

4168 MILDRED AVE

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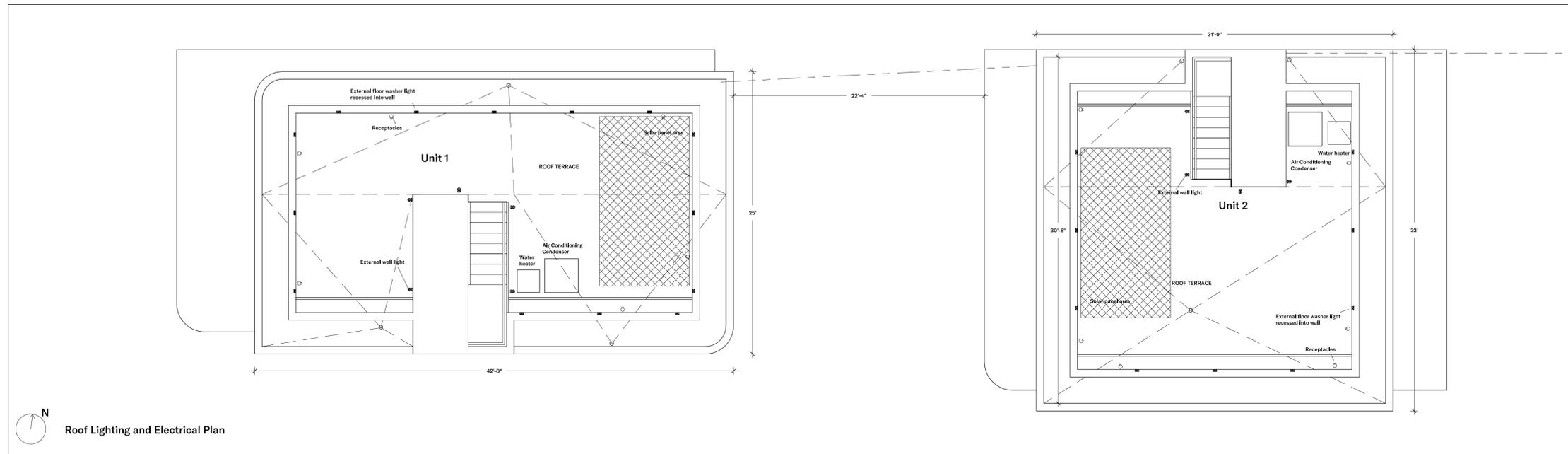
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BLDG DEPT. NO.	
SCALE:	NTS
STATUS:	PERMIT
DATE:	Dec 02 2021
DRAWING NAME:	SHEET INDEX
PROJECT NAME:	4168 MILDRED AVE
DRAWING NO:	INDEX



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Electrical Notes

All receptacles in bathrooms, garages, accessory buildings, outdoors, crawl spaces, unfinished basements, kitchens (where receptacles serve counter top surfaces), laundry, utility, wet bar sinks (within 6' of the edge of the sink), shall have ground-fault circuit-interrupter (GFCI) protection. (210.8 CEC)

All branch circuits supplying 120v 15-ampere and 20-ampere outlets or devices in kitchen, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by a listed arc-fault circuit interrupter (AFCI). (210.12(B) CEC)

All wall spaces, 2' or more in width, shall have receptacles installed such that no point measured horizontally is more than 6' from a receptacle (12' maximum spacing). (210.52 (A) (1) & (2) CEC)

Countertops in kitchens, pantries, breakfast rooms, dining rooms and similar areas spaces 12" or wider shall have receptacles installed such that no point along the wall is more than 2' from a receptacle. (210.52 (C) (1) CEC) Receptacle outlets shall be located above, but not more than 20" above, the countertop. Receptacle shall be readily accessible.

Island and peninsular counters 24" x 12" or greater in length shall have at least one receptacle. (210.52 (C) (2) & (3) CEC)

Range hoods shall be permitted to be cord-and-plug connect. The receptacle shall be accessible and shall be supplied by an individual branch circuit.

