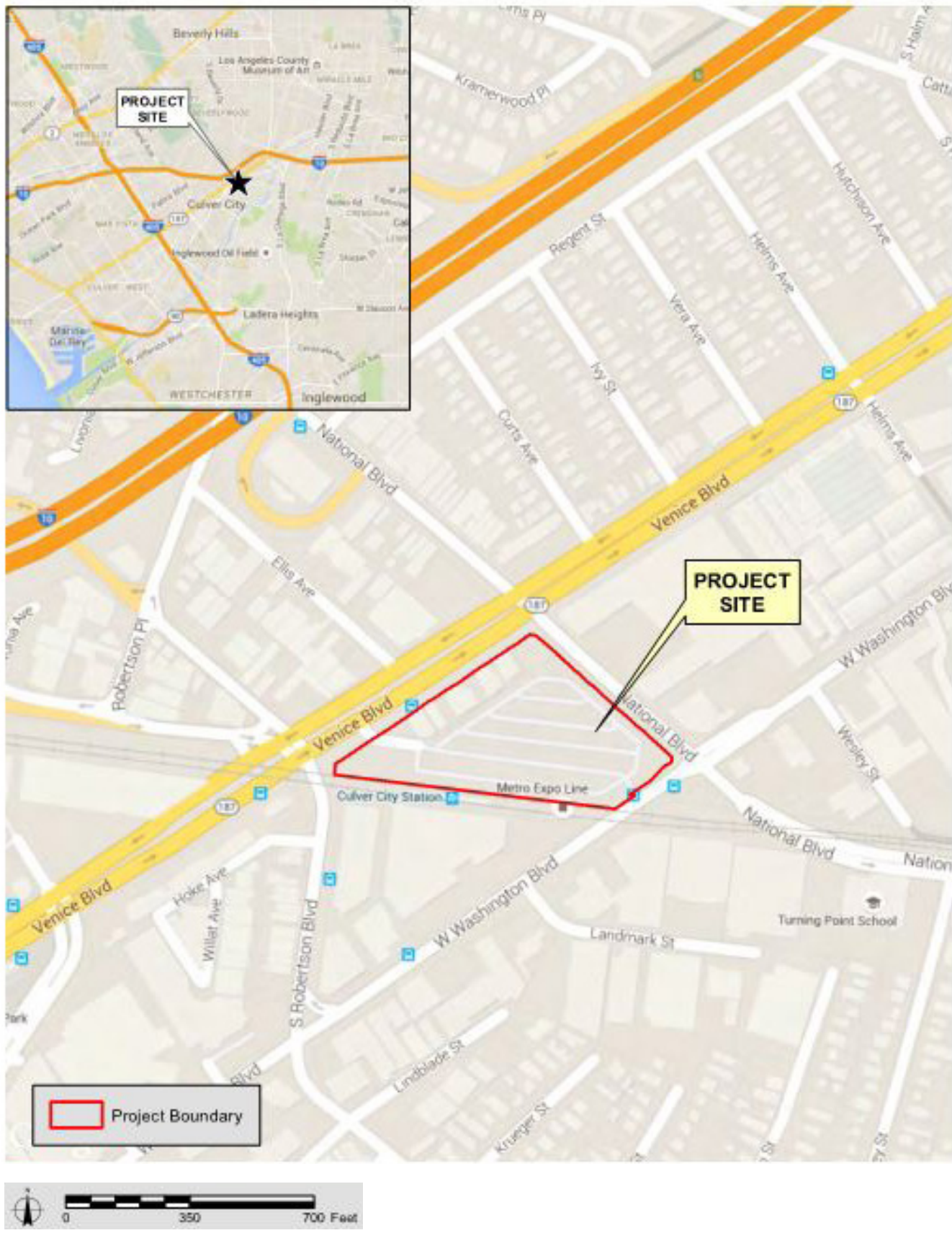


VICINITY MAP



SURROUNDING LAND USES



PROJECT SUMMARY TABLE:

IVY STATION: PROJECT INFO

IVY STATION IS A PROPOSED DEVELOPMENT IN CULVER CITY, BOUNDED BY VENICE BOULEVARD, NATIONAL BOULEVARD, WASHINGTON BOULEVARD, AND THE MTA EXPO LINE CULVER CITY STATION. THE DEVELOPMENT INCLUDES HOTEL, RESIDENTIAL, AND OFFICE COMPONENTS. THE DEVELOPMENT WILL CONTAIN A TOTAL OF 1,538 PARKING STALLS WITH 1,490 STALLS BELOW GRADE ON THREE LEVELS, AND 48 PARKING STALLS ABOVE GRADE ON THE GROUND LEVEL.

LEGAL DESCRIPTION:

PARCEL A: LOTS 1 THROUGH 52, INCLUSIVE OF TRACT NO. 5461, PARTLY IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 57, PAGE 76 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPTING THEREFROM ALL OIL, OIL RIGHTS, NATURAL GAS RIGHTS, MINERAL RIGHTS, ALL OTHER HYDROCARBON SUBSTANCES BY WHATSOEVER NAME KNOWN, AND ALL WATER CLAIMS OR RIGHTS TO WATER, TOGETHER WITH APPURTENANT RIGHTS THERETO, WITHOUT HOWEVER, THE RIGHT TO ENTER UPON THE SURFACE OF SAID LAND AS RESERVED BY DEEDS OF RECORD.

PARCEL B: ALL THE PARCEL OF LANDS SITUATED, LYING AND BEING IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING THAT PORTION OF THAT PART OF RANCHO RINCON DE LOS BUYES, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGES 207 AND 208 OF PATENTS, AS DESCRIBED IN THAT CERTAIN DEED FROM FRANCISCO HIGUERRA TO THE LOS ANGELES AND INDEPENDENCE RAILROAD COMPANY, RECORDED IN BOOK 47, PAGE 152 AND IN BOOK 53, PAGE 522 BOTH OF DEEDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND THAT PORTION OF THAT PART OF RANCHO RINCON DE LOS BUYES, PROPERTY OF CLEMENTE C. DE CORONEL, AS PER MAP RECORDED IN BOOK 13, PAGE 18 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS DESCRIBED IN THAT CERTAIN DEED FROM CLEMENTA CRUZ DE CORONEL, WIFE OF MANUEL CORONEL TO THE LOS ANGELES AND INDEPENDENCE RAILROAD COMPANY, RECORDED IN BOOK 53, PAGE 535 OF DEEDS OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION OF SAID LAND LYING NORTHWESTERLY OF SOUTHEASTERLY LINE OF VENICE BOULEVARD 155 FEET WIDE AND THAT PORTION OF SAID LAND LYING WESTERLY OF THE EASTERLY LINE OF ROBERTSON BOULEVARD OF VARIOUS WIDTH AS BOTH STREETS SHOWN ON PARCEL MAP NO. 16367, PARCEL MAP NO. L.A. NO. 5735 FILED IN BOOK 203, PAGES 57 AND 58 OF PARCEL MAPS.

ALSO EXCEPT THEREFROM THAT PORTION LYING SOUTHEASTERLY OF THE NORTHWESTERLY LINES OF WASHINGTON BOULEVARD 80 FEET WIDE. THE LEGAL DESCRIPTION SHOWN HEREIN IS PROFORMA ONLY AND THE REQUIREMENT THAT ALL PARTIES INVOLVED APPROVED SAID DESCRIPTION.

APN(S): 4312-014-270 THRU 4312-014-281; 4213-014-900 THRU 4213-014-920; AND 4213-031-900 AND 4213-031-901

GROSS AREAS:

OFFICE GROSS AREA:
 OFFICE: 174,032 SF
 RETAIL: 17,705 SF
 RESTAURANT: 7,550 SF
 TOTAL: 199,287 SF

RESIDENTIAL GROSS AREA:
 RESIDENTIAL & UTILITY & EXTERIOR AREAS: 247,996 SF
 RETAIL: 17,296 SF
 RESTAURANT: 5,415 SF
 TOTAL: 270,707 SF

HOTEL GROSS AREA:
 HOTEL: 113,467 SF
 RETAIL: 1,048 SF
 RESTAURANT: 3,489 SF
 TOTAL: 118,004 SF

TOTAL FOR ALL BUILDINGS ON SITE: 1,239,660 SF

PROJECT DIRECTORY:

CLIENT / TENANT:

LOS ANGELES ALE WORKS
 ATTN: ANDREW FOWLER
 E:FOWLER@LAALWORKS.COM

TENANT SERVICES:

LOWE ENTERPRISES
 11777 SAN VICENTE BL, SUITE 900
 LOS ANGELES, CA 90049
 CONTACT: RYAN BURTON
 T: 310.571.4317
 E: RBURTON@LOWE-RE.COM

ARCHITECT:

STUDIO Hamilton Tyni

CLIENT:

Los Angeles ALE WORKS

PROJECT:
 LOS ANGELES ALE WORKS
 TASTING ROOM
 (ALCOHOLIC BEVERAGE SALES)

ADDRESS:
 IVY STATION
 8809 Washington Blvd
 Suite 132 & 133
 Culver City, CA 90232

SHEET INDEX:

CUP-1	COVER SHEET
CUP-2	EXISTING ABOVE-GRADE FEATURES
CUP-3	SITE PLAN
CUP-4	FLOOR PLAN
CUP-5	APPROVED BUILDING ELEV
CUP-6	PROPOSED BUILDING ELEV
CUP-7	MATERIAL BOARD
CUP-8	RENDERINGS
CUP-9	RENDERINGS
CUP-10	RENDERINGS

NO: DATE REVISION

01	01.20.2020	CUP SUBMITTAL
02	05.01.2020	CUP RE-SUBMITTAL

DISCLOSURE:

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SHEET TITLE:

COVER SHEET

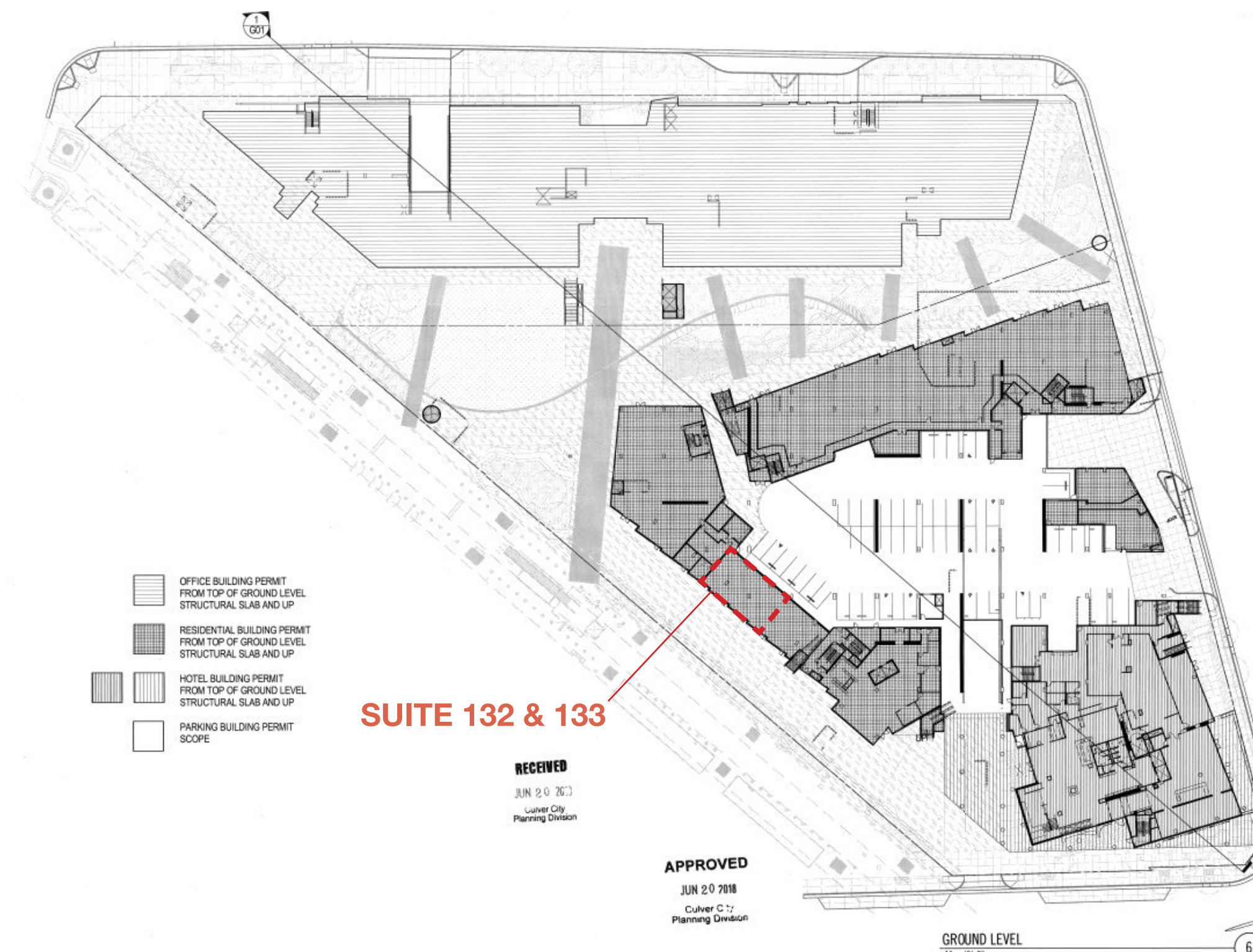
PARKING SUMMARY:

USER GROUP	PARKING REQUIRED*	PARKING PROVIDED*	PREFERRED**	PREFERRED PROVIDED	EV CAPABLE	EV CHARGER
OFFICE	497	497	40	45	27	18
RETAIL/RESTAURANT	210	210	17	17***	9*	
HOTEL	217	223	18	18	2	
RESIDENTIAL	250	250	20	20	10	6
RESIDENTIAL GUEST	50	50	4	4		
METRO	300	308	25	25	3	
TOTAL	1524	1538	124	129	51	24

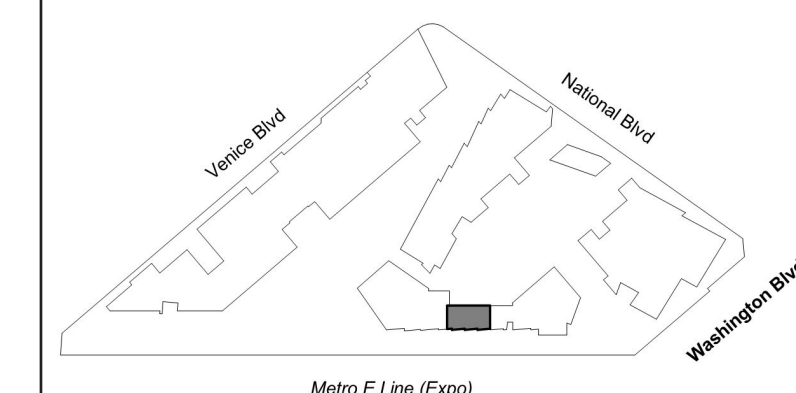
*INCLUDES 2 SHUTTLE BUS SPACES
 **PREFERRED PARKING FOR VAN POOL/CAR POOL/CLEAN AIR
 ***INCLUDES 8 PREFERRED PARKING STALLS FOR OFFICE RETAIL/RESTAURANT

PARKING LEVEL	USER GROUP	PARKING PROVIDED						TOTAL	
		STD.	COMP. (see Note 4)	%	TANDEM (see Notes 1-3)	%	ACC.****		VAN ACC.*****
GROUND FLOOR	RETAIL	19	3		0		2	1	25
	HOTEL (VALET)	3	3		0		5	2	13
	METRO	5	3		0		0	0	8
	SHUTTLE	2	0		0		0	0	2
LEVEL P1	RESIDENTIAL	205	30		54		4	1	250
	RESIDENTIAL GUEST	40	7		0		2	1	50
	RETAIL	109	11		0		5	1	126
	OFFICE	1	0		2		0	0	3
LEVEL P2	HOTEL (VALET)	58	23		129		0	0	210
	OFFICE	241	41		32		6	1	321
	RETAIL	57	0		0		0	0	57
									588
LEVEL P3	METRO	242	51		0		5	2	300
	OFFICE	156	14		0		2	1	173
OVERALL TOTAL		1138	186	12%	217	14%	31	10	1538

Note 1: TANDEM SPACES FOR OFFICE SHALL HAVE AN ATTENDANT OR VALET SERVICE AT ALL TIMES THAT THE PARKING IS ACCESSIBLE TO USERS.
 Note 2: RESIDENTIAL TANDEM SPACES SHALL BE ASSIGNED TO A SINGLE UNIT.
 Note 3: TANDEM SET COUNT= 88 DOUBLES (RESIDENTIAL & OFFICE) + 20 DOUBLES (HOTEL VALET), 17 TRIPLES (HOTEL VALET ONLY), 10 QUADRUPLES (HOTEL VALET ONLY).
 Note 4: ALTERNATE COMPACT STALL COUNT= 68 (35 HOTEL VALET + 33 OTHER USES) =5%
 ****INCLUDED IN COUNTS
 STD.= STANDARD STALL
 COMP.= COMPACT STALL
 ACC.= ACCESSIBLE PARKING STALL
 VAN ACC.= VAN ACCESSIBLE PARKING STALL
 TAND.= TANDEM STALL



KEY PLAN



Los Angeles ALE WORKS

CONDITIONAL USE PERMIT - SUBMITTAL

ADDRESS:
 IVY STATION
 8809 Washington Blvd
 Suite 132 & 133
 Culver City, CA 90232

DRAWN:

