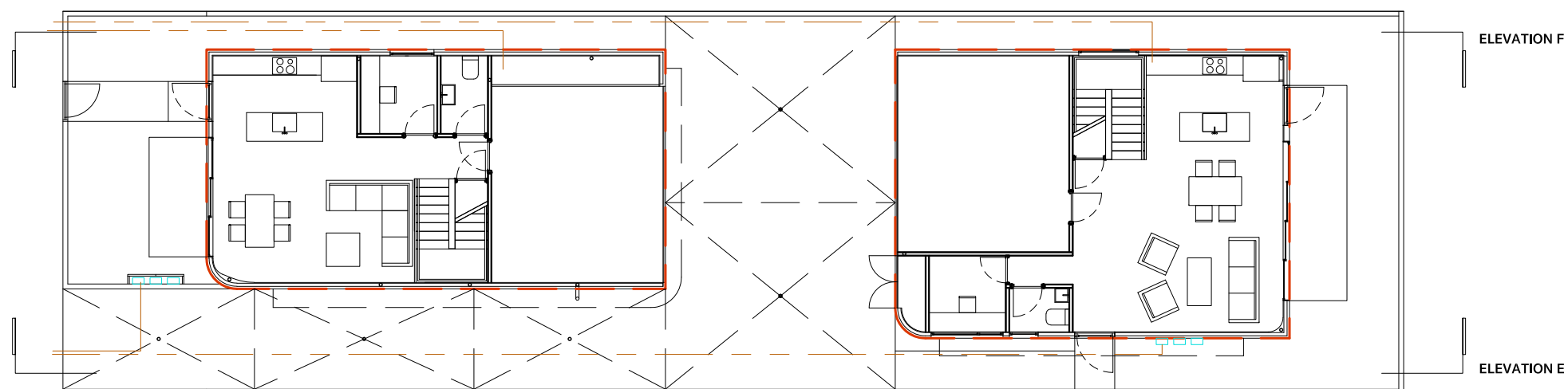
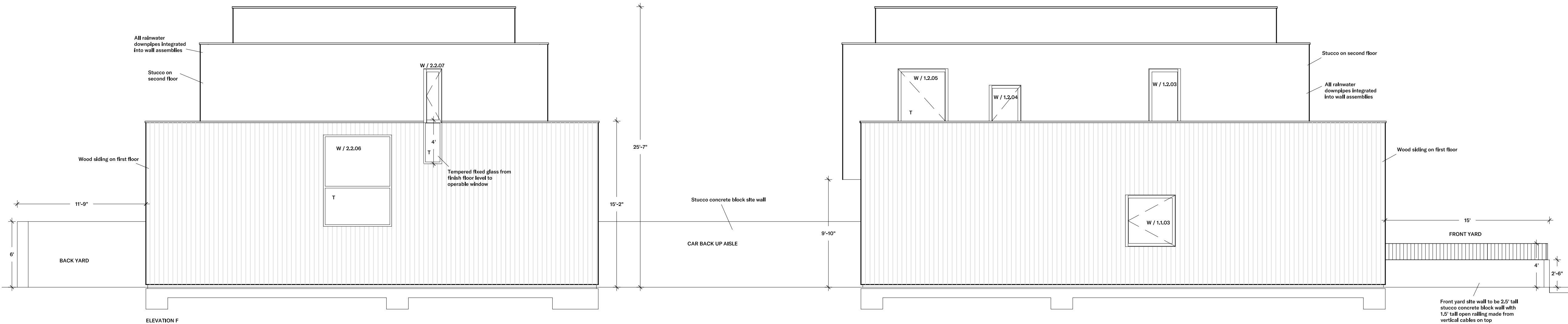
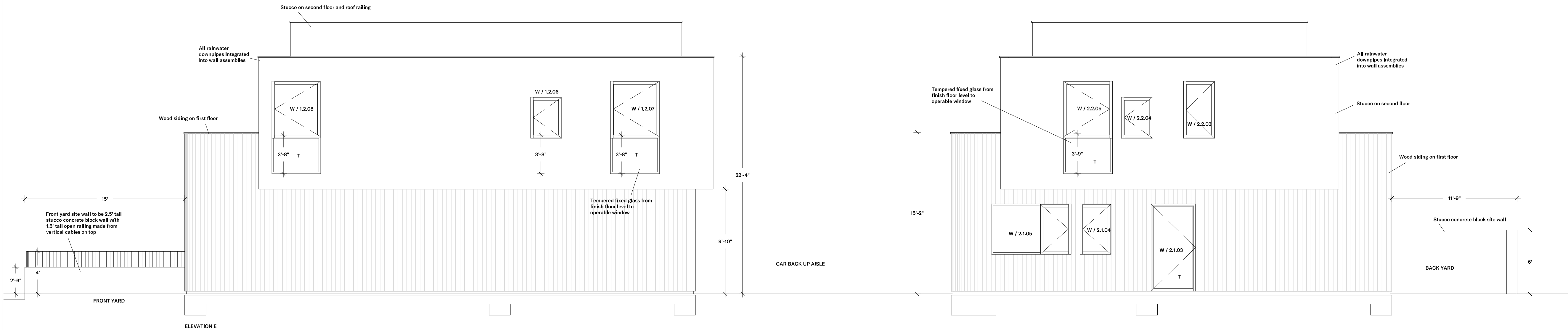
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