In bathrooms, at least one receptacle shall be installed within 3' of the outside edge of each basin. (210.52 (D) CEC)
 a. At least one 20-ampere branch shall be provided to supply bathroom receptacle outlets. This circuit shall have no other outlets. (210.11(C)(3) CEC)

At least one receptacle at grade level shall be installed in both the front and back of each dwelling unit.(210.52 (E) (1) CEC)

Balconies, decks and porches accessible from inside the dwelling unit shall have at least one receptacle installed within the perimeter of the deck balcony or porch. (210.52 (E) CEC)

At least one receptacle shall be installed for the laundry. (210.52 (F) CEC) The receptacle shall be supplied by at least one additional 20-ampere circuit.

At least one receptacle, in addition to those for specific equipment, shall be provided in each attached or detached garage and in each unfinished basement. Show receptacles on the plans. (210.52 (G) (1) CEC)

Any hallway 10' or more in length shall have at least one receptacle. (210.52 (H) CEC)

In closets, luminaries shall be (a) surface-mounted or recessed incandescent with completely enclosed lamps, (b) Surface mounted or recessed fluorescent luminaries, (c) surface mounted or LED luminaries identified as suitable for installation within storage areas. Minimum clearances between luminaries and the nearest point of storage space shall be as follows. (410.16 CEC)

- a. 12" for surface-mounted incandescent or LED luminaries with completely enclosed light installed on the wall above the door or on the ceiling.
- b. 6" for surface mounted fluorescent luminaries installed on the wall above the door or on the ceiling.
- c. 6" for recessed incandescent or LED luminaries with a completely enclosed light installed in the wall or ceiling.
- d. 6" for recessed fluorescent luminaries installed in the wall or ceiling.
- e. Surface-mounted fluorescent or LED luminaries installed within storage space where identified for this use.

Electric boxes shall have drywall, plaster, or plasterboard surfaces finished so there will be no gaps or open spaces greater than 1/8" at the edge of the box per article 314.21 (CEC). In walls or ceilings boxes shall be installed so that the front edge of the box or plaster ring shall not be recessed more than 1/4" from non-combustible finish surface and shall be flushed with a combustible surface per article 314.20 (CEC).

No cord-connected, chain, cable, cord-suspended, lighting track, pendant or ceiling-suspended fans shall be located within 3' horizontally and 8' vertically from the top of the bathtub rim or shower stall threshold, including directly over the tub or shower. Luminaries located in this zone shall be listed for damp areas or listed for wet locations where subject to shower spray. (410.10 (D) CEC)

All 125v 15-ampere and 20-ampere receptacles in areas specified in article 210.52 (CEC) shall be listed tamper resistant receptacle. (406.12 CEC)

Electric Vehicle (EV) Charging: Newly constructed one-and two-family dwellings and townhouses with attached garages shall comply with electric vehicle (EV) charging infrastructure requirements in accordance with 2019 CALGreen Section 4.1. (CALGreen Section 4.106.4)

For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

TABLE 150.0-A
CLASSIFICATION OF HIGH-EFFICACY LIGHT SOURCES

HIGH-EFFICACY LIGHT SOURCES	
Light sources in this column, other than those installed in ceiling recessed downlight luminaires, are classified as high efficacy and are not required to comply with Reference Joint Appendix JAB.	Light sources in this column are only considered to be high efficacy if they are certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JAB and marked as required by JAB.
1. Pin-based linear fluorescent or compact fluorescent light sources using electronic ballasts.	8. All light sources installed in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in Section 150.00(1)(c).
2. Pulse-start metal halide light sources.	9. Any light source not otherwise listed in this table.
3. High pressure sodium light sources.	
4. Luminaires with hardwired high frequency generator and induction lamp.	
5. LED light sources installed outdoors.	
6. Inseparable SSL luminaires containing colored light sources that are installed to provide decorative lighting.	

TABLE 7.1 PRESCRIPTIVE DUCT SIZING REQUIREMENTS (FROM ASHRAE 62.2)

Duct Type	Flex Duct			Smooth Duct				
	50	80	100	125	50	80	100	125
Fan Rating (cfm at 0.25 in. w.g.)								
Maximum Allowable Duct Length (ft)								
Diameter, (in)	Flex Duct			Smooth Duct				
3	X	X	X	X	5	X	X	X
4	70	3	X	X	105	35	5	X
5	NL	70	35	20	NL	135	85	55
6	NL	NL	125	95	NL	NL	NL	145
7 and above	NL	NL	NL	NL	NL	NL	NL	NL

This table assumes no elbows. Deduct 15 ft of allowable duct length for each turn, elbow, or fitting. Interpolation and extrapolation in Table 7.1 is not allowed. For fan rating values not listed, use the next higher value. This table is not applicable for fan ratings > 125 cfm.
 NL = no limit on duct length of this size.
 X = not allowed, any length of duct of this size with assumed turns and fittings will exceed the rated pressure drop (0.25 in w.g.)
 Note: water gauge (w.g.) is the same as water column (w.c.)

