



# 5880 ADAMS

**redcar**

**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

**CORE & SHELL**

PROJECT # 23.022

**SPR SUBMITTAL**

PERMIT # \_\_\_\_\_

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

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REGISTRATION:

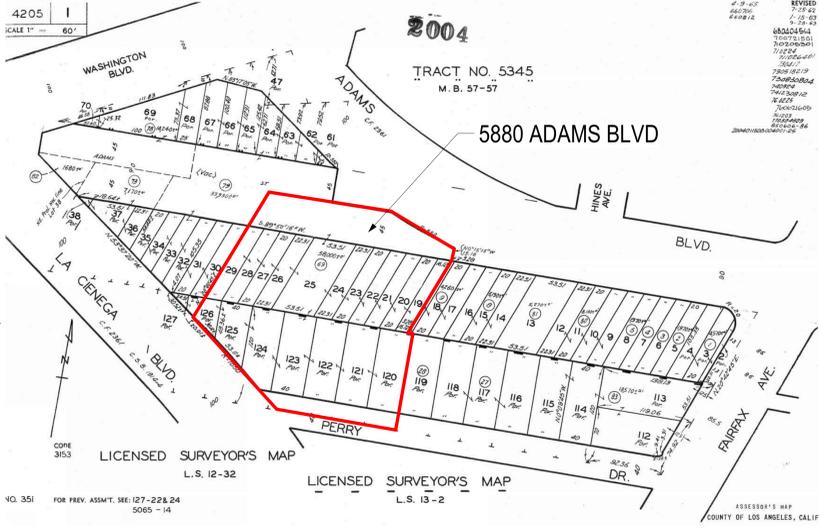
**ERAS**  
 evan raabe architecture studio

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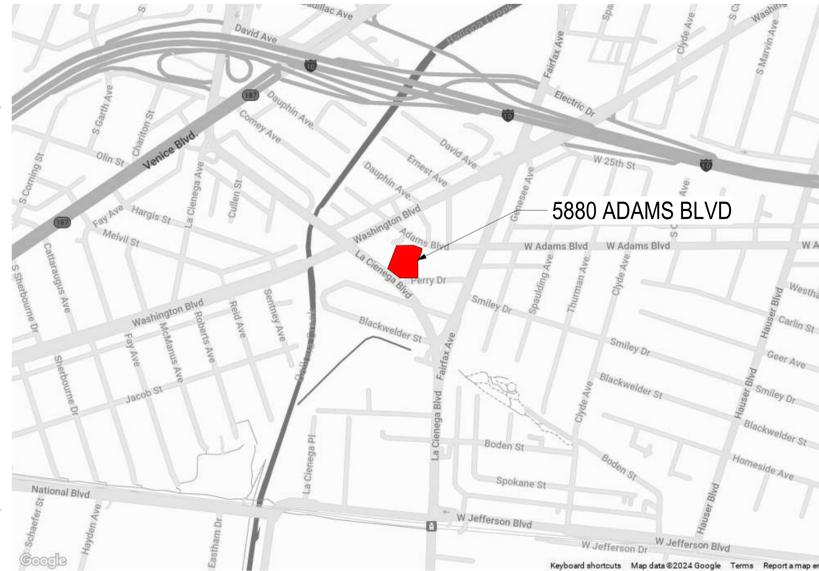
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COVER SHEET  
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ASSESSOR'S MAP



VICINITY MAP



APPLICATION SUBMITTAL CHECKLIST

- COMPLETED FORMS AND RELATED MATERIALS
1. COMPLETED PROJECT APPLICATION FORM SIGNED BY THE PROPERTY OWNER OR WITH A SIGNED NOTARIZED LETTER OF AUTHORIZATION FROM THE PROPERTY OWNER...
2. PROOF OF OWNERSHIP (E.G., GRANT DEED, PRELIMINARY TITLE REPORT WITHIN SIX MONTHS, ETC.)...
3. COMPLETED AUTHORIZATION FOR USE AND COPYING OF ARCHITECTURAL DRAWING FORM, STORM WATER PLANNING PROGRAM PRIORITY PROJECT CHECKLIST...
4. ART IN PUBLIC PLACES (APP) INTAKE FORM. IT IS REQUIRED FOR A NEW CONSTRUCTION OR REMODELING OF FIVE OR MORE RESIDENTIAL UNITS...
5. PUBLIC NOTIFICATION THREE (3) SETS OF MAILING LABELS, ONE (1) PHYSICAL COPY OF THE MAILING LABELS, AND ONE (1) DIGITAL COPY OF THE MAILING LABELS WHICH SHALL IDENTIFY THE CONSECUTIVELY NUMBERED PROPERTIES INCLUDING ASSESSOR'S PARCEL NUMBER (APN), OWNER NAMES AND MAILING ADDRESSES OF:
- ALL OCCUPANTS
- PROPERTIES WITHIN 500 FEET PLUS EXTENDED BOUNDARY AS NOTED BY STAFF.
RADIUS MAP AND CERTIFIED PROPERTY OWNER'S LIST AFFIDAVIT PER PUBLIC NOTIFICATIONS MATERIALS PACKAGE.
PLEASE INCLUDE WRITE-UP REGARDING THE DECISION THAT LEAD TO THE NUMBER OF PARKING SPACES PROVIDED.
6. PHOTOGRAPHS OF EXISTING BUILDING OR DEVELOPMENT FROM ALL VIEWPOINTS IF THE APPLICATION PROPOSES A PHYSICAL CHANGE TO THE EXISTING BUILDING OR DEVELOPMENT. PHOTO SIMULATIONS FROM FOUR DIFFERENT ANGLES INCORPORATED INTO DIGITAL AND PAPER PLANS.
7. TECHNICAL STUDIES: CEQA EXEMPTION STUDIES
8. ANNOTATED LIST RESPONDING TO STAFF'S PRELIMINARY PLAN REVIEW (PPR) COMMENTS/CORRECTIONS.
9. PRELIMINARY MOBILITY & TRANSPORTATION DEMAND MANAGEMENT (TDM) PLAN.
10. PRELIMINARY CONSTRUCTION MANAGEMENT PLAN (CMP).
11. PARKING OPERATIONS MANAGEMENT PLAN.
12. ANALYSIS OF REQUIRED FINDINGS FOR EACH REQUESTED ENTITLEMENT. (CMC SECTION(S) 17.530.020. PLEASE PROVIDE AS AN ATTACHMENT.
13. PUBLIC NOTIFICATION THREE (3) SETS OF MAILING LABELS, ONE (1) PHYSICAL COPY OF THE MAILING LABELS, AND ONE (1) DIGITAL COPY OF THE MAILING LABELS WHICH SHALL IDENTIFY THE CONSECUTIVELY NUMBERED PROPERTIES INCLUDING ASSESSOR'S PARCEL NUMBER (APN), OWNER NAMES AND MAILING ADDRESSES OF:
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RADIUS MAP AND CERTIFIED PROPERTY OWNER'S LIST AFFIDAVIT PER PUBLIC NOTIFICATIONS MATERIALS PACKAGE.
PLEASE INCLUDE WRITE-UP REGARDING THE DECISION THAT LEAD TO THE NUMBER OF PARKING SPACES PROVIDED.
14. REQUIRED PLANS & DRAWINGS
1. PLEASE STARTLE PLAN SETS ALONG THE LEFT MARGIN AND FOLD TO APPROXIMATELY 8 1/2" X 11" WITH THE LOWER RIGHT-HAND CORNER FACING UP. NO DIMENSION OF THE PLAN SHEETS SHOULD EXCEED 36 INCHES.
2. ONE (1) DIGITAL SET AND FOUR (4) SETS OF PAPER PLANS (TWO 24" X 36" AND TWO 11" X 17") PREPARED BY A QUALIFIED DESIGN PROFESSIONAL AND SPECIFICALLY INCLUDING THE PLANS CHECKED BELOW:
- SITE PLAN
- EXISTING
- PROPOSED
- ELEVATIONS
- EXISTING
- PROPOSED
- FLOOR PLAN
- EXISTING
- PROPOSED
- ROOF PLAN, INCLUDING ALL MECHANICAL EQUIPMENT PLACEMENT AND SCREENING, HEIGHT, ETC.
- EXISTING
- PROPOSED
3. COLORED SITE PLAN THAT DISTINGUISES BUILDING AREA, PARKING AREA, PEDESTRIAN AREA, LANDSCAPED AREA AND PUBLIC RIGHT-OF-WAY INCORPORATED INTO DIGITAL AND TWO (2) OF THE 11-INCH BY 17-INCH PAPER PLAN SETS.
4. SITE SURVEY PREPARED BY A LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA.
5. PRELIMINARY GRADING PLAN PREPARED BY A LICENSED CIVIL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.
6. PRELIMINARY LANDSCAPE PLAN SHOWING THE FOLLOWING (AND IN COMPLIANCE WITH ZONING CODE SECTION 17.530.030):
- PROPOSED AND EXISTING BUILDINGS AND STRUCTURES TO REMAIN.
- PROPOSED PARKING AREAS.
- PROPOSED LANDSCAPED AREAS, INCLUDING THE DIMENSIONS AND SIZE OF INDIVIDUAL PLANTERS.
- A CALCULATION OF THE TOTAL HARDSCAPE AND PLANTED AREAS.
- PRELIMINARY LIST OF PLANT MATERIALS, INCLUDING STREET TREES AND PARKWAYS (GROUND COVER, CLIMBING VINES, SHRUBS, AND TREES).
7. SITE PLAN REQUIREMENTS
1. PLANS MUST BE CLEAR, LEGIBLE, AND SCALED ACCURATELY.
2. PLANS SHALL BE DRAWN TO THE SCALE INDICATED ON THE PLANS AND INCLUDE A SCALE BAR.
3. PLANS SHALL INCLUDE AN ARROW SHOWING TRUE NORTH, AND 'PROJECT NORTH' IF DIFFERENT FROM TRUE NORTH. VERIFY 'PROJECT NORTH' WITH THE CURRENT PLANNING DIVISION.
4. PLANS MUST BE TO SCALE USING STANDARD ARCHITECT AND/OR ENGINEERING SCALE (1/8", 1/4", 1/2", 3/4", 1", 2", 3", 6", 12", 24", 30", ETC.).
5. ADDRESSES OF PROJECT SITE.
6. A VICINITY MAP SHOWING NEAREST MAJOR CROSS STREETS.
7. PROJECT SUMMARY TABLE INCLUDING THE FOLLOWING INFORMATION:
- DETAILED PROJECT DESCRIPTION/SCOPE OF WORK
- LEGAL DESCRIPTION OF PROPERTY (LOT, BLOCK, AND TRACT)
- ASSESSOR'S PARCEL NUMBER (APN), PAGE AND NUMBER
- TOTAL SITE AREA (EXISTING - DEDICATIONS - ACQUISITION + NET AREA)
- SITE COVERAGE BY STRUCTURES
- TOTAL GROSS FLOOR AREA OF THE EXISTING AND PROPOSED BUILDINGS (ALSO INCLUDE GROSS FLOOR AREA PER FLOOR)
- SPECIFY THE USE OF ALL EXISTING AND PROPOSED BUILDINGS ON THE SITE.
- PROVIDE A PARKING MATRIX WITH PROPOSED AMOUNT OF STANDARD, COMPACT, TANDEM, LOADING, GUEST, AND ACCESSIBLE VEHICLE PARKING SPACES INCLUDING VAN-ACCESSIBLE AND STANDARD ACCESSIBLE. ALSO SHOW HOW MANY OF THOSE SPACES WILL INCLUDE EV CHARGERS OR BE EV CAPABLE OR EV READY.
- BICYCLE PARKING PROVIDED, SHORT TERM AND LONG TERM.
- LOADING SPACES PROVIDED, MEDIUM, LARGE, OR EXTRA-LARGE.
- LANDSCAPE AREA REQUIRED AND PROVIDED.
- OPEN SPACE REQUIRED AND PROVIDED (COMMON AND PRIVATE).
SHOW THE FOLLOWING EXISTING AND PROPOSED ABOVE-GRADE FEATURES AND IMPROVEMENTS FOR THE PROJECT SITE AND ALL PROPERTY WITHIN 50 FEET OF THE PROJECT SITE BOUNDARIES (INCLUDING PUBLIC RIGHT OF WAY).
- OTHER
- OUTLINE THE LOCATION AND HEIGHT OF ALL BUILDINGS AND STRUCTURES.
- LABEL THE USE OF ALL BUILDINGS.
- ALL DRIVEWAYS AND APRONS.
- BACKFLOW DEVICES AND FIRE DEPARTMENT CONNECTIONS.
- ELECTRICAL TRANSFORMERS.
- CURBS, GUTTERS AND CATCH BASINS.
- FIRE HYDRANTS, STREET LIGHTS, UTILITY LINES AND POLES.
- TRAFFIC SIGNAL POLES AND PUBLIC BUS STOPS.
- OTHER.
8. FOR THE PROJECT SITE (INCLUDING THE PUBLIC RIGHT OF WAY), SHOW THE LOCATION OF THE FOLLOWING EXISTING AND PROPOSED BELOW-GRADE FEATURES AND IMPROVEMENTS:
- SEWERS AND STORM DRAINING.
- EASEMENTS.
- OTHER UTILITIES AND RELATED IMPROVEMENTS.
- OTHER.
9. FOR THE PROJECT SITE INDICATE THE FOLLOWING:
- DIMENSIONED PROPERTY LINES AND LOT DIMENSIONS. (INCLUDE AND LABEL CITY LIMIT LINES, IF APPLICABLE).
- BUILDING SETBACKS FROM ALL PROPERTY LINES AND BUILDING SEPARATIONS.
- EXISTING BUILDINGS AND STRUCTURES THAT WILL REMAIN OR WILL BE DEMOLISHED.
- GENERAL LOCATION OF EXISTING AND/OR PROPOSED ART IN PUBLIC SPACES ARTWORK (IF APPLICABLE).
10. DIMENSIONED LOCATION AND WIDTH OF ACCESS, BOTH PEDESTRIAN AND VEHICULAR, SHOWING POINTS OF INGRESS, EGRESS, AND INTERNAL CIRCULATION PATTERN.
11. OFF-STREET PARKING AND LOADING FACILITIES, INCLUDING BUT NOT LIMITED TO, RAMP GRADES & SECTIONS DENOTING OVERHEAD CLEARANCES FOR ALL SUBTERRANEAN, ROOFTOP AND STRUCTURED PARKING FACILITIES, CONSECUTIVE NUMBERING OF PARKING SPACES, WIDTH, LENGTH, BACKUP SPACE & ANGLE OF PARKING AND LOADING SPACES, DESIGNATION OF STANDARD, COMPACT, LOADING, VISITOR, ACCESSIBLE (STANDARD/VAN) & TANDEM PARKING SPACES.
12. OFF-STREET BICYCLE PARKING AND END-OF-TRIP FACILITIES (E.G. SHOWERS AND PERSONAL LOCKERS).
13. LIGHTING FIXTURES FOR ALL EXTERIOR BUILDING LOCATIONS AND PARKING LOTS. INCLUDE HEIGHT OF EXTERIOR FIXTURES ON BUILDINGS, INCLUDE LOCATION AND HEIGHT OF LIGHT FIXTURES FROM GRADE FOR ALL LIGHT STANDARDS. (SHOW HEIGHT OF THE BASE IN THESE DIMENSIONS).
14. LOCATION, TYPE (MATERIALS, TEXTURES AND COLORS), AND HEIGHT OF ALL WALLS/FENCES.
15. LOCATION, DIMENSIONS, AND CONSTRUCTION DESIGN OF TRASH ENCLOSURES.
16. DRAINAGE OF THE SITE INDICATED BY FLOW LINES.
17. LOCATION & DIMENSIONS OF ALL PROPERTIES TO BE DEDICATED FOR GENERAL PUBLIC PURPOSES OR PUBLIC UTILITIES.
18. LOCATION OF ALL EXISTING AND PROPOSED SIGNS INCLUDING FREESTANDING SIGNS.
ELEVATION REQUIREMENTS
1. INCLUDE ELEVATIONS OF ALL BUILDING(S) SIDES SHOWING THE FOLLOWING:
- BUILDING AND STRUCTURE HEIGHT IN FEET, INCLUDING FINISHED ROOF AND TOP OF PARAPET ELEVATIONS.
- ELEVATIONS OF ALL EQUIPMENT ON THE ROOF OR ON THE GROUND.
- BUILDING WIDTH AND DIMENSIONS OF MAJOR ELEVATION FEATURES (WINDOWS, POP-OUTS ETC.).
- INDICATE THE MATERIALS OF ALL MAJOR FEATURES (SIDING, ROOF, WINDOWS, DOORS, VENEERS ETC.).
- BUILDINGS ON ADJACENT PROPERTIES THAT ABUT & CONCEAL ALL OR PART OF A PROJECT (BUILDINGS) ELEVATION MUST BE OUTLINED TO ILLUSTRATE WHAT PORTIONS OF THE ELEVATION WILL BE CONCEALED AND EXPOSED.
2. COLORED ELEVATIONS INCORPORATED INTO DIGITAL AND TWO (2) OF THE 11-INCH BY 17-INCH PAPER PLAN SETS.
3. BUILDING COLOR AND MATERIALS SHEET INCORPORATED INTO DIGITAL AND PAPER TWO (2) OF THE 11-INCH BY 17-INCH PLAN SETS.
4. THREE-DIMENSIONAL RENDERING OF PROJECT INCORPORATED INTO DIGITAL AND PAPER PLANS.

DESCRIPTION OF WORK

CORE AND SHELL CONVERSION AND CHANGE OF USE FOR AN EXISTING 1-STORY INDUSTRIAL WAREHOUSE INTO A 3-STORY COMMERCIAL OFFICE WITH SURFACE PARKING

- SCOPE OF WORK:
- ADDITION OF 2 STORIES ABOVE EXISTING 1 STORY BUILDING
- NEW PARKING LOT
- NEW LANDSCAPING
- NEW MECHANICAL, ELECTRICAL AND PLUMBING SCOPE ON INTERIOR AND ON SITE

ZONING REQUIREMENTS

CULVER CITY MUNICIPAL CODE 17.230.020
ZONE: IG (INDUSTRIAL GENERAL)
SURROUNDING ZONES:
NORTH: IG (INDUSTRIAL GENERAL)
EAST: IG (INDUSTRIAL GENERAL)
SOUTH: IG (INDUSTRIAL GENERAL)
WEST: IG (INDUSTRIAL GENERAL)
SETBACKS:
STREET FACING: 5 FEET REQUIRED & PROVIDED
SIDE SETBACK: NONE REQUIRED
REAR SETBACK: NONE REQUIRED
ALLEY/NA
HEIGHT LIMIT: 43 FEET

CULVER CITY MUNICIPAL CODE 17.310.020
LANDSCAPING:
ALL SETBACK AND OPEN SPACE AREAS NOT OCCUPIED BY DRIVEWAYS, PARKING AREAS, WALKWAYS, BUILDING PROJECTIONS AND APPROVED HARDSCAPE AREAS, SHALL BE PLANTED, EXCEPT WHERE A REQUIRED SETBACK IS SCREENED FROM PUBLIC VIEW, OR IT IS DETERMINED BY THE DIRECTOR THAT PLANTING IS NOT NECESSARY TO FULFILL THE PURPOSES OF THIS CHAPTER.
PARKING AREAS FOR NON-RESIDENTIAL USES ADJOINING A PUBLIC STREET SHALL BE DESIGNED TO PROVIDE A LANDSCAPED PLANTING STRIP BETWEEN THE STREET RIGHT-OF-WAY AND PARKING AREA WITH A MINIMUM WIDTH OF 5 FEET (INSIDE DIMENSION).
PLANTED AREAS ARE REQUIRED WITHIN PARKING LOTS TO PROVIDE SHADE, REDUCE PAVEMENT HEAT GAIN, AND SOFTEN THE APPEARANCE OF LARGE PAVED AREAS. SEE FIGURE 3-7 (EXAMPLES OF INTERIOR PARKING LOT LANDSCAPING) BELOW.

