

5-UNIT CONDOMINIUM

3906 HURON AVE
CULVER CITY, CA 90232

PROJECT DATA

1. PROJECT ADDRESS:	3906 HURON AVE CULVER CITY, CA 90232
2. ZONE:	RMD
3. ASSESSOR PARCEL NUMBER:	4213-002-001
4. NET LOT AREA:	7,501 SQFT
5. MAX HEIGHT:	30' - 0"
6. NUMBER OF STORIES:	2 STORIES TYPE V-B RESIDENTIAL OVER 1-STORY TYPE I-A SUBTERRANEAN PARKING GARAGE
7. NUMBER OF UNITS:	5
8. EXISTING BUILDING FOOTPRINT:	2,095 SQFT
9. EXISTING LOT COVERAGE:	2,095 / 7,501 = 28%
10. FIRE DEPARTMENT NOTE:	01. FIRE SPRINKLERS ARE PROVIDED PER NFPA 13 IN THE PARKING AREA AND NFPA 13 R 02. FIRE ALARM SYSTEM IS PROVIDED PER NFPA 72 WITH CENTRAL STATION MONITORING AND AUDIBLE(MIN-HORNS) IN EACH DWELLING UNIT. 03. AN ADDRESS VIEWABLE IS PROVIDED FROM THE PUBLIC WAY. 04. A KNOX BOX WITH KEYS IS PROVIDED FOR ALL COMMON DOORS AND GATES. 05. A KNOX KEY SWITCH IS PROVIDED FOR ELECTRIC GATES AND ELECTRIC DOOR STRIKES. 06. SMOOTHER SURFACE IS PROVIDED FROM STREET TO UNITS AND PARKING AREA FOR USE OF GURNEY.

SYMBOLS

DRAWING NUMBER	(X)	KEY NOTE
SHEET NUMBER	(1/AT/AT)	ELEVATION REFERENCE
DRAWING NUMBER	(X XXX)	SECTION REFERENCE
SHEET NUMBER	(X XX)	DETAIL INDICATION
DRAWING NUMBER	(X XX)	DETAIL SECTION INDICATION
SHEET NUMBER	(XX)	DOOR TAG
CEILING FINISH	(XX-XX)	GENERAL FINISH INDICATION
HEIGHT AFF	(XXX) (X'-X")	CEILING FINISH INDICATION
	(LEVEL +XXX-XX)	ELEVATION INDICATION
	(XX)	WINDOW TYPE
	(XX)	WALL TYPE

ABBREVIATIONS

(E), EX, EXIST	EXISTING
(N)	NEW
AB	ANCHOR BOLT
ABF	ABOVE FINISH FLOOR
ALT	ALTERNATING
ALUM	ALUMINIUM
B	BOTTOM
BDR	BEDROOM
BM	BEAM
BO	BOTTOM OF
CL	CENTERLINE
CBC	CALIFORNIA BUILDING CODE
CF	COMPACT FLUORESCENT
CJ	CEILING JOIST
CL	CLOSET
CLG	CEILING
CLR	CLEAR
CONN	CONNECTION
D, DIA	DIAMETER
DBL	DOUBLE
DR	DOOR
EE	EACH END
EN	END NAIL
EQ	EQUAL
FB	FACE BLOCKING
FF	FINISH FLOOR
FJ	FLOOR JOIST
FN	FACE NAIL
FTG	FOOTING
GA	GAUGE
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSUM WALL BOARD
H	HORIZONTAL
HK	HOOK
HR	HOUR
MSTR	MASTER
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OCFI	OWNER FURNISHED, CONTRACTOR INSTALLED
OPP	OPPOSITE
PL	PLATE
PT	PRESSURE TREATED
PTD	PAINTED
PW, PLYWD	PLYWOOD
R	RISER
RCP	REFLECTED CEILING PLAN
RDG	RIDGE
RO	ROUGH OPENING
RR	ROOF RAFTER
RTD	RATED
SB	SOLID BLOCKING
SC	SOLID CORE
SF	SQUARE FEET
SIM	SIMILAR
SSD	SEE STRUCTURAL DRAWINGS
ST STL	STAINLESS STEEL
T&G	TONGUE AND GROOVE
T	TREAD
TBD	TO BE DETERMINED
THRESH	THRESHOLD
TO	TOP OF
TYP	TYPICAL
UO	UNDERSIDE OF
UCN	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WI	WITH
WD	WOOD
WIC	WALK-IN CLOSET

PROPOSED UNIT DENSITY

NET LOT SF = 7,501 SQ.FT.
1 UNIT PER 1,500 SF OF LOT ALLOWED
CALCULATION: 7,501 / 1,500 = 5
TOTAL UNITS ALLOWED: 5

PROPOSED SETBACKS

FRONT YARD (SOUTH)	15' - 0"
SIDE YARD (WEST)	5' - 0"
SIDE YARD (EAST)	5' - 0"
REAR YARD (NORTH)	10' - 0"

PROPOSED LOT COVERAGE

LOT AREA: 7,501 SQFT
BUILDING FOOT PRINT: 5,001
LOT COVERAGE AREA: 5,001 / 7,501 = 67%

PROPOSED HEIGHTS

UNIT	T.O. ROOF
#1	30' - 0"
#2	30' - 0"
#3	30' - 0"
#4	30' - 0"
#5	30' - 0"