Mechanical Notes

Condensate lines from mechanical equipment shall discharge to a plumbing fixture or an approved location by means of an indirect waste pipe. Condensate lines shall not terminate in landscape or yard areas. (310.5 CMC)

A domestic clothes dryer duct shall be of metal and a minimum of 4" in diameter. The exhaust duct shall not exceed a total combined horizontal and vertical length of 14', including two 90 degree elbows. Two feet shall be deducted for each 90 degree elbow in excess of two. (504.4.2 CMC)

All new construction and additions exceeding 1,000 sf shall meet the requirements of ANSI/ASHRAE 62.2 ventilation and acceptable indoor air quality in low-rise residential buildings. Window operation is not a permissible method of providing the whole building ventilation required.

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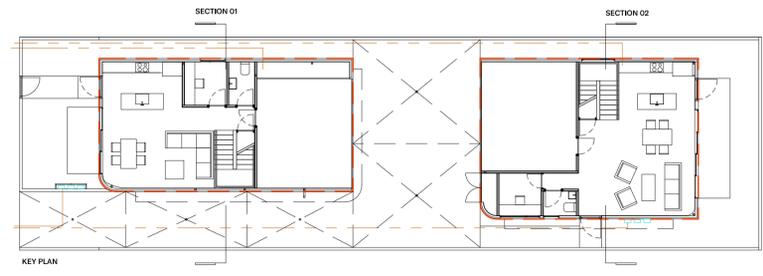
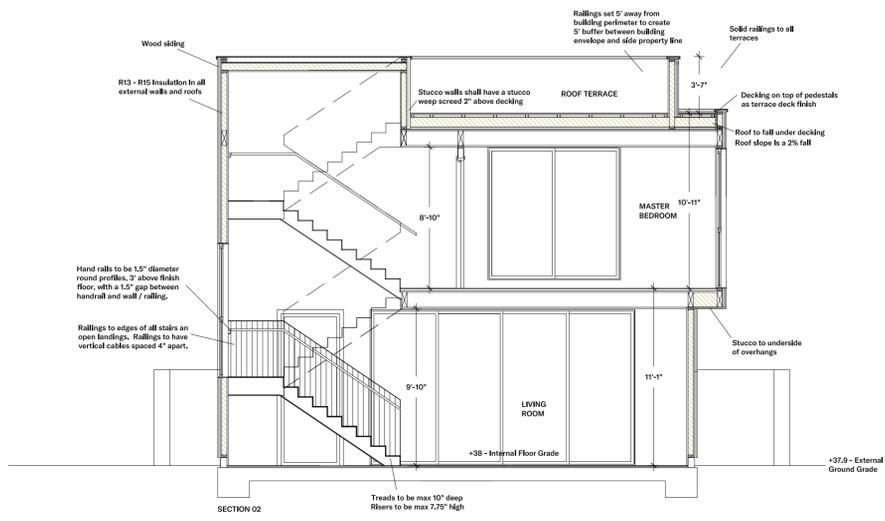
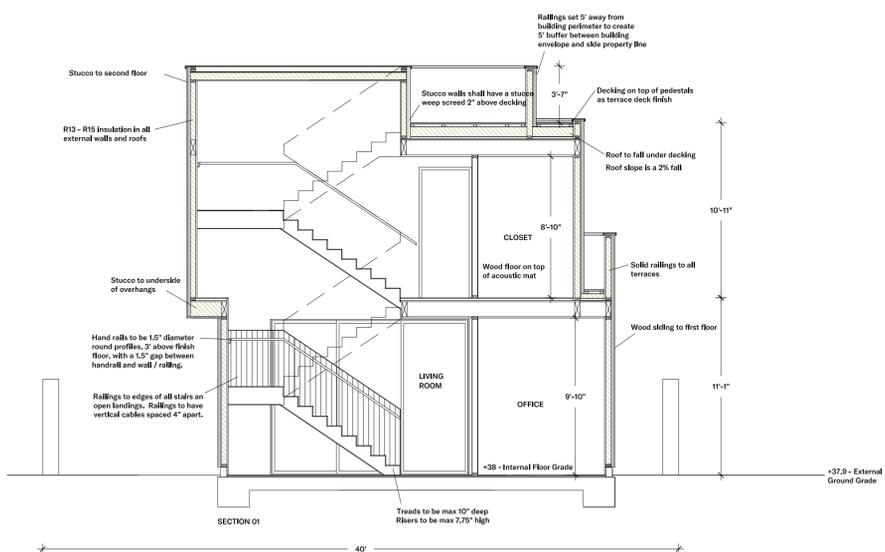
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JOB NO:	21_003 4168 Mildred Ave
BLDG DEPT. NO.	
SCALE:	3 / 16" = 1"
STATUS:	PERMIT
DATE:	Dec 02 2021
DRAWING NAME:	Short Sections
PROJECT NAME:	4168 MILDRED AVE
DRAWING NO.:	A/301