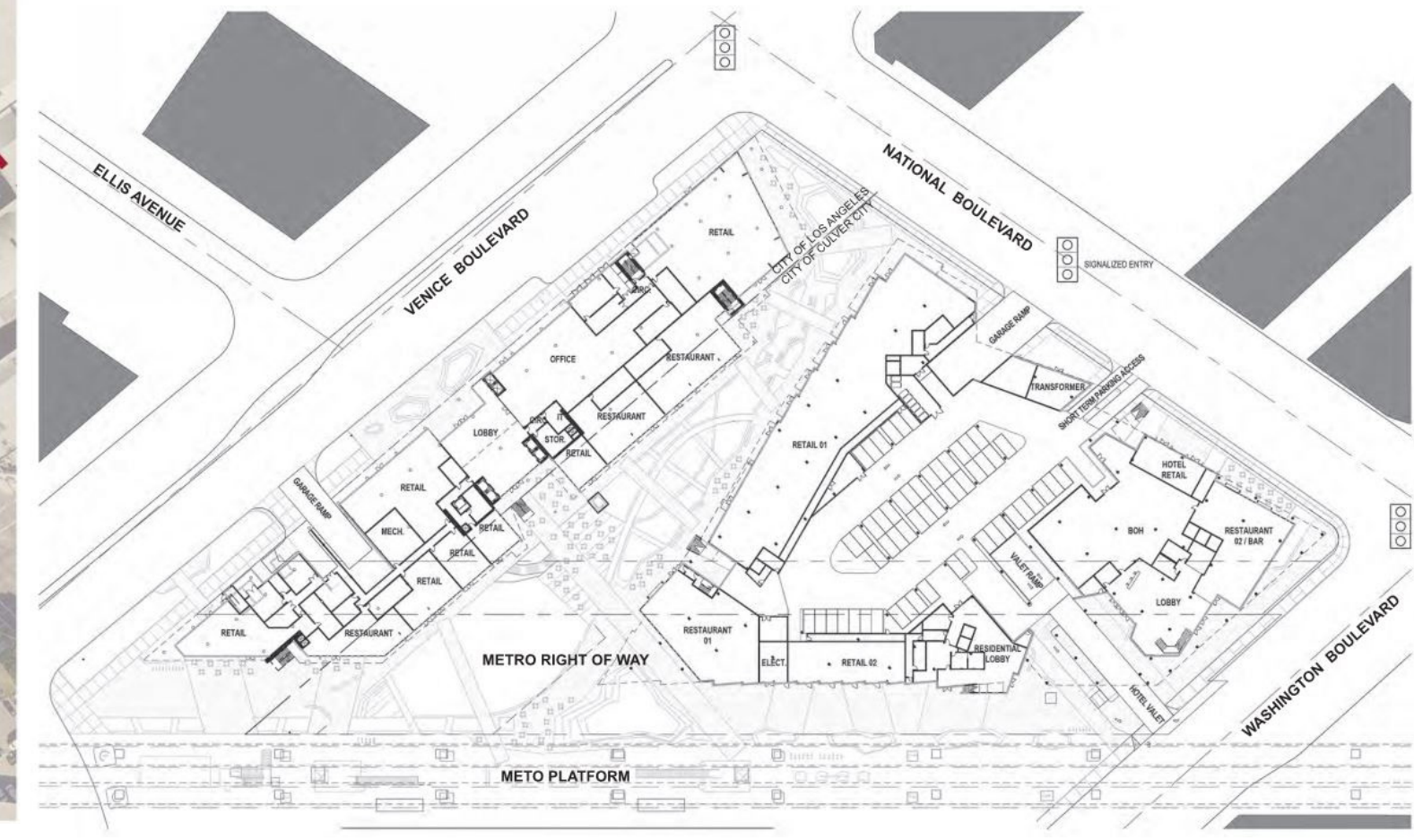
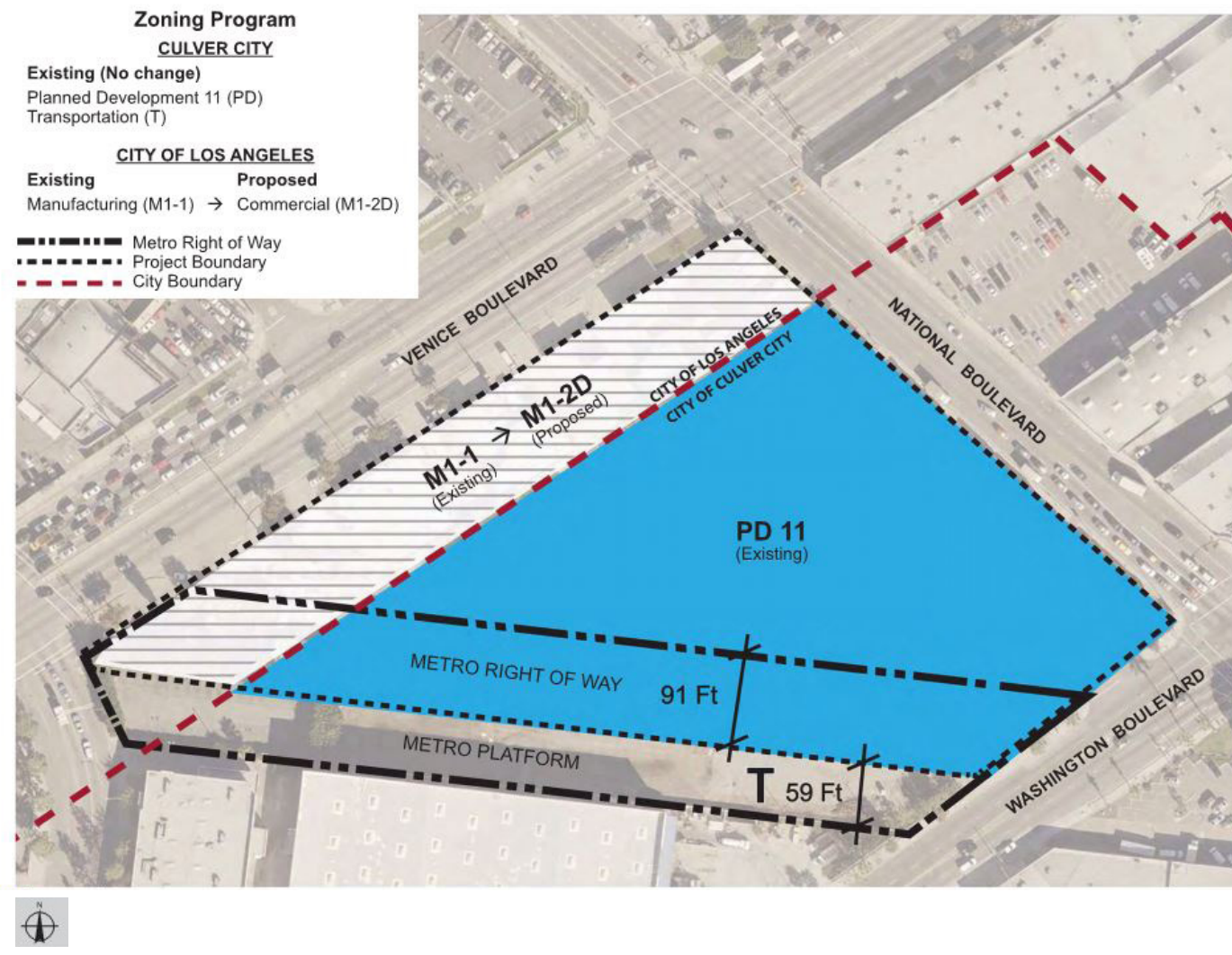
SCALE:

JOB:

SHEET NUMBER:

CUP- 1

EASEMENTS:



STUDIO Hamilton Tyni

Los Angeles ALE WORKS

PROJECT:
LOS ANGELES ALE WORKS
TASTING ROOM
(ALCOHOLIC BEVERAGE SALES)
ADDRESS:
IVY STATION
8809 Washington Blvd
Suite 132 & 133
Culver City, CA 90232

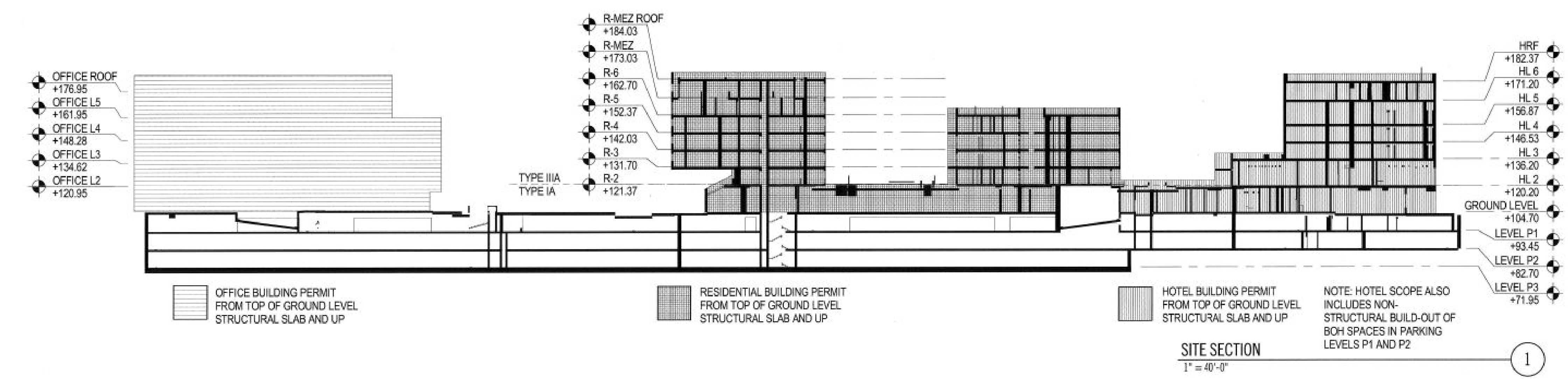
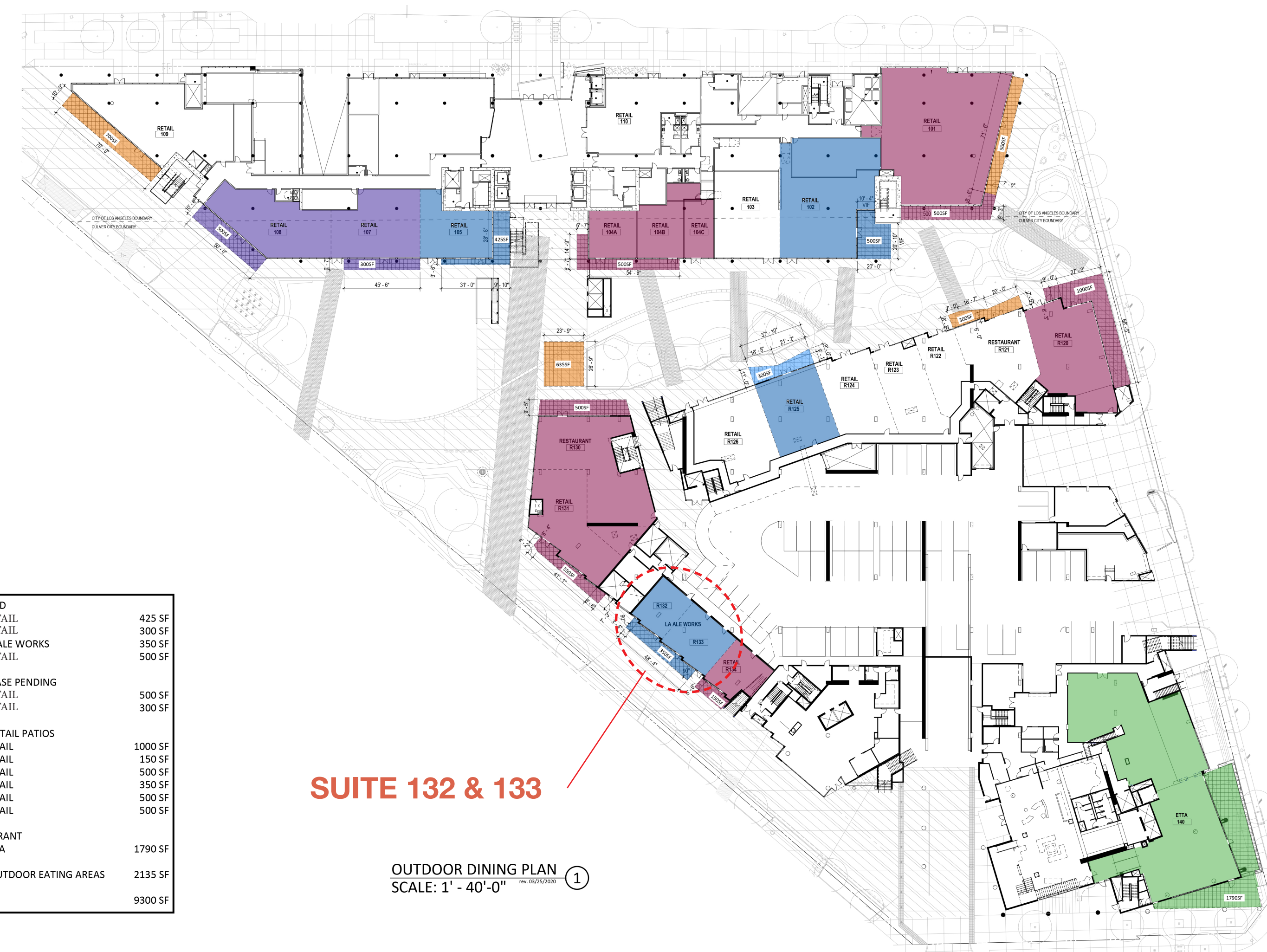
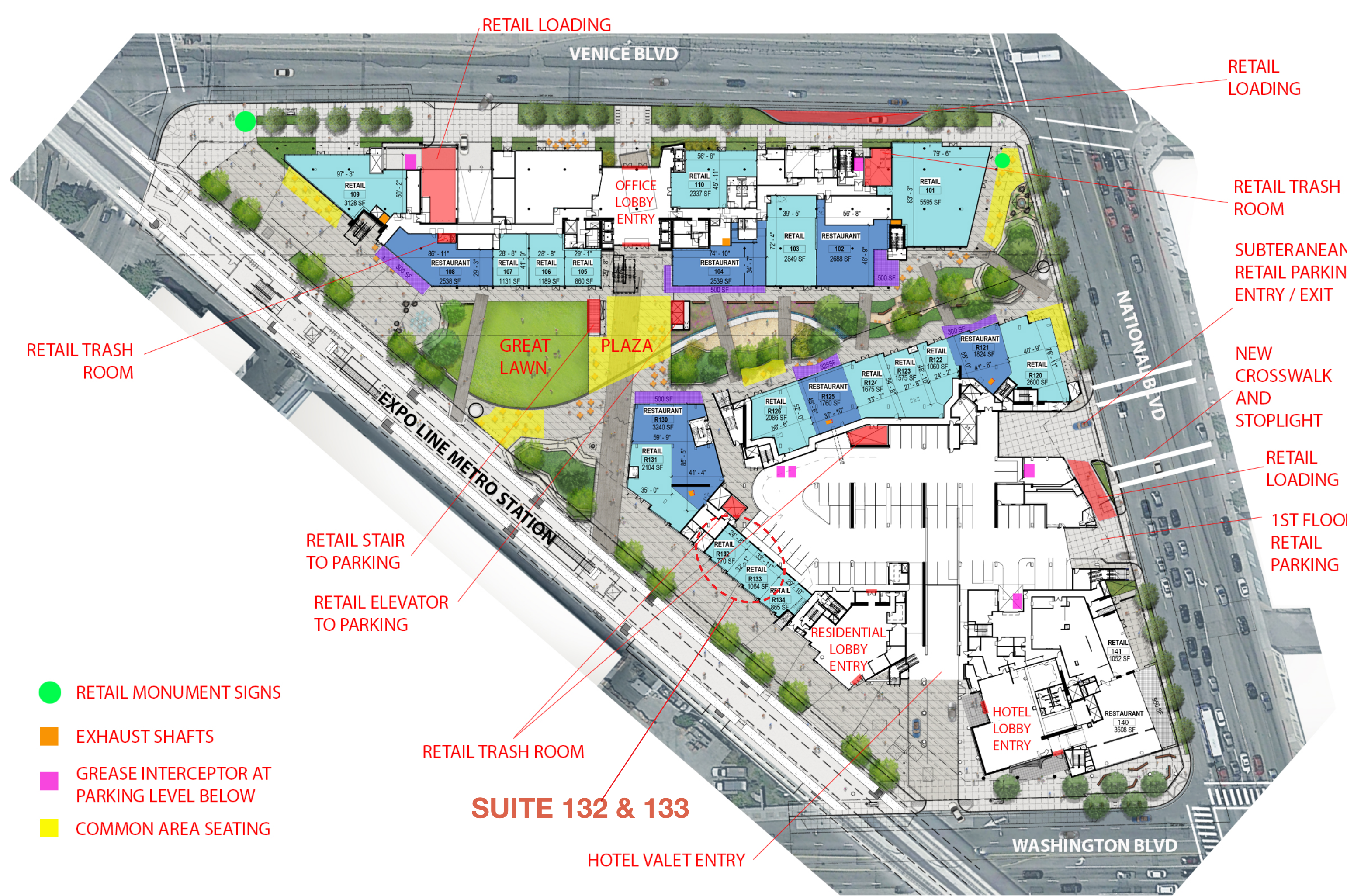
NO.	DATE	REVISION
01	01.20.2020	CUP SUBMITTAL
02	05.01.2020	CUP RE-SUBMITTAL