DEFINITIONS:
CMC 17.070.010 - STRUCTURE/BUILDING COVERAGE INCLUDES PRIMARY STRUCTURE, ALL ACCESSORY STRUCTURES MEASURED FROM EXTERIOR WALL TO EXTERIOR WALL.
FLOOR AREA: FLOOR AREA IS CONSIDERED THE SAME AS GROSS FLOOR AREA OR GROSS SQUARE FOOTAGE. FLOOR AREA SHALL INCLUDE ALL AREA WITHIN EACH LEVEL OR FLOOR OF A STRUCTURE, MEASURED FROM EXTERIOR WALL FINISH, EXCEPT AS OTHERWISE DEFINED IN THIS TITLE. ALL SPACE WITHIN EACH FLOOR SHALL BE COUNTED TOWARDS THE AREA FOR THAT FLOOR AND SHALL INCLUDE, BUT NOT BE LIMITED TO HALLWAYS, LOBBIES, STAIRWAYS AND ELEVATORS, MECHANICAL OR UTILITY ROOMS, STORAGE ROOMS, AND RESTROOMS, BUT SHALL NOT INCLUDE BASEMENTS AS DEFINED HEREIN. THE FOLLOWING SPECIFIC FEATURES AND STRUCTURES SHALL ALSO BE COUNTED TOWARDS FLOOR AREA:
1. BAY WINDOWS, BAY WINDOW PROTRUSIONS WITH FLOORING THAT IS LESS THAN 12 INCHES ABOVE THE TOP SURFACE OF THE INTERIOR FINISHED FLOOR, AND WHICH ARE UNSTRUCTURED WITH PERMANENT STRUCTURES, SHALL BE COUNTED AS FLOOR AREA.
2. RESIDENTIAL STAIRCASES FOR RESIDENTIAL STRUCTURES, A STAIRCASE SHALL BE COUNTED ONLY ONCE IF THE AREA UNDERNEATH THE STAIRS IS NOT ACCESSIBLE AND NOT VISIBLE BY WAY OF SOLID WALLS ENCASES THE AREA UNDER THE STAIRS.
3. SUBTERRANEAN PARKING LEVELS, IN SUBTERRANEAN PARKING LEVELS, AREAS SUCH AS, BUT NOT LIMITED TO, STORAGE AND UTILITY ROOMS, MECHANICAL ROOMS, CORRIDORS, RESTROOMS, AND COMMERCIAL TENANT AREA SHALL BE COUNTED AS FLOOR AREA. AREA DEDICATED TO VEHICULAR AND PEDESTRIAN CIRCULATION, PARKING SPACES, DRIVE AISLES, AND RAMPS ARE NOT SUBJECT TO FLOOR AREA CALCULATION.

FLOOR AREA RATIO (FAR)
THE FLOOR AREA RATIO (FAR) IS THE RATIO OF FLOOR AREA TO TOTAL LOT AREA. THE MAXIMUM FLOOR AREA PERMITTED ON A SITE SHALL BE DETERMINED BY MULTIPLYING THE FLOOR AREA RATIO (FAR) BY THE TOTAL AREA OF THE SITE (FAR X SITE AREA = MAXIMUM ALLOWABLE FLOOR AREA). BASEMENT AREA SHALL NOT BE INCLUDED IN CALCULATION OF FAR.

PARKING BREAKDOWN

Table with columns: VEHICLE, STALL TYPE, QUANTITY. Includes rows for STANDARD, COMPACT, ACCESSIBLE, TOTAL ON SITE, EV BREAKDOWN, BICYCLE, and VAN ACCESSIBLE EV.

Table with columns: BICYCLE, STALL TYPE, QUANTITY. Includes rows for SHORT TERM, LONG TERM, TOTAL BICYCLE, and EV CAPABLE EV.

PLUMBING SUMMARY

NEW
B OCCUPANCY - COMMERCIAL OFFICES OFFICES
(PER TABLE, CPC CH 4 TABLE 422.1, GROUP B OCCUPANCY)
SERVED AREA = 48,906 SF 150 = 326 OCCUPANTS (163 MALE, 163 FEMALE)
URINAL: 101-200 M = 2 REQD, 2 PROV.
WC: 101-200 MALE = 3 REQD, 18 PROV.
101-200 FEMALE = 8 REQD, 18 PROV.
LAV: 151-200 MALE = 3 REQD, 18 PROV.
151-200 FEMALE = 4 REQD, 18 PROV.

PROJECT DIRECTORY

OWNER: REDCAR PROPERTIES LTD.
2341 MICHIGAN AVE.
SANTA MONICA, CA 90404
DESIGN ARCHITECT: EVAN RAABE ARCHITECTURE STUDIO (ERAS)
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SHEET INDEX

Table with columns: #, TITLE. Lists sheets for GENERAL, GENERAL CODE ANALYSIS, GENERAL PROJECT SPECIFICATIONS, REFERENCE, CIVIL ON-SITE WORK, CIVIL OFFSITE WORK, LANDSCAPE, DEMO, ARCHITECTURAL, and APPLICABLE CODES.



5880 ADAMS

CORE & SHELL

PROJECT # 23.022

PERMIT #

Table with columns: REV, DATE, REMARK. Shows revision history.

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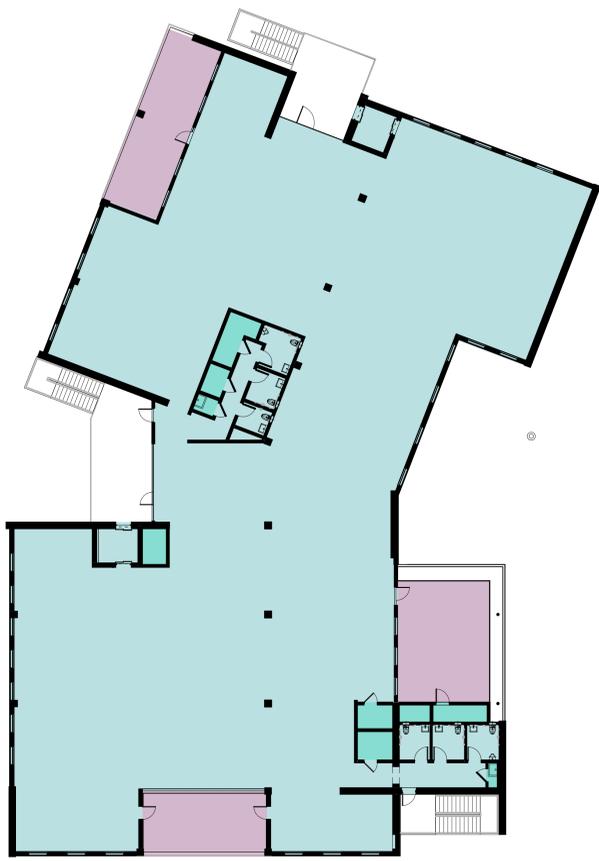
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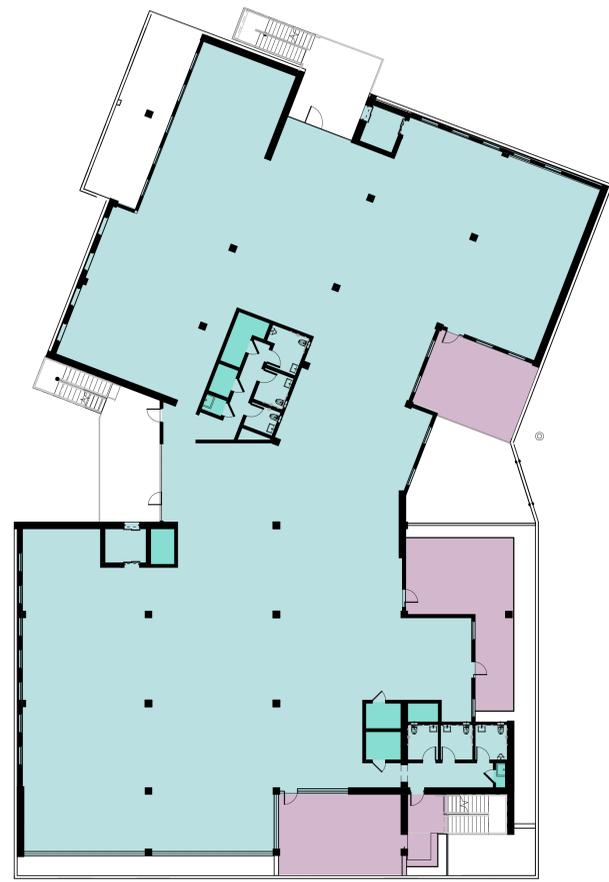
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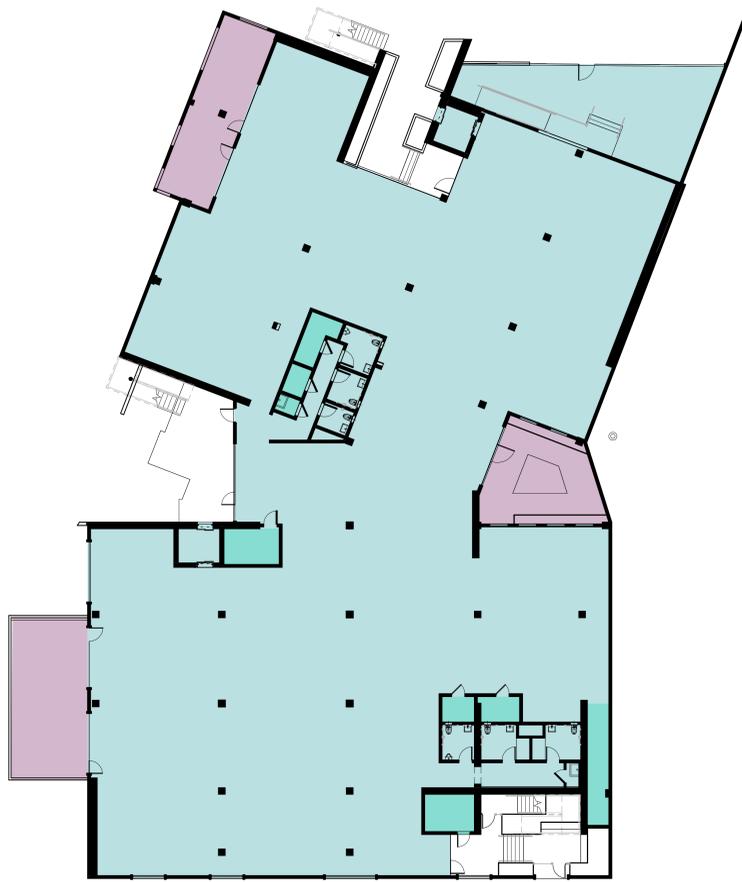
PROJECT INFORMATION
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PROPOSED - THIRD FLOOR AREA PLAN  
1/16" = 1'-0" 3



PROPOSED - SECOND FLOOR AREA PLAN  
1/16" = 1'-0" 2



PROPOSED - FIRST FLOOR AREA PLAN  
1/16" = 1'-0" 1

**FLOOR AREA NOTES**

**CCMC 17.700.010 DEFINITIONS**

**FLOOR AREA:** FLOOR AREA IS CONSIDERED THE SAME AS GROSS FLOOR AREA OR GROSS SQUARE FOOTAGE. FLOOR AREA SHALL INCLUDE ALL AREA WITHIN EACH LEVEL OR FLOOR OF A STRUCTURE, MEASURED FROM EXTERIOR WALL FINISH, EXCEPT AS OTHERWISE DEFINED IN THIS TITLE. ALL SPACE WITHIN EACH FLOOR SHALL BE COUNTED TOWARDS THE AREA FOR THAT FLOOR AND SHALL INCLUDE, BUT NOT BE LIMITED TO, HALLWAYS, LOBBIES, STAIRWAYS AND ELEVATORS, MECHANICAL OR UTILITY ROOMS, STORAGE ROOMS, AND RESTROOMS, BUT SHALL NOT INCLUDE BASEMENTS AS DEFINED HEREIN. THE FOLLOWING SPECIFIC FEATURES AND STRUCTURES SHALL ALSO BE COUNTED TOWARDS FLOOR AREA:

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**FIRST FLOOR - AREA SCHEDULE**

AREA TYPE	FIRST FLOOR TOTAL AREA
BUILDING AREA	18684 SF
OUTDOOR	1758 SF

**SECOND FLOOR - AREA SCHEDULE**

AREA TYPE	SECOND FLOOR TOTAL AREA
BUILDING AREA	15340 SF
OUTDOOR	1741 SF

**THIRD FLOOR - AREA SCHEDULE**

AREA TYPE	THIRD FLOOR TOTAL AREA
BUILDING AREA	14882 SF
OUTDOOR	1549 SF

**TOTAL FLOOR AREA**

LEVEL	TOTAL BUILDING AREA
(N) FINISH FLOOR	18684 SF
SECOND FLOOR	15340 SF
THIRD FLOOR	14882 SF
	48906 SF

**COLOR LEGEND**

- BUILDING
- BUILDING SERVICES
- RESTROOM
- EXTERIOR AREA OR PATIOS. (EXCLUDED FROM GROSS BUILDING AREA)
- STORAGE

REGISTRATION:



2121 EAST 7TH PLACE, SUITE 201  
LOS ANGELES, CA 90021  
HI@ERA.STUDIO

**G0.15**

**BUILDING AREA AND OCCUPANCY ANALYSIS**

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5880 ADAMS

5880 ADAMS BLVD CULVER CITY CA, 90232

CORE & SHELL

PROJECT # 23.022

SPR SUBMITTAL

PERMIT #

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**ARCHITECT:**  
 EVAN RAABE ARCHITECTURE STUDIO  
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 EVAN@ERA.STUDIO

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 PASADENA, CA 91103  
 (626) 407-2224

**MEP:**  
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 CHATTANOOGA, TN 37405  
 615.208.2833 x338

**CIVIL:**  
 SHERWOOD DESIGN ENGINEERS  
 2548 MISSION ST.  
 SAN FRANCISCO, CA 94110  
 415.677.7300 x343

**LIGHTING:**  
 ALAN NOELLE ENGINEERING  
 3636 E HARBOR BLVD # 204,  
 VENTURA, CA 93001  
 805.563.5444

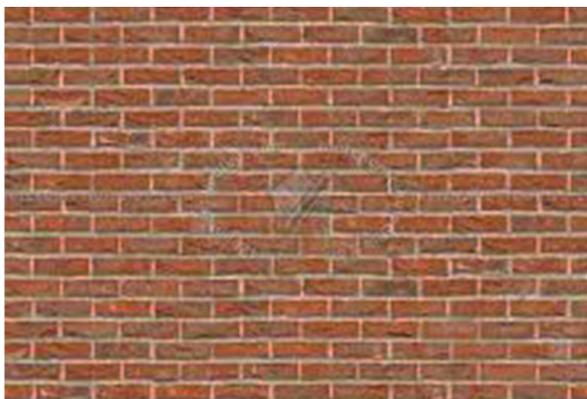
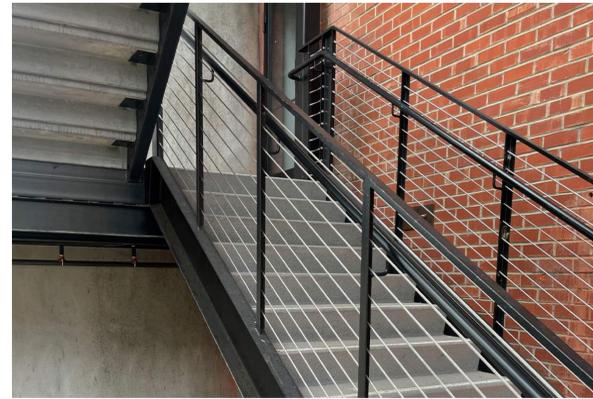
REGISTRATION:

ERAS  
evan raabe architecture studio

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LOS ANGELES, CA 90021  
HI@ERA.STUDIO

G5.00

MATERIALS PALETTE  
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REV	DATE	REMARK
1	2024.01.24	SITE PLAN REVIEW SUBMITTAL

**ARCHITECT:**  
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REGISTRATION:

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R1.01

ALTA SURVEY (FOR REFERENCE ONLY)

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# ALTA/NSPS LAND TITLE SURVEY

5880 ADAMS BOULEVARD  
CULVER CITY, CALIFORNIA

### BASIS OF BEARINGS:

THE BEARING OF N 89°50'15" E ALONG THE CENTERLINE OF ADAMS BOULEVARD PER RSB 12/32 IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

### GROSS LAND AREA:

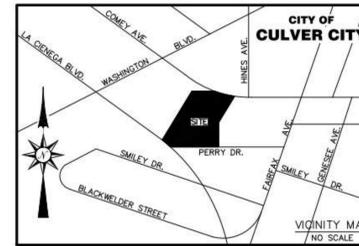
62,020 SQUARE FEET  
1.42 ACRES

### NET LAND AREA:

58,654 SQUARE FEET  
1.35 ACRES

### SURVEYOR'S NOTES:

-THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.  
-THE INFORMATION, COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT. THIS SURVEY ACCURATELY REPRESENTS THE BOUNDARIES AND AREA OF THE PREMISES DENOTED ON THE TITLE ORDER REFERENCED HEREON AND IS THE SAME PROPERTY AS DESCRIBED THEREON.  
-AT THE TIME OF SURVEY, NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED UNLESS OTHERWISE NOTED HEREON.  
-NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF THE SURVEY UNLESS OTHERWISE NOTED HEREON.  
-THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY DOES NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT ONLY.  
-UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.  
-JRN CIVIL ENGINEERS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF ANY THIRD PARTY INFORMATION REFERENCED OR REPRESENTED HEREON. ANY OF SAID INFORMATION SHOWN HEREON HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.  
-AS OUTLINED IN SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA, THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.



### LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CULVER CITY, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:  
PARCELS 120, 121, 122, 123, 124 AND 125, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON THE RECORDED SURVEY FILED IN BOOK 13 PAGE 2 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THOSE PORTION OF SAID PARCELS 123, 124 AND 125 DESCRIBED IN THE ACTION TO CONDEMNATE ENTERED AS CASE NO. 593838 SUPERIOR COURT OF SAID COUNTY, LYING WITHIN A STRIP OF LAND 100 FEET WIDE, LYING 90 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE:

BEGINNING AT THE INTERSECTION OF THE SOUTHEASTERLY PROLONGATION OF THE CENTER LINE OF ADAMS STREET AS DEDICATED ON MAP OF TRACT NO. 6447, RECORDED IN BOOK 75 PAGES 80, ET SEQ., OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, WITH A LINE PARALLEL, WITH AND 50 FEET SOUTHEASTERLY, MEASURED AT RIGHT ANGLES, FROM THE SOUTHEASTERLY LINES OF LOTS 1 TO 12, BLOCK "A" OF SAID TRACT; THENCE SOUTHEASTERLY ALONG SAID SOUTHEASTERLY PROLONGATION 397.29 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTHWEST, TANGENT TO SAID SOUTHEASTERLY PROLONGATION AND TANGENT TO THE WESTERLY LINE OF TRACT NO. 12183, AS SHOWN ON MAP RECORDED IN BOOK 233 PAGES 8 AND 9 OF ABOVE MENTIONED MAPS; AND HAVING A RADIUS OF 1000 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE, 900 FEET.

PARCEL B:  
THAT PORTION OF PARCEL 126, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 13 PAGE 2 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; LYING NORTHEASTERLY OF THE NORTHEASTERLY LINE OF THAT CERTAIN 100 FOOT STRIP OF LAND DESCRIBED IN PARCELS 12 TO 36, IN CASE NO. 593838, SUPERIOR COURT, COUNTY OF SAID COUNTY, LYING WITHIN A STRIP OF LAND 100 FEET WIDE, LYING 90 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE:

EXCEPT THEREFROM THAT PORTION OF SAID LAND LYING WESTERLY OF THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF THAT CERTAIN PARCEL OF LAND SHOWN AS PARCEL 30 ON MAP FILED IN BOOK 12 PAGE 32 OF SAID RECORD OF SURVEYS.

PARCEL C:  
PARCELS 20 TO 29 INCLUSIVE, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON LICENSED SURVEYOR'S MAP FILED IN BOOK 12 PAGE 32 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; ALSO THAT PORTION OF PARCEL 19, AS SHOWN ON SAID MAP, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF SAID PARCEL, DISTANT THEREON SOUTH 89 DEGREES 50 MINUTES 15 SECONDS WEST 3.28 FEET FROM THE MOST EASTERLY CORNER OF SAID PARCEL 19; THENCE ALONG SAID NORTHERLY LINE SOUTH 89 DEGREES 50 MINUTES 15 SECONDS WEST 16.70 FEET TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE ALONG THE WESTERLY LINE OF SAID PARCEL, SOUTH 20 DEGREES 42 MINUTES 45 SECONDS WEST 105.35 FEET TO THE MOST WESTERLY CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, NORTH 89 DEGREES 50 MINUTES 15 SECONDS EAST 16.70 FEET; THENCE NORTHEASTERLY ALONG A DIRECT LINE TO THE POINT OF BEGINNING.

