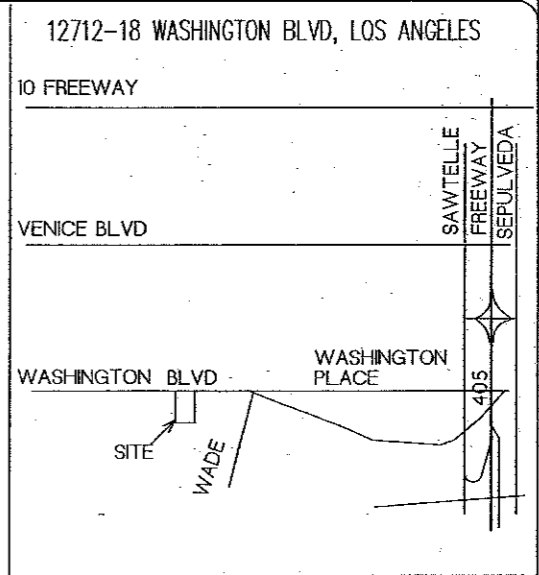


OFFICE AND RESIDENCES FOR KEYVAN WASHINGTON BLVD CULVER CITY

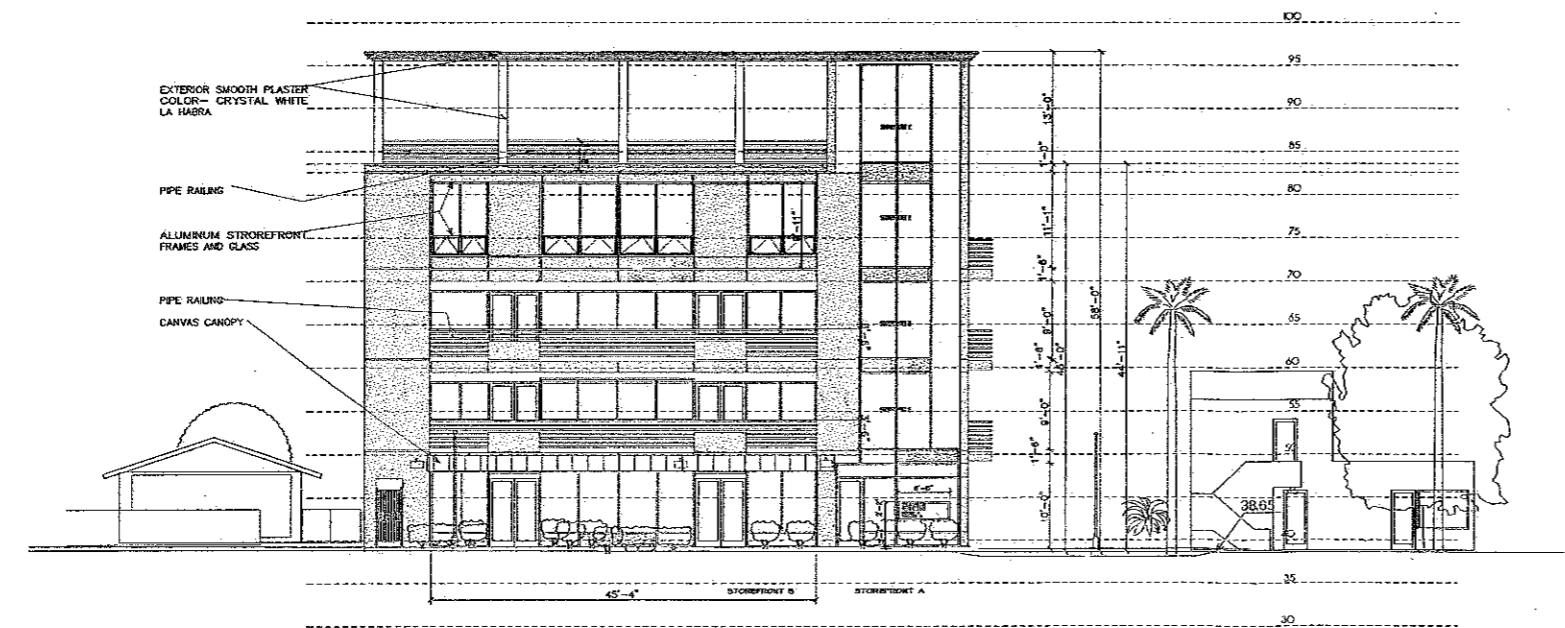


VICINITY MAP
OWNER KEYVAN FAROUK 310-266 4502
ARCHITECT: PETE VOLBEDA
180 N BENSON NO D
UPLAND, CA 91786 909 373 1150

12712-18 WASHINGTON BLVD, LOS ANGELES
10 FREEWAY
VENICE BLVD
WASHINGTON BLVD
WASHINGTON PLACE
SAWTELLE FREEWAY
SEPULVEDA
405
SITE
WADE

PETE VOLBEDA Architecture Planning
180 N BENSON NO D, UPLAND CA 91786
TEL 909 373 1150 FAX 909 373 1152

DATE	10-3-2012	672
DESIGN	PLAN CHECK	
DRAWN BY	APPROVED	
CHECKED	3D SET	
OWNER APPROVAL	REVISION	
DATE	DATE	



WASHINGTON BLVD NORTH ELEVATION
NOT TO SCALE

LEGAL DESCRIPTION LOT 40 AND 41
TRACT 5740 IN THE CITY OF CULVER CITY
COUNTY OF LOS ANGELES, STATE OF
CALIFORNIA, AS PER MAP BOOK 56 PAGES 11
OF MAPS, IN THE COUNTY RECORDER OF
SAID COUNTY

APN 4231 028 024 and 025
ZONE CG
LOT AREA 7611 SQ FT

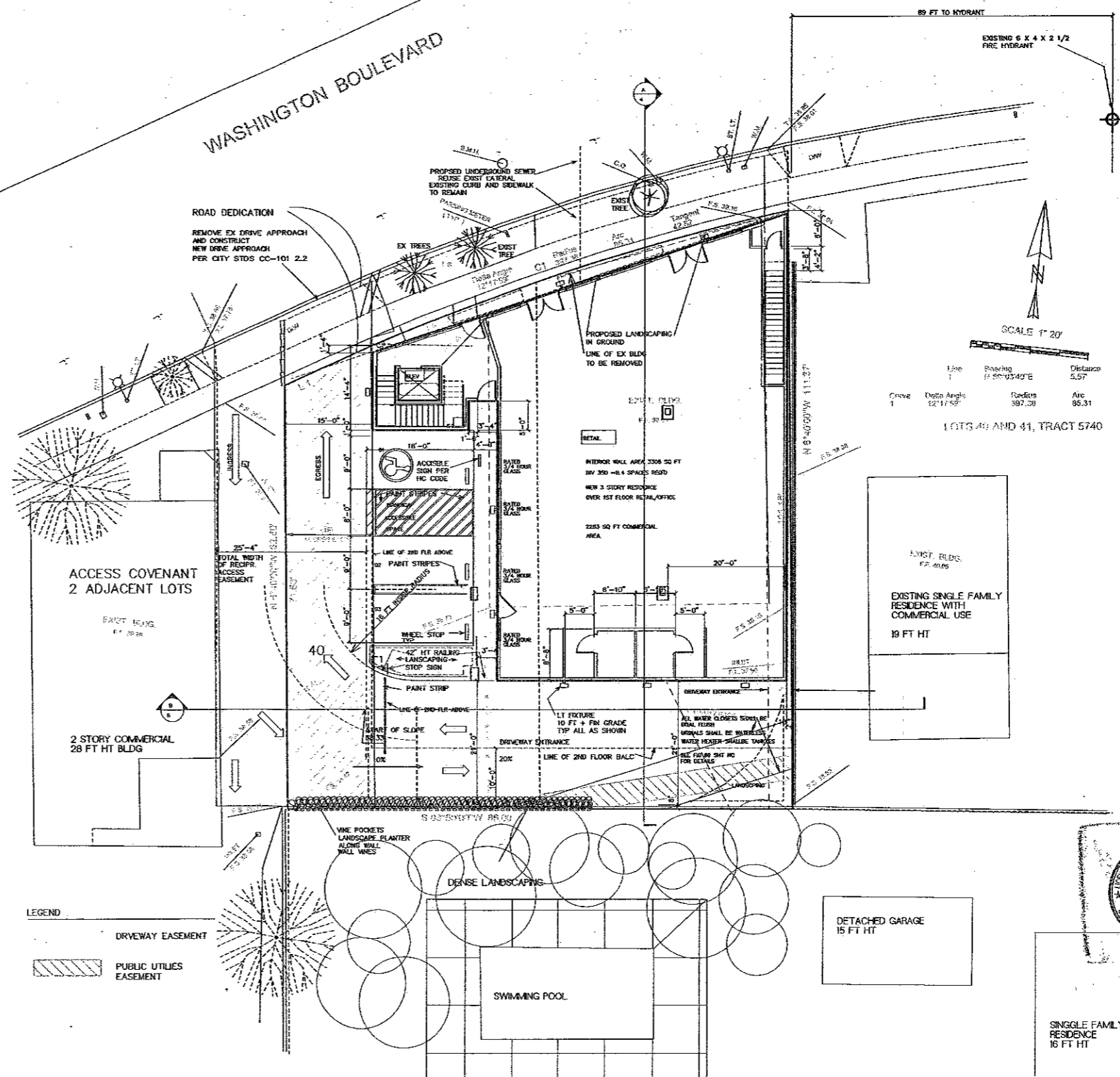
ok.
PER CRAIG
4/24/14

MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING TRUST
12712-12718 WASHINGTON BLVD, CULVER CITY

PETE VOLBEDA
L.C. NO. 0007
EXPIRES 3-15

ⓑ # 85856 DUE: 11/5/14 (10 days) RESUB

WASHINGTON BOULEVARD



ROAD DEDICATION
 REMOVE EX DRIVE APPROACH
 AND CONSTRUCT
 NEW DRIVE APPROACH
 PER CITY STDS CC-101 2.2

ACCESS COVENANT
 2 ADJACENT LOTS

2 STORY COMMERCIAL
 28 FT HT BLDG

LEGEND
 DRYWAY EASEMENT
 PUBLIC UTILITIES EASEMENT

Line 1	Bearing	Distance
	S 50° 03' 43" E	5.57
Curve 1	Delta Angle	Radius
	12° 17' 58"	397.28
		Arc
		86.31
		Tangent
		42.62