PROPOSED RESIDENTIAL HABITABLE AREAS PER UNIT

UNIT	NUMBER OF BEDROOMS	FIRST FLOOR	MEZZANINE FLOOR	SECOND FLOOR	UNIT TOTAL
1	3 BDR / 3.5 BATH	689 SF	233 SF	935 SF	1,857 SF
2	3 BDR / 3.5 BATH	686 SF	227 SF	905 SF	1,818 SF
3	3 BDR / 3.5 BATH	903 SF	301 SF	910 SF	2,114 SF
4	3 BDR / 3.5 BATH	958 SF	319 SF	910 SF	2,187 SF
5	3 BDR / 3.5 BATH	942 SF	314 SF	891 SF	2,147 SF
PROJECT TOTAL SF					10,123 SF

PROPOSED PARKING

UNIT	COVERED PARKING PROVIDED
#1	2-STANDARD PARKING SPACES
#2	2-STANDARD PARKING SPACES
#3	2-STANDARD PARKING SPACES
#4	2-STANDARD PARKING SPACES
#5	2-STANDARD PARKING SPACES
GUEST	1-STANDARD PARKING SPACE
ACCESSIBLE	1-STANDARD PARKING SPACE
TOTAL PARKING	12 PARKING SPACES
GARAGE SF:	4,624 SF

OPEN SPACE REQUIRED VS. PROVIDED

	REQUIRED	PROVIDED PRIVATE OPEN SPACE	
		UNIT	DECKS
PRIVATE: 100 SF / UNIT x 5 = 500 SF		1	538
COMMON: NONE		2	499
		3	499
		4	462
		5	408
		TOTAL	2,406 SF

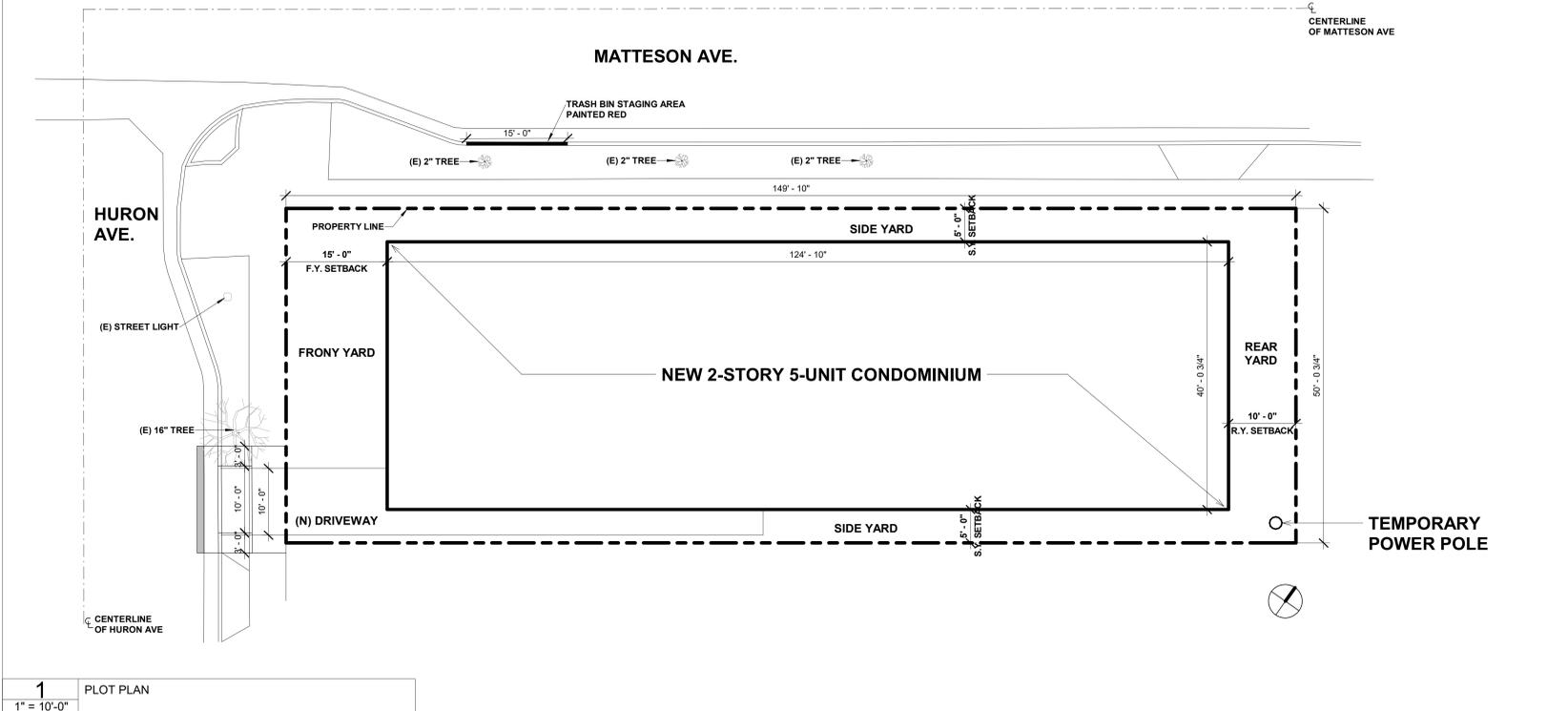
FRONT YARD AREA TABULATION PER CCMC 17.400.105