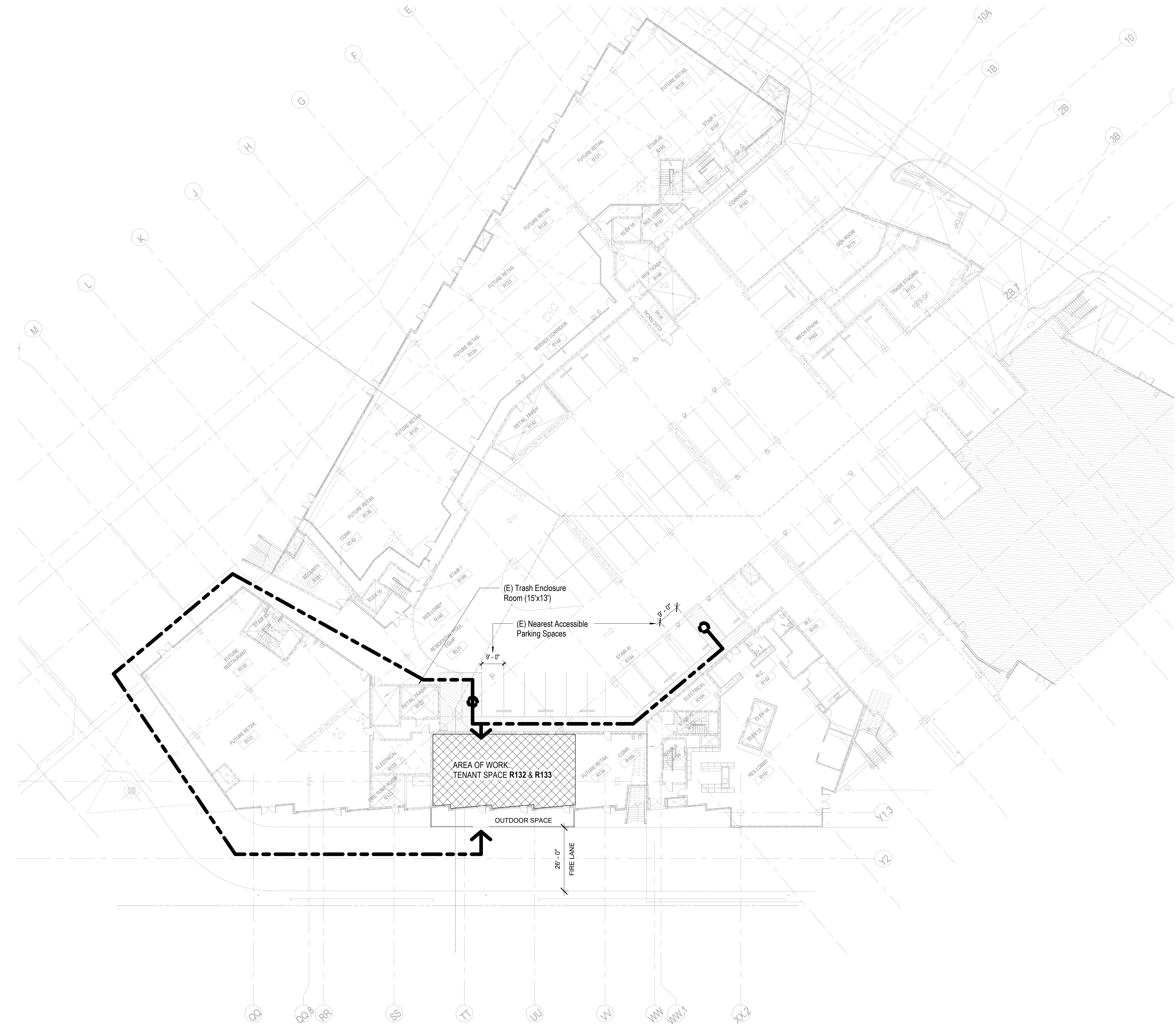
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SHEET TITLE:
EXISTING ABOVE-GRADE FEATURES

DRAWN:
SCALE:
JOB:
SHEET NUMBER:

CUP-2





SITE PLAN_1"=50'

SITE PLAN NOTES

1. PARKING SPACES THAT SERVE A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO AN ENTRANCE. CBC AAB-208.3.1
2. ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250," CBC2016 11B-502.6.2
3. SLOPE OF ACCESSIBLE PARKING STALLS, UNLOADING ZONE, AND ASSOCIATED ACCESSIBLE ROUTES SHALL NOT EXCEED THE ALLOWABLE CROSS SLOPE OF 1:48
4. AISLE WIDTH BASED ON LADBS P/2C 2002-001 TABLE 3: PARKING BAY WIDTHS FOR TWO-WAY TRAFFIC AND DOUBLE LOADED AISLES - BASED ON A 90 DEGREE STALL
5. TYPICAL STALL WIDTH BASED ON P/2C 2002-001 SECTION 1A LINE ITEM 2 - STANDARD STALL WIDTH.
6. DRIVEWAY PROVIDED PER P/2C 2002-001 ITEM 1G, LINE ITEM 3 FOR ZONING TYPES M & R
7. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT
8. PUBLIC ACCOMMODATIONS SHALL MAINTAIN IN OPERABLE WORKING CONDITION THOSE FEATURES OF FACILITIES AND EQUIPMENT THAT ARE REQUIRED TO BE ACCESSIBLE TO AND USEABLE BY PERSONS WITH DISABILITIES. ISOLATED OR TEMPORARY INTERRUPTIONS IN SERVICE OR ACCESSIBILITY DUE TO MAINTENANCE OR REPAIRS SHALL BE PERMITTED. §11B-108

ACCESSIBLE PATH OF TRAVEL LEGEND

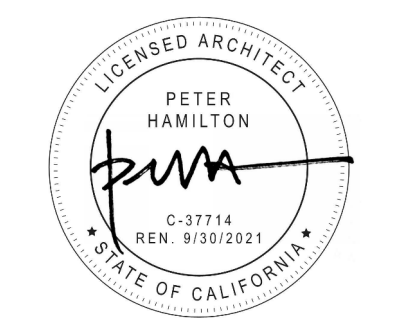
■■■■■■■■■■ INDICATES ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN. PATH IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVEL AT 1:2 MAX SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" AND AT LEAST 48" IN WIDTH. THE SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% SLOPE. UNLESS OTHERWISE INDICATED, LANDING AT DOORWAYS SHALL BE 2% MAX.

ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANG OBSTRUCTIONS TO 84" MINIMUM HEIGHT AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM WALL AND ABOVE 27" AND LESS THAN 84"

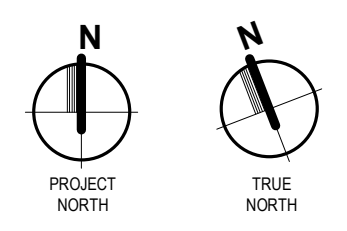
STUDIOHT
210 25TH STREET, SANTA MONICA, CA
90403-1982

Los Angeles ALE WORKS

PROJECT: **LOS ANGELES ALE WORKS TASTING ROOM**
ADDRESS: **IVY STATION 8809 Washington Blvd Tenant Space R132 & R133 Culver City, CA 90232**



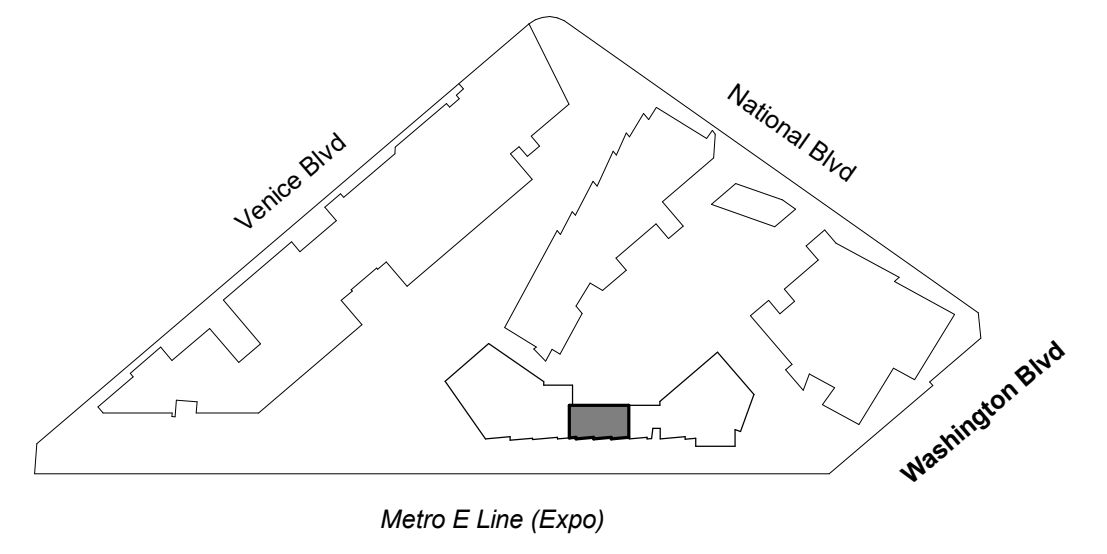
NO.	DATE	REVISION
01	01.20.2020	CUP SUBMITTAL
02	05.01.2020	CUP RE-SUBMITTAL



SHEET TITLE
SITE PLAN

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KEY PLAN - SITE PLAN

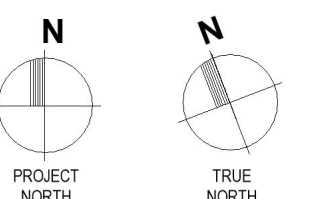


DRAWN: Author
SCALE: As indicated
JOB: Project Number
SHEET NUMBER:

CUP-3



NO.	DATE	REVISION
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02	05.01.2020	CUP RE-SUBMITTAL



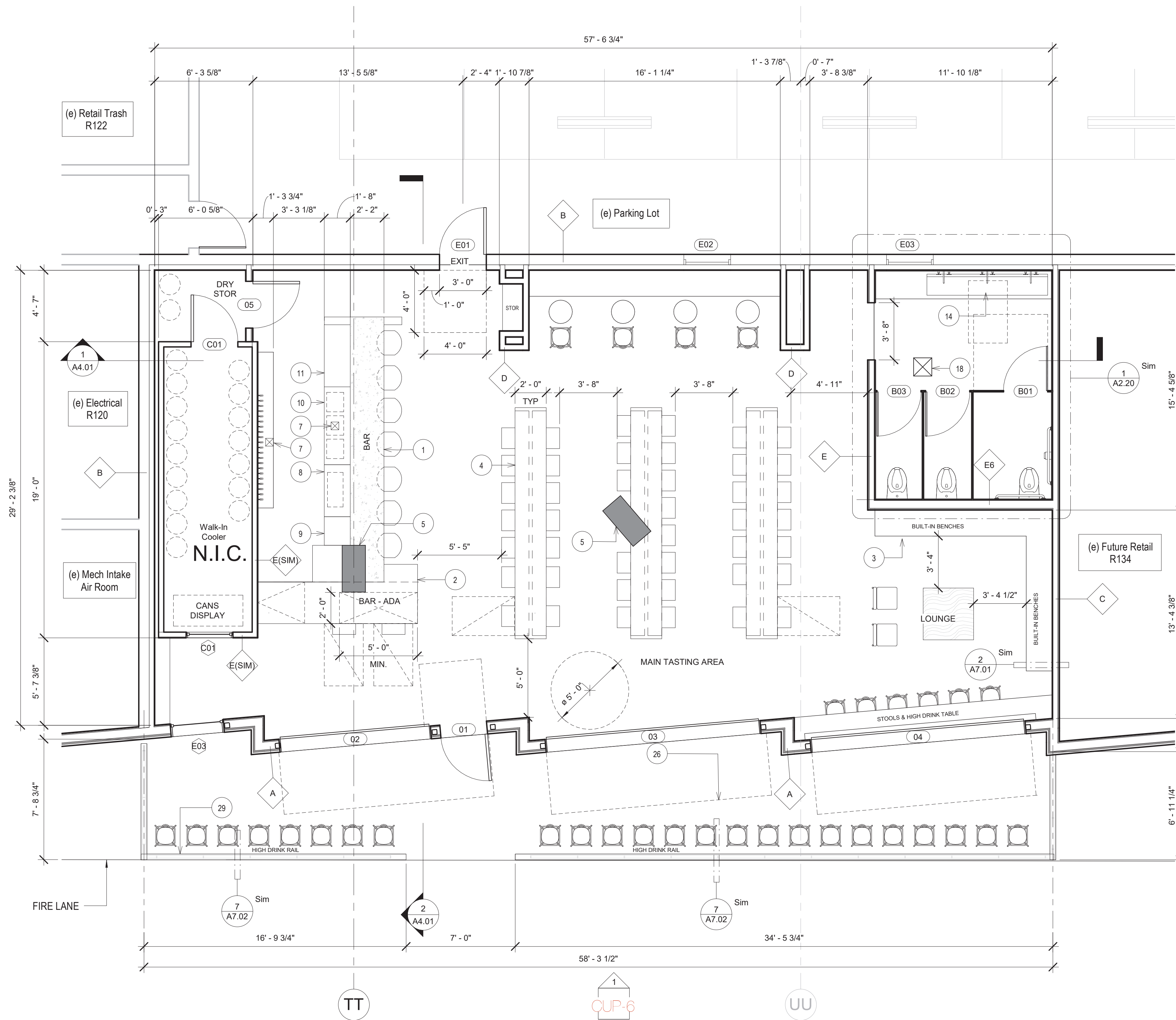
SHEET TITLE

FLOOR PLAN

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DRAWN: Author
SCALE: As indicated
JOB: Project Number
SHEET NUMBER:

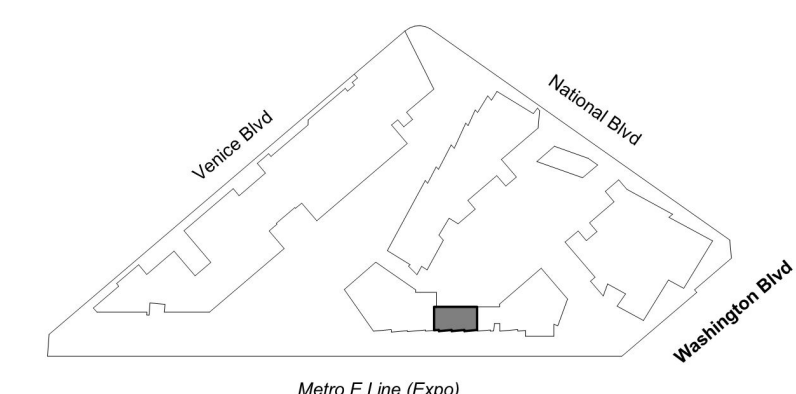
CUP-4



DEMISING WALL NOTES:
Tenant GC and architect must coordinate in the field with Landlord for exact location of the metal stud demising wall. Additionally, Tenant is responsible for insulation and drywall on any other walls within the space, including the perimeter walls.

SQUARE FOOTAGE TAKEOFFS

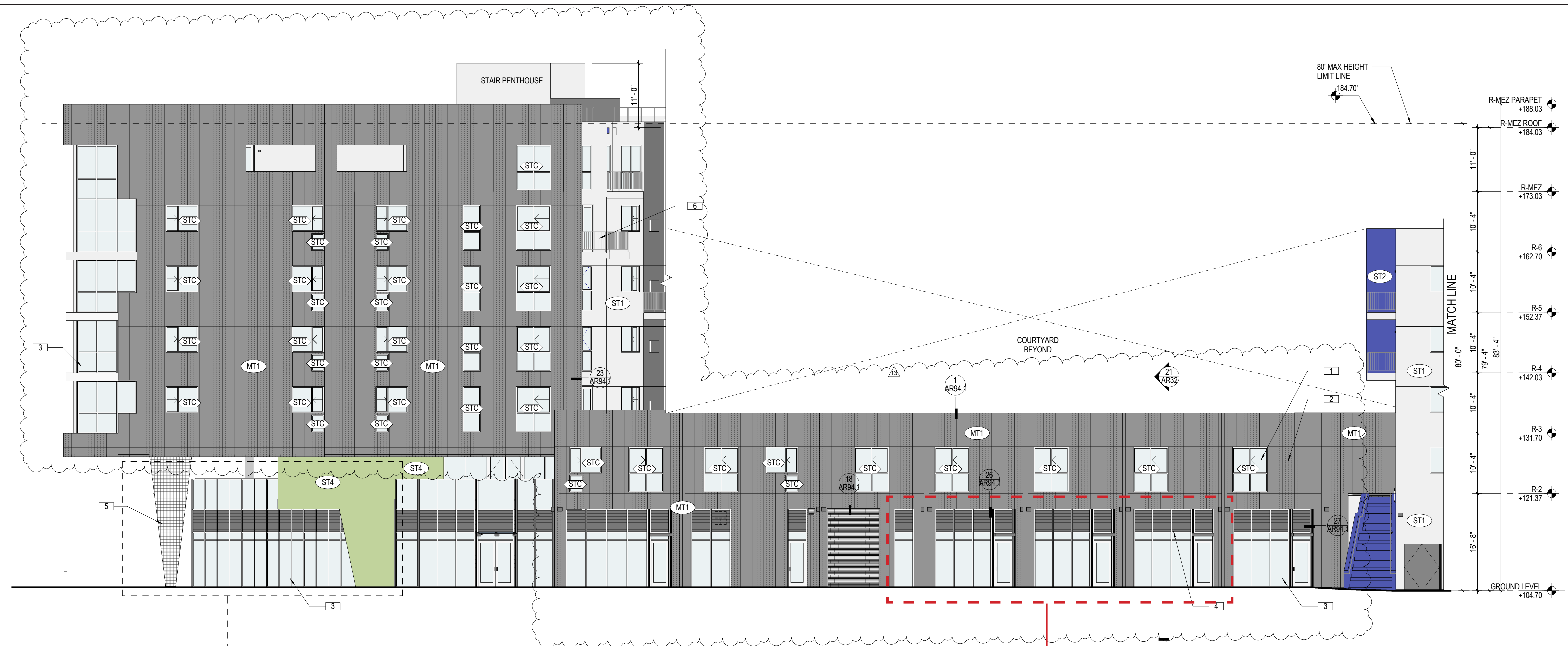
AREA	AREA	AREA
INTERIOR AREA:		
BACK OF HOUSE- RETAIL	285 SQFT	
MAIN TASTING AREA	110 SQFT	
RESTROOMS	180 SQFT	
	1685 SQFT	
EXTERIOR AREA:		
OUTDOOR - SEATING / STANDING-	440 SQFT	