PARCEL D:  
THAT PORTION OF THE SOUTH HALF OF ADAMS STREET, 90 FEET WIDE, VACATED BY ORDINANCE NO. C.S. 443 OF THE CITY OF CULVER CITY, LYING EASTERLY OF THE NORTHEASTERLY PROLONGATION OF THE NORTHERLY LINE OF PARCEL 29, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON LICENSED SURVEYOR'S MAP FILED IN BOOK 12 PAGE 32 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION LYING EASTERLY OF A LINE MEASURED AT RIGHT ANGLES TO THE SOUTHERLY LINE OF ADAMS BOULEVARD AND WHICH EXTENDS NORTHERLY FROM A POINT, DISTANT WESTERLY ALONG SAID SOUTHERLY LINE, 3.28 FEET FROM THE MOST EASTERLY CORNER OF PARCEL 19 OF SAID RECORD OF SURVEY.

APN: 4205-001-069

### ITEMS CORRESPONDING TO SCHEDULE "B":

BY: CHICAGO TITLE COMPANY  
725 SOUTH FISHERIA STREET, SUITE 200  
LOS ANGELES, CA 90017  
(213) 488-4371

COMMITMENT NO.:  
00148400-021-P54-JC  
TITLE OFFICER: JORDAN CURIEL  
DATE: AUGUST 11, 2021

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP, COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY; CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS, THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
- 2 AN EASEMENT FOR DRAINAGE RECORDED IN BOOK 6659, PAGE 240 OF DEEDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 3 AN EASEMENT FOR ROAD RECORDED IN BOOK 1740, PAGE 263 AND IN BOOK 3006, PAGE 127 BOTH OF OFFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 4 AN EASEMENT FOR PUBLIC STREET RECORDED JULY 3, 1950 IN BOOK 33574, PAGE 391 AS INSTRUMENT NO. 3042 OF OFFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 5 AN EASEMENT FOR SANITARY SEWERS, STORM DRAINS AND APPURTENANT STRUCTURES, LINES OF PIPE, CONDUITS, CABLES, POLE LINES, CONDUITS, PETROLEUM AND GAS LINE AND INCIDENTAL PURPOSES INCLUDING THE RIGHT TO KEEP THE PROPERTY FREE FROM INFLAMMABLE MATERIALS AND WOOD GROWTH RECORDED DECEMBER 24, 1962 AS INSTRUMENT NO. 3042 OF OFFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 6 ANY EASEMENTS AFFECTING THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF PERRY DRIVE NOT DISCLOSED BY THESE PUBLIC RECORDS WHICH IMPART CONSTRUCTIVE NOTICE AND ARE NOT VISIBLE AND APPARENT FROM AN INSPECTION OF THAT PORTION OF THE SURFACE OF SAID LAND WITHIN THE LINES OF THE ABOVE MENTIONED STREET (PERRY DRIVE). THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.

ITEMS #5 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT, NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

### SURVEYOR'S CERTIFICATE:

TO REDCAR PROPERTIES LTD, DEUTSCHE BANK AG, NEW YORK BRANCH, AND ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR, 5880 ADAMS BLVD, CULVER CITY, CALIFORNIA, RESOURCE CORPORATION, AND CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2025 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B), 7(C), 8, 9, 13, 14, 16 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 12, 2021.

DATE OF PLAT OR MAP: APRIL 21, 2021

JEFFERY L. MATS  
EXP: 12/31/22

LS. NO. 6379  
No. 6379  
PROF. OFFICER

### SITE RESTRICTIONS:

SETBACKS:

STREET SIDE	= 5 FEET
SIDE	= N/A
REAR	= 5 FEET
LANDSCAPE BUFFER	= 5 FEET
HEIGHT	= 43 FEET

ZONE = IC (GENERAL INDUSTRIAL DISTRICT)

PARKING REQUIREMENT - THE BUILDING IS VACANT.

ALL SITE RESTRICTIONS WERE OBTAINED PER THE ZONING REPORT PREPARED BY ZONING-INFO, INC. SITE NO. #72628 DATED SEPTEMBER 17, 2021. ANY QUESTIONS REGARDING ZONE DEFINITIONS OR INTERPRETATIONS SHOULD BE DIRECTED TO:

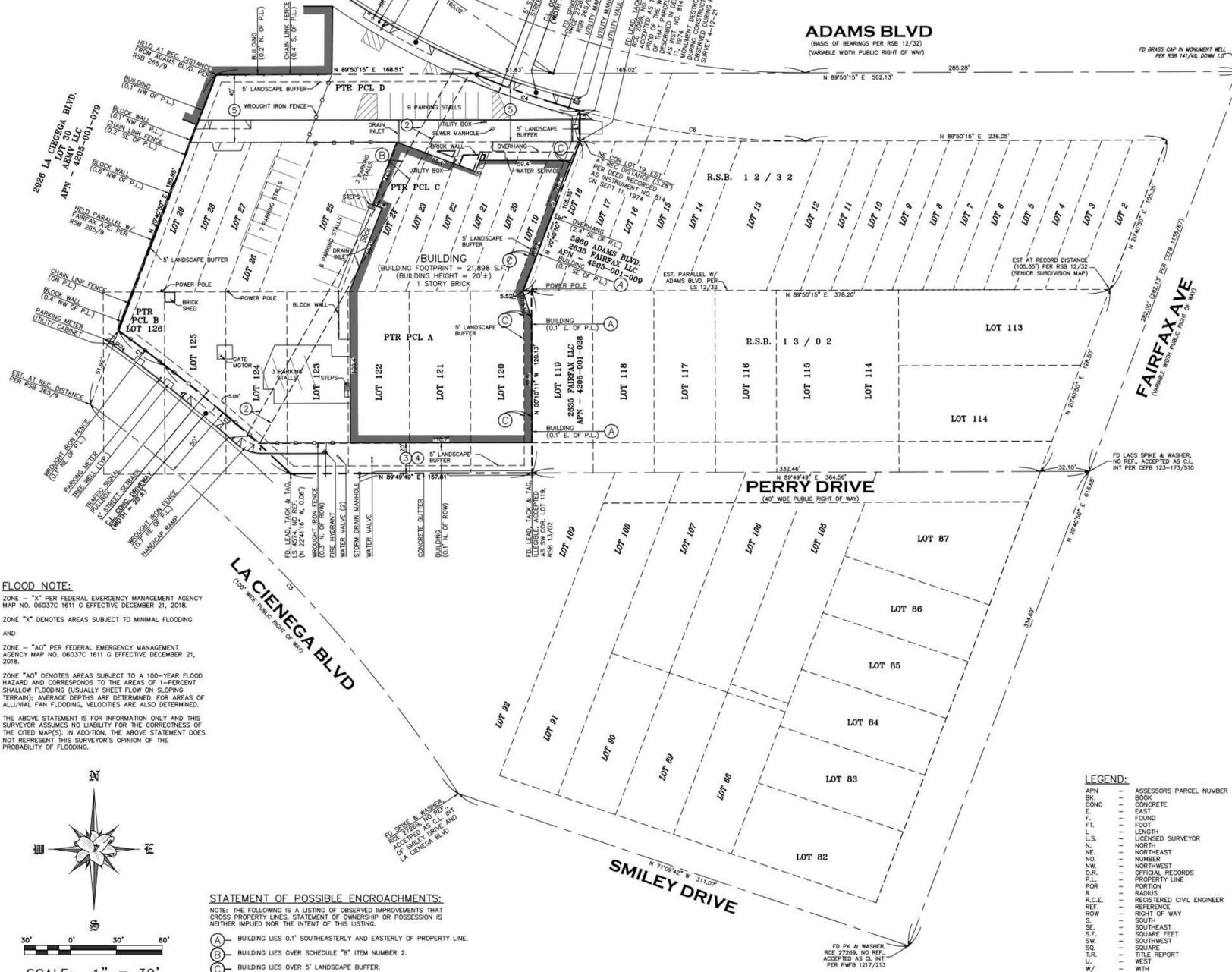
PHONE NUMBER - (405)525-2998

ZONING AND RESTRICTIONS SHOWN HEREON WERE OBTAINED BY A ZONING REPORT PROVIDED BY THE CLIENT. NO REPRESENTATION IS MADE FOR THE ACCURACY OR COMPLETENESS OF SAID THIRD PARTY INFORMATION. THIS FIRM IS NOT AN EXPERT IN THE INTERPRETATION OF COMPLEX ZONING ORDINANCES. COMPLIANCE IS BEYOND THE SCOPE OF THIS SURVEY. ANY USER OF SAID INFORMATION IS URGED TO CONTACT THE LOCAL AGENCY DIRECTLY.

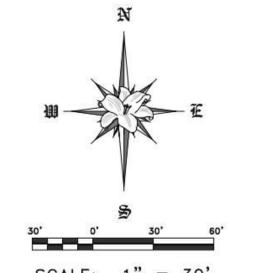
TYPE OF SPACE	TOTAL EXISTING
STANDARD	28
HANDICAP	0
TOTAL	28

CURVATURE	LENGTH	CHORD	DELTA ANGLE
C1	37.65	1090.00	220.16
C2	109.29	1090.00	220.16
C3	363.29	1090.00	220.16
C4	73.48	145.00	72.431
C5	138.38	259.00	131.46
C6	149.54	345.00	132.431

LINE BEARING	DISTANCE
LT IN 02°09'45" W 210.39'	



**FLOOD NOTE:**  
ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06037C 1611 G EFFECTIVE DECEMBER 21, 2018.  
ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING AND  
ZONE - "AO" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06037C 1611 G EFFECTIVE DECEMBER 21, 2018.  
ZONE "AO" DENOTES AREAS SUBJECT TO A 100-YEAR FLOOD HAZARD AND CORRESPONDS TO THE AREAS OF 1-PERCENT SHALLOW FLOODING (USUALLY SHEET FLOW ON SLOPING TERRAIN). AVERAGE DEPTHS ARE DETERMINED FOR AREAS OF ALLUVIAL FAN FLOODING. VELOCITIES ARE ALSO DETERMINED.  
THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAPS). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.



**STATEMENT OF POSSIBLE ENCROACHMENTS:**  
NOTE: THE FOLLOWING IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES, STATEMENT OF OWNERSHIP OR POSSESSION IS NEITHER IMPLIED NOR THE INTENT OF THIS LISTING.  
A BUILDING LIES 0.1' SOUTHEASTERLY AND EASTERLY OF PROPERTY LINE.  
B BUILDING LIES OVER SCHEDULE "B" ITEM NUMBER 2.  
C BUILDING LIES OVER 5' LANDSCAPE BUFFER.

**LEGEND:**

APN	ASSESSORS PARCEL NUMBER
BK	BOOK
CONC	CONCRETE
E	EAST
F	FOOT
FT	FOOT
L.S.	LICENSED SURVEYOR
N	NORTH
NO.	NUMBER
NW	NORTHWEST
O.P.	OFFICIAL RECORDS
P	PORTION
P.L.	PROPERTY LINE
R	RADIUS
R.C.E.	REGISTERED CIVIL ENGINEER
REF.	REFERENCE
ROW	RIGHT OF WAY
S	SOUTH
S.E.	SOUTHEAST
S.F.	SQUARE FEET
SW	SOUTHWEST
SQ.	SQUARE
T.R.	TITLE REPORT
U.	WEST
W/	WITH

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL

**ARCHITECT:**  
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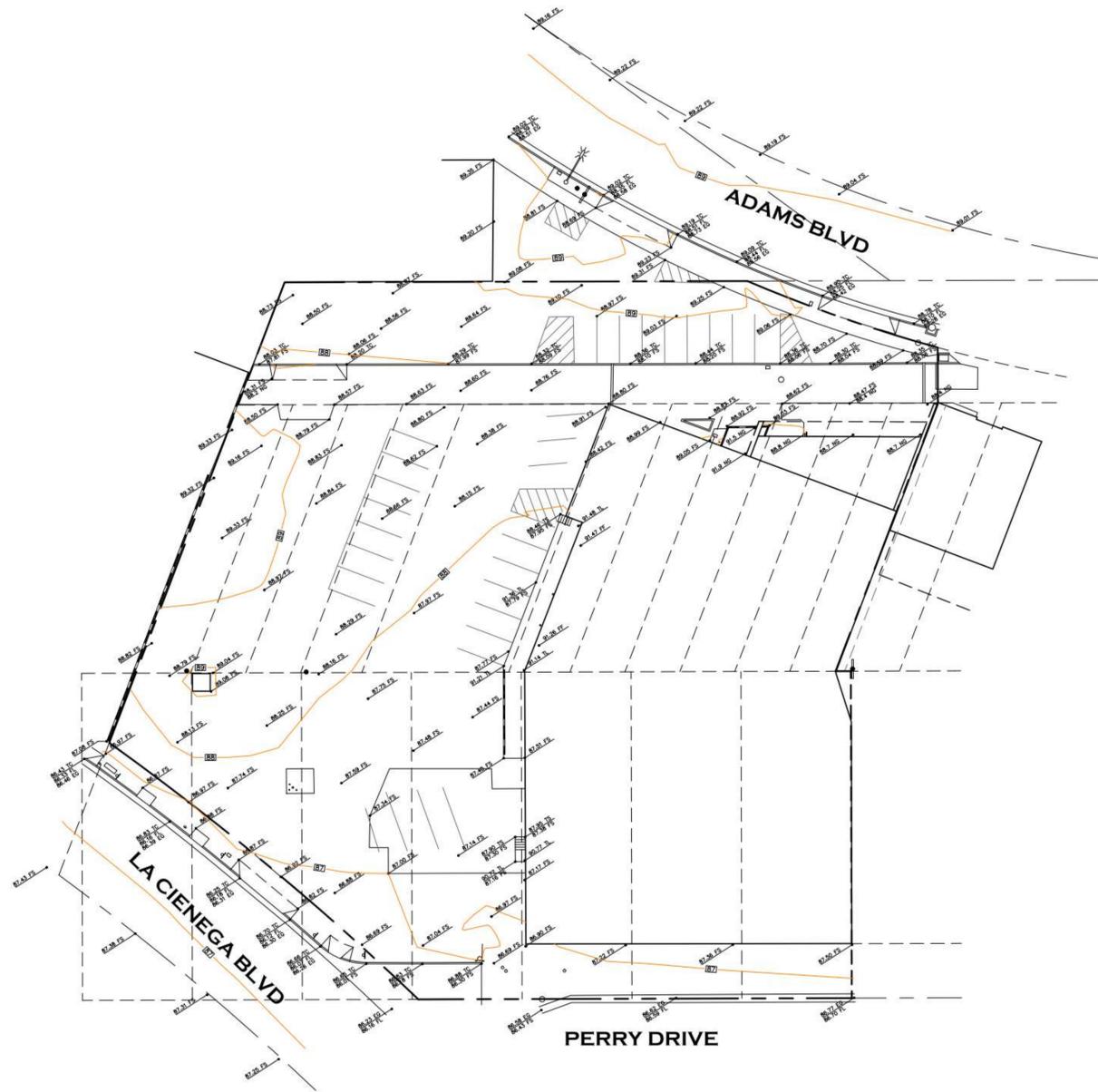
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ALTA SURVEY (FOR REFERENCE ONLY)

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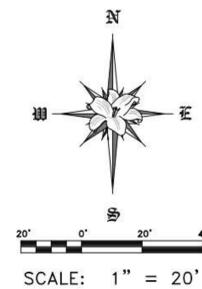
ALTA/NSPS LAND TITLE SURVEY

5880 ADAMS BOULEVARD  
CULVER CITY, CALIFORNIA



**BENCH MARK:**  
BENCH MARK NUMBER: 13-01868  
SPK W CURB FAIRFAX AVE; 18FT N/O BCR N/O  
ADAMS BLVD; N END CB.  
ELEVATION: 87.637 (1988)

**LEGEND:**  
EG - EDGE OF GUTTER  
FF - FINISHED FLOOR  
FL - FLOW LINE  
FS - FINISHED SURFACE  
NG - NATURAL GROUND  
TC - TOP OF CURB  
TL - TOP OF LANDING  
TS - TOP OF STEP



SHEET 2 OF 3	SCALE: 1" = 30'	DATE: 04/20/2021	DRAWN BY: JFC	CHKD. BY: JRN
	FILE NO. 20013-C	ALTA/NSPS LAND TITLE SURVEY	JRN CIVIL ENGINEERS PHONE (949) 248-4685 FAX (949) 248-4687	PROJECT COORDINATOR: JON CRAWLEY (JCRAWLEY@JRN.CIVIL.COM)
ADDRESS: 5880 ADAMS BOULEVARD CULVER CITY, CALIFORNIA		CLIENT: REDCAR PROPERTIES LTD		
REVISIONS 9/16/21: AMENDED TITLE REPORT/SURVEYOR'S CERTIFICATE				