TOTAL F.Y. AREA	HARDSCAPE	REQUIRED	PROVIDED	%
750 SF		MAX 45% x 750 = 337.5 SF	337 SF	45%
		MIN 55% x 750 = 412.5 SF	413 SF	55%

DRAWING INDEX

ARCHITECTURAL	
T-01	COVER SHEET
T-02	SURVEY SHEET 1
T-03	SURVEY SHEET 2
T-04	EXISTING CONDITIONS PHOTOS
T-05	VICINITY STUDY
T-06	WINDOW ADJACENCY STUDY / FIRST & MEZZANINE FLOOR PLANS
T-07	WINDOW ADJACENCY STUDY / SECOND FLOOR & ROOF PLANS
T-08	BICYCLE RACK CUT SHEETS
T-09	TENTATIVE TRACT MAP
SITE PLAN	
A1-00	SITE PLAN
A2-00	BASEMENT FLOOR PLAN
A2-01	FIRST FLOOR PLAN
A2-01.1	FIRST FLOOR SLAB PLAN
A2-02	MEZZANINE FLOOR PLAN
A2-03	SECOND FLOOR PLAN
A2-04	ROOF DECK PLAN
A2-05	UPPER ROOF PLAN
ELEVATIONS	
A3-01	SOUTHWEST & NORTHEAST EXTERIOR ELEVATIONS
A3-02	SOUTHEAST EXTERIOR ELEVATION
A3-03	NORTHWEST EXTERIOR ELEVATION
SECTIONS	
A4-01	SECTIONS
A4-02	SECTIONS
A4-03	SECTIONS
A4-04	SECTION WITH VEHICLE SIGHT CLEARANCE
A4-05	SECTION
A4-06	SECTION
RENDERING	
A5-01	RENDERING
A5-02	RENDERING
A5-03	RENDERING
A5-04	RENDERING
A6-01	WINDOW & FINISH SCHEDULES
STRUCTURAL	
S-2	FOUNDATION PLAN
S-3	FIRST FLOOR DECK PLAN
S-4	MEZZANINE FLOOR FRAMING PLAN
S-5	SECOND FLOOR FRAMING PLAN
S-6	ROOF FRAMING PLAN
S-7	STAIR ROOF FRAMING PLAN
CIVIL	
C0-01	TITLE SHEET
C1-00	SURVEY (FOR REFERENCE ONLY)
C1-10	EROSION CONTROL AND DEMOLITION PLAN
C1-20	ROUGH GRADING PLAN AND SECTIONS
C1-30	GRADING PLAN
C1-40	UTILITY AND LID PLAN
C1-50	HORIZONTAL CONTROL AND PAVING PLAN
C1-60	GRADING PLAN
C1-61	GRADING PLAN
C2-00	DETAILS
C2-00	DETAILS
LANDSCAPE	
L-1	FIRST FLOOR PLANTING PLAN
L-2	ROOF PLANTING PLAN
L-3	FIRST FLOOR PLANTER DIMENSION
L-4	ROOF PLANTER DIMENSION
L-5	FIRST FLOOR IRRIGATION PLAN
L-6	ROOF IRRIGATION PLAN
L-7	PLANTING DETAIL SHEET
L-8	IRRIGATION DETAIL SHEET

VICINITY MAP



1 PLOT PLAN
1" = 10'-0"

ARCHITECT:
Aaron Brumer & Assoc, Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire BLVD, #1000
Los Angeles, CA 90048
(310) 926-0248

LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
COVER SHEET

T-01
3906 HURON AVE

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

TITLE INFORMATION (ORDER NO.: 072133152-30)

THE TITLE INFORMATION SHOWN HEREON IS PER THE ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO. 072133152-30, DATED JULY 9, 2021, AS PROVIDED BY USA NATIONAL TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

LEGAL DESCRIPTION

LOT ONE, BLOCK 6 OF CLARKDALE TRUST, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 176 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4213-002-001

TITLE EXCEPTIONS

TITLE REPORT PREPARED BY USA NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 072133152-30, EFFECTIVE DATE: JULY 9, 2021.