LOTS 40 AND 41, TRACT 5740

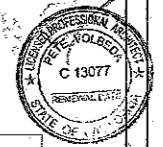
EXISTING SINGLE FAMILY
 RESIDENCE WITH
 COMMERCIAL USE
 19 FT HT

DETACHED GARAGE
 15 FT HT

SINGLE FAMILY
 RESIDENCE
 16 FT HT

SITE AND 1ST FLOOR PLAN

SCALE 1 INCH = 10 FT - 0 IN



PETE VOLBEDA Architecture Planning
 180 N BENSON NO. D, UPLAND, CA 91766
 TEL 909 373 1150 FAX 909 373 1152

DATE	7.25.11
PLAN CHECK	
APPROVED	
DATE	10-3-2012
REVISION	
DATE	
REVISION	
DATE	
REVISION	

MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING TRUST
 12712-12718 WASHINGTON BLVD, CULVER CITY

SHEET
 OF 1.3

WINDOW SHALL MEET EGRESS REQ
 20" WIDE OPENING 24" HT OPENING
 5.7 SQ FT TOTAL SF OPENING
 44" CLEAR MAX TO FLOOR

EXIT

SIGN REQUIREMENTS
 PER CDC 6 IN HT LETTERS
 STROKE 3/4", "EXIT"
 LETTERS 2 IN WIDE (EXCP 0)
 3/8" BETWEEN LETTERS
 LETTERS CONTRASTING WITH BACKGROUND

EXIT SIGN ILLUMINATION
 OF 5 FOOT CANDLES

90 MIN EMERGENCY LIT
 POWER PACK

EXIT

1. SEE SITE PLAN FOR LANDINGS AND ACCESS
 MAX SLOPE OF ANY LANDING IS 2% ANY DIRECTION
 FOR SLIDING DOORS SEE EXIST SIGNS and EXIT DOOR REQUIREMENTS NOTES ON THIS SHEET

THE MEANS OF EGRESS SYSTEM SHALL HAVE A CLEAR HEIGHT OF NO LESS THAN 7 FEET MEASURED VERTICALLY FROM THE WALKING SURFACE TO THE LOWEST PROJECTION FROM THE CEILING OR OVERHEAD STRUCTURE. SEC. 1003.2.4

EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH AND SHALL CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN. ALL SIGNS SHALL BE ILLUMINATED AND CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SEE ELECTRICAL PLANS

GRAPHICS
 EXIT SIGNS SHALL HAVE PLAINLY VISIBLE LETTERS NOT LESS THAN 6 IN IN HEIGHT WITH STROKES OF 3/4 IN WIDE. THE WORD "EXIT" SHALL HAVE LETTERS 2 IN WIDE, EXCEPT THE LETTER "I" AND THE MIN SPACING BETWEEN LETTERS SHALL BE .375 INCHES.
 THE WORD "EXIT" SHALL HAVE CONTRASTING BACKGROUND
 THE FACE OF THE EXIST SIGN SHALL HAVE AN ILLUMINATION OF 5 FOOT CANDLES

EXIT DOORS SHALL HAVE A MIN. NOMINAL WIDTH OF 36" AND 6'-8" IN NOMINAL HEIGHT.

"EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT."

PROVIDE A SIGN OVER MAIN EXIT DOOR- THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS.

TRAVEL THROUGH ADJOINING ROOMS SHALL COMPLY WITH SECTION 1004.2.2. HALLWAYS SHALL BE CONSIDERED AS INTERVENING ROOMS. IN OTHER THAN DWELLING UNITS, A MEANS OF EGRESS SHALL NOT PASS THROUGH KITCHENS, STOREROOMS, RESTROOMS, CLOSETS OR SPACES USED FOR SIMILAR PURPOSES.

HALLWAYS SHALL BE CONSIDERED AS INTERVENING ROOMS. HALLWAYS SHALL HAVE A MINIMUM WIDTH OF 44". WHEN SERVING AN OCCUPANT LOAD OF LESS THAN 50 SAID HALLWAY MAY HAVE A MINIMUM WIDTH OF NOT LESS THAN 36".

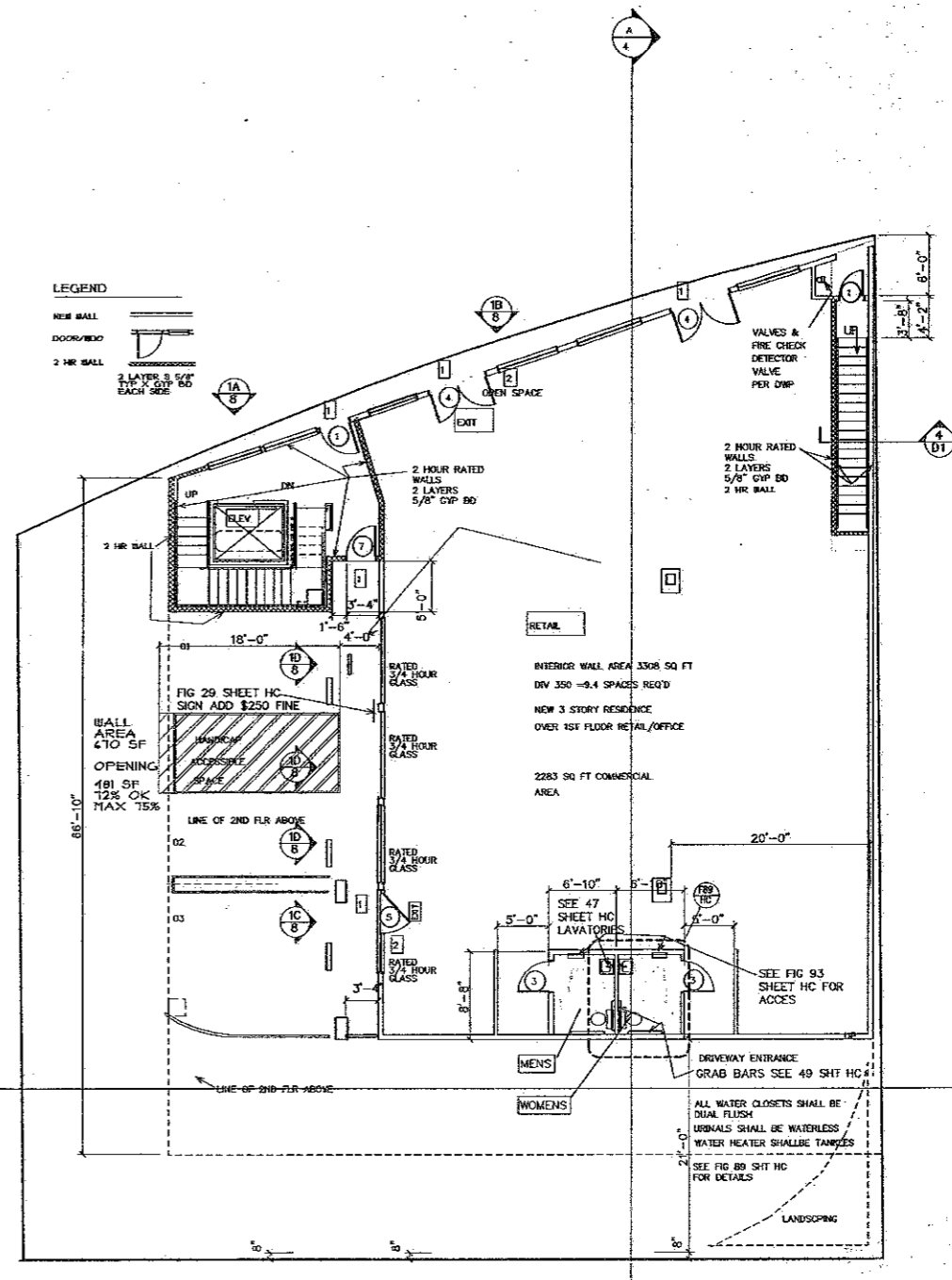
EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES. IN CASE OF POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON SITE GENERATOR. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 2702 OF THE BUILDING CODE.

2. EXIT SIGN & INSTALL TACTILE EXIT SIGN PER CODE 117A.5.1 & 1011.3

3. SLIDING DOORS SHALL CONFORM TO THE FOLLOWING

1008.1.3.3 Horizontal sliding doors. In other than Group I occupancies, horizontal sliding doors permitted to be a component of a means of egress in accordance with Exception 5 to Section 1008.1.2 shall comply with all of the following criteria:

1. The doors shall be power operated and shall be capable of being operated manually in the event of power failure.
2. The doors shall be operable by a simple method from both sides without special knowledge or effort.
3. The force required to operate the door shall not exceed 50 pounds (22 N) to set the door in motion and 15 pounds (67 N) to close the door or open it to the maximum required width.
4. The door shall be operable with a force not to exceed 15 pounds (67 N) when a force of 250 pounds (1100 N) is applied perpendicular to the door adjacent to the operating device.
5. The door assembly shall comply with the applicable fire protection rating and, where rated, shall be self-closing or automatic closing by smoke detection in accordance with Section 715.4.7.3 of the International Building Code, shall be installed in accordance with NFPA 80 and shall comply with Section 715.
6. The door assembly shall have an integrated standby power supply.
7. The door assembly power supply shall be electrically supervised.
8. The door shall open to the minimum required width within 10 seconds after activation of the operating device.