ORIGINAL SHEET SIZE: 24" x 36"

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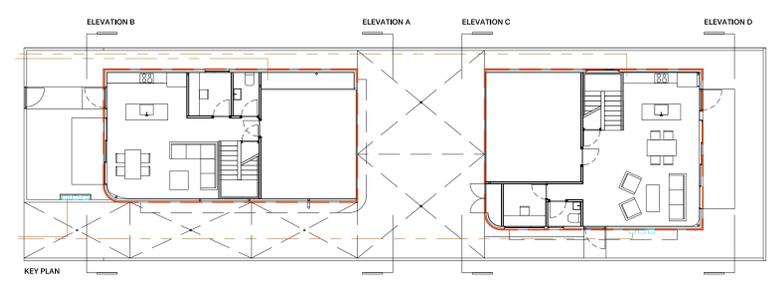
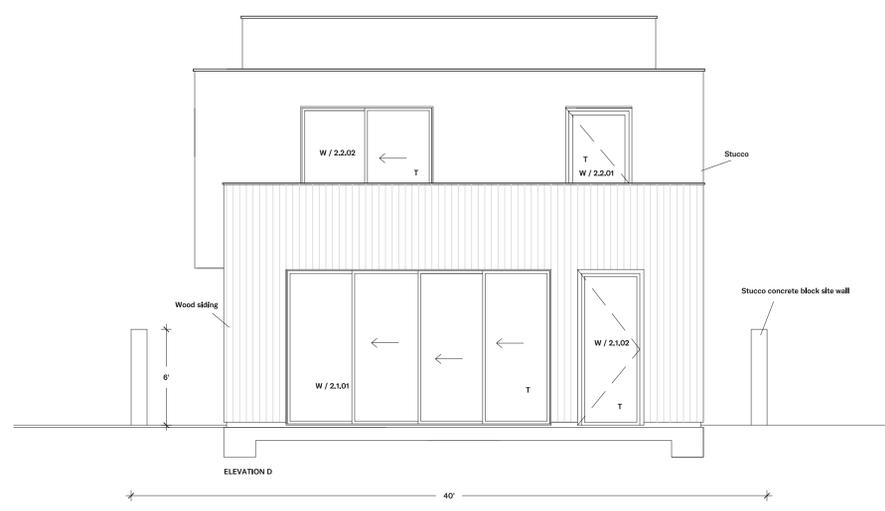
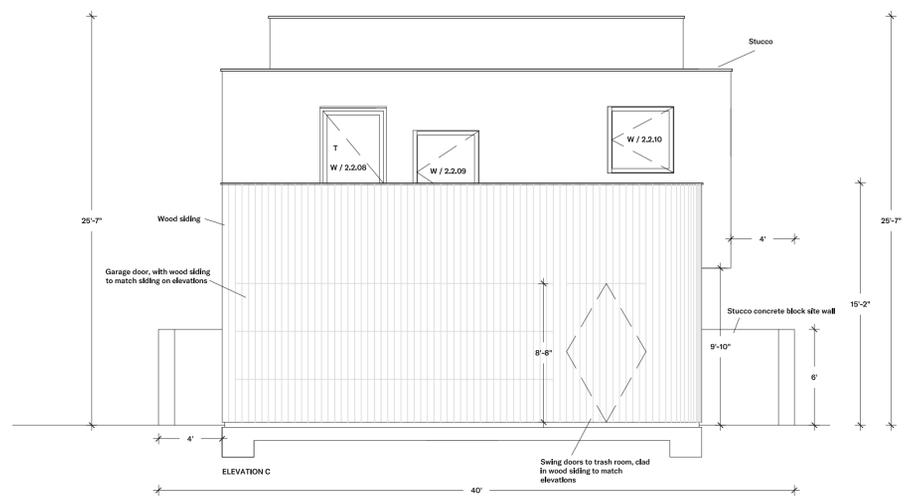
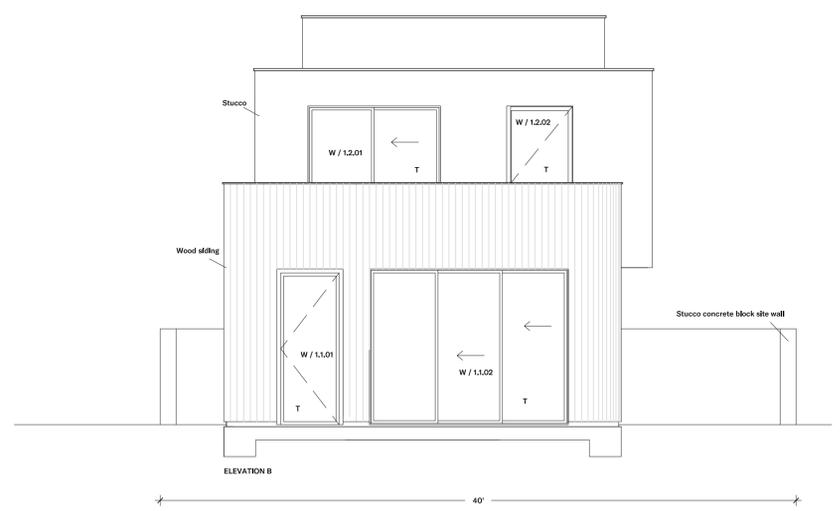