1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES, TO BE LEVIED FOR THE FISCAL YEAR 2021 - 2022 WHICH ARE A LIEN NOT YET PAYABLE. (NOT A SURVEY ITEM)

2. GENERAL AND SPECIAL CITY AND/OR COUNTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE FISCAL YEAR 2020 - 2021;

1ST INSTALLMENT: \$2,755.91 PAID
2ND INSTALLMENT: \$2,755.90 PAID
LAND VALUE: \$214,619.00
IMPROVEMENTS: \$90,579.00
EXEMPTION: \$0.00
CODE AREA: 03170
ASSESSMENT NO. 4213-002-001
(NOT A SURVEY ITEM)

3. SUPPLEMENTAL TAXES FOR THE FISCAL YEAR ISSUED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA;

CODE AREA: 03170
PARCEL NO.: 4213-002-001
FIRST INSTALLMENT: \$5,468.23 DELINQUENT
PENALTY: \$546.82 (IF NOT PAID BY MARCH 31, 2021)
SECOND INSTALLMENT: \$5,468.23 OPEN
PENALTY: \$556.82 (IF NOT PAID BY JULY 31, 2021)
YEAR/SEQUENCE: 2020-010
(NOT A SURVEY ITEM)

4. ASSESSMENTS, IF ANY, FOR COMMUNITY FACILITY DISTRICTS AFFECTING SAID LAND WHICH MAY EXIST BY VIRTUE OF ASSESSMENT MAPS OR NOTICES FILED BY SAID DISTRICTS. SAID ASSESSMENTS ARE COLLECTED WITH THE COUNTY TAXES. (NOT A SURVEY ITEM)

5. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION PRIOR TO DATE OF POLICY. (NOT A SURVEY ITEM)

6. WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT A SURVEY ITEM)

7. COVENANTS, CONDITIONS, AND RESTRICTIONS AS SET FORTH IN INSTRUMENT RECORDED IN BOOK 2815, PAGE 136 OF DEEDS, BUT OMITTING ANY COVENANT, CONDITION OR RESTRICTION, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT, CONDITION OR RESTRICTION (A) IS EXEMPT UNDER TITLE 42 OF THE UNITED STATES CODE, OR (B) RELATES TO HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. NOTE: SECTION 12956.1 OF THE GOVERNMENT CODE PROVIDES THE FOLLOWING: IF THIS DOCUMENT CONTAINS ANY RESTRICTIONS BASED ON RACE, COLOR, RELIGION, SEX, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, NATIONAL ORIGIN, OR ANCESTRY, THAT RESTRICTION VIOLATES STATE AND FEDERAL FAIR HOUSING LAWS AND IS VOID, AND MAY BE REMOVED PURSUANT TO SECTION 12956.1 OF THE GOVERNMENT CODE. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS.

SAID COVENANTS, CONDITIONS, AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. (NOT A SURVEY ITEM)

8. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY AN INSPECTION OR SURVEY:
FOR: POLES AND WIRES
AFFECTS: SAID LAND
(NOT A SURVEY ITEM)

9. AN OIL AND GAS LEASE FOR THE TERM THEREIN PROVIDED WITH CERTAIN COVENANTS, CONDITIONS AND PROVISIONS, TOGETHER WITH EASEMENTS, IF ANY, AS SET FORTH THEREIN:
DATED: MARCH 1, 1968
LESSOR: HELEN SALCIDO
LESSEE: SIGNAL OIL AND GAS COMPANY, A CORPORATION
RECORDED: MAY 12, 1968
INSTRUMENT FILE NO.: 3002 OF OFFICIAL RECORDS.
SAID LEASE PROVIDES FOR NO RIGHT OF SURFACE ENTRY, NO ASSURANCE IS MADE AS TO THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE, NOR AS TO OTHER MATTERS AFFECTING THE RIGHTS OR INTERESTS OF THE LESSOR OR LESSEE IN SAID LEASE. (NOT A SURVEY ITEM)

TITLE EXCEPTIONS CONT

10. AN OIL AND GAS LEASE FOR THE TERM THEREIN PROVIDED WITH CERTAIN COVENANTS, CONDITIONS AND PROVISIONS, TOGETHER WITH EASEMENTS, IF ANY, AS SET FORTH THEREIN:

DATED: MAY 31, 1968
LESSOR: FRANK SALCIDO AND GLORIA SALCIDO
LESSEE: SHELL OIL COMPANY, A CORPORATION
RECORDED: AUGUST 23, 1968
INSTRUMENT FILE NO.: 2515 OF OFFICIAL RECORDS.

SAID LEASE PROVIDES FOR NO RIGHT OF SURFACE ENTRY.

NO ASSURANCE IS MADE AS TO THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE, NOR AS TO OTHER MATTERS AFFECTING THE RIGHTS OR INTERESTS OF THE LESSOR OR LESSEE IN SAID LEASE. (NOT A SURVEY ITEM)

11. PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. THE COMPANY WILL REQUIRE THE ENCLOSED AFFIDAVIT BE SIGNED AND NOTARIZED IN ESCROW AND SUBMITTED TO USA NATIONAL TITLE INSURANCE COMPANY PRIOR TO THE CLOSE OF ESCROW. IF THE AFFIDAVIT IS SIGNED AND NOTARIZED OUTSIDE OF THE ESCROW THE COMPANY WILL REQUIRE COPIES OF TWO FORMS OF VALID PHOTO ID.

12. RIGHTS OF PARTIES IN POSSESSION.

TO DETERMINE IF THE ABOVE REFERENCED ITEM CAN BE DELETED OR MODIFIED THE COMPANY WILL REQUIRE THAT THE ATTACHED "OWNERS INFORMATION STATEMENT" BE COMPLETED BY THE OWNER OF THE ESTATE DESCRIBED OR REFERRED TO IN SCHEDULE A AND BE RETURNED TO USA NATIONAL TITLE COMPANY, INC. AS SOON AS POSSIBLE PRIOR TO THE CLOSE OF ESCROW.