SCALE 1 INCH = 8 FT - 0 IN

1ST FLOOR

PETE VOLBEDA Architecture Planning
 180 N BENSON AVE. D. UPLAND, CA. 91786
 TEL 909 373 1150 FAX 909 373 1152

DESIGN	DATE	6-7-2008
DRAWN BY	PLAN CHECK	
OWNER APPROVAL	APPROVED	
PATENT NAME: C. CADRANUNGS-SANTIZ, STEEPLE CHASE DIAMOND BRIDGE	REVISION	
	DATE	

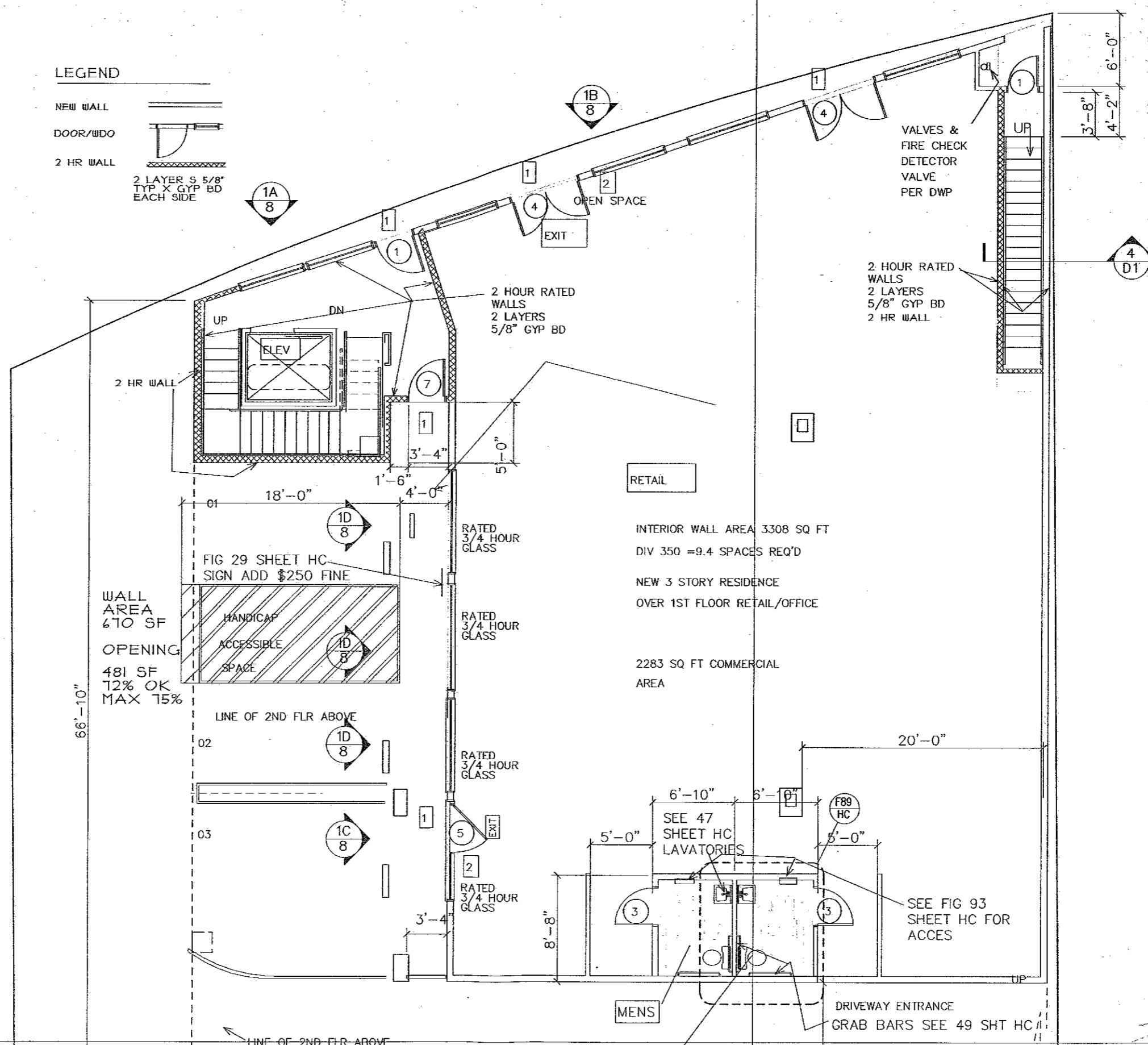
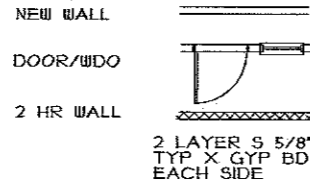
MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING TRUST
 12712-12718 WASHINGTON BLVD, CULVER CITY

DATE: 6-7-2008
 PLAN CHECK: [Signature]
 APPROVED: [Signature]
 REVISION: [Signature]
 DATE: [Signature]

PETE VOLBEDA
 LIC NO CD077
 EXPIRES 3-31

SHEET 4 OF 4

LEGEND



RETAIL

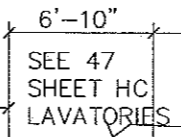
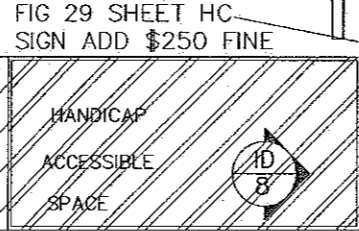
INTERIOR WALL AREA 3308 SQ FT

DIV 350 = 9.4 SPACES REQ'D

NEW 3 STORY RESIDENCE
OVER 1ST FLOOR RETAIL/OFFICE

2283 SQ FT COMMERCIAL
AREA

WALL AREA 670 SF
OPENING 481 SF
12% OK
MAX 15%



MENS

WOMENS

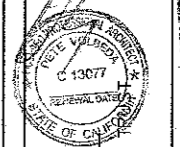
DRIVEWAY ENTRANCE
GRAB BARS SEE 49 SHT HC

ALL WATER CLOSETS SHALL BE DUAL FLUSH
URINALS SHALL BE WATERLESS
SCALE 1/4" = 1 FT - 0 IN

1ST FLOOR

PETE VOLBEDA Architecture Planning
180 N BENSON AVE D, UPLAND, CA 91786
TEL 909 373 1150 FAX 909 373 1152

DATE	BY	REVISION
04/24/02	PLAN CHECK	
	APPROVED	
	REVISED	
	OWNER APPROVAL	
	DATE	
	PATE NAME: S. CA. DRAWINGS & SITE E. CHASE D. M. B. D. C.	

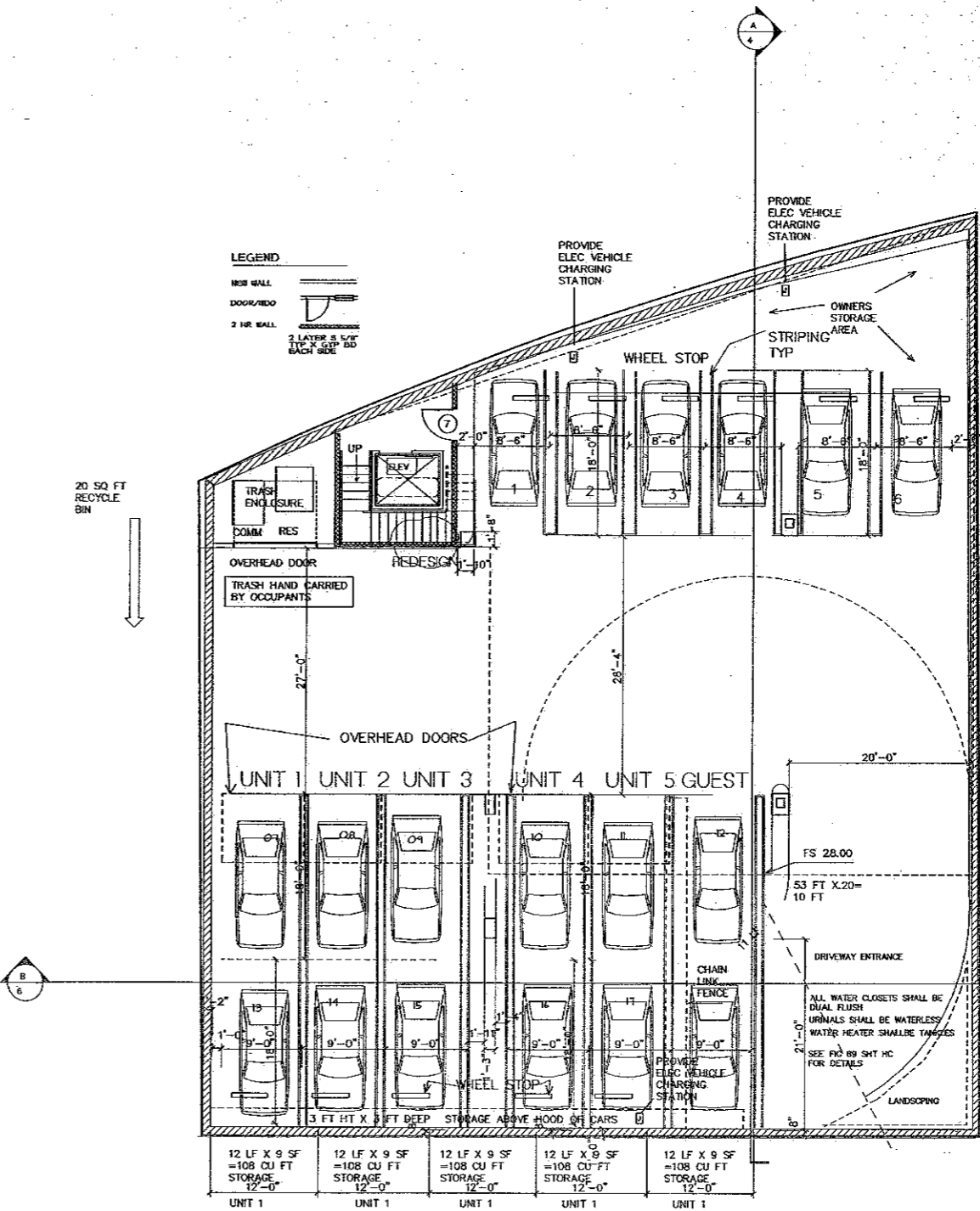


MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING
12712-12718 WASHINGTON BLVD, CULVER CITY