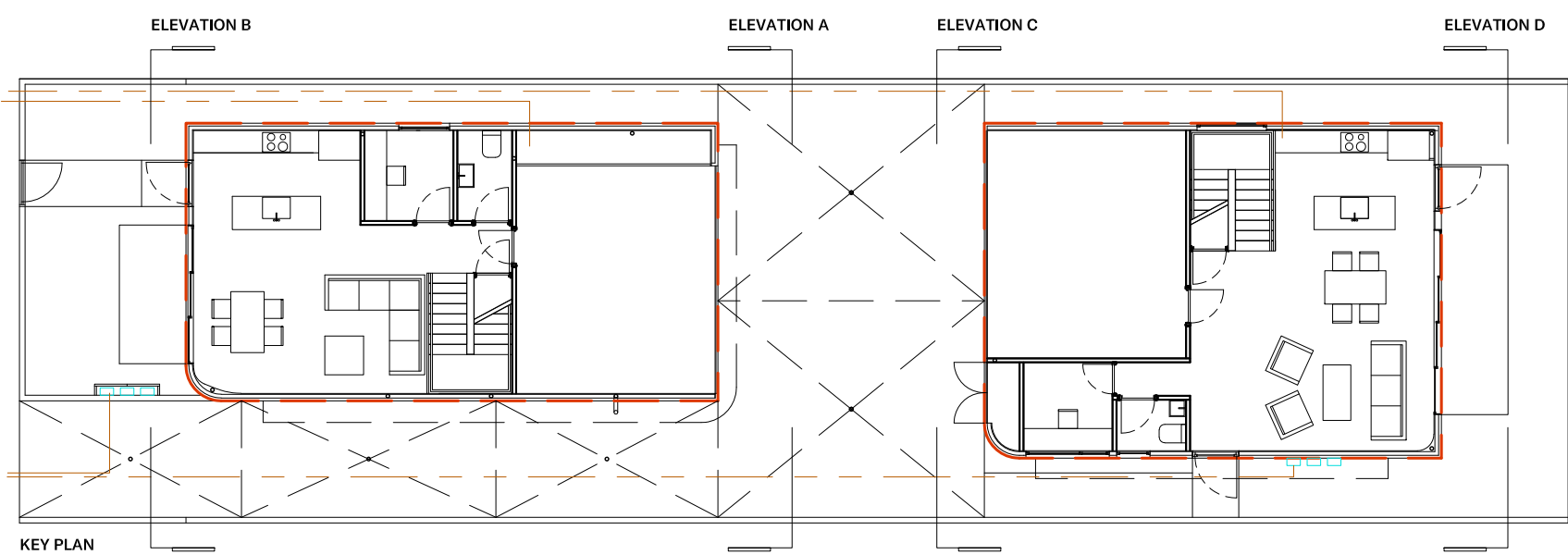
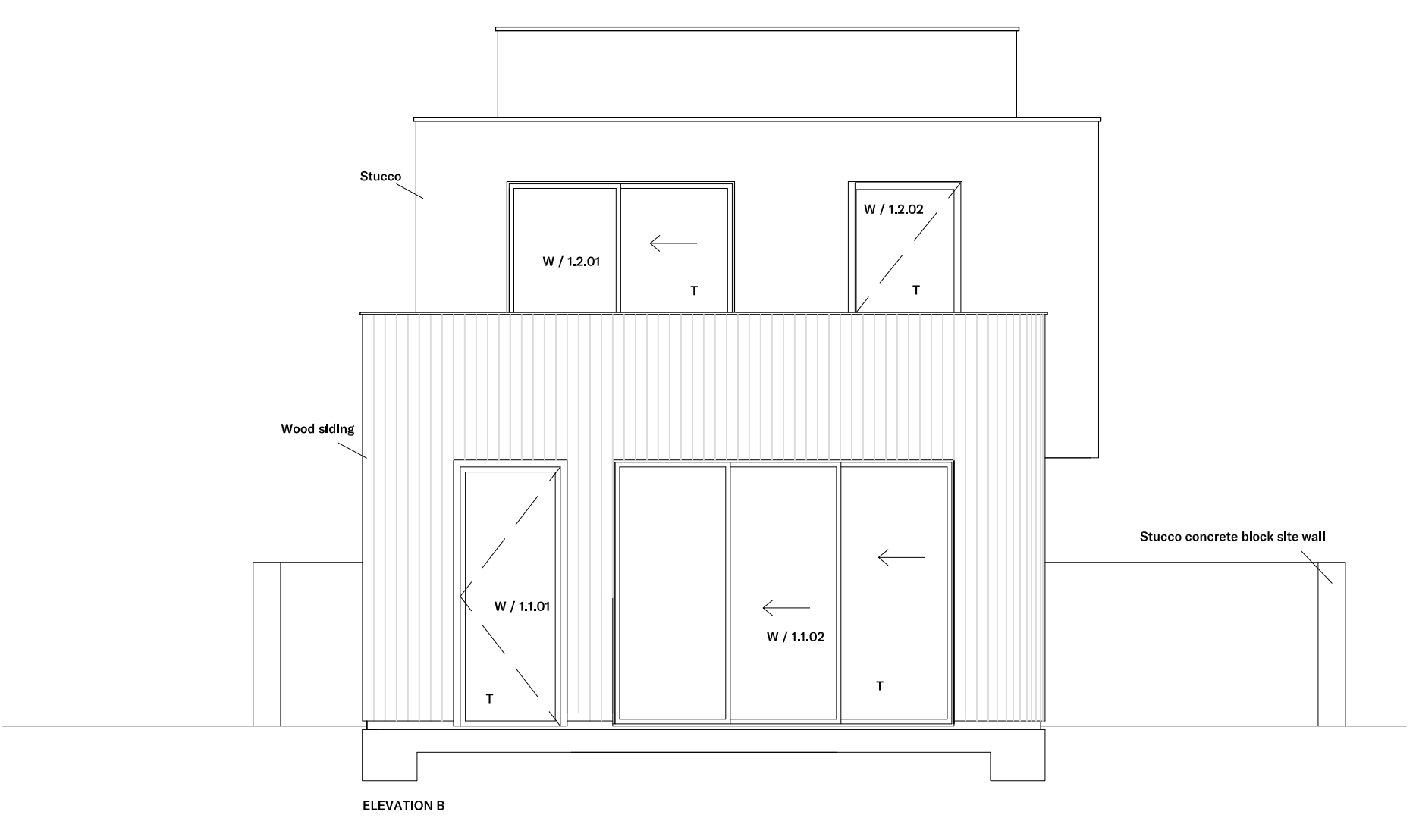
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JOB NO:	21_033 4168 Mildred Ave
BLDG DEPT. NO.	
SCALE:	3 / 16" = 1'
STATUS:	PERMIT
DATE:	Dec 02 2021
DRAWING NAME:	Long Elevations
PROJECT NAME:	4168 MILDRED AVE
DRAWING NO:	A/400