1 FIRST FLOOR
1/4" = 1'-0"

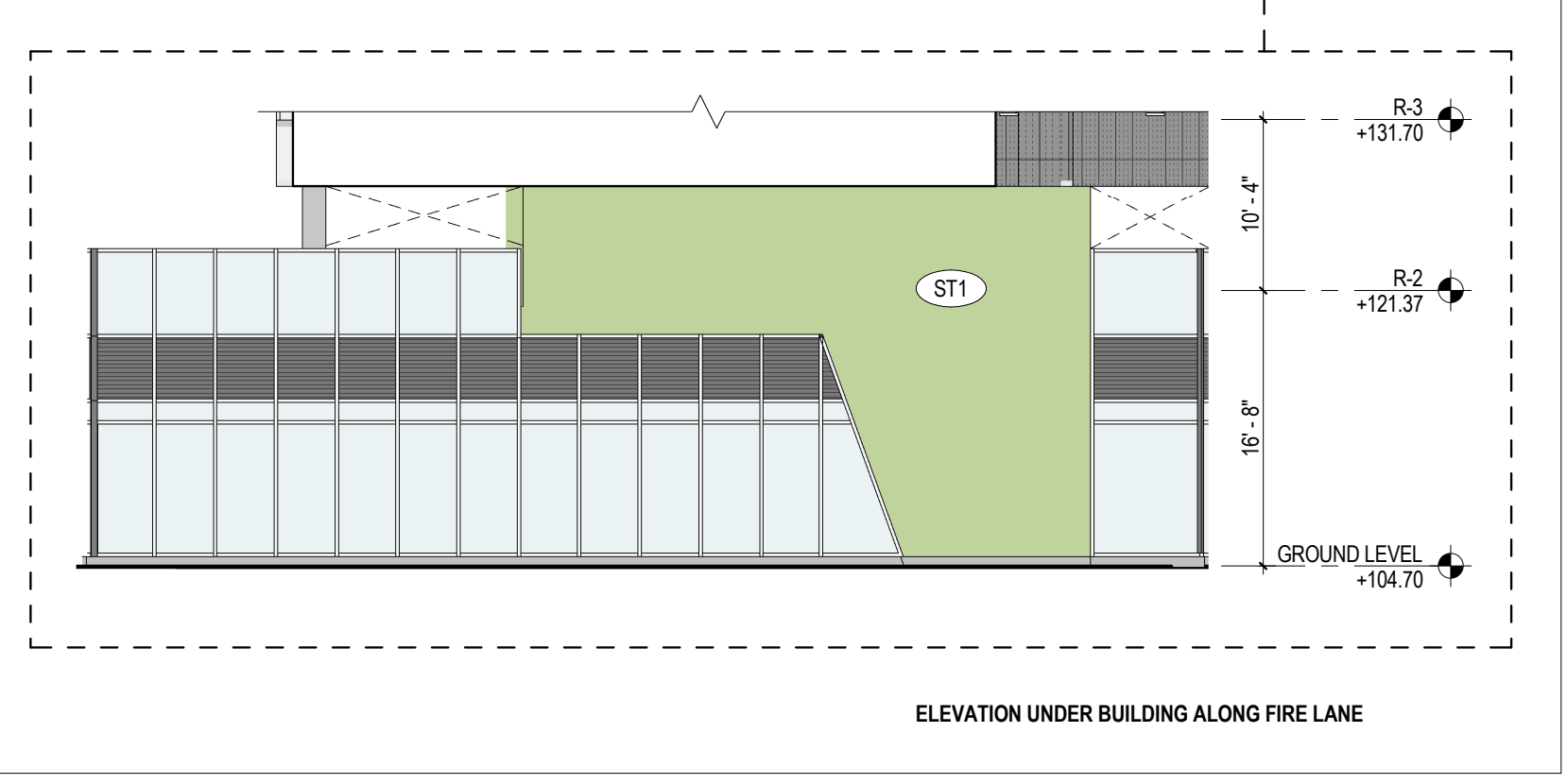
- KEYNOTES**
- CUSTOM BAR COUNTERTOP +42" AFF. SEE MILLWORK DETAILS
 - ADA COUNTERTOP + 34" AFF. SEE MILLWORK DETAILS
 - CUSTOM BUILT-IN BENCH, FIXED-IN-PLACE. SEE MILLWORK DETAILS
 - CUSTOM SEATING TABLES & CHAIRS
 - EXISTING CONCRETE COLUMN TO REMAIN
 - FLOOR DRAIN. SEE PLUMBING DRAWINGS
 - BAR EQUIPMENT: DUMP SINK
 - BAR EQUIPMENT: DISHWASHER
 - BAR EQUIPMENT: 3-COMP SINK
 - BAR EQUIPMENT: COUNTERTOP & STORAGE SHELVES
 - ACCESSIBLE SINK AND FAUCET AND PIPING PROTECTION
 - MIRROR
 - GRAB BAR
 - ACCESSIBLE TOILET, 17" MIN AND 19" MAX MEASURED TO THE TOP OF THE SEAT
 - MECHANICAL EXHAUST SYSTEM FOR TOILET ROOM, MINIMUM 50 CFM. SEE MECHANICAL DRAWINGS.
 - EXISTING METAL CLADDING FACADE TO REMAIN. GC TO PROTECT AT ALL TIMES DURING CONSTRUCTION
 - (E) MECHANICAL LOUVER PANELS ABOVE STOREFRONT
 - (N) GARAGE ROLL UP DOOR, SEE SCHEDULE
 - (E) CANOPY, APPROVED IN SHELL & CORE DRAWINGS. SEE DETAIL
 - (N) COUNTER RAIL. SEE MILLWORK DETAILS
 - G.C. TO PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN MOUNTED AT 60 AFF. SEE SHEET G0.04
 - WALL HUNG ACCESSIBLE FAUCET. (REQUIRED INSTALLATION OF EXPANSION ANCHORS THAT ARE DRILLED)

- PLAN NOTES**
- DOOR JAMB 4" AWAY FROM ADJACENT WALL, MIN. SMOKE AND FIRE DAMPERS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS PER SECTIONS 717.5
 - E. DUCTS PENETRATING SMOKE BARRIERS (717.5.5)
 - F. DUCTS PENETRATING HORIZONTAL ASSEMBLIES (717.6)
 - BUILDING WITH FLOOR AREAS OVER 1500 SF SHALL BE SPRINKLERED WHERE 20 SF OF OPENING FOR EVERY 50 FT OF WALL LENGTH IS NOT PROVIDED.
 - VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THAN 1/4" AND NOT EXCEEDING 1/2" IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
 - EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE INSTRUCTIONS AND SECTION 2701. EXTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY WITH THE GRAPHIC AND POWER SOURCE REQUIREMENTS IN SECTION 1013.6.1 AND 1013.6.3M RESPECTIVELY. WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-FOOT-CANDLES (54 LUX), (1013.3, 1013.5, 1013.6)
 - ANY TIME A BUILDING OR A PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL. (1008)
 - THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM WHICH IS TO BE PROVIDED CONTINUED ILLUMINATION FOR DURATION OF NOT LESS THAN 1-1/2 HR. IN CASE OF PRIMARY POWER LOSS. CONTINUED ILLUMINATION IS TO BE PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR AND THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 2702. (1013.6.3)
 - ALL FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT
 - ALL EXISTING INTERIOR FLOOR SURFACES ARE CONCRETE UNLESS NOTED OTHERWISE ON PLANS
 - ALL INTERIOR FINISHES/MATERIALS APPLIED TO WALLS AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803, TO MAINTAIN A CLASS B / C FLAME SPREAD AND SMOKEDEVELOPED INDEX. SEE TABLE 803.11
 - ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 5.504.4, 1.5-504.4.3
 - TOILET AND BATHING ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4-IN. (1210.2.1)
 - WALLS WITHIN 2-FT. OF WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF 4-FT. ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE. (1210.2.2)
 - PUBLIC TOILET ROOMS SHALL BE PROVIDED WITH A MECHANICAL EXHAUST SYSTEM CAPABLE OF PROVIDING A MINIMUM 50 CFM FOR EACH WATER CLOSET. (MC TABLE 403.7)
 - ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES IN VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6" IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE OR BY GUARDS OR HANDRAILS WITH A GUIDE RAIL CENTERED 2 IN" MIN. AND 4" MAX ABOVE THE SURFACE OF THE WALK OR SIDEWALK. THESE REQUIREMENTS DO NOT APPLY BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY
 - CHANGES IN LEVEL GREATER THAN 1/2" IN HEIGHT SHALL BE RAMPED AND SHALL COMPLY WITH THE REQUIREMENTS OF 11B-405 RAMPS OR 11B-406 CURB RAMPS AS APPLICABLE.
 - ALL ELECTRICAL OUTLET COVERS AND SECURITY CAMERAS MUST HAVE A COVER PLATE WHICH ALLOWS THE EQUIPMENT TO BLEND IN SEAMLESSLY WITH THE SURFACE ON WHICH IT IS MOUNTED. ENSURE THAT ALL SECURITY DEVICES AND SYSTEMS LOCATED AT THE STOREFRONT ARE INTEGRATED WITHIN THE STOREFRONT DESIGN AND FINISHES