SHEET 01 OF 01

BASEMENT LEVEL

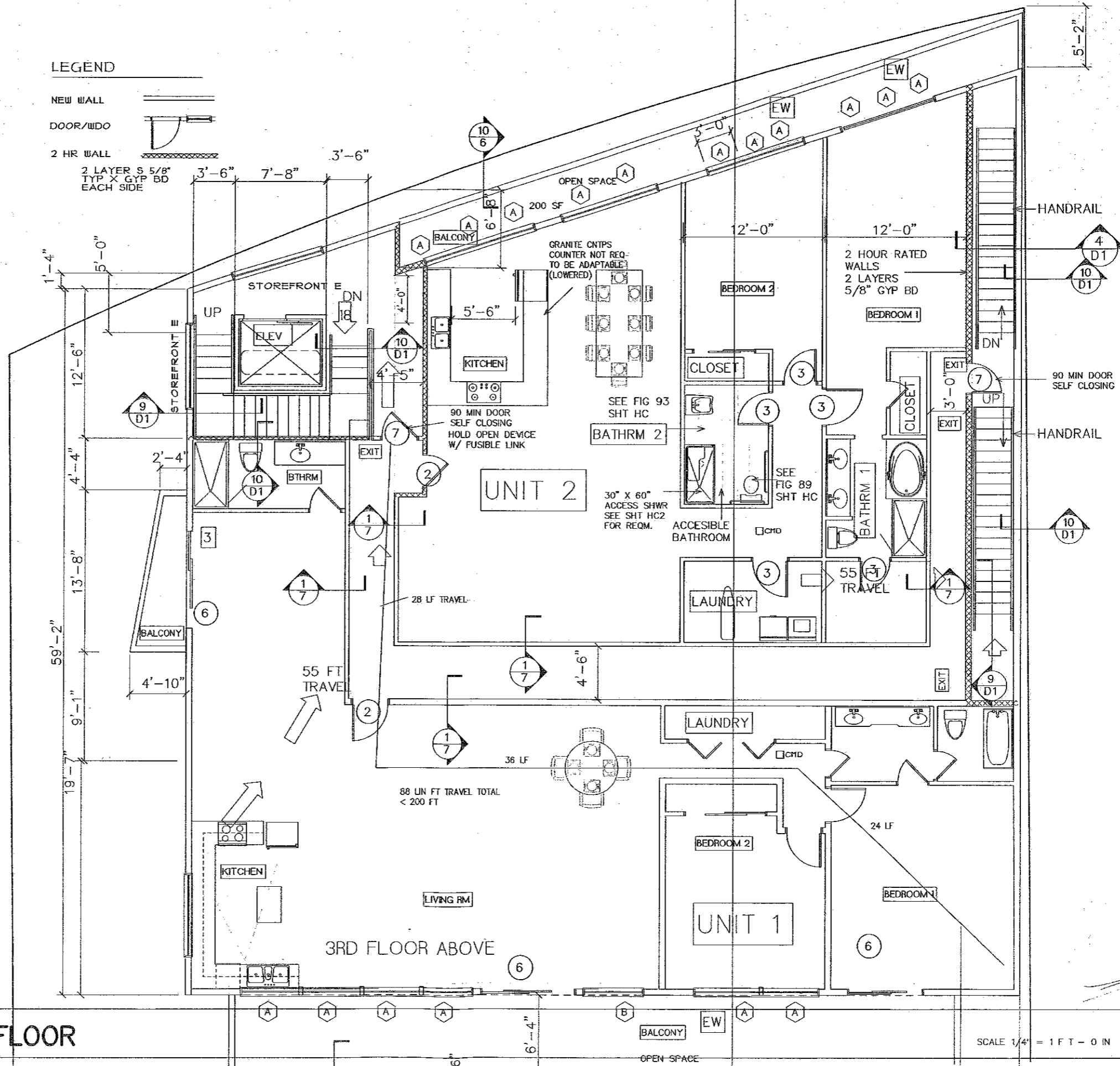
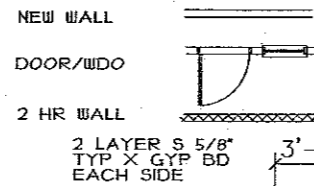
SCALE 1 INCH = 8 FT - 0 IN



DATE	6-1-2018
DESIGN	PLAN CHECK
DRAWN BY	APPROVED
CHECKED	OWNER APPROVAL
OWNER APPROVAL	DATE
DATE	6-1-2018



LEGEND



2ND FLOOR

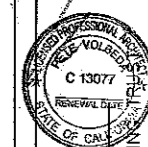
SCALE 1/4" = 1 FT - 0 IN

PETE VOLBEDA Architecture Planning

180 N BENSON AVE. D, UPLAND, CA. 91786

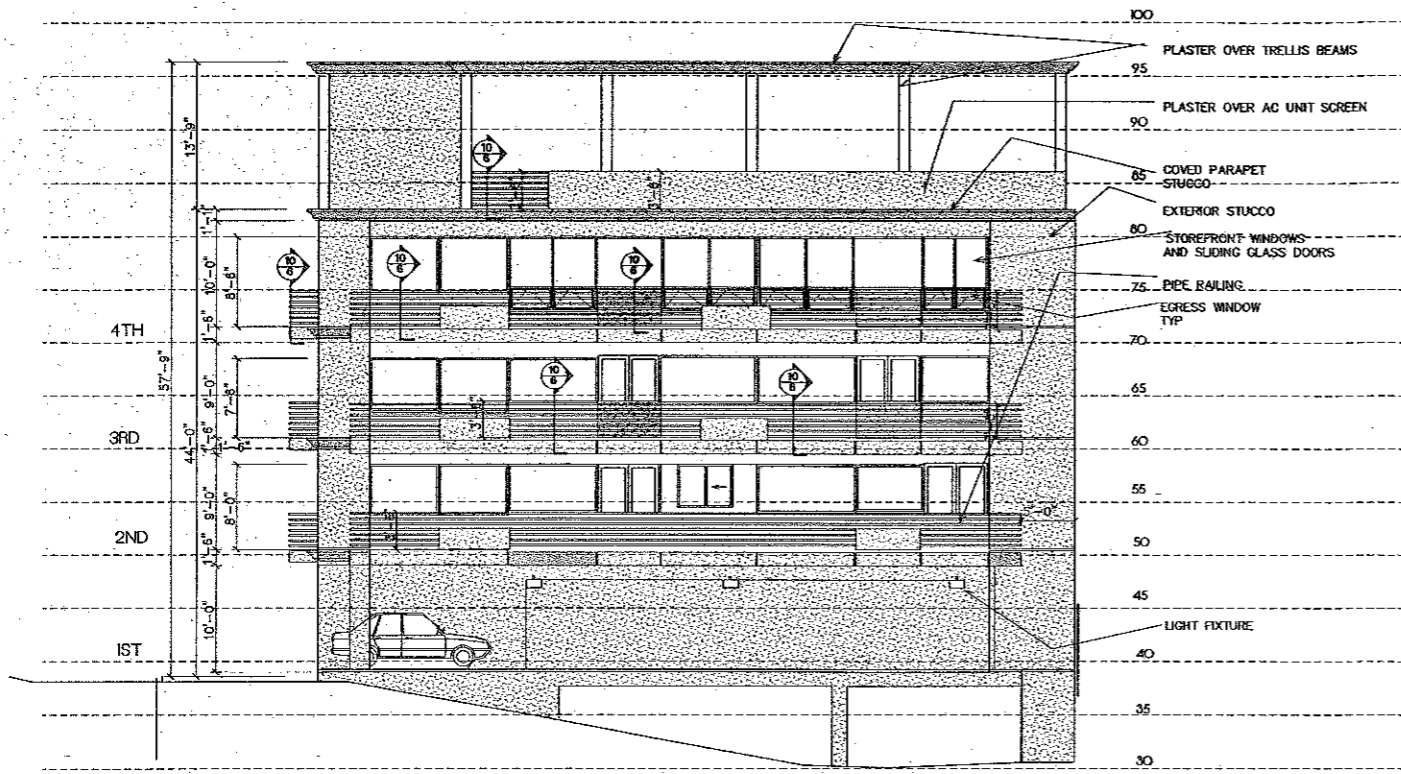
TEL 909 373 1150 FAX 909 373 1152

DESIGNER	DATE
DRAWN BY	PLAN CHECK
CHECKED	APPROVED
OWNER APPROVAL	REVISION
PATRICK W. C. CALDERON, SUTZ, STEERLE, CHASE DESIGN GROUP	



MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING
12712-12718 WASHINGTON BLVD, CULVER CITY