THE PURPOSES OF THE OWNER'S INFORMATION SHEET, IS TO PROVIDE THE COMPANY WITH CERTAIN INFORMATION THAT CANNOT NECESSARILY ASCERTAINED BY MAKING A PHYSICAL INSPECTION OF THE LAND.

13. PRIOR TO THE ISSUANCE OF ANY POLICY OF TITLE INSURANCE, THE COMPANY WILL REQUIRE THE FOLLOWING WITH RESPECT TO PARTNERS INVEST LLC, A CALIFORNIA LIMITED LIABILITY COMPANY:

(1) EVIDENCE THAT THE LLC IS IN GOOD STANDING, AND ITS RIGHTS TO DO BUSINESS HAVE NOT BEEN SUSPENDED FOR ANY REASON.

(2) A COPY OF ITS OPERATING AGREEMENT AND ANY AMENDMENTS THERE TO MUST BE SUBMITTED TO THE COMPANY FOR REVIEW.

(3) A CERTIFIED COPY OF ITS ARTICLES OF ORGANIZATION (LLC-1), ANY CERTIFICATE OF CORRECTION (LLC-11), CERTIFICATE OF AMENDMENT (LLC-2), OR RESTATEMENT OF ARTICLES OF ORGANIZATION (LLC-10) MUST BE SUBMITTED TO THE COMPANY FOR REVIEW.

(4) WITH RESPECT TO ANY DEED, DEED OF TRUST, LEASE, SUBORDINATION AGREEMENT OR OTHER DOCUMENT OR INSTRUMENT EXECUTED BY SUCH LIMITED LIABILITY COMPANY AND PRESENTED TO THE COMPANY FOR RECORDING OR UPON WHICH THE COMPANY IS ASKED TO RELY, SUCH DOCUMENT OR INSTRUMENT MUST BE EXECUTED IN ACCORDANCE WITH THE FOLLOWING:

(a) IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH OFFICERS APPOINTED OR ELECTED PURSUANT TO THE TERMS OF THE WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT OR INSTRUMENT MUST BE EXECUTED BY AT LEAST TWO DULY ELECTED OR APPOINTED OFFICERS AS FOLLOWS: THE CHAIRMAN OF THE BOARD, THE PRESIDENT, VICE PRESIDENT, AND ANY SECRETARY, ASSISTANT SECRETARY, THE CHIEF FINANCIAL OFFICER OR ANY ASSISTANT TREASURER.

(b) IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH A MANAGER OR MANAGERS IDENTIFIED IN THE ARTICLES OF ORGANIZATION AND/OR DULY ELECTED PURSUANT TO THE TERMS OF A WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT OR INSTRUMENT MUST BE EXECUTED BY AT LEAST TWO SUCH MANAGERS OR BY ONE MANAGER IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES WITH THE EXISTENCE OF ONLY ONE MANAGER.

(5) OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE.

14. THIS TRANSACTION MAY BE SUBJECT TO THE CURRENT FINCEN GEOGRAPHIC TARGETING ORDER ISSUED BY THE DIRECTOR OF FINCEN PURSUANT TO 31 U.S.C § 5326(A); 31 C.F.R. § 1010.3750; AND TREASURY ORDER 180-01. THE POLICY ISSUING AGENT MUST BE PROVIDED WITH CERTAIN INFORMATION PRIOR TO CLOSING PURSUANT TO THE GTO THIS TRANSACTION WILL NOT BE INSURED, AND THE ISSUING AGENT AND/OR ITS UNDERWRITER WILL NOT BE INVOLVED IN THE CLOSING AND SETTLEMENT UNTIL THIS INFORMATION IS REVIEWED BY THE ISSUING AGENT AND SUBMITTED TO FINCEN VIA THE BSA E-FILING THROUGH THE FINCEN E-FILE PLATFORM.

15. IN THE EVENT THE CONTEMPLATED TRANSACTION INVOLVES A LOAN FROM A NON-INSTITUTIONAL LENDER (I.E. HARD MONEY OR PRIVATE PARTY, OTHER THAN A SELLER CARRY BACK LOAN), PLEASE REFER TO THE REQUIREMENTS SHOWN AS NOTE #9 IN THE PRELIMINARY REPORT. (NOT A SURVEY ITEM)

SURVEYOR'S NOTES

- NO OBSERVABLE EVIDENCE OF CEMETERY OR BURIAL GROUNDS ON PROJECT SITE.
- NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- NO OBSERVABLE EVIDENCE OF STREET CHANGES IN RIGHT OF WAY LINES FOR STREETS ADJOINING PROJECT AREA, UNLESS NOTED HEREON.
- NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- NO OBSERVABLE EVIDENCE OF FIELD DELINEATION OF WETLANDS.

ZONING INFORMATION

THE FOLLOWING INFORMATION WAS EXTRACTED FROM THE CULVER CITY ZONING MAP, ACCESS VIA CULVERCITY.ORG, FOR COMPLETE ZONING INFORMATION CONTAINED THEREIN PLEASE REFER TO SAID MAP:

NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSUMED BY THIS MAP OR THE SURVEYOR.