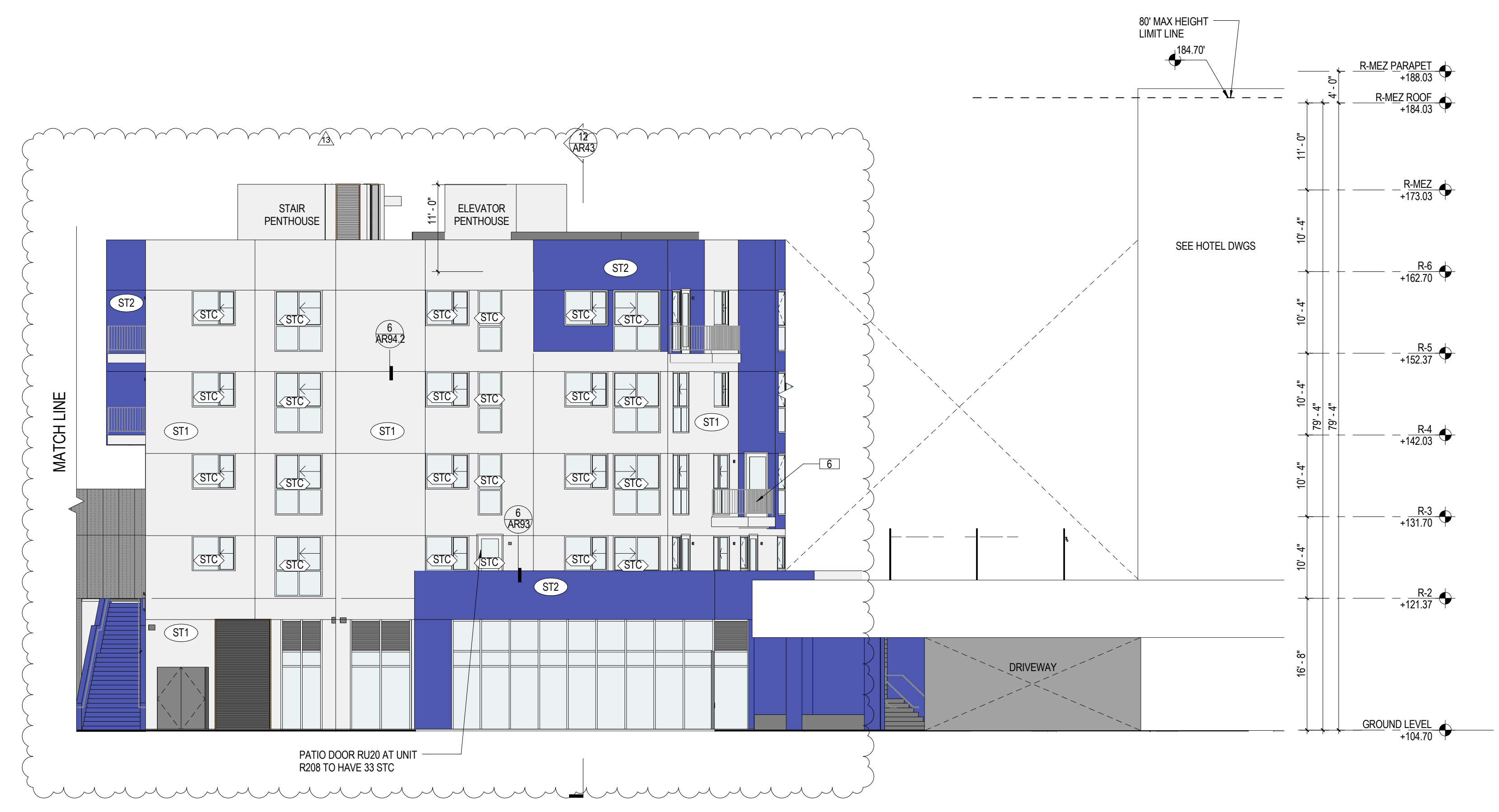


**SUITES 132 & 133
PROPOSED ELEVATION (SEE SHEET CUP-6)**

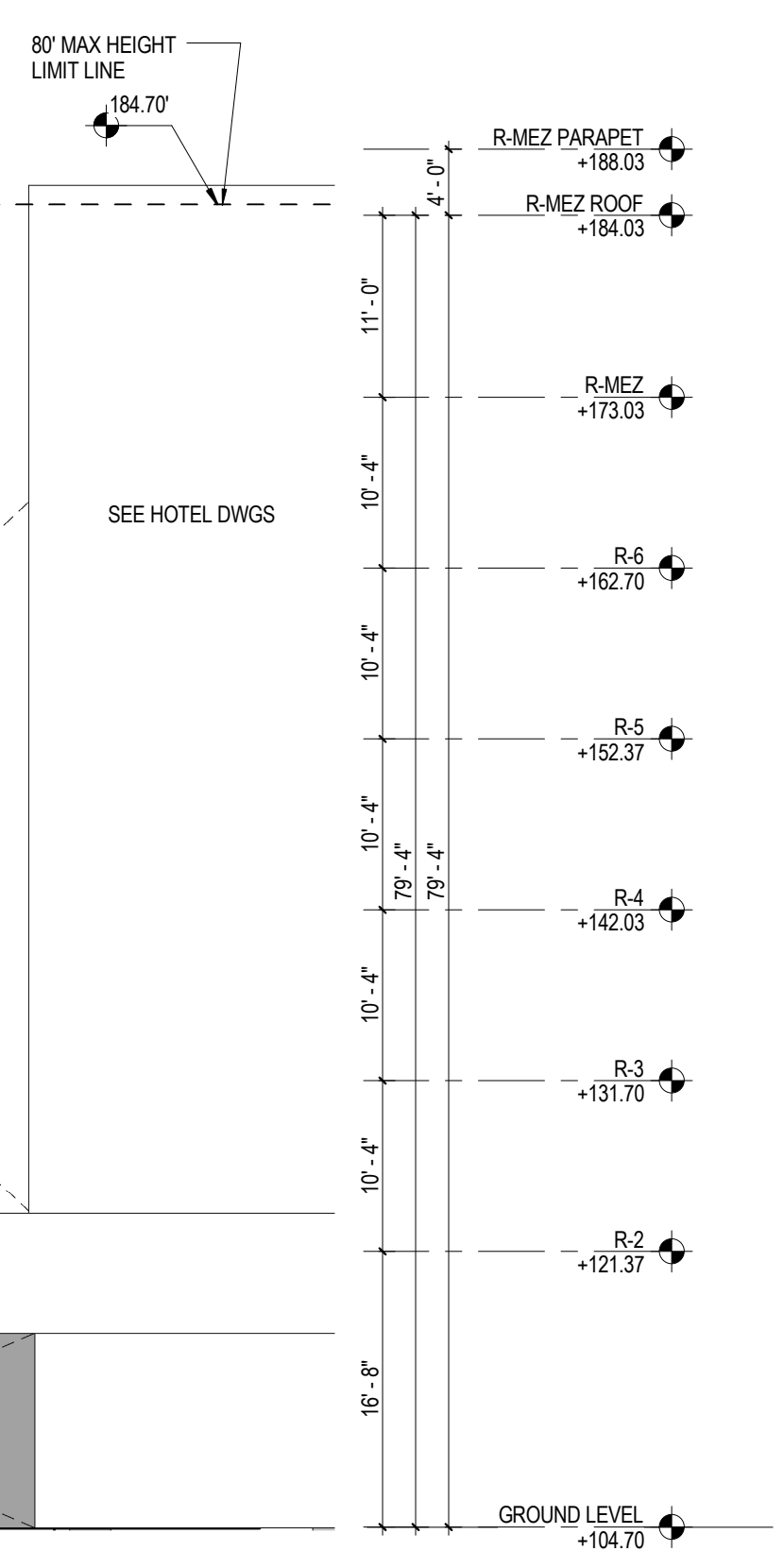
ELEVATION B1
1/8" = 1'-0" 3



ELEVATION UNDER BUILDING ALONG FIRE LANE



PATIO DOOR RU20 AT UNIT R206 TO HAVE 33 STC



STUDIO Hamilton Tyni

Los Angeles ALE WORKS

PROJECT:
LOS ANGELES ALE WORKS
TASTING ROOM
(ALCOHOLIC BEVERAGE SALES)

ADDRESS:
IVY STATION
8809 Washington Blvd
Suite 132 & 133
Culver City, CA 90232

NO:	DATE	REVISION
01	01.20.2020	CUP SUBMITTAL
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SHEET TITLE:
**APPROVED
EXTERIOR
ELEVATIONS**

DRAWN:

SCALE:

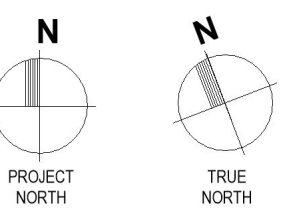
JOB:

SHEET NUMBER:

CUP-5



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SHEET TITLE

BUILDING ELEVATION

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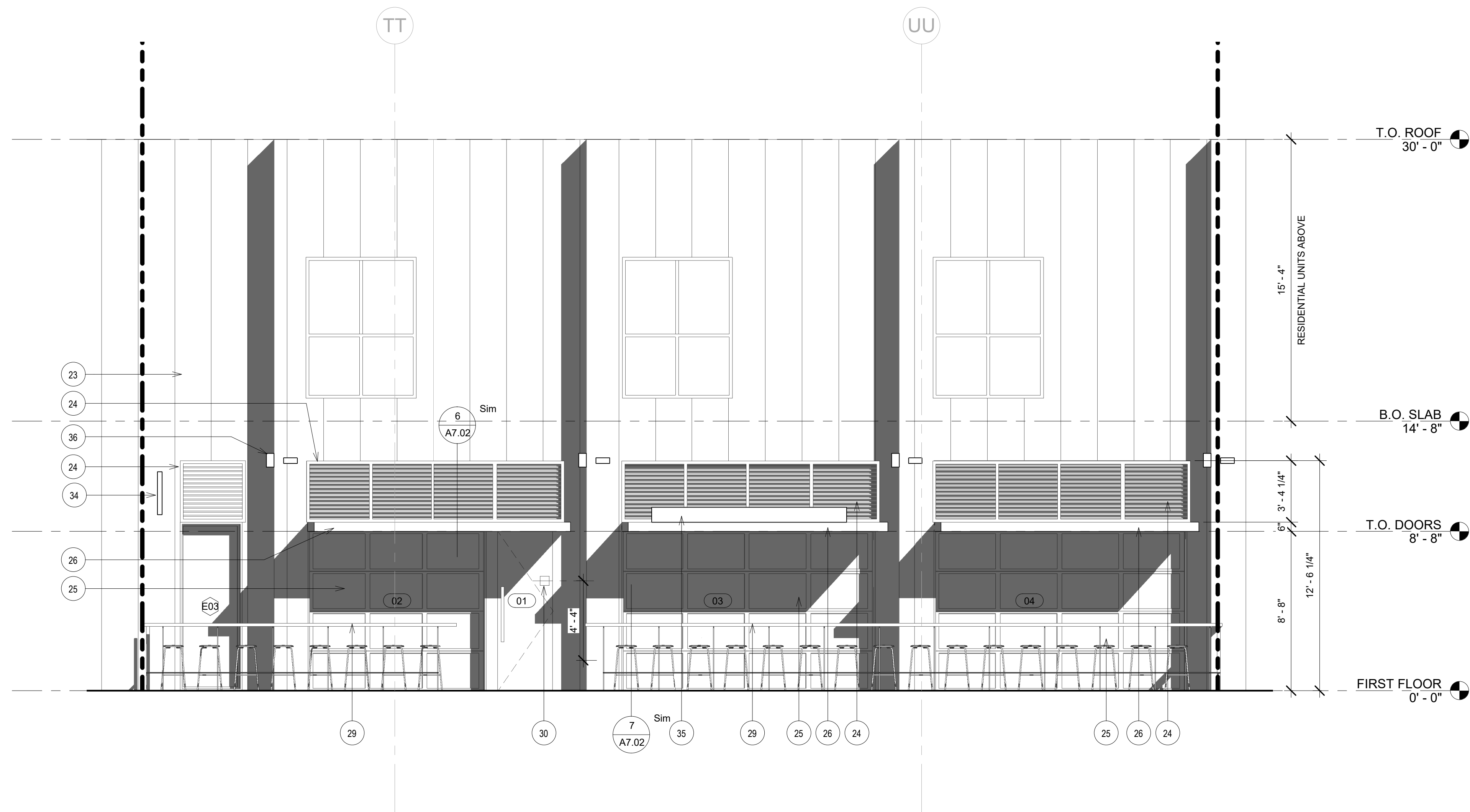
DRAWN: Author