SHEET
OF 4

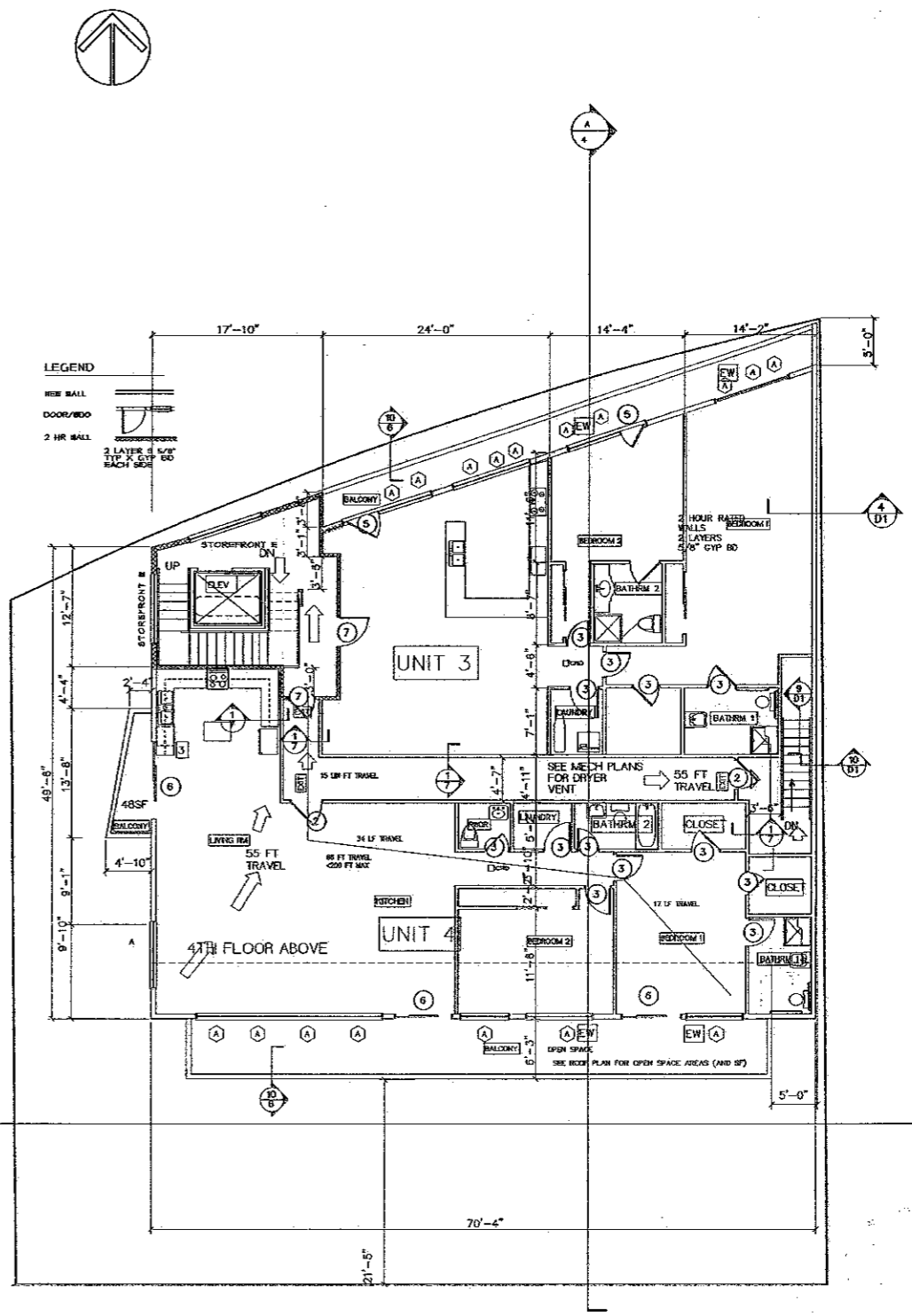


SOUTH ELEVATION SCALE 1 INCH = 8 FT - 0 IN



WEST ELEVATION

AREA OF WEST WALL 2550 SF
 ALLOW OPEN 75%
 917 SQ FT WDO SHOWN= 36% < 75 OK
 SCALE 1 INCH = 8 FT - 0 IN

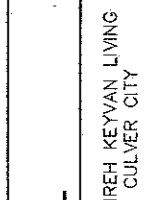


3RD FLOOR SCALE 1 INCH = 8 FT - 0 IN

ALL WATER CLOSETS SHALL BE DUAL FLUSH
 WATER HEATER SHALL BE TANKLESS
 ALL HEATING AND HVAC DUCTS IN CONDITIONED SPACE
 [A] SEE NOTES SHEET 1.4
 [E] PATH OF EGRESS
 SEE ROOF PLAN FOR TOTAL OPEN SPACE AND SEE SHEET 1 FOR UNIT AREAS

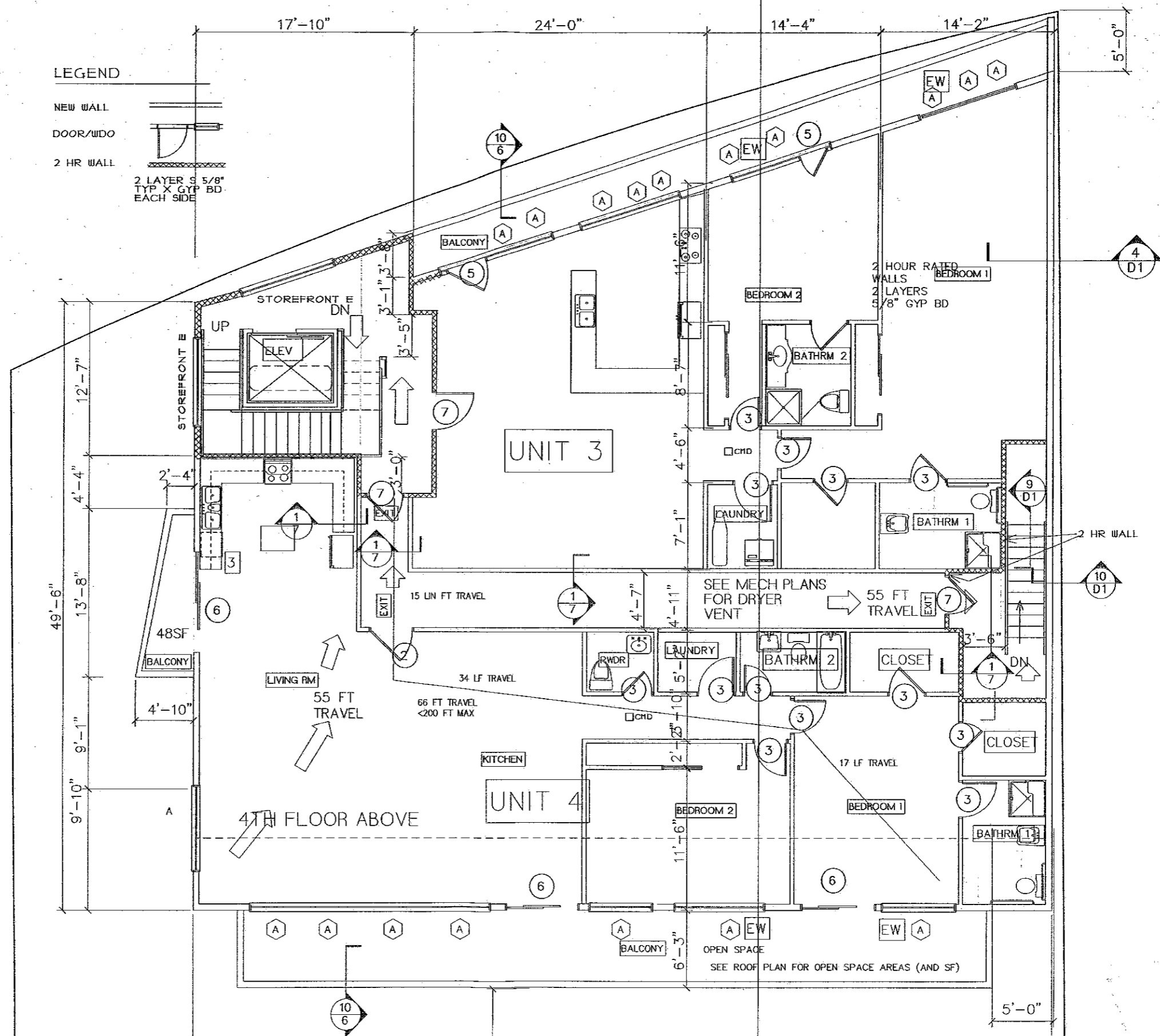
PETE VOLBEDA Architecture Planning
 180 N BENSON AVE, D, UPLAND, CA, 91786
 TEL 909 373 1150 FAX 909 373 1152

DATE	6-1-2012
DESIGN	PLAN CHECK
DRAWN BY	CHECKED
OWNER APPROVAL	OWNER APPROVAL
DATE	
DESIGNER	REVISION
DATE	
DESIGNER	REVISION
DATE	
DESIGNER	REVISION
DATE	



MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING TRUST
 12712-12718 WASHINGTON BLVD, CULVER CITY
 SHEET 5

LEGEND
 NEW WALL
 DOOR/WDO
 2 HR WALL
 2 LAYER 5/8" TYP X GYP BD. EACH SIDE



3RD FLOOR

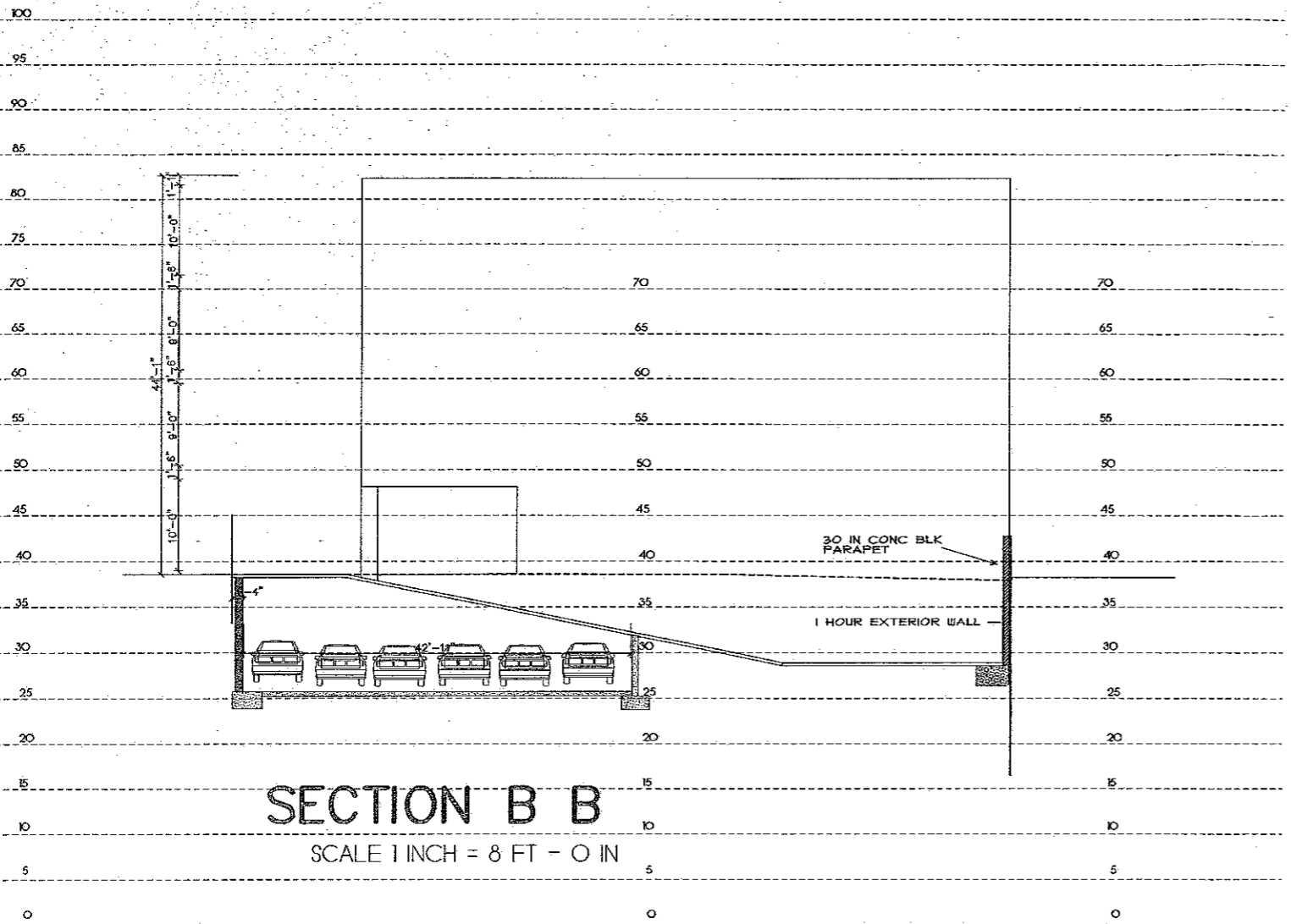
SCALE 1/4" = 1 FT - 0 IN

PETE VOLBEDA Architecture Planning
 180 N BENSON AVE D. UPLAND, CA. 91786
 TEL 909 373 1150 FAX 909 373 1152