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL

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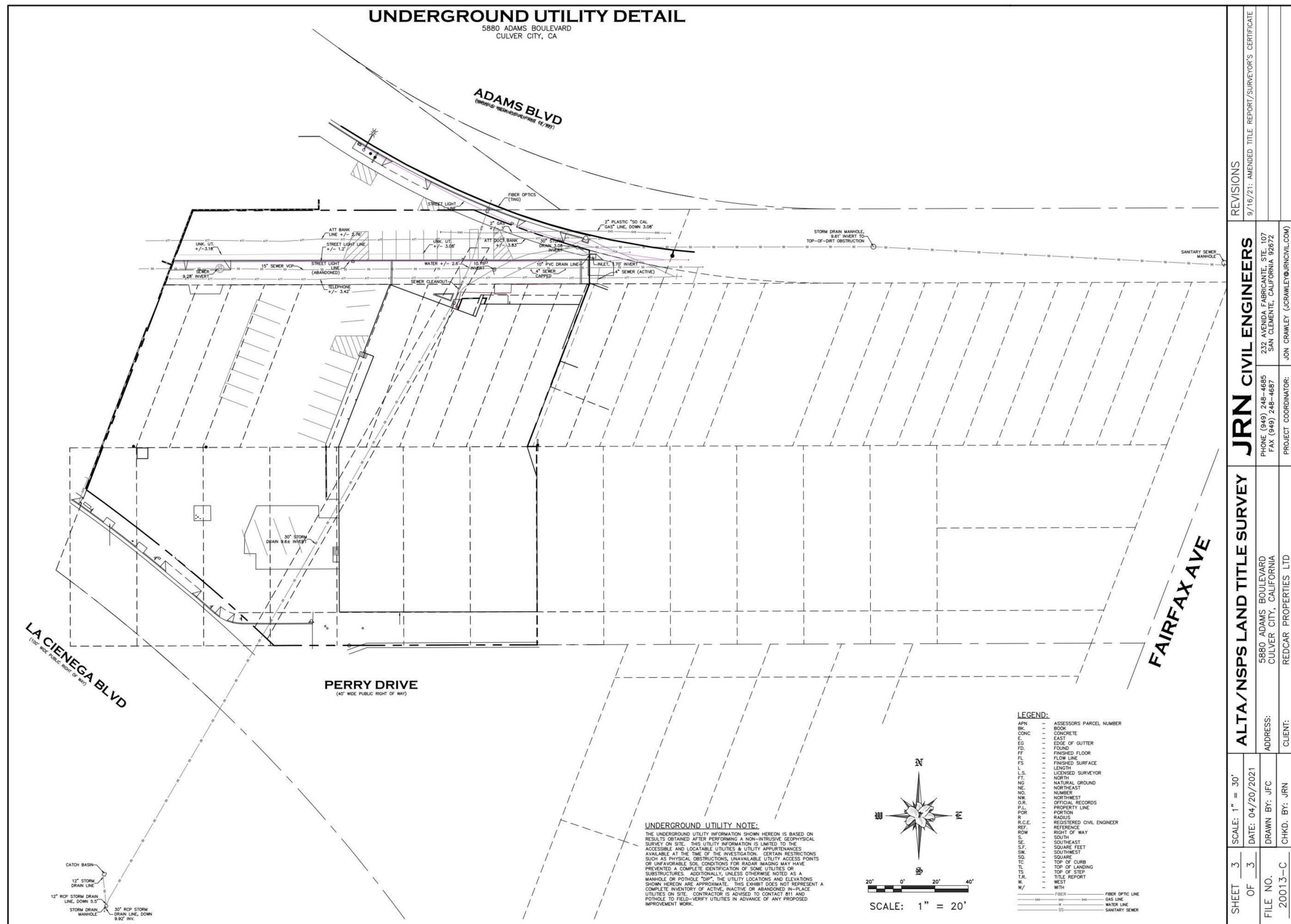
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LOS ANGELES, CA 90021  
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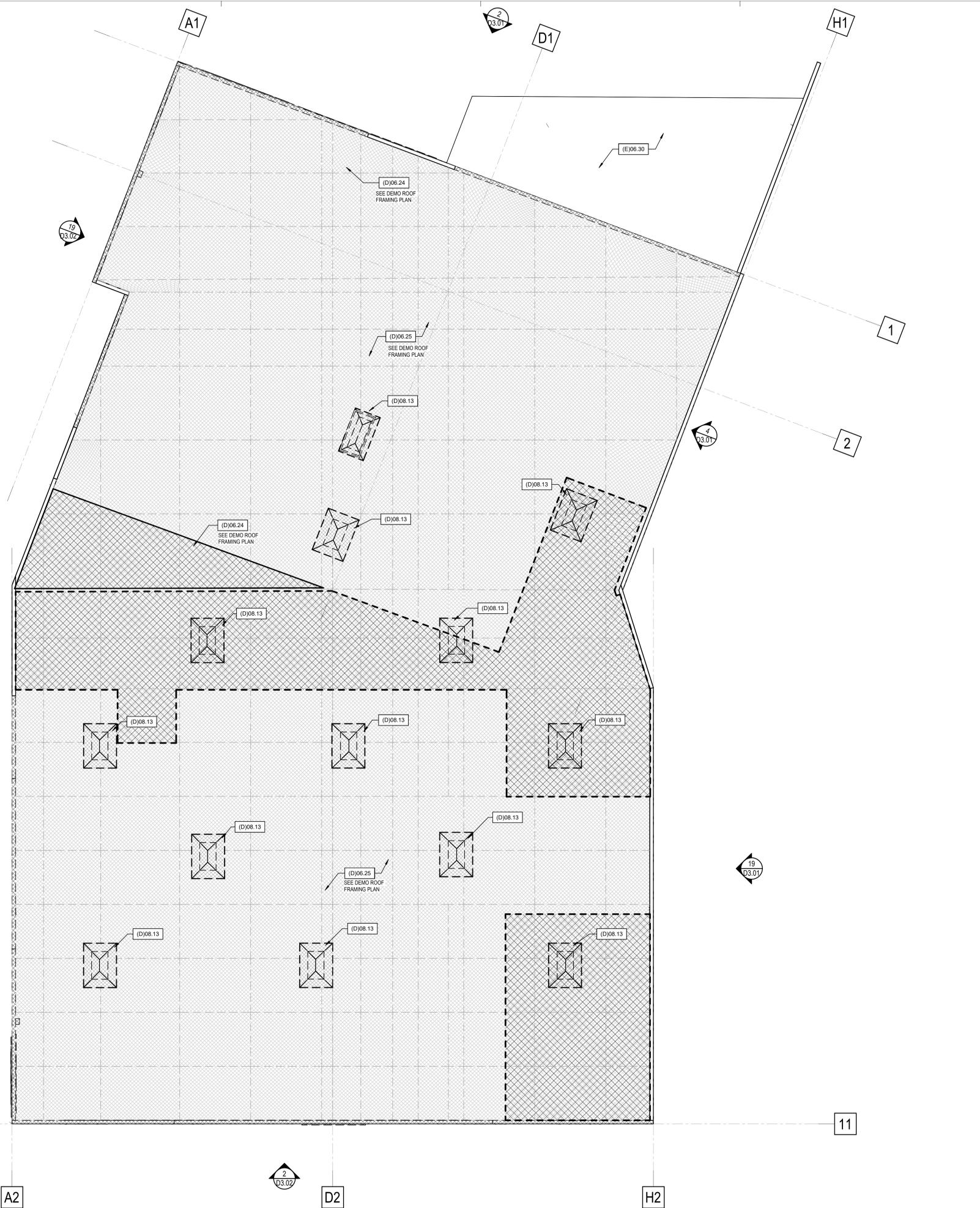
R1.03

ALTA SURVEY (FOR REFERENCE ONLY)

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- DEMOLITION NOTES:**
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  - UTILITIES AND EQUIPMENT SHOWN OR NOTED REPRESENT ITEMS THAT WERE READILY VISIBLE AND MAY NOT INDICATE ALL UTILITIES AND/OR EQUIPMENT WHICH ARE TO BE REMOVED AS PART OF THIS SCOPE.
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  - EXISTING FLOOR COVERINGS TO BE REMOVED DOWN TO STRUCTURAL SLAB OR SUBFLOOR UNLESS OTHERWISE NOTED.
  - ANY EXISTING WINDOW COVERINGS AND TREATMENT, INCLUDING MOUNTING HARDWARE TO BE REMOVED IN THEIR ENTIRETY.
  - MAINTAIN EMERGENCY LIGHTING FOR A MINIMUM OF ONE (1) FOOT CANDLE AS REQUIRED PER CODE. ALL EXISTING EXIT SIGNS TO REMAIN IN PLACE.
  - EXISTING SPRINKLER SYSTEM TO REMAIN IN AREAS THAT PREVIOUSLY HAD CEILINGS. TURN HEADS UPRIGHT AS REQUIRED PER CODE.
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  - HVAC DUCTING TO BE REMOVED TO RTU DROPS AND CAPPED.

**KEYNOTE - (E)XISTING**

(E)06.30	EXISTING ROOF SHEATHING TO REMAIN.
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**KEYNOTE - (D)EMOLITION**

(D)06.24	DEMO (E) ROOF, SHEATHING, AND FRAMING IN ITS ENTIRETY. SEE (N) ROOF PLAN FOR EXTENTS OF NEW ROOF
(D)06.25	DEMO (E) ROOF AND SHEATHING IN ITS ENTIRETY. (E) ROOF FRAMING TO BE SALVAGED AND REUSED FOR (N) ROOF FRAMING WHERE POSSIBLE. (HIDDEN FOR CLARITY). TYPICAL.
(D)08.13	DEMO ALL (E) SKYLIGHTS TYP.

**redcar**

**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

**CORE & SHELL**

PROJECT # 23.022

REV	DATE	REMARK
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

PERMIT # \_\_\_\_\_

**ARCHITECT:**  
EVAN RAABE ARCHITECTURE STUDIO  
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**LIGHTING:**  
ALAN NOELLE ENGINEERING  
3638 E HARBOR BLVD # 204,  
VENTURA, CA 93001  
805.563.5444

REGISTRATION:

**DEMOLITION LEGEND**

	(E) ELEMENT TO BE DEMOLISHED
	(E) ELEMENT TO BE DEMOLISHED
	(E) STEEL BEAM TO BE DISASSEMBLED AND REASSEMBLED AS PART OF NEW ROOF
	(E) STEEL BEAM TO BE DEMOLISHED
	(E) MASONRY WALL TO REMAIN
	(E) CONCRETE SLAB TO REMAIN
	(E) ROOF SHEATHING AND FRAMING TO BE DEMOLISHED

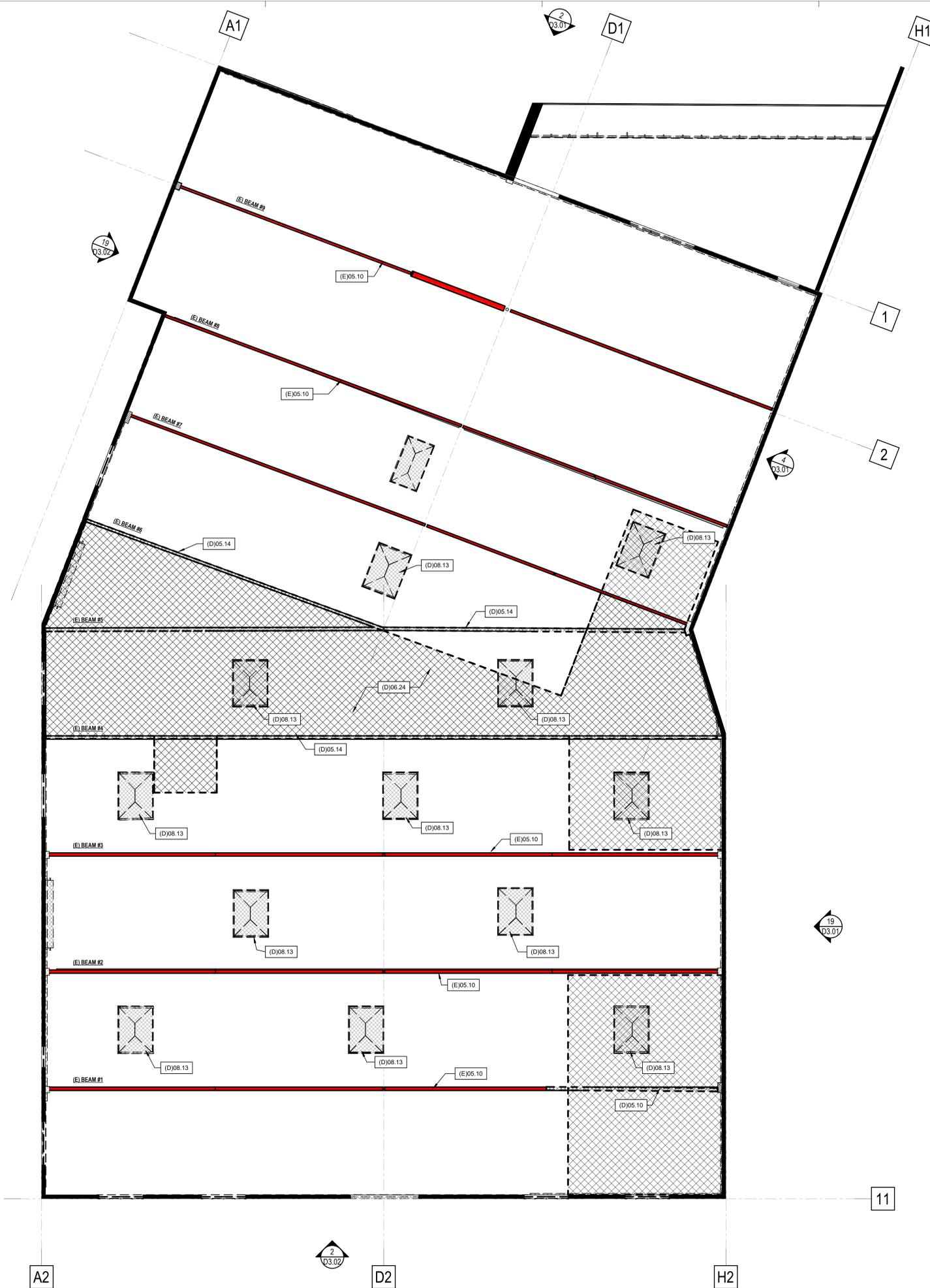
**ERAS**  
evan raabe architecture studio

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**D2.04**

DEMO ROOF PLAN

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**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

PROJECT # 23.022

PERMIT #

REV	DATE	REMARK
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**KEYNOTE - (E)XISTING**

(E)05.10	EXISTING STEEL BEAM TO BE SALVAGED AND RELOCATED TO (N) ROOF IN ITS ENTIRETY. SEE (N) ROOF FRAMING PLAN
----------	---

**KEYNOTE - (D)EMOLITION**

(D)05.10	PARTIAL DEMO OF (E) STEEL BEAM
(D)05.14	DEMO (E) STEEL BEAM
(D)06.24	DEMO (E) ROOF, SHEATHING, AND FRAMING IN ITS ENTIRETY. SEE (N) ROOF PLAN FOR EXTENTS OF NEW ROOF
(D)08.13	DEMO ALL (E) SKYLIGHTS TYP.

**ARCHITECT:**  
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**D2.05**

DEMO ROOF FRAMING PLAN

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	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**ARCHITECT:**  
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EXISTING ARCHITECTURAL SITE PLAN

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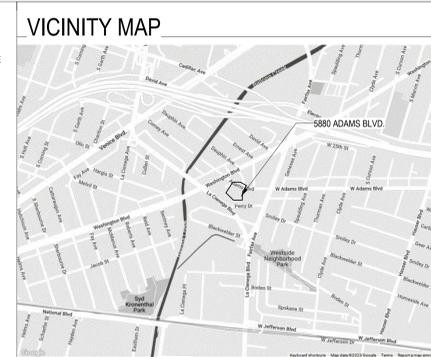
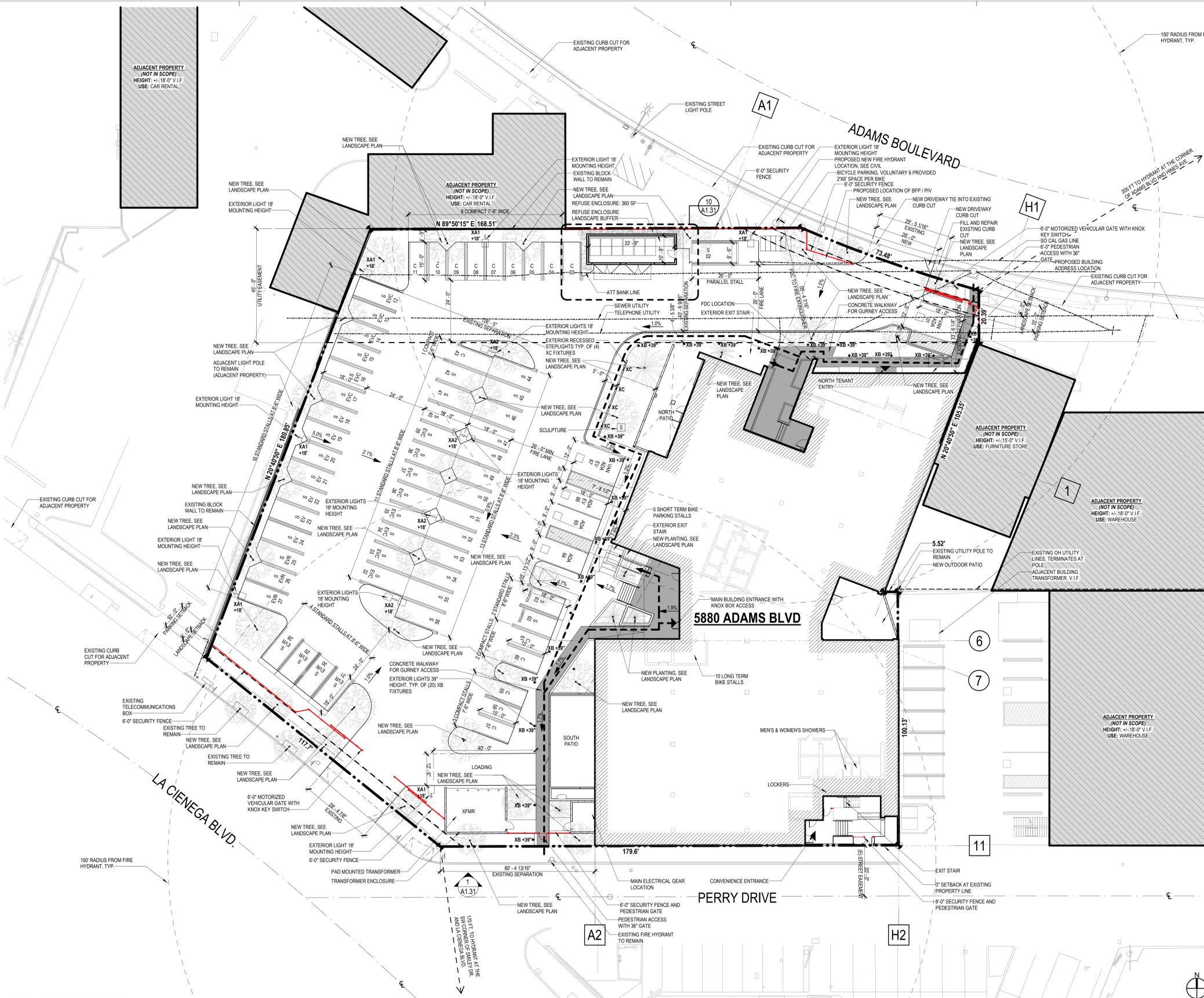
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**redcar**

**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

**CORE & SHELL**

PROJECT # 23.022

**SPR SUBMITTAL**

PERMIT # \_\_\_\_\_

REV	DATE	REMARK
2024.01.24	2024.01.24	SITE PLAN REVIEW SUBMITTAL
2024.03.18	2024.03.18	SITE PLAN REVIEW RESUBMITTAL
2024.04.01	2024.04.01	SITE PLAN REVIEW RESUBMITTAL

**PROJECT SCOPE**

CORE AND SHELL CONVERSION AND CHANGE OF USE FOR AN EXISTING 1-STORY INDUSTRIAL WAREHOUSE INTO A 3-STORY COMMERCIAL OFFICE WITH SURFACE PARKING

**APN, TRACT, BOOK, PAGE, PARCEL**

4205-001-069, 03153, 4205, 4205001, 19-29, 120-126

**BUILDING USE**

EXISTING	INDUSTRIAL WAREHOUSE
PROPOSED	COMMERCIAL OFFICE

**SITE AREA ANALYSIS**

AREA	VALUE
GROSS	62,020 SF (1.42 AC)
NET	58,654 (1.35 AC)
EXISTING	21,898 / 62,020 = 0.35
PROPOSED	19,213 / 62,020 = 0.31

\*\*\*CCMC 17.700.010 - STRUCTURE/BUILDING COVERAGE INCLUDES PRIMARY STRUCTURE, ALL ACCESSORY STRUCTURES MEASURED FROM EXTERIOR WALL TO EXTERIOR WALL

**LANDSCAPE & HARDSCAPE AREA**

EXISTING LANDSCAPE AREA	430 SF
PROPOSED PLANTING AREA	8,096 SF
PROPOSED HARDSCAPE AREA	6,309 SF
TOTAL LANDSCAPE AREA	14,405 SF
STREET SETBACK AREA	1,169.69 SF

\*\*\*CCMC 17.310.020.025 - LANDSCAPE AREA REQUIREMENTS AND STANDARDS OUTLINED. REQUIRED LANDSCAPE AREAS PROVIDED PER CCMC PER PROPOSED SITE PLAN

**BUILDING AREA BREAKDOWN**

FLOOR	AREA
FIRST FLOOR	21,898 SF
PROPOSED BUILDING AREA	
FLOOR	AREA***
FIRST FLOOR	18,684 SF
SECOND FLOOR	15,340 SF
THIRD FLOOR	14,882 SF
<b>TOTAL BUILDING AREA</b>	<b>48,906 SF</b>
PROPOSED OUTDOOR AREA	
FIRST FLOOR OUTDOOR	1,758 SF
SECOND FLOOR OUTDOOR	1,741 SF
THIRD FLOOR OUTDOOR	1,549 SF
<b>TOTAL OUTDOOR AREA</b>	<b>5,048 SF</b>

\*\*\*CCMC 17.700.010 - FLOOR AREA IS CONSIDERED SAME AS GROSS FLOOR AREA; ALL AREA WITHIN EACH LEVEL MEASURED FROM EXTERIOR WALL FINISH

**PARKING BREAKDOWN**

VEHICLE	QUANTITY
STALL TYPE	
STANDARD	47
COMPACT	15
ACCESSIBLE	5
<b>TOTAL ON SITE</b>	<b>67</b>
EV BREAKDOWN	
FULL EV (10%)	7
EV READY (10%)	7
EV CAPABLE (20%)	14
ACCESSIBLE EV	1
VAN ACCESSIBLE EV	1

**BICYCLE**

STALL TYPE	QUANTITY
SHORT TERM (1:10,000)	5 REQ, 11 PROVIDED
LONG TERM (1:5,000)	10 REQ, 10 PROVIDED
<b>TOTAL BICYCLE</b>	<b>21</b>

\*EV CAPABLE WITH CONDUIT AND PANEL FOR 200/240 LEVEL 200% PROVIDED  
 \*\*EV READY WITH CIRCUITS, BREAKERS AND 40A FOR FUTURE LEVEL 2 (10% PROVIDED)  
 \*\*\*FULL EV CHARGER (10% PROVIDED)

**LOADING**

1 REQUIRED	12'X40'
------------	---------

**SITE PLAN LEGEND**

(N) PLANTED AREA	(N) PLANTED AREA
ACC PATH OF TRAVEL	FIRE DEPT. CONNECTION
FIRE DEPT. CONNECTION	(E) POWER POLE TO REMAIN
(E) POWER POLE TO REMAIN	CONCRETE WALKWAY FOR GURNEY ACCESS
CONCRETE WALKWAY FOR GURNEY ACCESS	SITE ENTRY
SITE ENTRY	POLE MOUNTED SINGLE HEAD AREA LIGHT
POLE MOUNTED SINGLE HEAD AREA LIGHT	POLE MOUNTED DOUBLE HEAD AREA LIGHT
POLE MOUNTED DOUBLE HEAD AREA LIGHT	BOLLARD LIGHT
BOLLARD LIGHT	RECESSED STEP LIGHT
RECESSED STEP LIGHT	SCULPTURE / PUBLIC ART LOCATION
SCULPTURE / PUBLIC ART LOCATION	SITE FENCE: 6'-0" HIGH ABOVE NATURAL GRADE, 4'-0" HIGH ABOVE FIRST FLOOR; SEE ELEVATIONS

**LEGAL DESCRIPTION**

PARCELS 120, 121, 122, 123, 124 AND 125, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 13 PAGE 2 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPT THOSE PORTION OF SAID PARCELS 123, 124 AND 125 DESCRIBED IN THE ACTION TO CONDEMN ENTERED AS CASE NO. 593838 SUPERIOR COURT OF SAID COUNTY, LYING WITHIN A STRIP OF LAND 100 FEET WIDE, LYING 50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE BEGINNING AT THE INTERSECTION OF THE SOUTHEASTERLY PROLONGATION OF THE CENTER LINE OF ADAMS STREET AS DEDICATED ON MAP OF TRACT NO. 6447, RECORDED IN BOOK 75 PAGES 80, ET SEQ., OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, WITH A LINE PARALLEL WITH AND 50 FEET SOUTHEASTERLY, MEASURED AT RIGHT ANGLES, FROM THE SOUTHEASTERLY LINES OF LOTS 1 TO 12, BLOCK 'A' OF SAID TRACT; THENCE SOUTHEASTERLY ALONG SAID SOUTHEASTERLY PROLONGATION 397.29 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTHWEST, TANGENT TO SAID SOUTHEASTERLY PROLONGATION AND PARCEL D2;

THAT PORTION OF PARCEL 126, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 13 PAGE 2 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING NORTHEASTERLY OF THE NORTHEASTERLY LINE OF THAT CERTAIN 100 FOOT STRIP OF LAND DESCRIBED IN PARCELS 12 TO 36, IN CASE NO. 593838, SUPERIOR COURT, NOTICE OF SAID ACTION WAS RECORDED ON DECEMBER 14, 1951, IN BOOK 37854 PAGE 207, OFFICIAL RECORDS, CONDEMNED BY DECREE OF CONDEMNATION, A CERTIFIED COPY THEREOF BEING RECORDED IN BOOK 38649 PAGE 297, OFFICIAL RECORDS. EXCEPT THEREFROM THAT PORTION OF SAID LAND LYING WESTERLY OF THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF THAT CERTAIN PARCEL OF LAND SHOWN AS PARCEL 30 ON MAP FILED IN BOOK 12 PAGE 32 OF SAID RECORD OF SURVEYS.