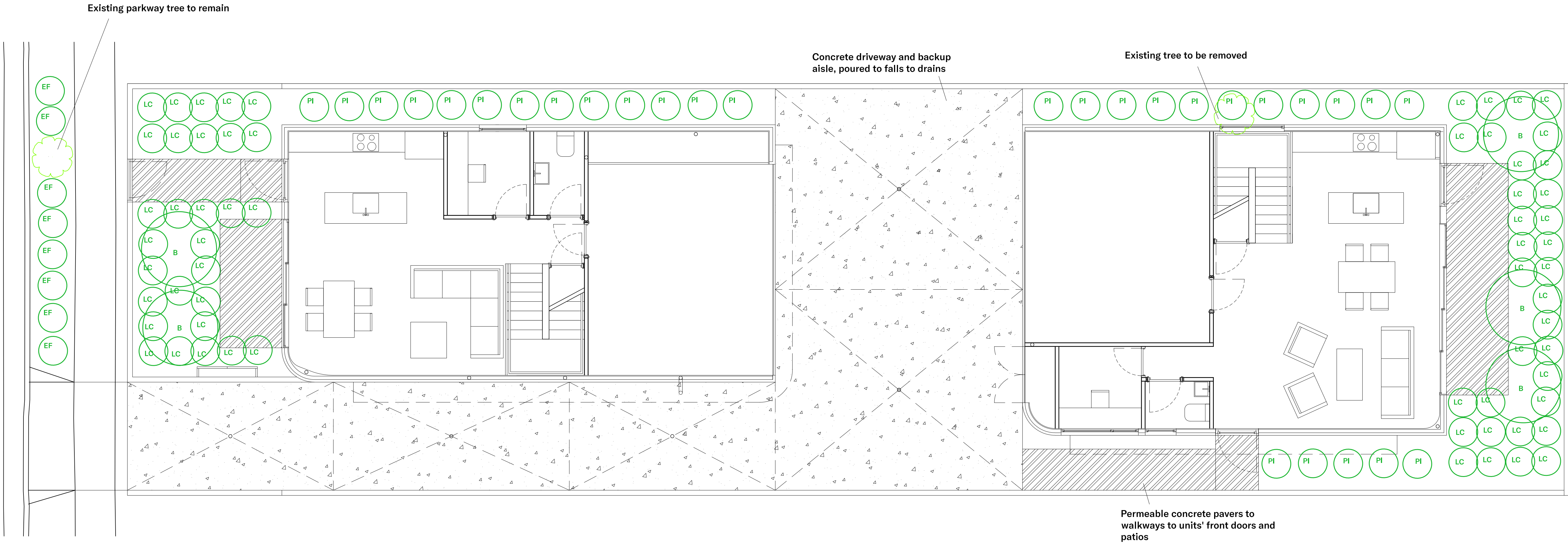






DRAWING NO: A/401





Existing Parkway Tree(s) To Be Protected in Place. Provide 5'H Protective Chainlink fencing during construction.

1 Existing site tree to be removed

PROPOSED LANDSCAPE SCHEDULE

SYMBOL	LATIN NAME	COMMON NAME	QUANTITY	CONTAINER SIZE	NOTES	WUCOLS
B	Ulmus parvifolia 'Alee'	Alee Chinese Elm Tree	5	24" Box	10'h x 4'w	Low / 0.2
LC	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	60	5 gallon	spacing per plans	Low / 0.2
PI	Prunus ilicifolia ssp. ilicifolia	Holly-Leaf Cherry	29	15 gallon	spacing per plans	Low / 0.2
EF	Eriogonum fasciculatum	California Buckwheat	8	5 gallon	spacing per plans	Low / 0.2

Driveway and driveway apron to be removed and replaced.

The project shall replace any parking meters, signs and posts, sign poles, and any other traffic and parking control devices within the public right-of-way if damaged by the project construction.

Any construction work in the public right-of-way requires the issuance of an encroachment permit from the Public Works Department including traffic control plan consistent with the CA MUTCD.

The existing curb and gutter and sidewalk shall be removed and reconstructed.

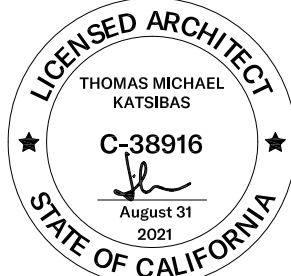
For utility cuts in concrete street paving, the full concrete panel pavement shall be replaced.

All existing driveway approaches which will no longer be necessary due to this project shall be removed and replaced with full height sidewalk, parkway, and curb and gutter.

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JOB NO:	21_033 4168 Mildred Ave
BLDG DEPT. NO.	
SCALE:	3 / 16" = 1'
STATUS:	PERMIT
DATE:	Jul 02 2022
DRAWING NAME:	Landscape Plan
PROJECT NAME:	4168 MILDRED AVE
DRAWING NO:	L/100