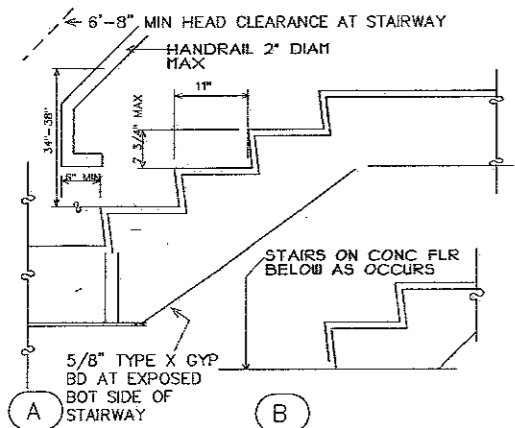
DESIGN	DATE
DESIGN	DATE
PLAN CHECK	DATE
APPROVED	DATE
BID SET	DATE
REVISION	DATE
PATENT/AVE. C.A. DRAWINGS/KATZ STEEL CHASE/DIAMOND BAR/DCS	

MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING TRUST
 12712-12718 WASHINGTON BLVD, CULVER CITY

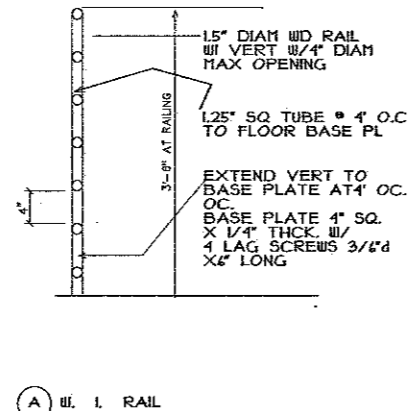
SEET
 OF 5



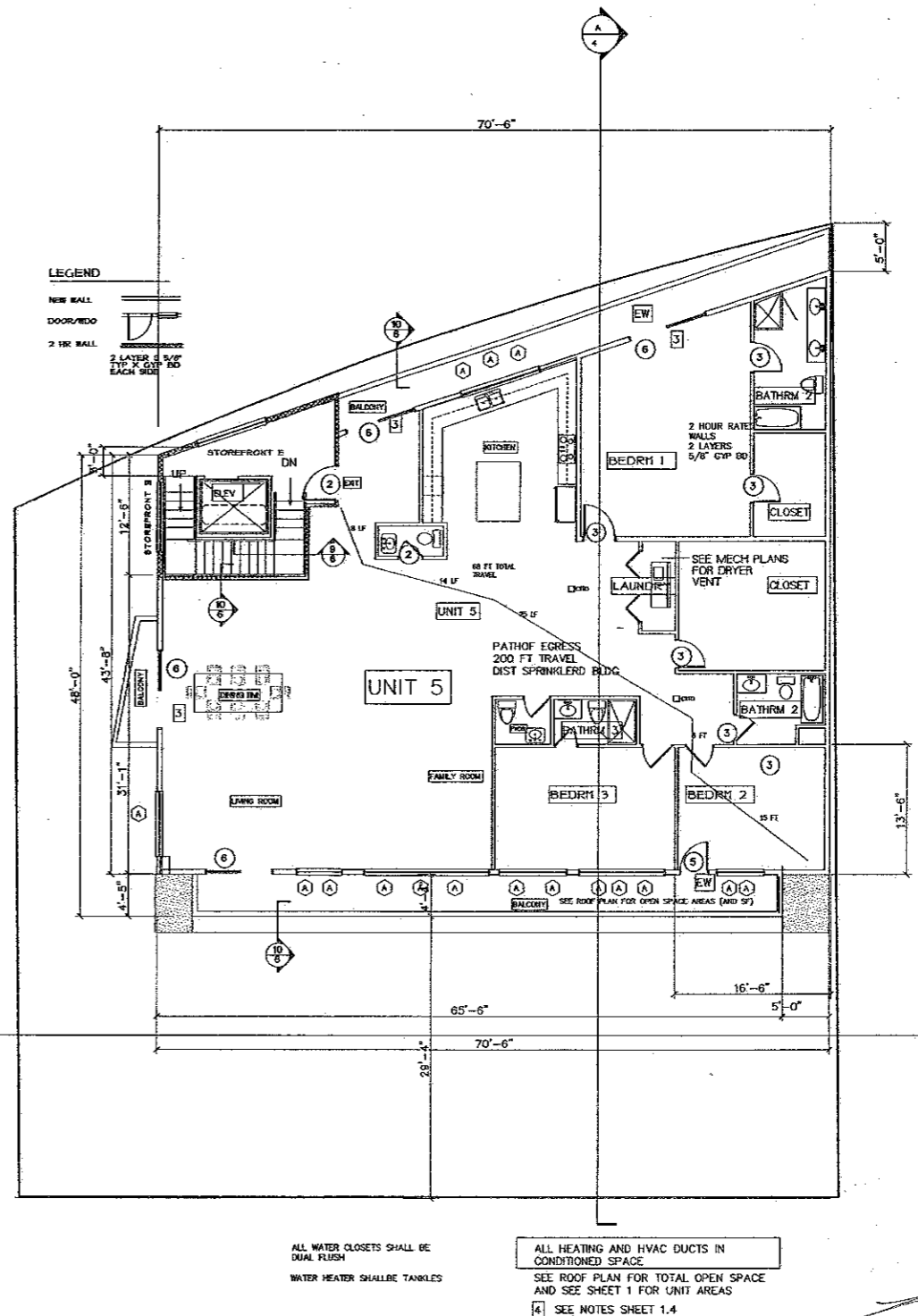
SECTION B B
SCALE 1 INCH = 8 FT - 0 IN



STAIR DETAIL



GUARDRAIL/HANDRAIL



4TH FLOOR SCALE 1 INCH = 8 FT - 0 IN

PETE VOLBEDA Architecture Planning
180 N BENSON AVE. D, UPLAND, CA. 91786
TEL 909 373 1150 FAX 909 373 1152

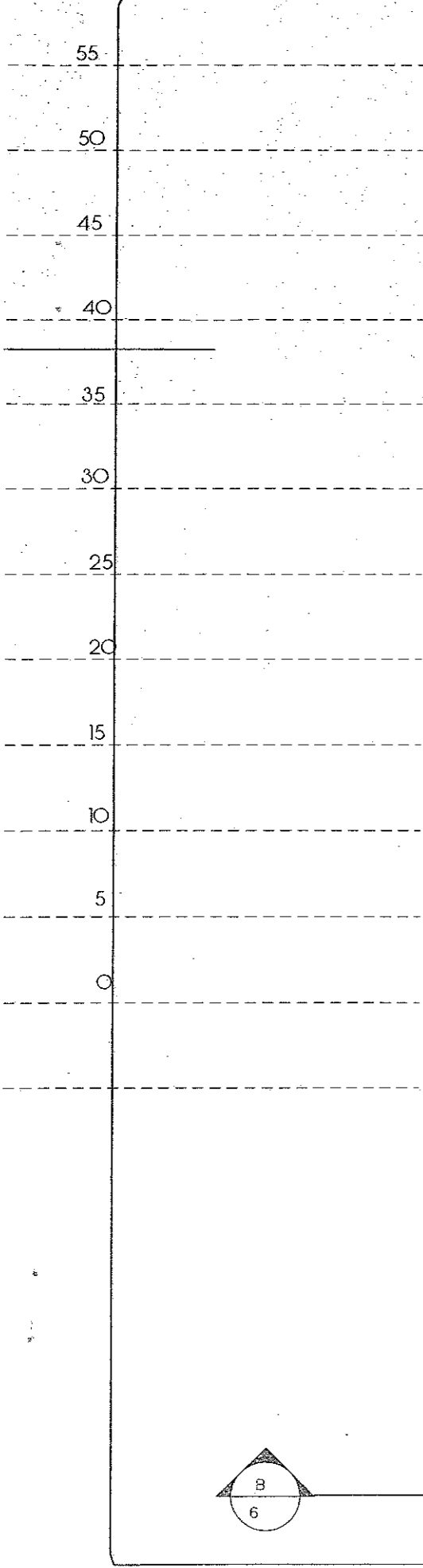
DESIGN	DATE	6-1-2012
DRAWN BY	PLAN CHECK	
CHECKED	APPROVED	
OWNER APPROVAL	BID SET	
REVISION	DATE	
PATIA NAME	C. CACORAMAS/KATZ	STEERLE CHASE DIAMOND BRIDGE



MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING TRUST
12712-12718 WASHINGTON BLVD, CULVER CITY