EXISTING ZONING DESIGNATION: RMD RESIDENTIAL MEDIUM DENSITY MULTIPLE

COMMENTS

DATE OF SURVEY ... SEPTEMBER 2020

BOUNDARY LINES ... WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

... INDICATES ENCUMBRANCE SHOWN HEREON.

SITE ADDRESS ... 3906 HURON AVE, CULVER CITY

A.P.N. ... 4213-002-001

BASIS OF BEARINGS ... THE BEARING OF N33°W ALONG THE CENTERLINE OF HURON AVENUE AS SHOWN ON MAP OF CLARKDALE, BOOK 9, PAGE 176 OF MAPS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

LAND AREA ... 7,501 SQ. FT. / 0.172 ACRES MORE OR LESS

FLOOD INSURANCE RATE MAP ... ZONE "X", PER FLOOD INSURANCE RATE MAP (FIRM) MAP PANEL 1596 OF 2350, MAP NO. 0603701596G EFFECTIVE DATE DECEMBER 18, 2019.

ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

UTILITIES ... LOCATIONS OF UTILITIES SHOWN ON THIS MAP WERE OBTAINED FROM OBSERVED EVIDENCE DURING A FIELD SURVEY, THEY ARE FOR INFORMATION ONLY. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.

PUBLIC ACCESS ... HURON AVE & MATTESSON AVE

STATEMENT OF ENCROACHMENTS:

THIS SURVEY HAS FOUND EVIDENCE OF ENCROACHMENTS AS LISTED BELOW:

- THE SOUTHWEST CHAIN-LINK FENCE ENCROACHES OVER THE SOUTHWESTERLY PROPERTY LINE BY 0.06-0.45 FEET.
- THE NORTHEAST CHAIN-LINK FENCE ENCROACHES OVER THE NORTHWESTERLY PROPERTY LINE BY 0.28-0.50 FEET.
- THE SOUTHEAST CHAIN-LINK FENCE ENCROACHES OVER THE SOUTHEASTERLY PROPERTY LINE BY 0.11-1.19 FEET.
- THE SOUTHEAST WOOD FENCE ENCROACHES OVER THE SOUTHEASTERLY PROPERTY LINE BY 0.12 FEET.



CHRISTENSEN & PLOUFF
LAND SURVEYING
2020 BELCANTON ROAD SUITE 1A
VALHALLA, CA 91380
(916) 464-0000
WWW.CHSURV.COM



DATE: 07/20/2021
DRAWING SCALE: N.T.S.
PREPARED BY: KACIE PLOUFF
APPROVED BY: KACIE PLOUFF
FIELD NAME: SC4213-002-001 HURON AVE LOS ANGELES, CALIF.

3906 HURON AVENUE, CULVER CITY
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA
APN: 4213-002-001

PROJECT: A.L.T.A./N.S.P.S. LAND TITLE SURVEY

PROJECT NO.

SCA-20-129

SHEET NO.

1 OF 1

SURVEYOR'S CERTIFICATION

TO: PARTNERS INVEST LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND; USA NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(A), 7(B)(1), 7(C), 8, 9, 11, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN THE MONTH OF SEPTEMBER 2020.



KACIE A. PLOUFF, PLS 9013

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wishire Blvd., #1000
Los Angeles, CA 90048
(310) 926-0248

LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

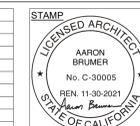
PROJECT:

5-UNIT TOWNHOUSE DEVELOPMENT

3906 Huron Ave, Culver City, CA 90222

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

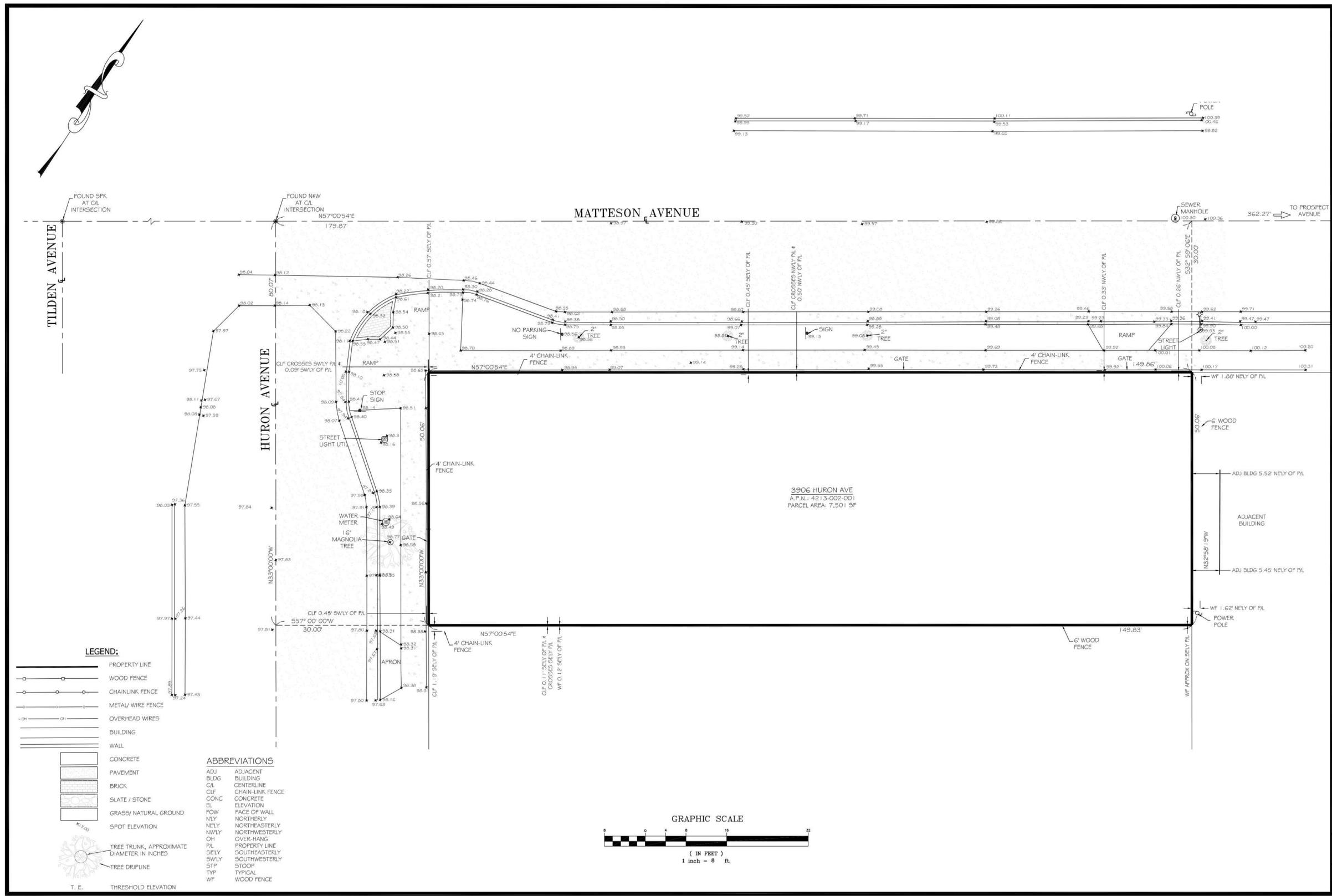
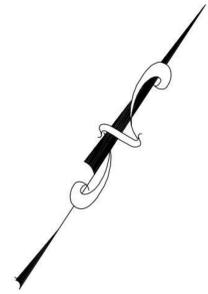
ISSUE DATE	DESCRIPTION



DRAWING TITLE
SURVEY SHEET 1

T-02

3906 HURON AVE

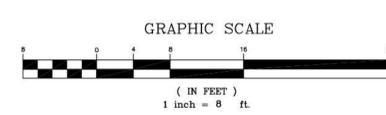


LEGEND:

- PROPERTY LINE
- WOOD FENCE
- CHAIN-LINK FENCE
- METAL WIRE FENCE
- OVERHEAD WIRES
- BUILDING
- WALL
- CONCRETE
- PAVEMENT
- BRICK
- SLATE / STONE
- GRASSY / NATURAL GROUND
- SPOT ELEVATION
- TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
- TREE DRIFLINE
- T. E. THRESHOLD ELEVATION

ABBREVIATIONS

- ADJ ADJACENT BUILDING
- BLDG BUILDING
- CL CENTERLINE
- CLF CHAIN-LINK FENCE
- CONC CONCRETE
- EL ELEVATION
- FWW FACE OF WALL
- NLY NORTHERLY
- NELY NORTHEASTERLY
- NWLY NORTHWESTERLY
- OH OVER-HANG
- PL PROPERTY LINE
- SELY SOUTHEASTERLY
- SWLY SOUTHWESTERLY
- STP STOOP
- TYP TYPICAL
- WF WOOD FENCE



CHRISTENSEN & PLOUFF
LAND SURVEYING
2500 BELCASTRO ROAD, SUITE 104
VAN NUYS, CALIFORNIA 91411
(818) 445-4300
www.cplandsurveying.com

CHRISTENSEN & PLOUFF
LAND SURVEYING

DATE: 07/26/2021
DRAWING SCALE: 1" = 8'
PREPARED BY: KACIE PLOUFF
APPROVED BY: KACIE PLOUFF
FILE NAME: SC\A\20\21\2006 HURON AVE LOS ANGELES.LATA