SCALE: 1/4" = 1'-0"

JOB: Project Number

SHEET NUMBER:

CUP-6



KEYNOTES

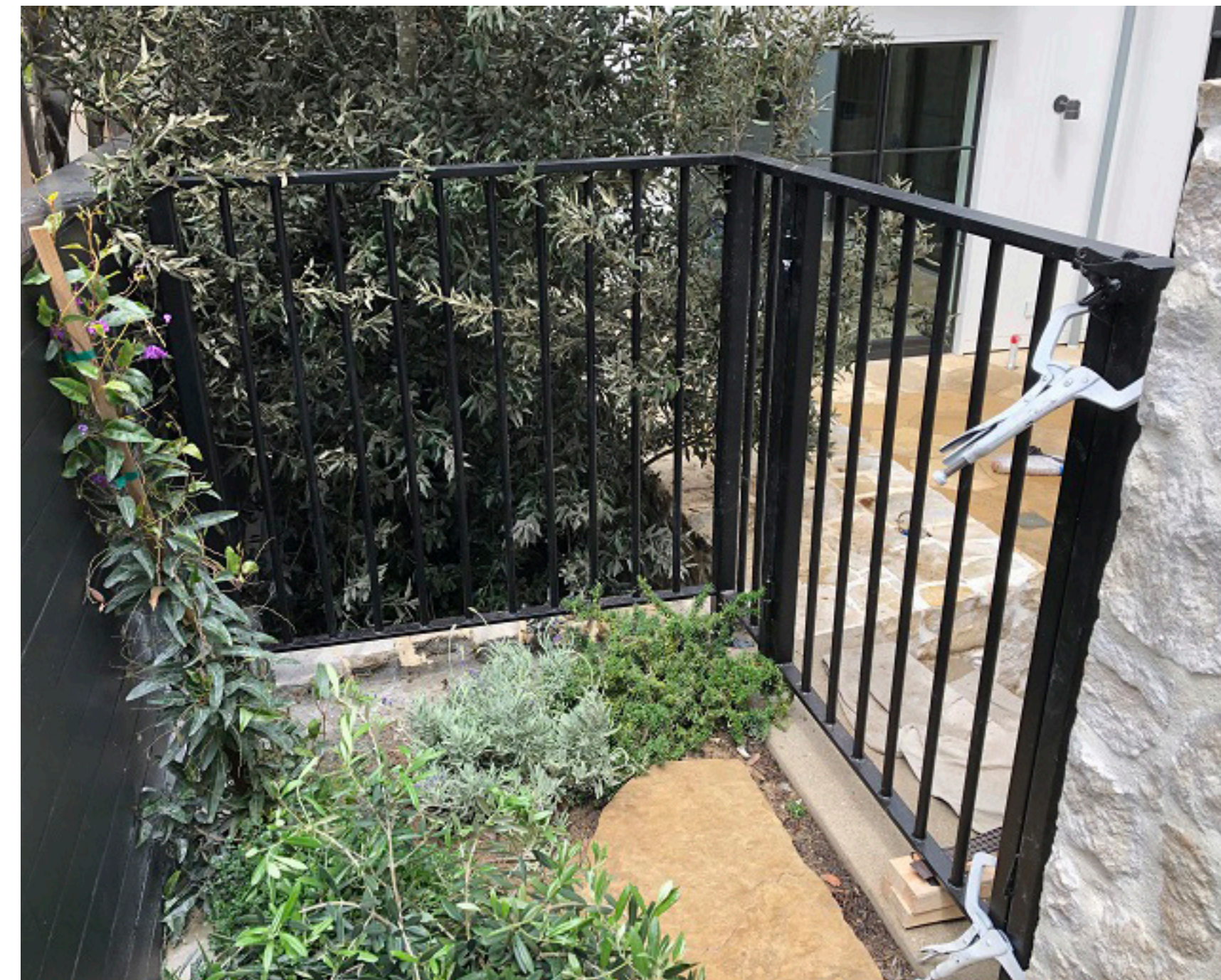
- 23 EXISTING METAL CLADDING FACADE TO REMAIN. GC TO PROTECT AT ALL TIMES DURING CONSTRUCTION
- 24 (E) MECHANICAL LOUVER PANELS ABOVE STOREFRONT
- 25 (N) GARAGE ROLL UP DOOR, SEE SCHEDULE
- 26 (E) CANOPY, APPROVED IN SHELL & CORE DRAWINGS. SEE DETAIL
- 29 (N) COUNTER RAIL. SEE MILLWORK DETAILS
- 30 G.C. TO PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN MOUNTED AT 60 AFF. SEE SHEET G0.04
- 33
- 34 TENANT BLADE SIGN, UNDER SEPARATE PERMIT
- 35 TENANT CANOPY SIGN, UNDER SEPARATE PERMIT
- 36 LANDLORD INSTALLED WALL SCONCES, PER CORE & SHELL DRAWINGS



ENTRY DOOR _ METAL DOOR CLAD WITH VERTICAL TEAK WOOD STRIPS



CANOPY_CORRUGATED METAL PAINTED TO MATCH ROLL UP DOORS



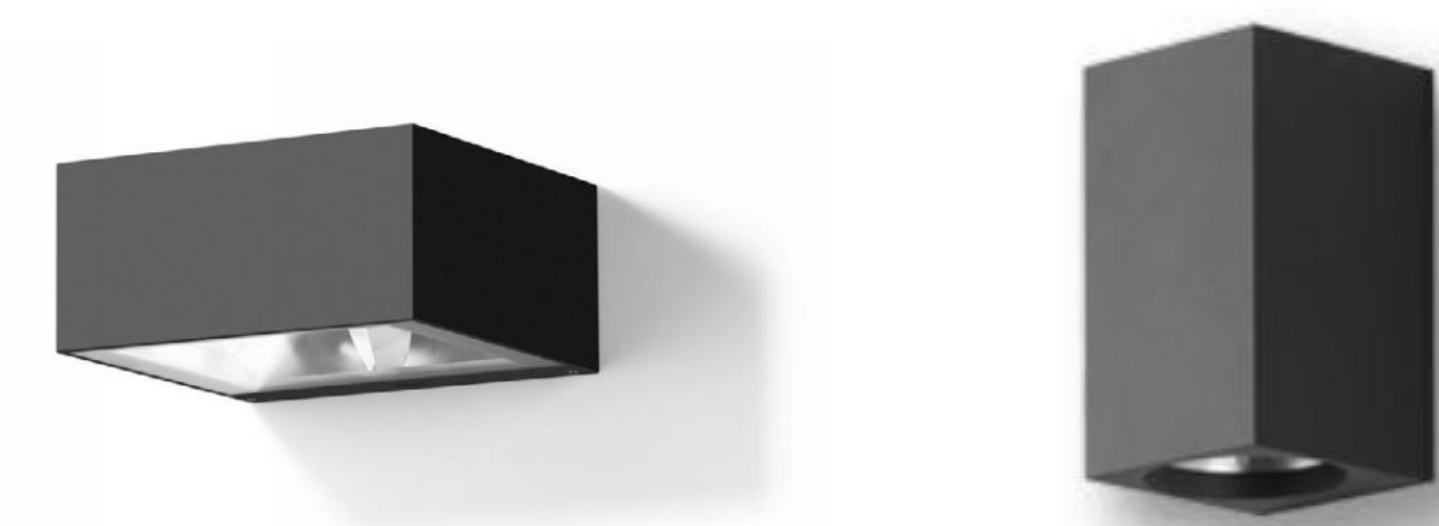
EXTERIOR DRINK RAIL _ STEEL PLATE POWDER COATED FINISH WITH TEAK TOP RAIL



EXTERIOR PLANTERS _ SEE RENDERINGS FOR PLACEMENT



CANOPY DOWN LIGHT



APPROVED BUILDING EXTERIOR LIGHTING (PER CORE & SHELL DRAWINGS)



ROLL UP DOORS _ Color to Match Development Storefronts (70% Kynar to match PPG CL3176N RACCOON)



BENJAMIN MOORE PAINT TO MATCH (70% Kynar to match PPG CL3176N RACCOON)



EXTERIOR STOOL _ MATTIAZZI _ MC16 (* EXACT SPEC / MODEL NUMBER IS DEPENDENT ON LEAD TIME / AVAILABILITY / BUDGET AND QUANTITY. SUBJECT TO CHANGE)



TEAK WOOD _ DRINK RAIL CAP

STUDIO Hamilton Tyni

Los Angeles ALE WORKS

PROJECT: LOS ANGELES ALE WORKS TASTING ROOM (ALCOHOLIC BEVERAGE SALES)

ADDRESS: IVY STATION 8809 Washington Blvd Suite 132 & 133 Culver City, CA 90232

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LOS ANGELES ALE WORKS
TASTING ROOM
(ALCOHOLIC BEVERAGE SALES)

ADDRESS:
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8809 Washington Blvd
Suite 132 & 133
Culver City, CA 90232

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