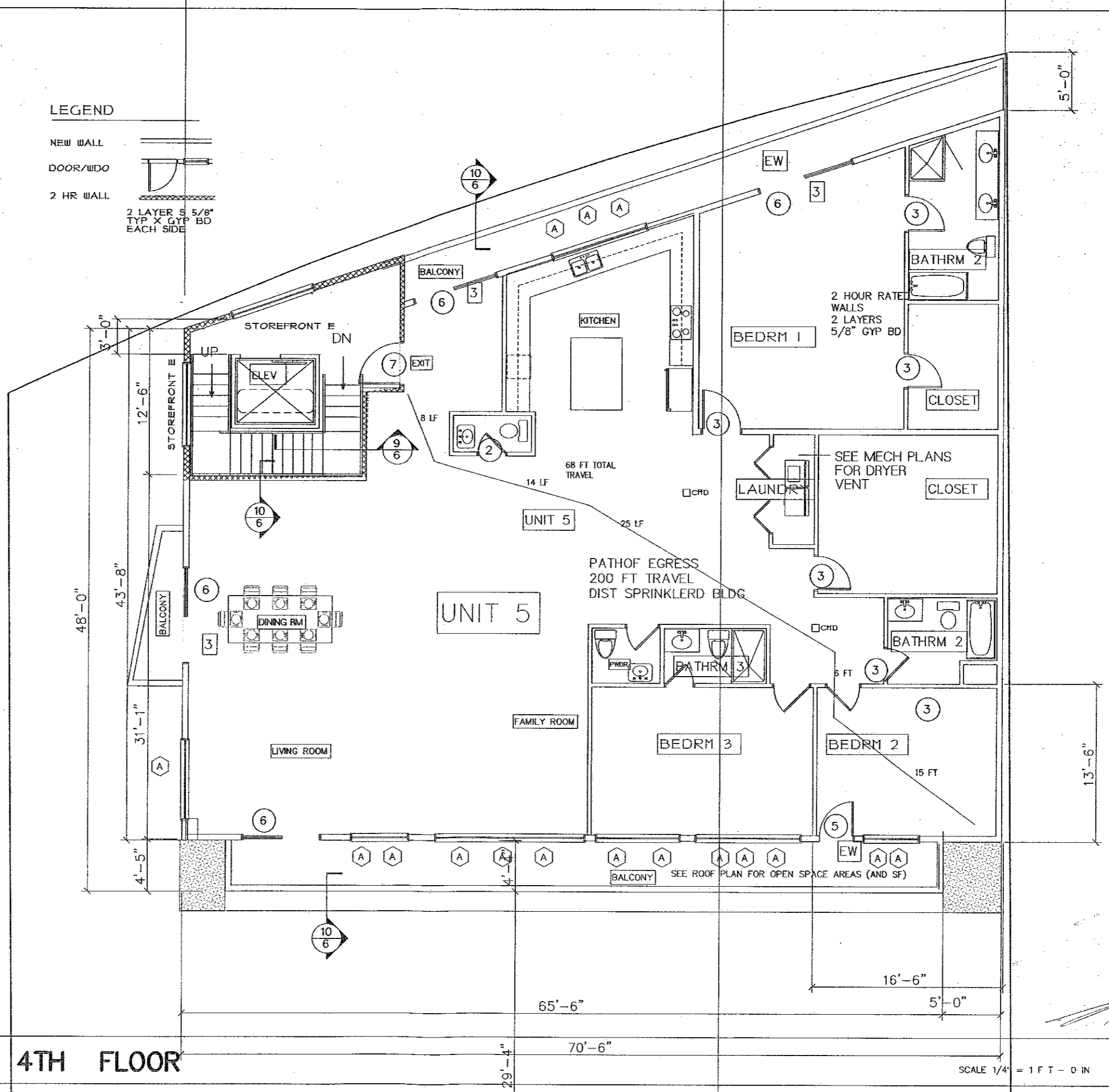
SHEET 07
OF 07

ALL WATER CLOSETS SHALL BE DUAL FLUSH
WATER HEATER SHALL BE TANKLESS
ALL HEATING AND HVAC DUCTS IN CONDITIONED SPACE
SEE ROOF PLAN FOR TOTAL OPEN SPACE AND SEE SHEET 1 FOR UNIT AREAS
SEE NOTES SHEET 1.4



LEGEND

- NEW WALL
 - DOOR/WIDO
 - 2 HR WALL
- 2 LAYER 5/8" TYP X GYP BD EACH SIDE



4TH FLOOR

SCALE 1/4" = 1 FT - 0 IN

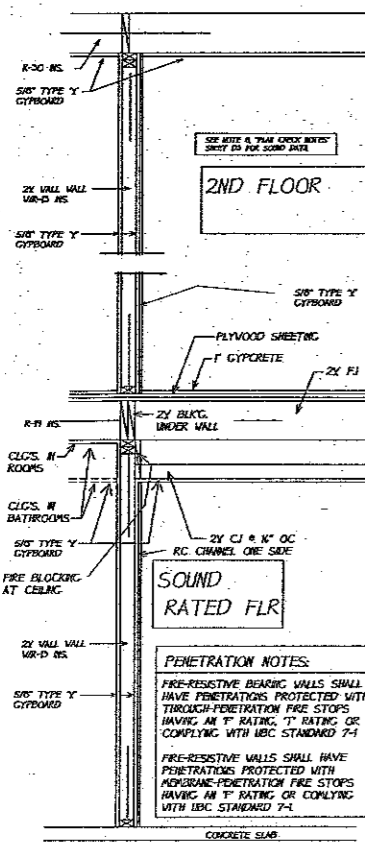
PETE VOLBEDA Architecture Planning
 180 N. BENSON AVE. D, UPLAND, CA. 91786
 TEL 909 373 1150 FAX 909 373 1152

DESIGN	DATE
DRAWN BY	OWNER APPROVAL
CHECKED	REVISION
APPROVED	DATE
BO SET	
OWNER APPROVAL	
DATE: NAME: CA: DRAWING NO: SITE: E: CHASE: DRAWING: BOARD:	



MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING
 12712-12718 WASHINGTON BLVD, CULVER CITY

SHEET 6.1
 OF



GENERAL NOTES - SOUND RATED PARTITIONS AND IMPACT RATED CEILING-FLOOR ASSEMBLIES.

A. CARPETS OR SIMILAR SURFACE MATERIAL WHICH ARE PART OF THE FLOOR-CEILING ASSEMBLY MUST BE INSTALLED AND INSPECTED BEFORE THE FINAL INSPECTION IS REQUESTED.

B. AN APPROVED PERMANENT, AND RESILIENT ACOUSTICAL SEALANT WILL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALLS.

C. ALL PENETRATIONS INTO SOUND RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES WILL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.

D. ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL. (EXCEPTION: GAS PIPING NEED NOT BE ISOLATED.)

E. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL. (EXCEPTION: GAS PIPING NEED NOT BE ISOLATED.)

F. MINERAL FIBER INSULATION WILL BE INSTALLED IN JOIST SPACES WHENEVER A PIPING PIPE, OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL. THE INSULATION SHALL BE INSTALLED TO A POINT OF 12" BEYOND THE PIPE OR DUCT.

G. COMBUSTION AIR AND BATHROOM EXHAUST DUCTS WITHIN SOUND-SEPARATION ASSEMBLIES SHALL BE WRAPPED WITH TYPE "C" INSULATION (SHOWN IN TABLE 10-D OF THE LOS ANGELES COUNTY MECHANICAL CODE, OR MECHANICAL CODE AS ADOPTED IN THE CITY OF CONSTRUCTION).

H. ELECTRICAL REQUIREMENTS. AN OUTLET BOX IS DEFINED AS A BOX USED FOR RECEPTACLES, SWITCHES, SURFACE-MOUNTED LIGHTING FIXTURES, JUNCTION POINTS, TELEPHONES, THERMOSTATS, TELEVISION USES, ETC. NO BOX DIMENSION SHALL EXCEED 6".

a. Approved acoustical sealant shall be provided along the joint between the floor and the separation wall.

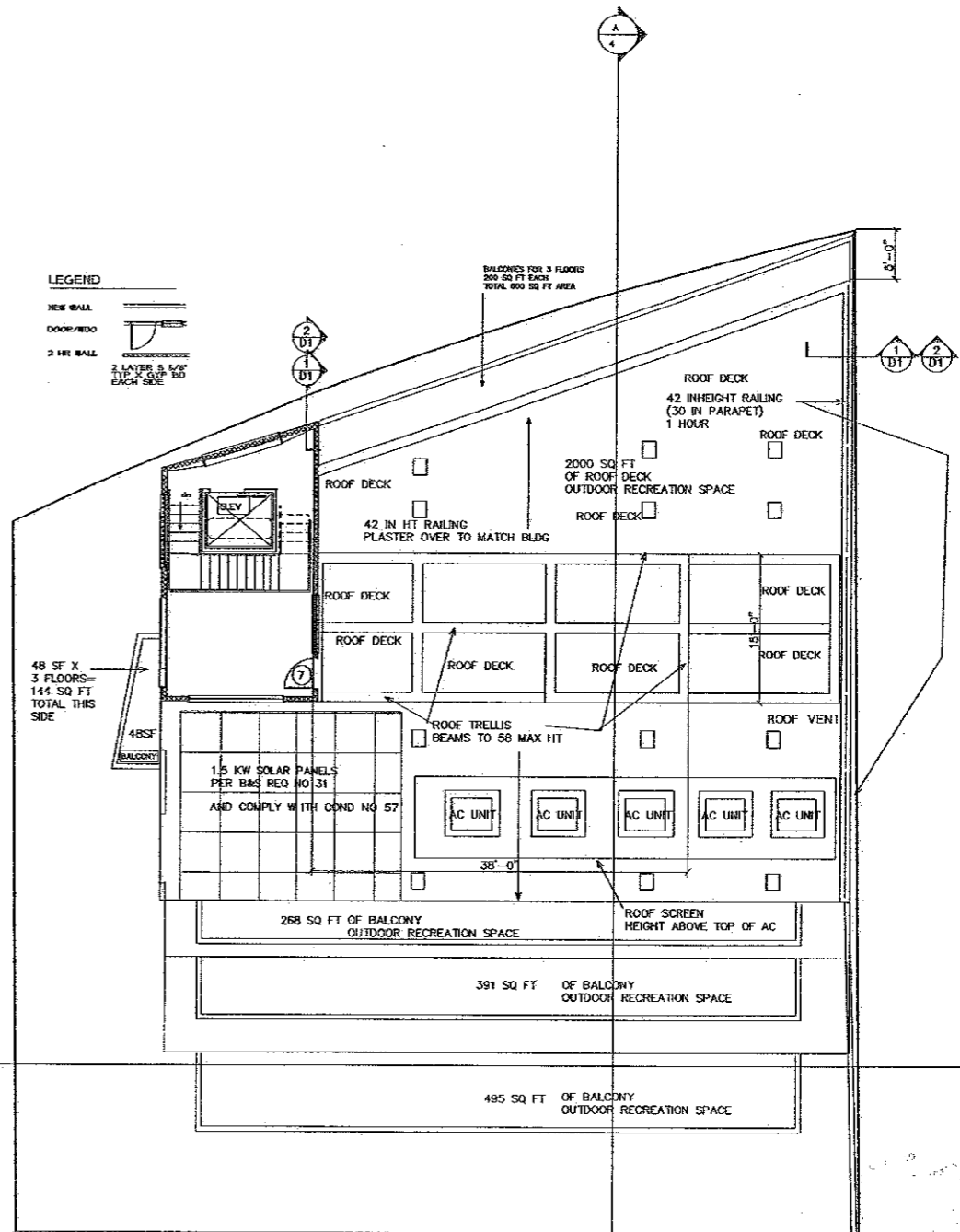
b. All penetrations into sound-rated partitions or floor-ceiling assemblies shall be sealed with approved permanent resilient sealant.

c. All rigid conduit, ducts, plumbing pipes and appliance vents located in sound assemblies shall be isolated from the building construction by means of resilient sleeves, mounts or minimum 1/4" thick approved resilient material. Exception: gas piping need not be isolated.

d. Metal ventilating and conditioned air ducts located in sound assemblies shall be isolated from the building construction by means of resilient sleeves, mounts or minimum 1/4" thick approved resilient material. (Exception: gas piping need not be isolated.)