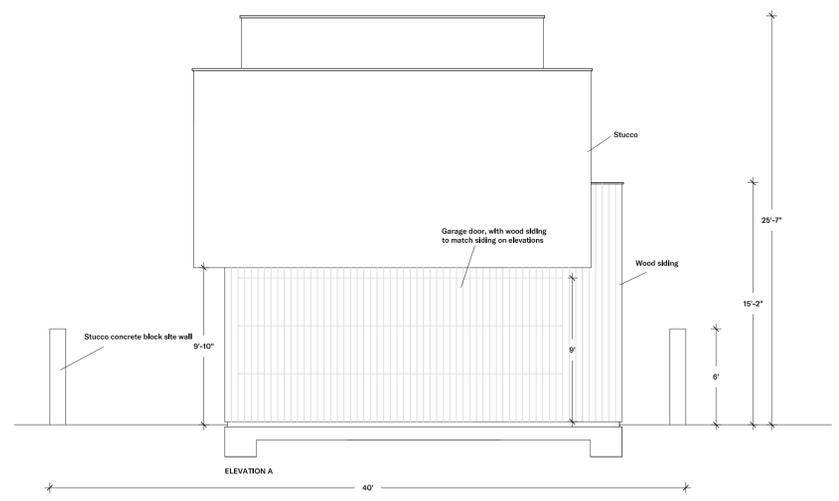
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JOB NO:	21_033 4168 MLRed Ave
BLDG DEPT. NO.	
SCALE:	3 / 16" = 1'
STATUS:	PERMIT
DATE:	Dec 02 2021
DRAWING NAME:	Short Elevations
PROJECT NAME:	4168 MLRED AVE
DRAWING NO:	A/401