PARCEL D3:

PARCELS 20 TO 29 INCLUSIVE, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON LICENSED SURVEYOR'S MAP FILED IN BOOK 12 PAGE 32 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; ALSO THAT PORTION OF PARCEL 19 AS SHOWN ON SAID MAP, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE NORTHERLY LINE OF SAID PARCEL, DISTANT THEREON SOUTH 89 DEGREES 50 MINUTES 15 SECONDS WEST 3.28 FEET FROM THE MOST EASTERLY CORNER OF SAID PARCEL 19; THENCE ALONG SAID NORTHERLY LINE SOUTH 89 DEGREES 50 MINUTES 15 SECONDS WEST 16.70 FEET TO THE NORTHWESTERLY CORNER OF SAID PARCEL, THENCE ALONG THE WESTERLY LINE OF SAID PARCEL, SOUTH 20 DEGREES 42 MINUTES 45 SECONDS WEST 105.35 FEET TO THE MOST WESTERLY CORNER OF SAID PARCEL, THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, NORTH 89 DEGREES 50 MINUTES 15 SECONDS EAST 16.70 FEET; THENCE NORTHEASTERLY ALONG A DIRECT LINE TO THE POINT OF BEGINNING.

PARCEL D4:

THAT PORTION OF THE SOUTH HALF OF ADAMS STREET, 90 FEET WIDE, VACATED BY ORDINANCE NO. C.S. 443 OF THE CITY OF CULVER CITY, LYING EASTERLY OF THE NORTHEASTERLY PROLONGATION OF THE NORTHWESTERLY LINE OF PARCEL 29, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON LICENSED SURVEYOR'S MAP FILED IN BOOK 12 PAGE 32 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THAT PORTION LYING EASTERLY OF A LINE MEASURED AT RIGHT ANGLES TO THE SOUTHERLY LINE OF ADAMS BOULEVARD AND WHICH EXTENDS NORTHERLY FROM A POINT, DISTANT WESTERLY ALONG SAID SOUTHERLY LINE, 3.28 FEET FROM THE MOST EASTERLY CORNER OF PARCEL 19 OF SAID RECORD OF SURVEY.

**ERAS**

evan raabe architecture studio

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HIGERA-STUDIO

**A1.01**

PROPOSED ARCHITECTURAL SITE PLAN

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PROPOSED HARDSCAPE AREA	6,309 SF
TOTAL LANDSCAPE AREA	14,405 SF
STREET SETBACK AREA	1,169.69 SF

\*\*\*CCMC 17.310.020.025 - LANDSCAPE AREA REQUIREMENTS AND STANDARDS OUTLINED. REQUIRED LANDSCAPE AREAS PROVIDED PER CCMC PER PROPOSED SITE PLAN

COLORED SITE PLAN LEGEND

- BUILDING AREA
- PARKING AREA
- PLANTING AREA
- STREET SETBACK AREA
- HARDSCAPE AREA
- PUBLIC RIGHT OF WAY

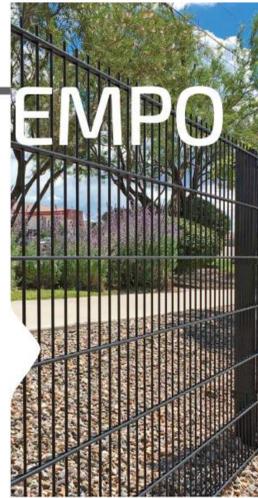


# CONTEMPO

Clearly & simply built strong.



- CLEAR** see-through security
- SIMPLE** contemporary design
- BUILT STRONG** for high-security applications



When security matters, there's Contempo, designed to meet the toughest security challenges.

Difficult to climb or penetrate, made to last and competitively priced, Contempo's 4-gauge vertical wires are sandwiched between two 1-gauge horizontal wires, making this fence an exceptional solution for even the highest levels of security, including multi-level and sloped installations.

LEED Certified | Non-toxic Powder Coating | 25-year Limited Warranty



Security Rating: HIGH

## PANEL

Design	Height	Length	Spacing
Standard	36"	15'	2x2"
Heavy Duty	48 1/2"	95 5/8"	2 x 3"
	52 1/2"	95 5/8"	2 x 3"
	55 1/2"	95 5/8"	2 x 3"

VERTICAL WIRE		DOUBLE HORIZONTAL WIRE	
Design	Spacing Level	Design	Spacing Level
Standard	12"	Standard	12"
Heavy Duty	75K - 105K	Heavy Duty	75K - 105K

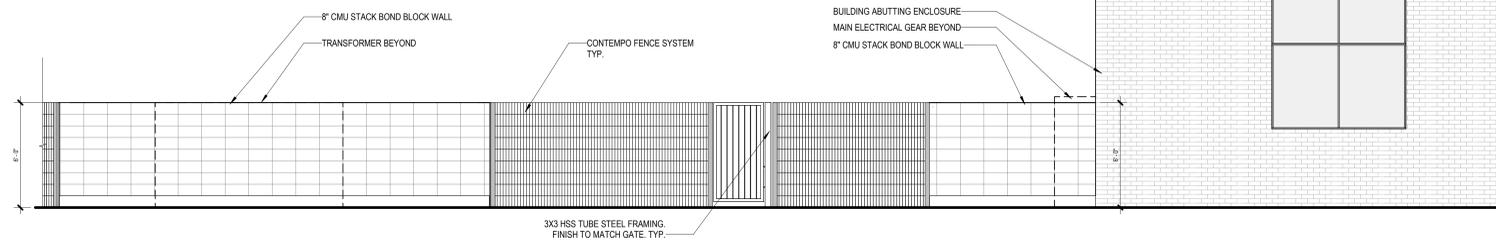
Points are available in multiple sizes and lengths. Available with an angled extension. Please consult one of our Distributors for additional details.



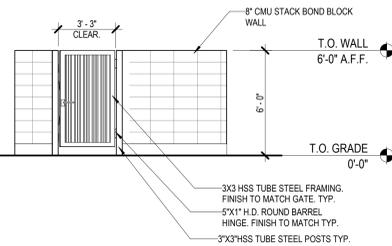
25-year limited warranty on all components | Meets ASTM-310



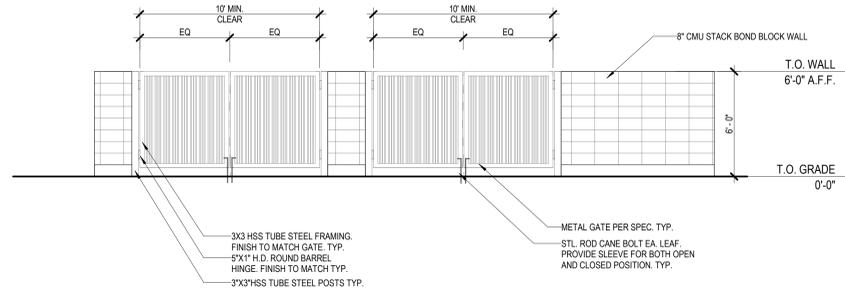
TYPICAL SITE FENCE SPEC



ENLARGED TRANSFORMER ENCLOSURE - PERRY DRIVE ELEVATION 1/4" = 1'-0" 1



REFUSE ENCLOSURE SIDE ELEVATION 1/4" = 1'-0" 18



REFUSE ENCLOSURE FRONT ELEVATION 1/4" = 1'-0" 8



## RUBBISH BINS



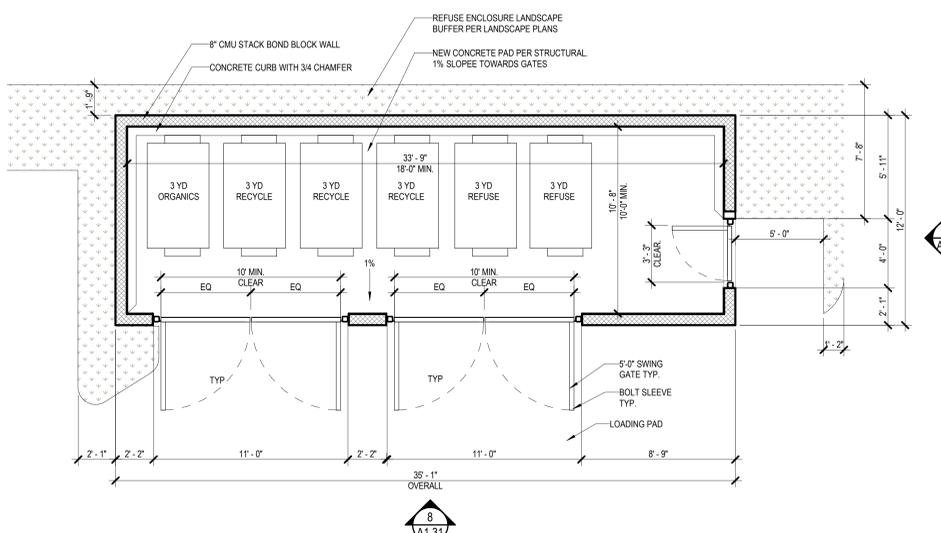
RUBBISH TRUCK



RUBBERMAID - SLIM JIM



TYPICAL REFUSE BIN SPECS



ENLARGED REFUSE ENCLOSURE PLAN 1/4" = 1'-0" 10

## REFUSE ENCLOSURE STANDARDS

- SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING SHALL BE PERFORMED EXCLUSIVELY BY THE CITY OF ITS AUTHORIZED AGENTS. THE CITY COUNCIL MAY REGULATE, BY ORDINANCE OR RESOLUTION, ALL ASPECTS OF SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING, INCLUDING BUT NOT LIMITED TO, FREQUENCY OF COLLECTION, MEANS OF COLLECTION AND TRANSPORTATION, LEVEL OF SERVICES, CHARGES, FEES, AND NATURE, LOCATION AND EXTENT OF PROVIDING SOLID WASTE HANDLING SERVICES.
- THE CITY OF CULVER CITY SHALL PROVIDE WASTE DISPOSAL AND RECYCLING SERVICES FOR ALL CONSTRUCTION AND DEMOLITION PROJECTS WITHIN CITY LIMITS IN ACCORDANCE WITH CCMC 5.01.010

## REFUSE ENCLOSURE NOTES

- THE DESIGN OF THE TRASH ENCLOSURE SHALL BE REVIEWED AND APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND BUILDING AND SAFETY.
- THE ENCLOSURE MUST BE LOCATED ADJACENT TO THE ALLEY IF AN ADJACENT ALLEY EXISTS. AN ADDITIONAL MONTHLY FEE MAY BE REQUIRED BY THE CITY IF THE ENCLOSURE IS LOCATED MORE THAN 10 FEET FROM THE STREET OR ALLEY OR IF THE ENCLOSURE IS LOCATED IN A SUBTERRANEAN AREA.
- PROVIDE: A HOSE BIB WITHIN 20' OF ENCLOSURE. LIGHTING: DRAIN (CONNECTED TO SEWER) VENTILATION: PLEASE NOTE: HOSE BIB AND LIGHT SWITCHES SHOULD BE INSTALLED 6-1/2 FEET FROM FLOOR. TYPICAL REFUSE BIN SIZE IS 6' W, 4' L FURNISHED BY THE CITY. MATERIALS TO BE USED FOR CONSTRUCTING THE BIN ENCLOSURES INCLUDE SOLID OPAQUE AND IMPACT RESISTANT WALLS. ALL SURFACES MUST BE SEALED WITH A GRAFFITI PROOF SEALANT. DOORS TO BE SLIDING OR MOTORIZED ROLL-UP. NO ENCROACHMENTS ALLOWED INTO THE PUBLIC R.O.W. TRASH ENCLOSURE INCLUDING DOORS, CAN NOT INTERFERE WITH THE 5' X 5' H.V.O. TRIANGLE.
- ALL MAINTENANCE INCLUDING BUT NOT LIMITED TO GRAFFITI REMOVAL, CLEANLINESS AND REPLACING BROKEN OR MISSING PLASTIC SLATS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION, CULVER CITY BLDG. CODE AND THIS DETAIL.
- CONTRACTOR SHALL RESTORE ALL EXISTING CONSTRUCTION THAT IS CUT INTO, ALTERED, DAMAGED OR LEFT UNFINISHED.
- UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIALS, RUBBISH, DUST AND DEBRIS RESULTING FROM CONSTRUCTION AND SHALL LEAVE THE JOB SITE IN A NEAT, CLEAN AND DUST-FREE CONDITION TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- THE CONTRACTOR SHALL MAINTAIN A SAFE AND ADEQUATE ACCESS FOR THE PUBLIC DURING CONSTRUCTION.
- ROOF ENCLOSURES SHALL BE CONSTRUCTED WITH A SOLID ROOF MEETING ARCHITECTURAL & STRUCT. DESIGN CRITERIA FROM THE CITY PLANNING AND BUILDING & SAFETY DIVISIONS.
- TRASH ENCLOSURES SHOULD BE ACCESSIBLE FROM INSIDE THE PROPERTY.
- ALL PROJECT RELATED SOLID AND RECYCLABLE WASTE MATERIAL HANDLING SHALL BE IN ACCORDANCE WITH CCMC SECTION 5.01.010 "SOLID WASTE MANAGEMENT", WHICH OUTLINES THE ENVIRONMENTAL PROGRAMS AND OPERATION DIVISION'S EXCLUSIVE FRANCHISE FOR SERVICES.
- PROJECT SHALL PROVIDE ADEQUATE TRASH AND RECYCLING CAPACITY AND SHALL COMPLY WITH ASSEMBLY BILL 939, 1826, AND 341 WASTE DIVERSION GOALS.
- PROJECT IS SUBJECT TO PROVIDE TRASH ENCLOSURE(S) / TRASH ROOM(S). THE STANDARD MINIMUM INSIDE DIMENSIONS BIN ENCLOSURE/ TRASH ROOM FOR THREE (3) 3 YD BINS IS 10' (DEPTH) X 17' (WIDTH).
- OWNER/TENANT SHALL BE RESPONSIBLE FOR BRINGING TRASH BINS TO THE STAGING AREA DURING COLLECTION SERVICE DAYS AND SHALL BE RESPONSIBLE TO BRING BACK THE TRASH BINS IMMEDIATELY UPON TRASH COLLECTION INSIDE TRASH ENCLOSURE FOR STORAGE.

**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

**CORE & SHELL**

PROJECT # 23.022

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**ARCHITECT:**  
EVAN RAABE ARCHITECTURE STUDIO  
EVAN A. RAABE, AIA, NCARB, #C32671  
2121 EAST 7TH PLACE, UNIT 201  
LOS ANGELES, CA 90021  
EVAN@ERA.STUDIO

**OWNER:**  
REDCAR PROPERTIES LTD.  
2341 MICHIGAN AVE.  
SANTA MONICA, CA 90404

**STRUCTURAL:**  
GHANIM STRUCTURAL ENGINEERING  
898 N. FAIR OAKS AVE., SUITE F,  
PASADENA, CA 91103  
(626) 407-2224

**MEP:**  
LAM + TEA ENGINEERING  
100 MLK BLVD, SUITE 207  
CHATTANOOGA, TN 37405  
615.208.2833 x338

**CIVIL:**  
SHERWOOD DESIGN ENGINEERS  
2548 MISSION ST.  
SAN FRANCISCO, CA 94110  
415.677.7300 x943

**LIGHTING:**  
ALAN NOELLE ENGINEERING  
5638 E HARBOR BLVD # 204,  
VENTURA, CA 93001  
805.563.5444

REGISTRATION:

2121 EAST 7TH PLACE, SUITE 201  
LOS ANGELES, CA 90021  
HIGERA@ERA.STUDIO

**A1.31**

ENLARGED SITE PLANS

THE MATERIAL IS OWNED AND IS THE SOLE AND EXCLUSIVE PROPERTY OF EVAN RAABE ARCHITECTURE STUDIO AND IS SUPPLIED TO THE CLIENT ON A CONFIDENTIAL BASIS. SOLELY FOR USE IN CONNECTION WITH THE JOB IDENTIFIED HEREIN. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISTRIBUTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF EVAN RAABE ARCHITECTURE STUDIO.