- ONLY OUTLET BOXES AND CEILING EXHAUST FAN IN THE BATHROOM WILL BE PERMITTED IN WALLS AND CEILING OF SOUND RATED CONSTRUCTION. ALL OTHER EQUIPMENT AND DEVICES WHICH INCLUDE RECESSED FIXTURES, PANEL-BOARDS, HEATER, KITCHEN EXHAUST FAN, SOUND PRODUCING EQUIPMENT, BELLS, INTERCOMS, ETC., SHALL NOT BE INSTALLED IN THESE SOUND RATED WALLS AND CEILINGS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE CITY.
- OUTLET BOXES MAY BE INSTALLED IN THE SOUND RATED WALLS AND CEILINGS AS FOLLOWS:
 - BOXES WHICH PENETRATE THE WALL IN ONE AREA OR OCCUPANCY SHALL NOT BE INSTALLED ON THE SAME STUD OR IN THE SAME SPACE BETWEEN STUDS CONTAINING A BOX WHICH PENETRATES INTO ANOTHER AREA OR OCCUPANCY, I.E. NOT IN THE SAME BAY.
 - THERE SHALL BE ONE SOLID STUD BETWEEN OUTLET BOXES.
 - A SOLID FIRE BLOCKING WILL BE CONSIDERED A SOLID STUD IN ORDER TO PLACE ONE BOX ABOVE THE OTHER IN THE SAME BAY.
- OUTLET BOXES SHALL HAVE A DEPTH NOT MORE THAN 1 1/2" SO AS TO ALLOW THE REQUIRED 2 INCH UNCOMPRESSED INSULATION TO BE INSTALLED IN A STANDARD 2X4 WALL. ON THE WALLS OF DEEPER DIMENSIONS, BOXES OF THE GREATER DEPTHS MAY BE PERMITTED.
- CONDUITS OR RACEWAYS (SUBROUTS) MAY PENETRATE THE SOUND RATED WALLS OR CEILINGS, PROVIDED THE CONDUIT IS COVERED AT THE PENETRATION POINT WITH A PERMANENTLY RESILIENT SEALANT.
- THE REQUIREMENTS FOR OUTLET BOXES INSTALLED FOR TELEVISIONS, TELEPHONES AND THERMOSTATS (ELECTRIC AND PNEUMATIC) SHALL BE THE SAME AS FOR RECEPTACLES OR SWITCHES. PLASTER FRINGS, OPEN BACK BOXES, OR MOUNTING PLATES SHALL NOT BE PERMITTED.
 - WHERE METALLIC RACEWAY MATERIAL (RIGID METAL CONDUIT, STEEL TUBE, AND NONMETALLIC CONDUIT) IS INSTALLED IN THE SOUND RATED FLOOR-CEILING ASSEMBLIES IT SHALL BE ISOLATED FROM THE FLOOR JOIST WITH A RESILIENT MATERIAL AT THE POINTS OF SUPPORT. AT THE POINT WHERE THE RACEWAY PASSES IN ROUGH IN HOLES OR NOTCHES, CARE SHOULD BE TAKEN TO INSURE THAT THE RACEWAY DOES NOT TOUCH THE SURFACE OF THE JOIST. THE RESILIENT MATERIAL USED MAY BE RUBBER, CARPET PADDING, ETC.
 - WHEN RIGID METALLIC RACEWAY IS INSTALLED IN THE FLOOR-CEILING SPACES, THE SPACE SHALL HAVE A MINIMUM OF 2" OF MINERAL INSULATION BELOW. CARE SHOULD BE TAKEN DURING INSTALLATION OF THE RACEWAY TO ALLOW THIS 2" OF NONCOMPRESSED INSULATION BELOW.
- FLOOR-CEILING ASSEMBLIES BETWEEN RESIDENTIAL AREAS AND EQUIPMENT PENNHOUSE (A/C UNITS, ETC.) SHALL BE INSTALLED IN ACCORDANCE TO MEET THE SOUND SEPARATION REQUIREMENTS.

- ROOF PLAN NOTES
- ROOFING SHALL BE CLASS B 4 PLY ROOF GAF .75 SRI (SOLAR REFLECTIVE INDEX)
 - ROOF PITCH SHALL BE 1/4:12
 - ROOF INSULATION R 38 MIN WITH RADIANT BARRIER
 - PROVIDE 2 ELECTRICAL CONDUITS TO ROOF FOR FUTURE SOLAR PANELS
 - PROVIDE ROOF VENTS 12" SQ AS SHOWN
 - ROOFING SHALL BE PERFORMED UNDER BEST WORKMANSHIP STDS.



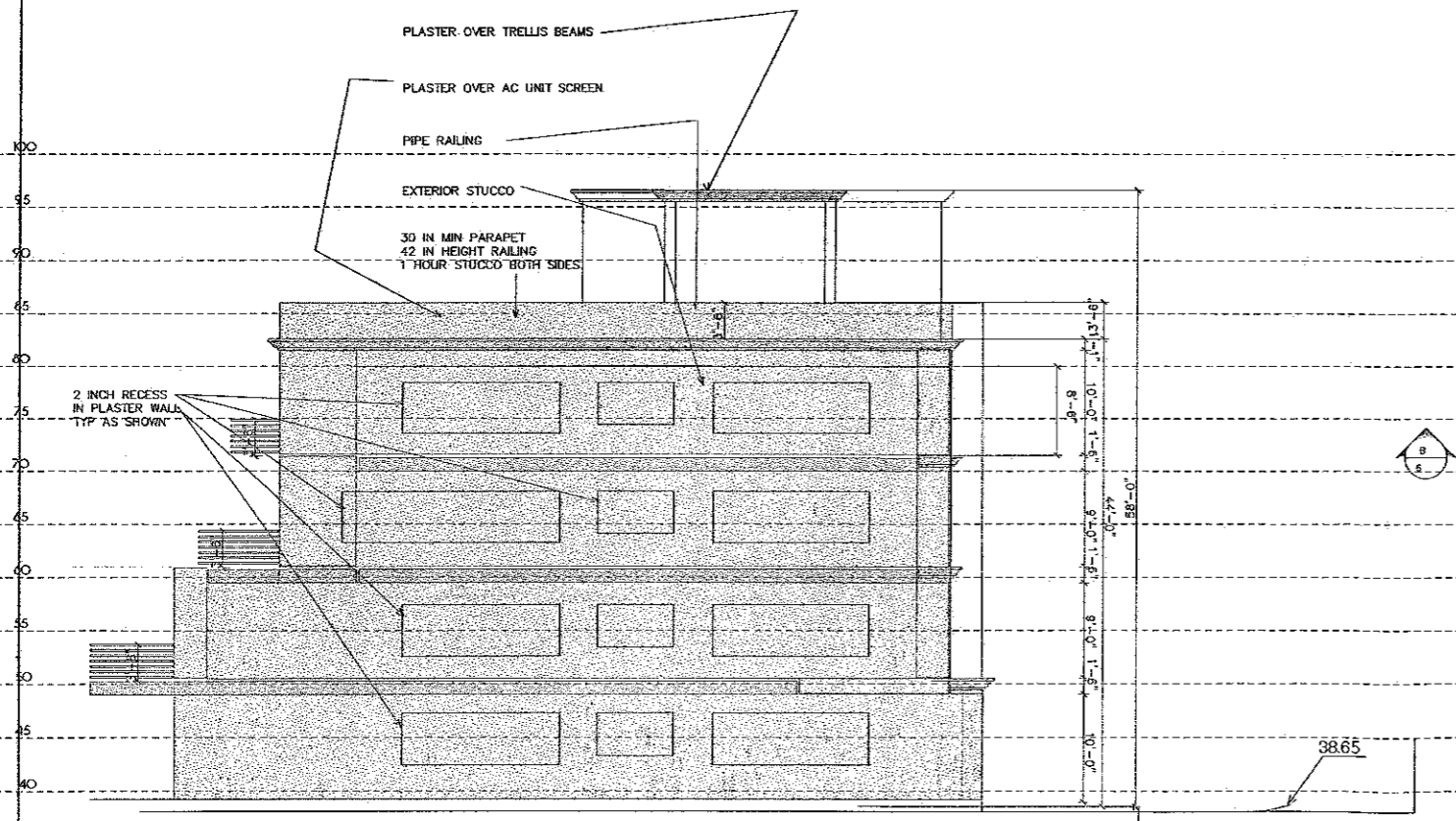
ROOF PLAN SCALE 1 INCH = 8 FT - 0 IN

SOUND WALL AND FIRE WALL DET 1

NOTES 2

EAST ELEVATION

SCALE 1 INCH = 8 FT - 0 IN



PETE VOLBEDA Architecture Planning
 180 N BENSON AVE. D. UPLAND, CA. 91786
 TEL 909 373 1150 FAX 909 373 1152

DATE	01-20-2012
DESIGN	PLAN CHECK
DRAWN BY	APPROVED
CHECKED	APPROVED
OWNER APPROVAL	REVISION
PATRIK NAME	C:\CADDRAWINGS\KATZ STEELE CHASE DRAWING BOARD

MIXED USE FOR FARROKH & ZOHREH KEYVAN LIVING TRUST
 12712-12718 WASHINGTON BLVD, CULVER CITY

PETE VOLBEDA
 LIC #00077
 EXPIRES 3-31

SHEET 7 OF 7