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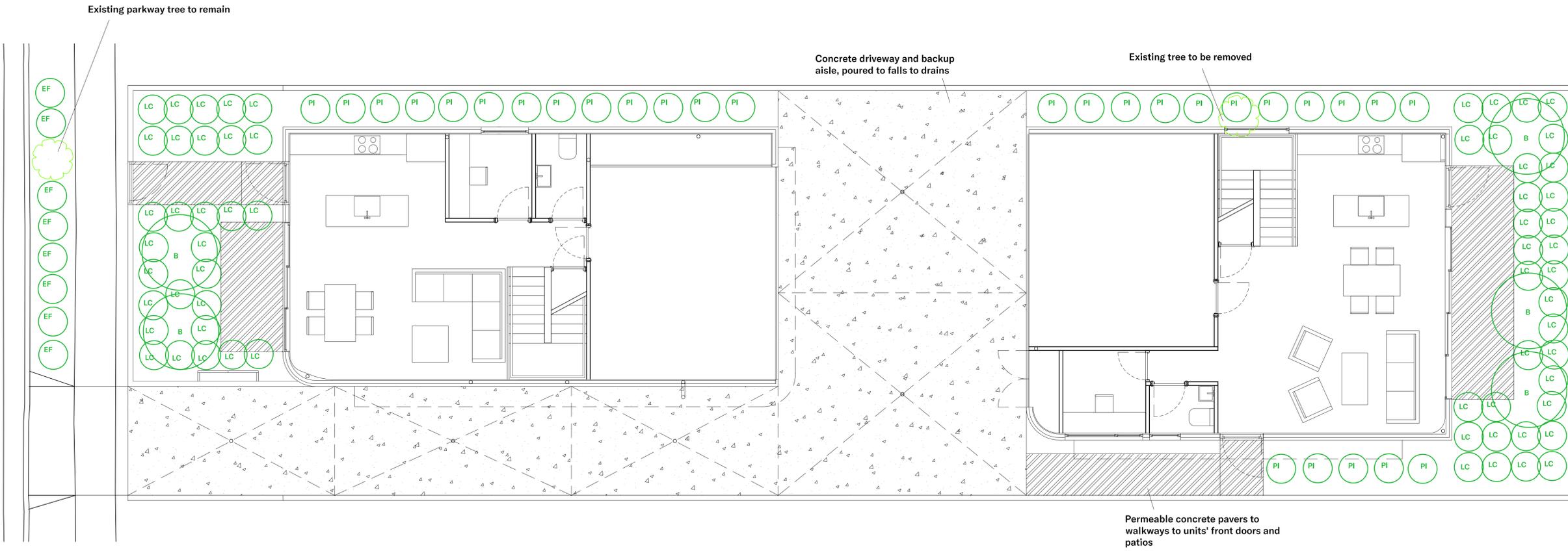
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JOB NO:	21_033 4188 Mildred Ave
BLDG DEPT. NO.	
SCALE:	3 / 16" = 1'
STATUS:	PERMIT
DATE:	Jul 02 2022

DRAWING NAME:	Landscape Plan
PROJECT NAME:	4188 MILDRED AVE
DRAWING NO.:	L/100



Existing Parkway Tree(s) To Be Protected in Place. Provide 5'H Protective Chainlink fencing during construction.

1 Existing site tree to be removed

PROPOSED LANDSCAPE SCHEDULE

SYMBOL	LATIN NAME	COMMON NAME	QUANTITY	CONTAINER SIZE	NOTES	WUCOLS
B	Ulmus parvifolia 'Alee'	Alee Chinese Elm Tree	5	24" Box	10'h x 4'w	Low / 0.2
LC	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	60	5 gallon	spacing per plans	Low / 0.2
PI	Prunus ilicifolia ssp. ilicifolia	Holly-Leaf Cherry	29	15 gallon	spacing per plans	Low / 0.2
EF	Eriogonum fasciculatum	California Buckwheat	8	5 gallon	spacing per plans	Low / 0.2

Driveway and driveway apron to be removed and replaced.
 The project shall replace any parking meters, signs and posts, sign poles, and any other traffic and parking control devices within the public right-of-way if damaged by the project construction.
 Any construction work in the public right-of-way requires the issuance of an encroachment permit from the Public Works Department including traffic control plan consistent with the CA MUTCD.
 The existing curb and gutter and sidewalk shall be removed and reconstructed.
 For utility cuts in concrete street paving, the full concrete panel pavement shall be replaced.
 All existing driveway approaches which will no longer be necessary due to this project shall be removed and replaced with full height sidewalk, parkway, and curb and gutter.