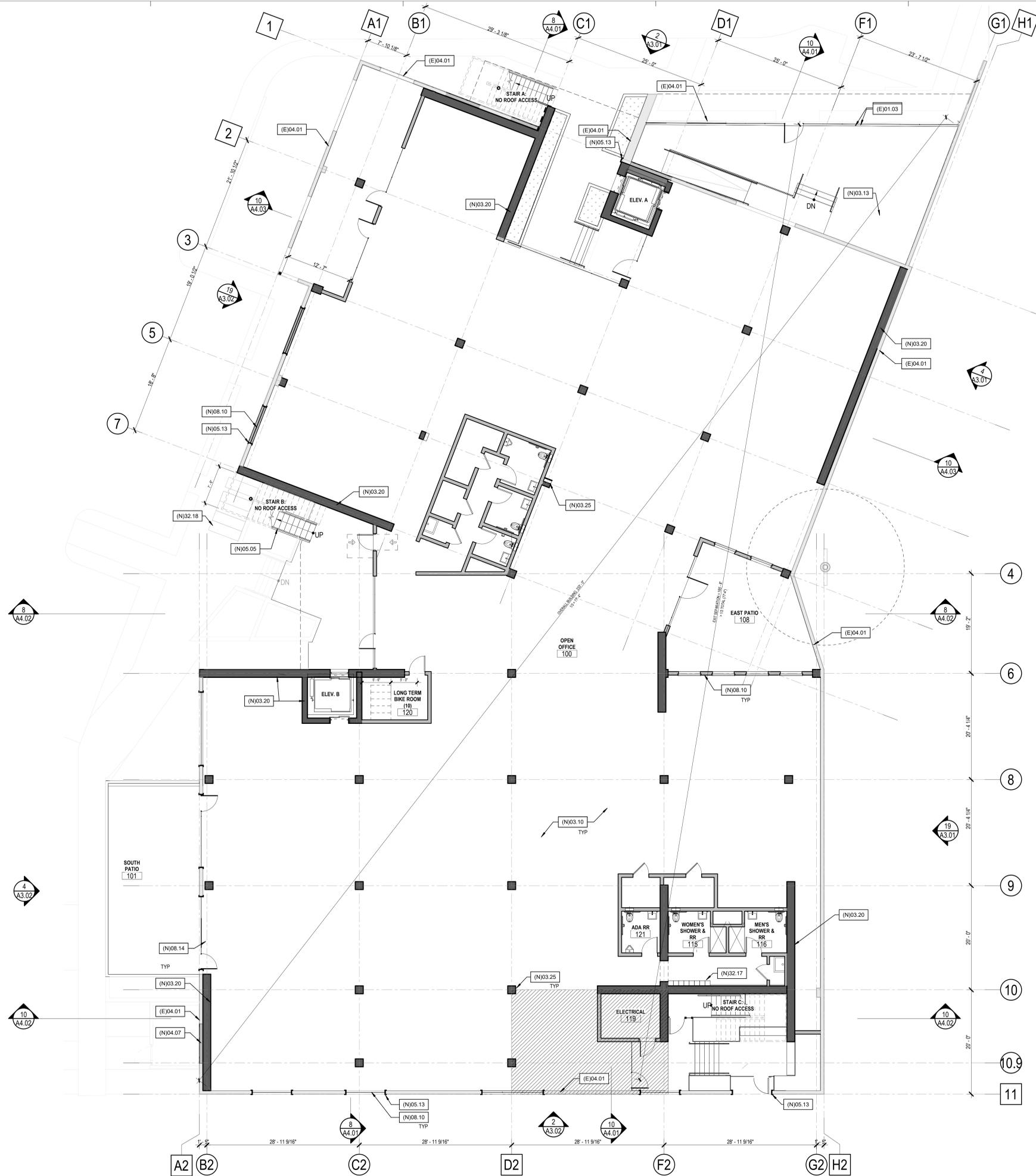
REGISTRATION:

2121 EAST 7TH PLACE, SUITE 201  
LOS ANGELES, CA 90021  
HIGERA@ERA.STUDIO

**A1.31**

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**FLOOR PLAN GENERAL NOTES**

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED:
  - INGRESS AND EGRESS DOORS
  - PANELS IN SLIDING OR SWINGING DOORS
  - DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
  - IN WALL ENCLOSING STAIRWAY LANDING
  - GUARD AND HANDRAILS
- REFER TO ELECTRICAL FOR EMERGENCY LIGHTING. SEE SHEET G0.13 FOR EXIT SIGN LOCATIONS.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- WHERE EXPOSED, PAINT ALL GYPSUM BOARD FINISH WALLS SHERWIN WILLIAMS SW7006 - EXTRA WHITE, EG-SHEL, UN.O. REFER TO FINISH SCHEDULE PLAN AND SCHEDULE.
- ALL NEW INTERIOR CONCRETE FLOORS TO HAVE A SMOOTH TROWELED FINISH, UNLESS OTHERWISE NOTED.
- PROVIDE CODE REQUIRED POWER OUTLETS.
- ALL DIMENSIONS ON THIS PLAN ARE TO FINISH FACE OF WALL UN.O.



**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

**CORE & SHELL**

PROJECT # 23.022

**SPR SUBMITTAL**

PERMIT # \_\_\_\_\_

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**KEYNOTE - (E)XISTING**

(E)01.03	LINE OF EXISTING SOFFIT ABOVE.
(E)04.01	EXISTING MASONRY WALL TO REMAIN. REPAIR/REPOINT AS REQUIRED.

**ARCHITECT:**  
EVAN RAABE ARCHITECTURE STUDIO  
EVAN A RAABE, AIA, NCARB, #C32671  
2121 EAST 7TH PLACE, UNIT 201  
LOS ANGELES, CA 90021  
EVAN@ERA.STUDIO

**OWNER:**  
REDCAR PROPERTIES LTD.  
2341 MICHIGAN AVE.  
SANTA MONICA, CA 90404

**STRUCTURAL:**  
GHANIM STRUCTURAL ENGINEERING  
898 N. FAIR OAKS AVE., SUITE F,  
PASADENA, CA 91103  
(626) 407-2224

**MEP:**  
LAM + TEA ENGINEERING  
100 MLK BLVD, SUITE 207  
CHATTANOOGA, TN 37405  
615.208.2833 x338

**CIVIL:**  
SHERWOOD DESIGN ENGINEERS  
2548 MISSION ST.  
SAN FRANCISCO, CA 94110  
415.677.7300 x343

**LIGHTING:**  
ALAN NOELLE ENGINEERING  
3638 E HARBOR BLVD # 204,  
VENTURA, CA 93001  
805.563.5444

**KEYNOTE - (N)EW**

(N)03.10	CONCRETE SLAB
(N)03.13	CONCRETE STAIR
(N)03.20	CONCRETE WALL
(N)03.25	CONCRETE COLUMN
(N)04.07	NEW MASONRY INFILL TO MATCH EXISTING.
(N)05.05	EXTERIOR STEEL STAIR WITH STEEL GUARDRAIL AND HANDRAIL.
(N)05.13	STEEL FRAME AT MASONRY OPENING
(N)08.10	STEEL FRAME WINDOW
(N)08.14	STEEL STOREFRONT
(N)32.17	LOCKERS
(N)32.18	SHORT TERM BIKE RACK (5)

**AREA BREAKDOWN**

FLOOR	AREA***
FIRST FLOOR	19,214 SF
FIRST FLOOR OUTDOOR (PATIOS)	1,993 SF

\*\*\*CMC 17.700.010 - FLOOR AREA IS CONSIDERED SAME AS GROSS FLOOR AREA. ALL AREA WITHIN EACH LEVEL MEASURED FROM EXTERIOR WALL FINISH

**FLOOR PLAN LEGEND**

- STRUCTURAL WALL; SEE STRUCT., FINISH PER PLANS
- NON-STRUCTURAL WALL; SEE STRUCT., FINISH PER PLANS
- (1) HOUR FIRE RATED WALL; SEE SHEET A7.01 FOR MORE INFORMATION
- (2) HOUR FIRE RATED WALL; SEE SHEET A7.01 FOR MORE INFORMATION
- WALL TAG; REFER TO SHEET A7.01 FOR MORE INFORMATION
- DOOR TAG; REFER TO SHEET A8.11 FOR MORE INFORMATION
- NEW GRID; SEE STRUCTURAL
- EXISTING GRID; SEE STRUCTURAL
- PROPERTY LINE

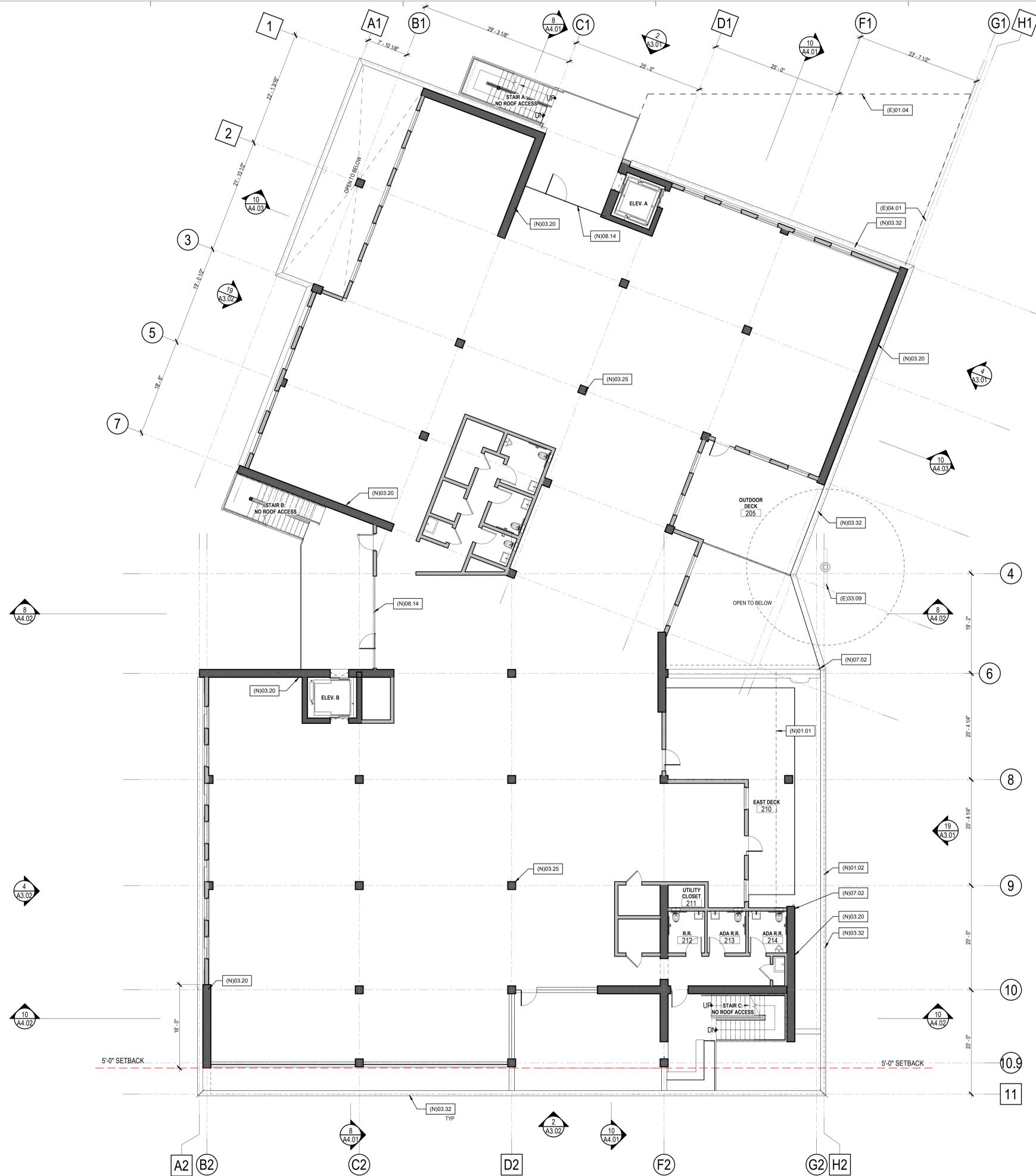


2121 EAST 7TH PLACE, SUITE 201  
LOS ANGELES, CA 90021  
HI@ERA.STUDIO

**A2.01**

FIRST FLOOR PLAN  
THE MATERIAL IS OWNED AND IS THE SOLE AND EXCLUSIVE PROPERTY OF EVAN RAABE ARCHITECTURE STUDIO AND IS SUPPLIED TO THE CLIENT ON A CONFIDENTIAL BASIS. SOLELY FOR USE IN CONNECTION WITH THE JOB IDENTIFIED HEREIN. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISTRIBUTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF EVAN RAABE ARCHITECTURE STUDIO.

FIRST FLOOR PLAN  
1/8" = 1'-0"



**FLOOR PLAN GENERAL NOTES**

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED:
  - INGRESS AND EGRESS DOORS
  - PANELS IN SLIDING OR SWINGING DOORS
  - DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
  - IN WALL ENCLOSING STAIRWAY LANDING
  - GUARD AND HANDRAILS
- REFER TO ELECTRICAL FOR EMERGENCY LIGHTING. SEE SHEET G0.13 FOR EXIT SIGN LOCATIONS.
- REFER TO STRUCTURAL FOR ALL CONNECTION AND MEMBER SIZES.
- WHERE EXPOSED, PAINT ALL GYPSUM BOARD FINISH WALLS SHERWIN WILLIAMS SW7006 - EXTRA WHITE, EG-SHEL, U.N.O.; REFER TO FINISH SCHEDULE PLAN AND SCHEDULE.
- ALL NEW INTERIOR CONCRETE FLOORS TO HAVE A SMOOTH TROWELED FINISH, UNLESS OTHERWISE NOTED.
- PROVIDE CODE REQUIRED POWER OUTLETS.
- ALL DIMENSIONS ON THIS PLAN ARE TO FINISH FACE OF WALL UN.O.



**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

**CORE & SHELL**

PROJECT # 23.022

**SPR SUBMITTAL**

PERMIT # \_\_\_\_\_

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**KEYNOTE - (E)XISTING**

(E)01.04	LINE OF ROOF BELOW
(E)04.01	EXISTING MASONRY WALL TO REMAIN. REPAIR/REPOINT AS REQUIRED.
(E)33.09	POWER POLE TO REMAIN.

**ARCHITECT:**  
 EVAN RAABE ARCHITECTURE STUDIO  
 EVAN A RAABE, AIA, NCARB, #C32671  
 2121 EAST 7TH PLACE, UNIT 201  
 LOS ANGELES, CA 90021  
 EVAN@ERA.STUDIO

**OWNER:**  
 REDCAR PROPERTIES LTD.  
 2341 MICHIGAN AVE.  
 SANTA MONICA, CA 90404

**STRUCTURAL:**  
 GHANIM STRUCTURAL ENGINEERING  
 898 N. FAIR OAKS AVE., SUITE F,  
 PASADENA, CA 91103  
 (626) 407-2224

**MEP:**  
 LAM + TEA ENGINEERING  
 100 MLK BLVD, SUITE 207  
 CHATTANOOGA, TN 37405  
 615.208.2833 x338

**CIVIL:**  
 SHERWOOD DESIGN ENGINEERS  
 2548 MISSION ST.  
 SAN FRANCISCO, CA 94110  
 415.677.7300 x343

**LIGHTING:**  
 ALAN NOELLE ENGINEERING  
 3636 E HARBOR BLVD # 204,  
 VENTURA, CA 93001  
 805.563.5444

**KEYNOTE - (N)EW**

(N)01.01	LINE OF FLOOR ABOVE.
(N)01.02	LINE OF ROOF ABOVE.
(N)03.20	CONCRETE WALL
(N)03.25	CONCRETE COLUMN
(N)03.32	CIP CONCRETE PARAPET/WALL CAP
(N)07.02	BONDERIZED METAL DOWNSPOUT
(N)08.14	STEEL STOREFRONT

**AREA BREAKDOWN**

FLOOR	AREA***
SECOND FLOOR	15,571 SF
SECOND FLOOR OUTDOOR (DECKS)	2,395 SF

\*\*\*CMC 17.700.010 - FLOOR AREA IS CONSIDERED SAME AS GROSS FLOOR AREA. ALL AREA WITHIN EACH LEVEL MEASURED FROM EXTERIOR WALL FINISH.

**FLOOR PLAN LEGEND**

- STRUCTURAL WALL; SEE STRUCT.; FINISH PER PLANS
- NON-STRUCTURAL WALL; SEE STRUCT.; FINISH PER PLANS
- (1) HOUR FIRE RATED WALL; SEE SHEET A7.01 FOR MORE INFORMATION
- (2) HOUR FIRE RATED WALL; SEE SHEET A7.01 FOR MORE INFORMATION
- WALL TAG; REFER TO SHEET A7.01 FOR MORE INFORMATION
- DOOR TAG; REFER TO SHEET A8.11 FOR MORE INFORMATION
- NEW GRID; SEE STRUCTURAL
- EXISTING GRID; SEE STRUCTURAL
- PROPERTY LINE

REGISTRATION:



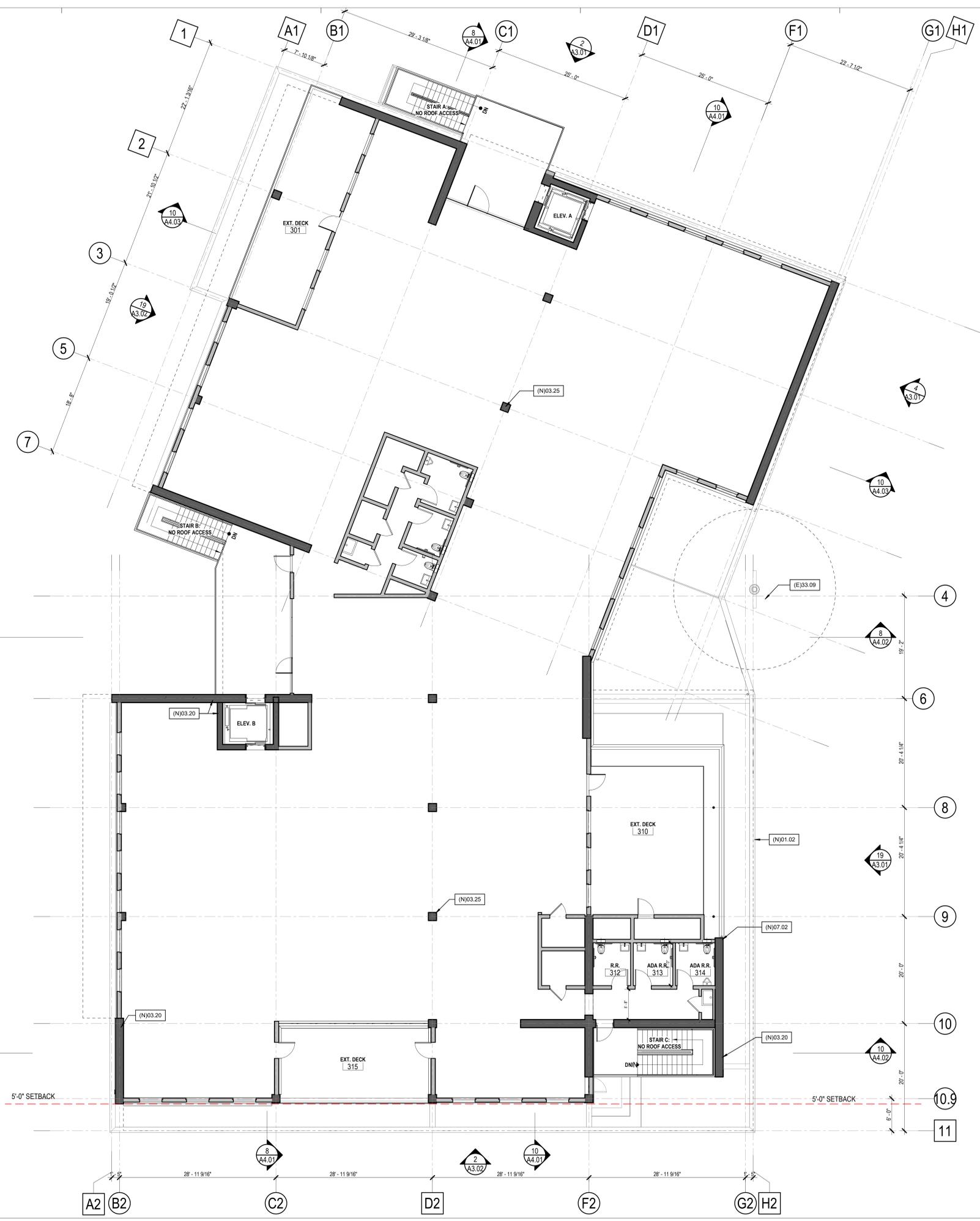
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 LOS ANGELES, CA 90021  
 HI@ERA.STUDIO

**A2.02**

SECOND FLOOR PLAN

THIS MATERIAL IS OWNED AND IS THE SOLE AND EXCLUSIVE PROPERTY OF EVAN RAABE ARCHITECTURE STUDIO AND IS SUPPLIED TO THE CLIENT ON A CONFIDENTIAL BASIS. SOLELY FOR USE IN CONNECTION WITH THE JOB IDENTIFIED HEREIN. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISTRIBUTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF EVAN RAABE ARCHITECTURE STUDIO.

SECOND FLOOR PLAN  
 1/8" = 1'-0" 10



**FLOOR PLAN GENERAL NOTES**

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT JOBSITE AND NOTIFY ARCHITECT IF THERE ARE ANY OMISSIONS OR DISCREPANCIES.
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- PROVIDE CODE REQUIRED POWER OUTLETS.
- ALL DIMENSIONS ON THIS PLAN ARE TO FINISH FACE OF WALL UN.O.



**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

**CORE & SHELL**

PROJECT # 23.022

**SPR SUBMITTAL**

PERMIT # \_\_\_\_\_

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**KEYNOTE - (E)XISTING**

(E)33.09	POWER POLE TO REMAIN.
----------	-----------------------

**KEYNOTE - (N)EW**

(N)01.02	LINE OF ROOF ABOVE.
(N)03.20	CONCRETE WALL
(N)03.25	CONCRETE COLUMN
(N)07.02	BONDERIZED METAL DOWNSPOUT

**ARCHITECT:**  
EVAN RAABE ARCHITECTURE STUDIO  
EVAN A RAABE, AIA, NCARB, #C32671  
2121 EAST 7TH PLACE, UNIT 201  
LOS ANGELES, CA 90021  
EVAN@ERA.STUDIO

**OWNER:**  
REDCAR PROPERTIES LTD.  
2341 MICHIGAN AVE.  
SANTA MONICA, CA 90404

**STRUCTURAL:**  
GHANIM STRUCTURAL ENGINEERING  
898 N. FAIR OAKS AVE., SUITE F,  
PASADENA, CA 91103  
(626) 407-2224

**MEP:**  
LAM + TEA ENGINEERING  
100 MLK BLVD, SUITE 207  
CHATTANOOGA, TN 37405  
615.208.2833 x338

**CIVIL:**  
SHERWOOD DESIGN ENGINEERS  
2548 MISSION ST.  
SAN FRANCISCO, CA 94110  
415.677.7300 x343

**LIGHTING:**  
ALAN NOELLE ENGINEERING  
3636 E HARBOR BLVD # 204,  
VENTURA, CA 93001  
805.563.5444

**AREA BREAKDOWN**

FLOOR	AREA***
THIRD FLOOR	15,190 SF
THIRD FLOOR OUTDOOR (DECKS)	1,585 SF

\*\*\*CMC 17.700.010 - FLOOR AREA IS CONSIDERED SAME AS GROSS FLOOR AREA. ALL AREA WITHIN EACH LEVEL MEASURED FROM EXTERIOR WALL FINISH

**FLOOR PLAN LEGEND**

- STRUCTURAL WALL; SEE STRUCT.; FINISH PER PLANS
- NON-STRUCTURAL WALL; SEE STRUCT.; FINISH PER PLANS
- (1) HOUR FIRE RATED WALL; SEE SHEET A7.01 FOR MORE INFORMATION
- (2) HOUR FIRE RATED WALL; SEE SHEET A7.01 FOR MORE INFORMATION
- WALL TAG; REFER TO SHEET A7.01 FOR MORE INFORMATION
- DOOR TAG; REFER TO SHEET A8.11 FOR MORE INFORMATION
- NEW GRID; SEE STRUCTURAL
- EXISTING GRID; SEE STRUCTURAL
- PROPERTY LINE

REGISTRATION:



2121 EAST 7TH PLACE, SUITE 201  
LOS ANGELES, CA 90021  
HI@ERA.STUDIO

**A2.03**

THIRD FLOOR PLAN  
THE MATERIAL IS OWNED AND IS THE SOLE AND EXCLUSIVE PROPERTY OF EVAN RAABE ARCHITECTURE STUDIO AND IS SUPPLIED TO THE CLIENT ON A CONFIDENTIAL BASIS. NO REUSE FOR USE IN CONNECTION WITH THE JOB IDENTIFIED HEREIN. FEDERAL LAW PROHIBITS THE REPRODUCTION, DISPLAY, SALE OR OTHER DISTRIBUTION OF THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF EVAN RAABE ARCHITECTURE STUDIO.



REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**ARCHITECT:**  
 EVAN RAABE ARCHITECTURE STUDIO  
 EVAN A RAABE, AIA, NCARB, #C32671  
 2121 EAST 7TH PLACE, SUITE 201  
 LOS ANGELES, CA 90021  
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 2341 MICHIGAN AVE.  
 SANTA MONICA, CA 90404

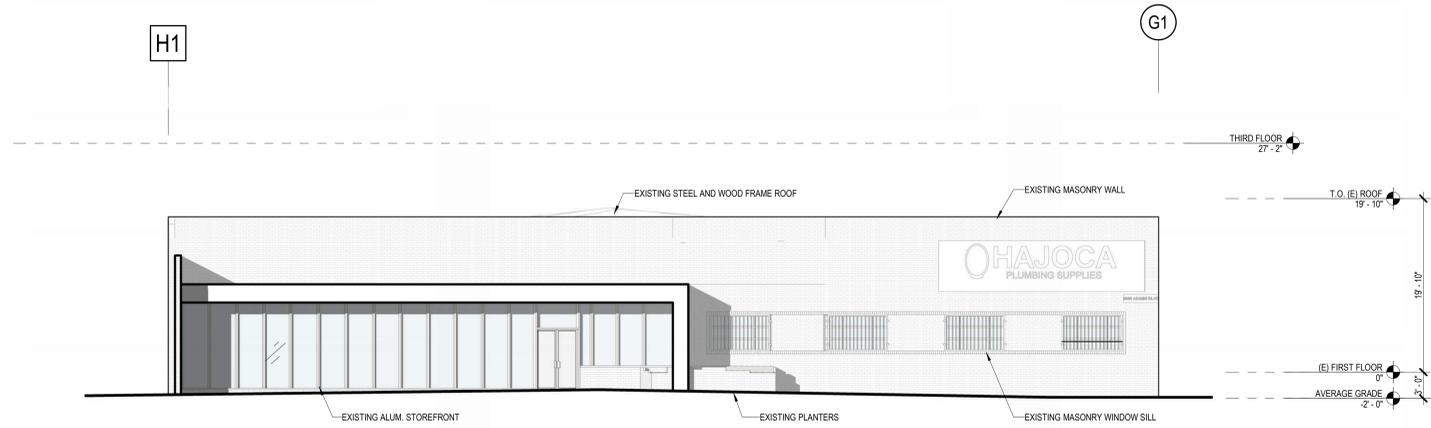
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 (626) 407-2224

**MEP:**  
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 100 MLK BLVD, SUITE 207  
 CHATTANOOGA, TN 37405  
 615.208.2833 x338

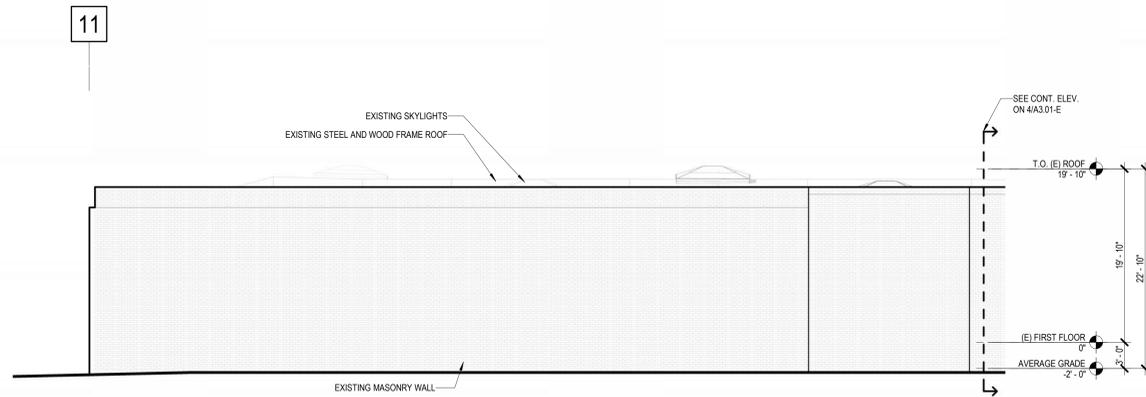
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 SAN FRANCISCO, CA 94110  
 415.677.7300 x343

**LIGHTING:**  
 ALAN NOELLE ENGINEERING  
 3639 E HARBOR BLVD # 204,  
 VENTURA, CA 93001  
 805.563.5444

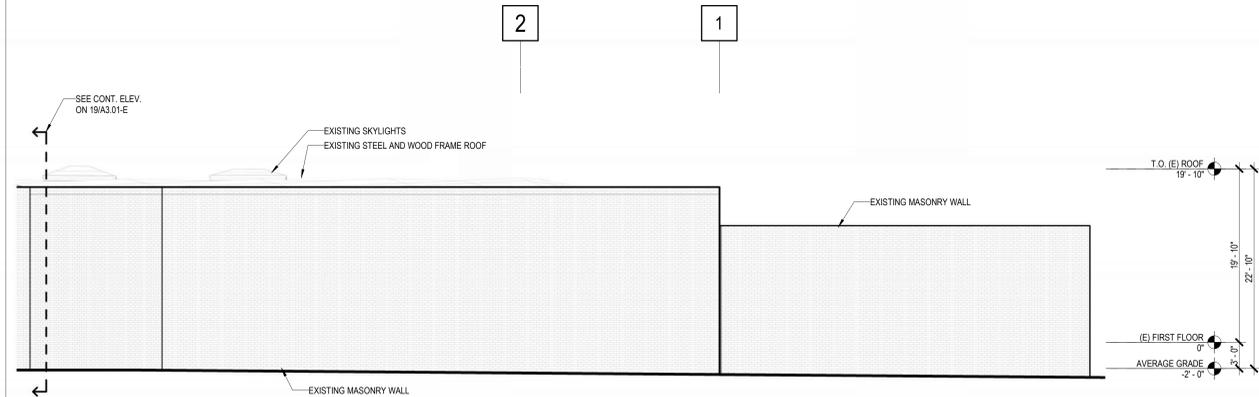
REGISTRATION:



EXISTING NORTH ELEVATION  
 1/8" = 1'-0" 2



EXISTING EAST ELEVATION  
 1/8" = 1'-0" 19



EXISTING EAST ELEVATION  
 1/8" = 1'-0" 4



REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

**ARCHITECT:**  
 EVAN RAABE ARCHITECTURE STUDIO  
 EVAN A RAABE, AIA, NCARB, #C32671  
 2121 EAST 7TH PLACE, UNIT 201  
 LOS ANGELES, CA 90021  
 EVAN@ERA.STUDIO

**OWNER:**  
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 615.208.2833 x338

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 415.677.7300 x343

**LIGHTING:**  
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 805.563.5444

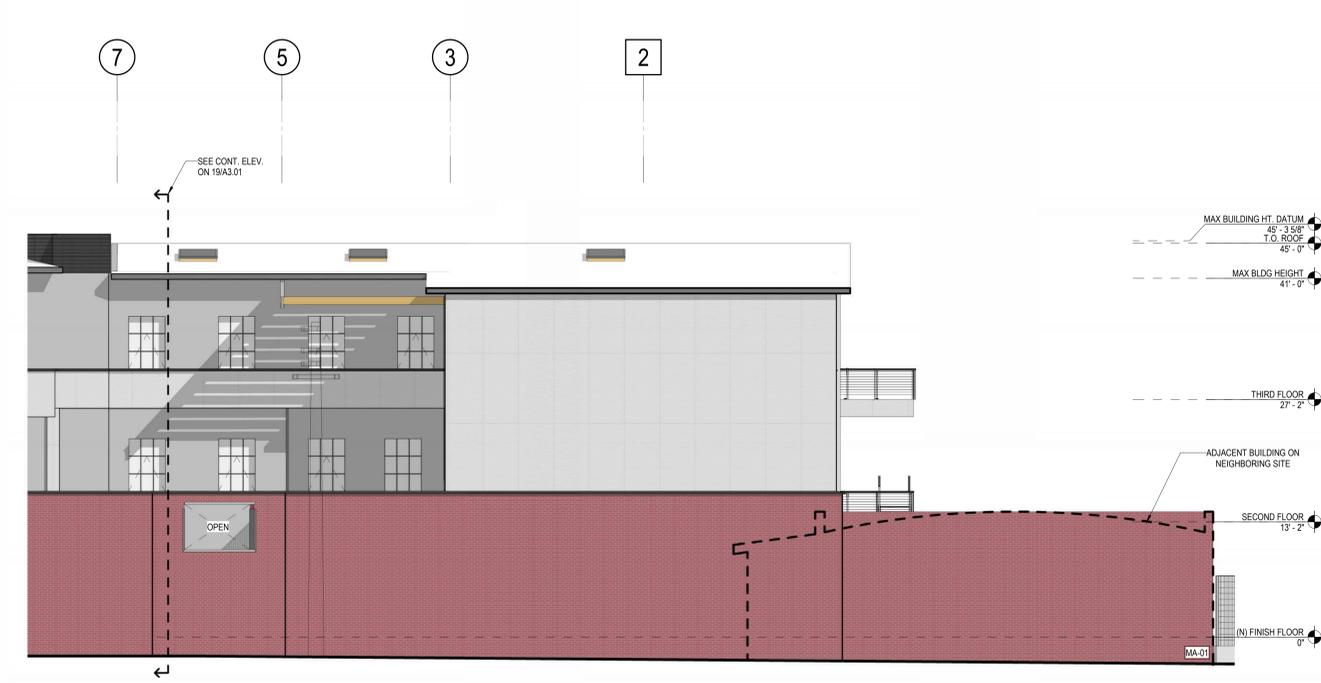
REGISTRATION:



NORTH ELEVATION  
 1/8" = 1'-0" 2



PARTIAL EAST ELEVATION - SOUTH  
 1/8" = 1'-0" 19



PARTIAL EAST ELEVATION - NORTH  
 1/8" = 1'-0" 4

**FINISHES**

CO-01	CONCRETE, GROUND AND SEALED
CO-02	CONCRETE, GROUND AND POLISHED
CO-03	CONCRETE, ACID ETCHED
CO-04	CONCRETE, PLYWOOD FORMWORK
CMU-01	CONCRETE BLOCK
MA-01	EXISTING MASONRY
MT-01	HOT ROLLED STEEL, CLEAR SEALED
PT-01	WHITE PAINT, FLAT FINISH
PT-02	WHITE PAINT, EGGSHELL FINISH
PL-01	CEMENT PLASTER, SMOOTH FINISH
PL-02	CEMENT PLASTER, KNOCKDOWN FINISH
ST-01	MARBLE SLAB
TL-03	3"x6" WHITE SUBWAY TILE
WD-01	WALNUT WOOD FINISH

REV	DATE	REMARK
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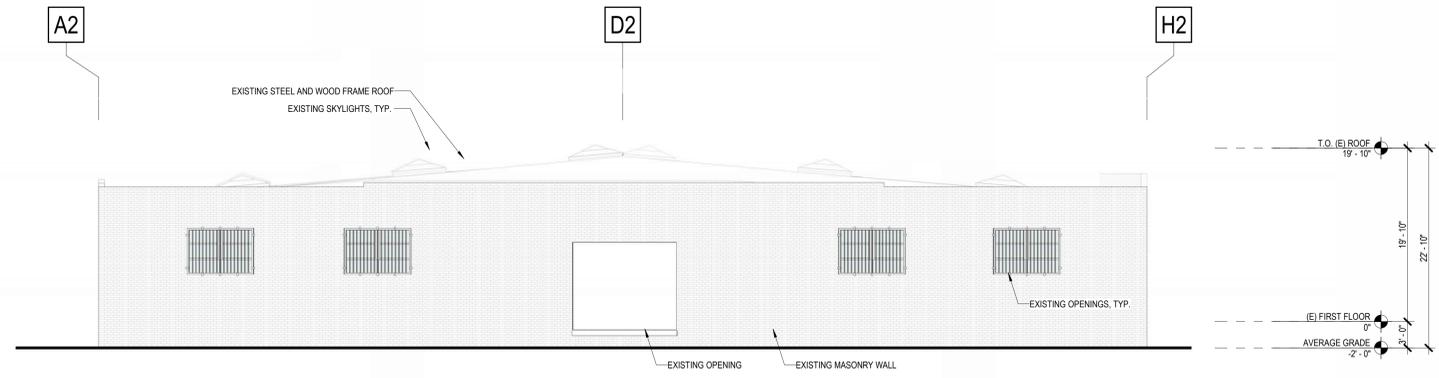
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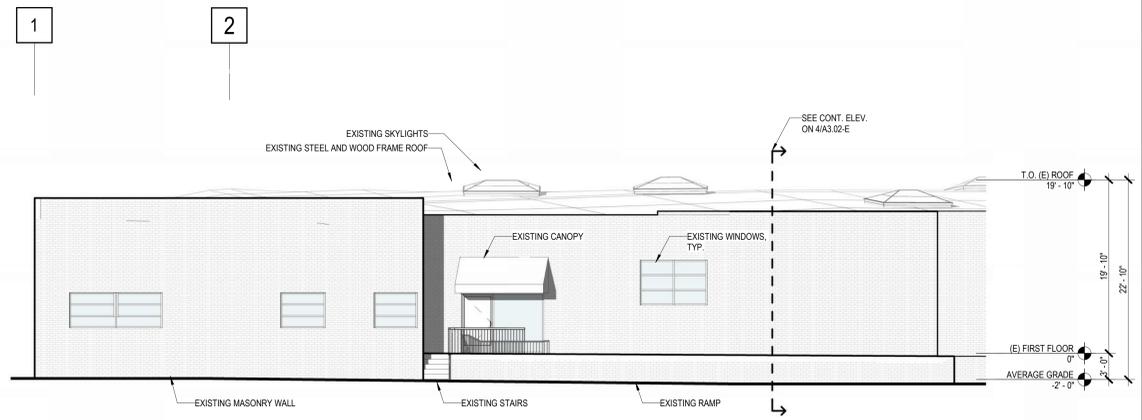
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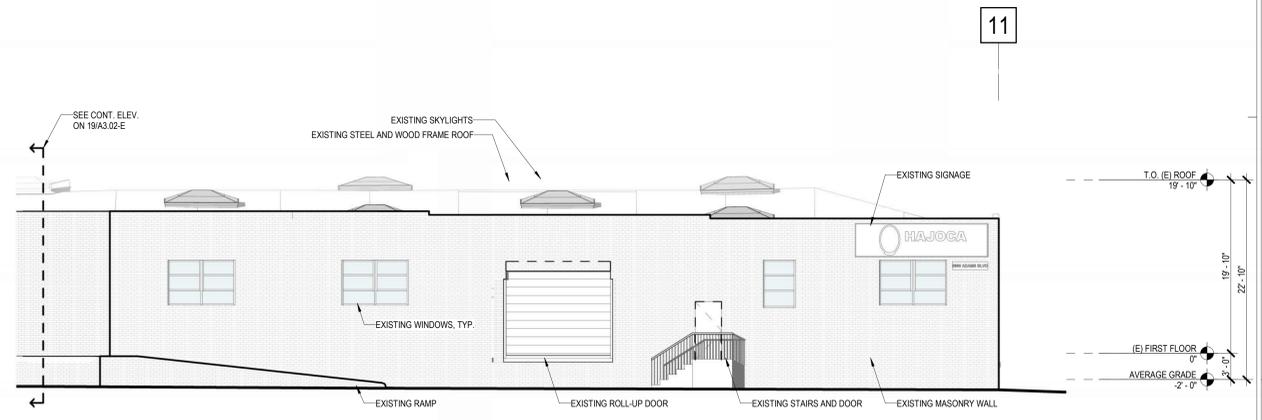
REGISTRATION:



EXISTING SOUTH ELEVATION  
 1/8" = 1'-0" 1



EXISTING WEST ELEVATION  
 1/8" = 1'-0" 19



EXISTING WEST ELEVATION  
 1/8" = 1'-0" 2

REV	DATE	REMARK
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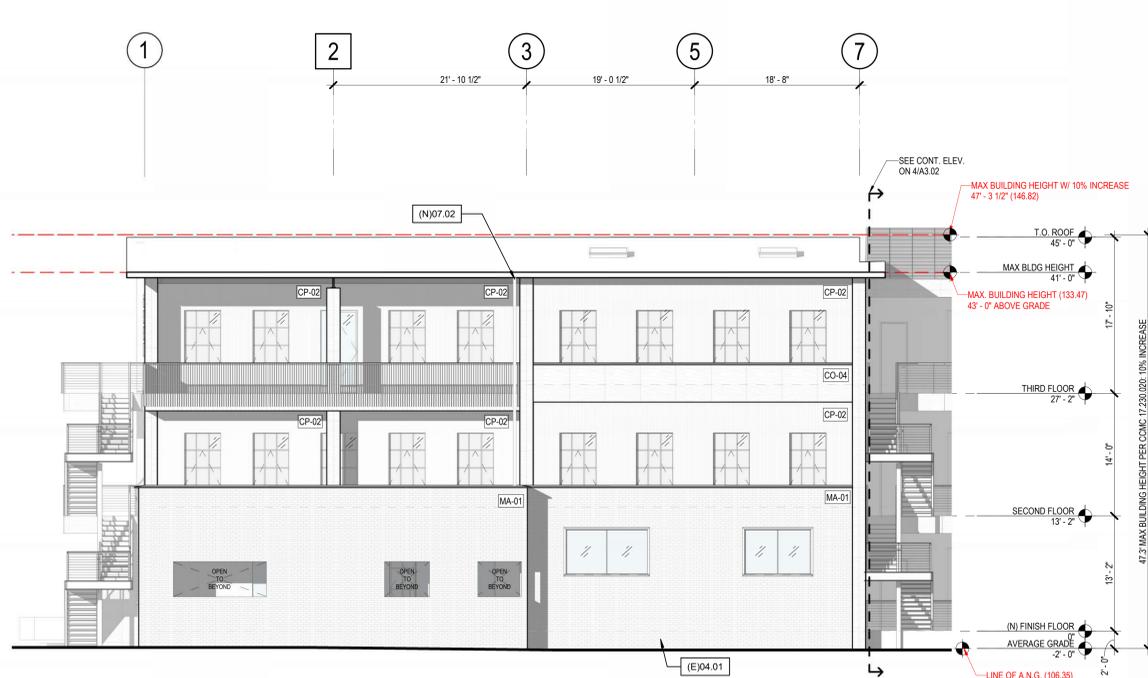
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REGISTRATION:



SOUTH ELEVATION  
1/8" = 1'-0" 2



WEST ELEVATION  
1/8" = 1'-0" 19



WEST ELEVATION  
1/8" = 1'-0" 4

ELEVATION NOTES

REFER TO SHEET 015 FOR BUILDING HEIGHT EXCEPTIONS

KEYNOTE - (N)EW

(N)03.22	CONCRETE MASONRY UNIT (CMU) ENCLOSURE WALL.
(N)03.32	CIP CONCRETE PARAPET/WALL CAP
(N)07.02	BONDERIZED METAL DOWNSPOUT
(N)07.21	WHITE, FLUID APPLIED ROOFING OVER RIGID INSULATION BOARD.
(N)10.01	BUILDING SIGNAGE.
(N)14.01	(N) ELEVATOR.
(N)23.20	MECHANICAL SCREEN.
(N)32.20	FENCE.

KEYNOTE - (E)XISTING

(E)04.01	EXISTING MASONRY WALL TO REMAIN. REPAIR/REPOINT AS REQUIRED.
----------	--

FINISHES

CO-01	CONCRETE, GROUND AND SEALED
CO-02	CONCRETE, GROUND AND POLISHED
CO-03	CONCRETE, ACID ETCHED
CO-04	CONCRETE, PLYWOOD FORMWORK
CMU-01	CONCRETE BLOCK
MA-01	EXISTING MASONRY
MT-01	HOT ROLLED STEEL, CLEAR SEALED
PT-01	WHITE PAINT, FLAT FINISH
PT-02	WHITE PAINT, EGGSHELL FINISH
PL-01	CEMENT PLASTER, SMOOTH FINISH
PL-02	CEMENT PLASTER, KNOCKDOWN FINISH
ST-01	MARBLE SLAB
TL-03	3"x6" WHITE SUBWAY TILE
WD-01	WALNUT WOOD FINISH

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A3.02

EXTERIOR ELEVATIONS

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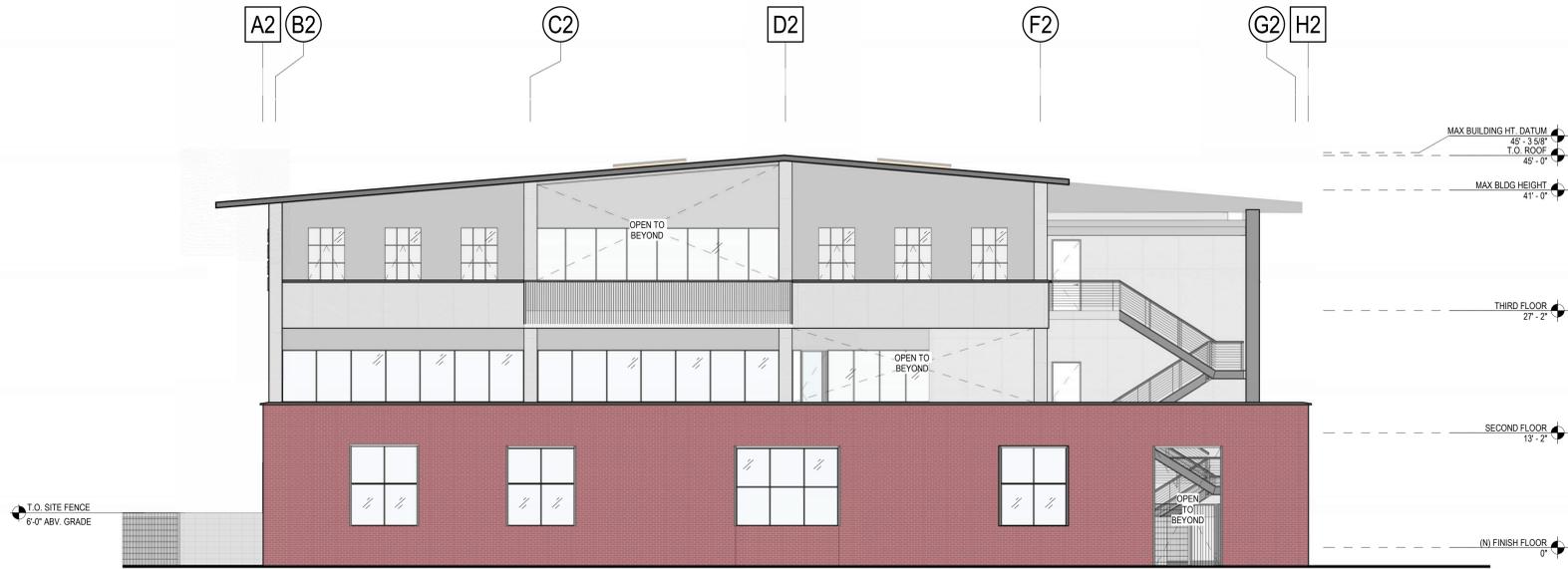
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REGISTRATION:



SOUTH ELEVATION  
1/8" = 1'-0" 2



WEST ELEVATION  
1/8" = 1'-0" 19



WEST ELEVATION  
1/8" = 1'-0" 4

**FINISHES**

CO-01	CONCRETE, GROUND AND SEALED
CO-02	CONCRETE, GROUND AND POLISHED
CO-03	CONCRETE, ACID ETCHED
CO-04	CONCRETE, PLYWOOD FORMWORK
CMU-01	CONCRETE BLOCK
MA-01	EXISTING MASONRY
MT-01	HOT ROLLED STEEL, CLEAR SEALED
PT-01	WHITE PAINT, FLAT FINISH
PT-02	WHITE PAINT, EGGSHELL FINISH
PL-01	CEMENT PLASTER, SMOOTH FINISH
PL-02	CEMENT PLASTER, KNOCKDOWN FINISH
ST-01	MARBLE SLAB
TL-03	3"x6" WHITE SUBWAY TILE
WD-01	WALNUT WOOD FINISH



REV	DATE	REMARK
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	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

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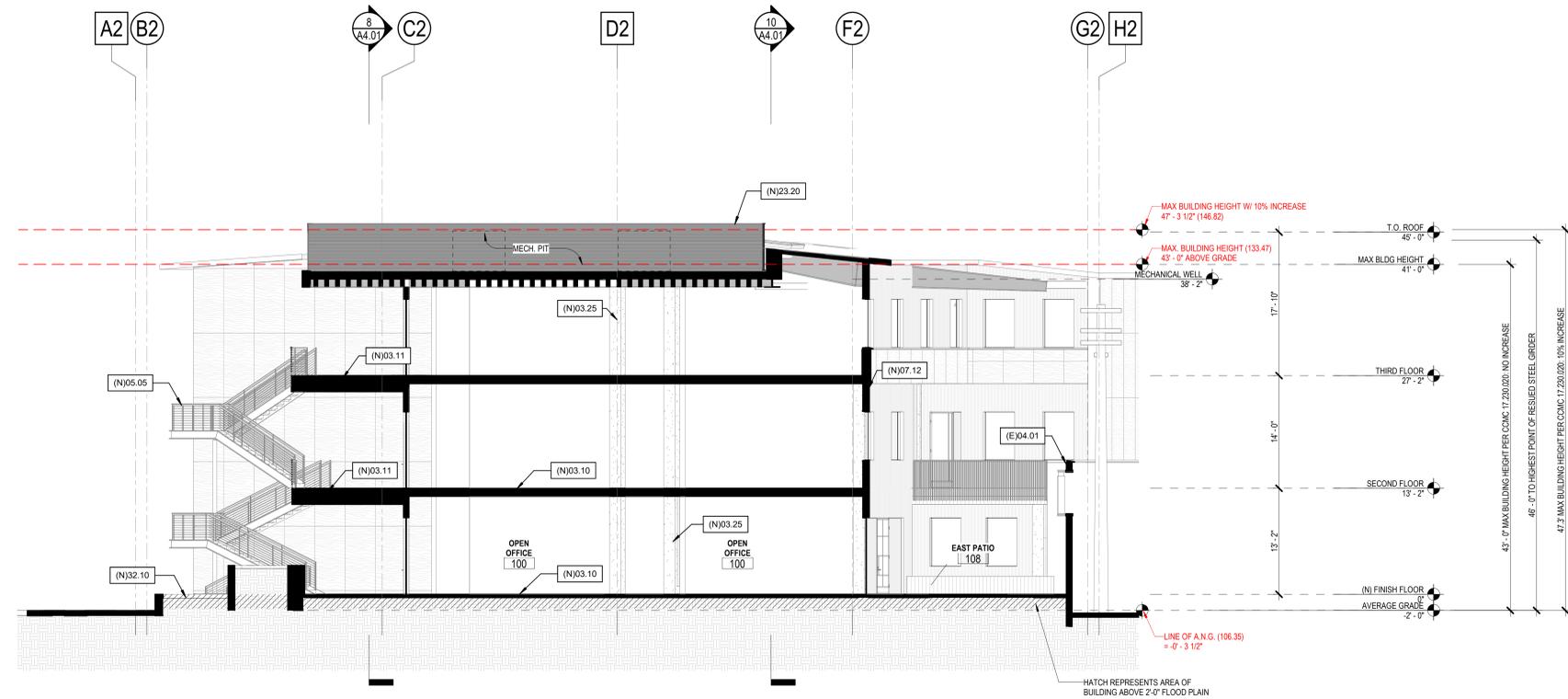
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A4.02

**BUILDING SECTIONS**  
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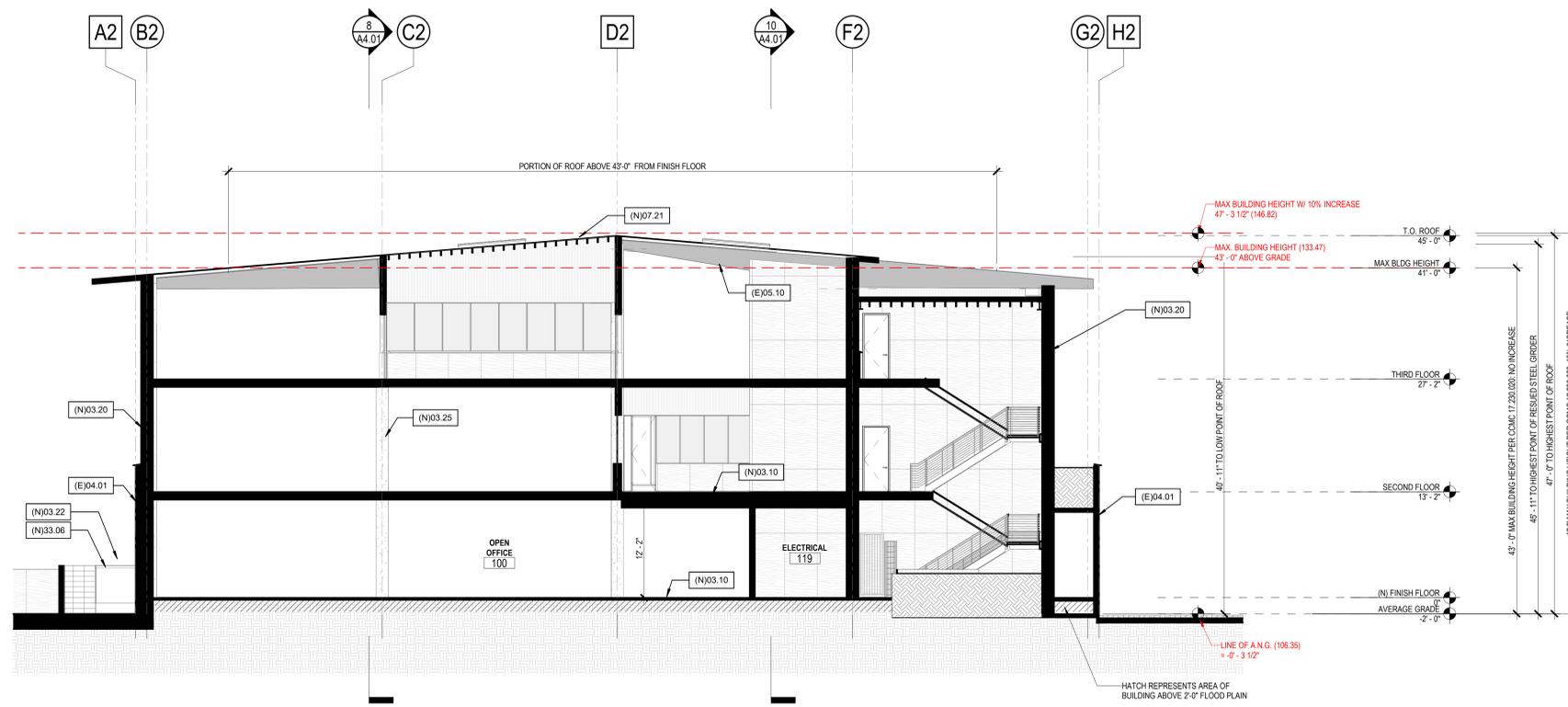
BUILDING SECTION 04  
1/8" = 1'-0" 8

KEYNOTE - (E)XISTING

(E)04.01	EXISTING MASONRY WALL TO REMAIN. REPAIR/REPOINT AS REQUIRED.
(E)05.10	EXISTING STEEL BEAM TO BE SALVAGED AND RELOCATED TO (N) ROOF IN ITS ENTIRETY. SEE (N) ROOF FRAMING PLAN

KEYNOTE - (N)EW

(N)03.10	CONCRETE SLAB
(N)03.11	CONCRETE TOPPING SLAB
(N)03.20	CONCRETE WALL
(N)03.22	CONCRETE MASONRY UNIT (CMU) ENCLOSURE WALL.
(N)03.25	CONCRETE COLUMN
(N)05.05	EXTERIOR STEEL STAIR WITH STEEL GUARDRAIL AND HANDRAIL.
(N)07.12	CEMENT PLASTER FINISH OVER LATH AND PAPER ON EXTERIOR FRAMED WALL.
(N)07.21	WHITE, FLUID APPLIED ROOFING OVER RIGID INSULATION BOARD.
(N)23.20	MECHANICAL SCREEN.
(N)32.10	LANDSCAPE AREA
(N)33.06	ELECTRICAL EQUIPMENT.



BUILDING SECTION 03  
1/8" = 1'-0" 10

BUILDING SECTION LEGEND

WALLS:	— WALL; SEE STRUCT.; FINISH PER PLANS
FLOORS:	— FLOORS; SEE FINISH PER PLAN; SEE STRUCT.
	(F1) FLOOR TAG
	UNOBSTRUCTED EARTH
	PLANTING SOIL; SEE LANDSCAPE

KEYNOTE - (E)EXISTING

REV	DATE	REMARK
	2024.01.24	SITE PLAN REVIEW SUBMITTAL
	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

(E)04.01

EXISTING MASONRY WALL TO REMAIN. REPAIR/REPOINT AS REQUIRED.

(E)05.10

EXISTING STEEL BEAM TO BE SALVAGED AND RELOCATED TO (N) ROOF IN ITS ENTIRETY. SEE (N) ROOF FRAMING PLAN

KEYNOTE - (N)NEW

(N)03.10	CONCRETE SLAB
(N)03.11	CONCRETE TOPPING SLAB
(N)03.25	CONCRETE COLUMN
(N)07.04	BONDERIZED SHEET METAL ROOF FASCIA
(N)07.21	WHITE, FLUID APPLIED ROOFING OVER RIGID INSULATION BOARD.

**ARCHITECT:**  
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415.677.7300 x343

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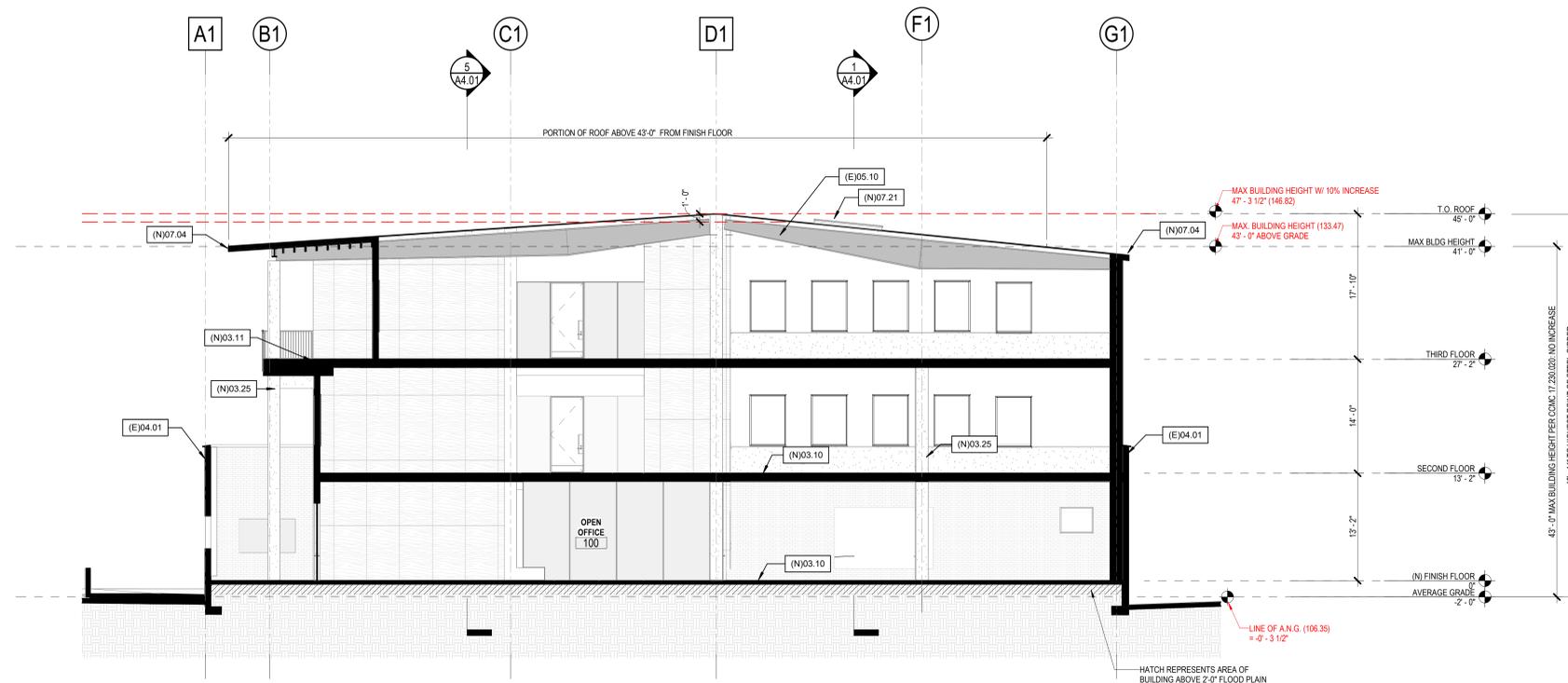
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A4.03

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BUILDING SECTION 10  
1/8" = 1'-0"

BUILDING SECTION LEGEND

WALLS:	— WALL; SEE STRUCT.; FINISH PER PLANS
FLOORS:	— FLOORS, SEE FINISH PER PLAN; SEE STRUCT.
F1	FLOOR TAG
[Hatched Area]	UNOBSTRUCTED EARTH
[Cross-hatched Area]	PLANTING SOIL, SEE LANDSCAPE



**redcar**

**5880 ADAMS**

5880 ADAMS BLVD CULVER CITY CA, 90232

**CORE & SHELL**

PROJECT # 23.022

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REV	DATE	REMARK
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	2024.03.18	SITE PLAN REVIEW RESUBMITTAL

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**A12.01**

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