3906 HURON AVENUE, CULVER CITY
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA
APN: 4213-002-001

PROJECT:
A.L.T.A./N.S.P.S. LAND TITLE SURVEY

PROJECT NO.
SCA-20-129

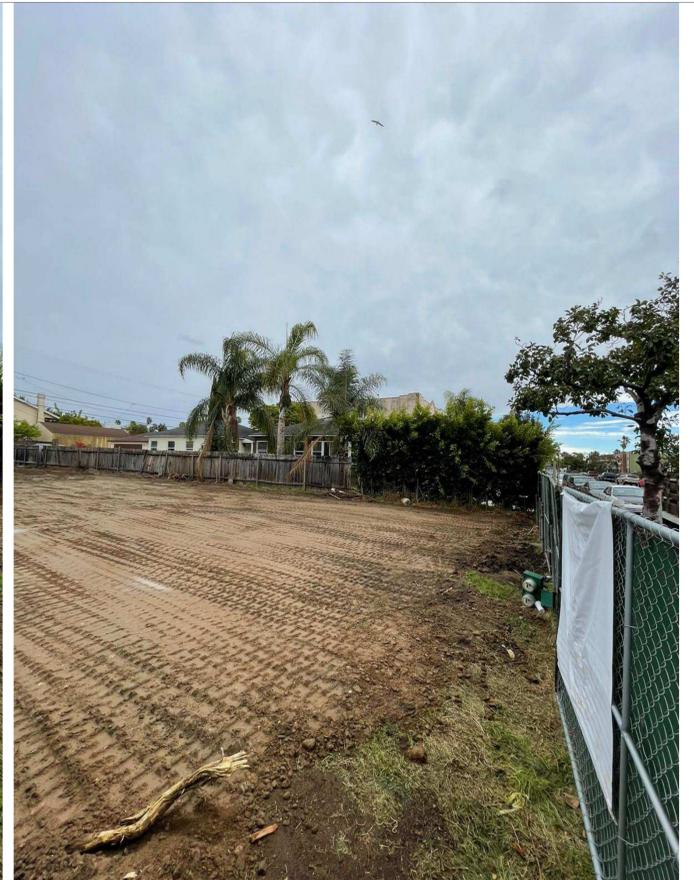
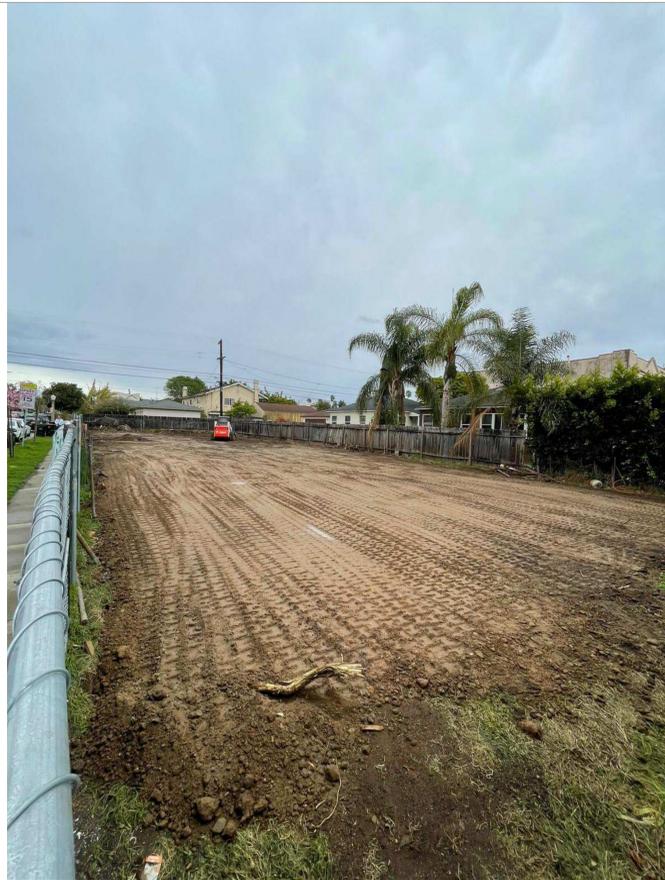
SHEET NO.
2 OF 2

<p>ARCHITECT: Aaron Brumer & Assoc. Architects 10999 Riverside Drive, Suite 300 North Hollywood, CA 91602 (310) 422-9234 Email - aaron@aaronbrumer.com</p>	<p>STRUCTURAL: Berkoz & Associates, INC 5530 Corbin Ave, Suite 229 TARZANA, CA 91356 (818) 668-8589</p>	<p>CIVIL: DK Engineer Corp. 6420 Wishire Blvd. #1000 Los Angeles, CA 90048 (310) 926-0248</p>	<p>LANDSCAPE: Yael Lir Landscape Architects 1010 Sycamore Ave, Suite 313 South Pasadena, CA 91030 (323) 258-5222</p>	<p>MEP: Creative Engineering Group 7123 Remmet Ave. Canoga Park, CA 91303 (818) 999-0415</p>	<p>PROJECT: 5-UNIT TOWNHOUSE DEVELOPMENT 3906 Huron Ave, Culver City, CA 90232</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>DESCRIPTION</th> <th>ISSUE</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>06.03.2021</td> <td>NEIGHBORHOOD OUTREACH MEETING #1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>06.09.2021</td> <td>PPR SUBMITTAL #01</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>09.10.2021</td> <td>PPR SUBMITTAL #02</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td>11.30.2021</td> <td>CITY PLANNING SUBMITTAL #01_V2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td>02.22.2022</td> <td>CITY PLANNING SUBMITTAL #02</td> <td></td> <td></td> <td></td> </tr> <tr> <td>6</td> <td>04.08.2022</td> <td>CITY PLANNING SUBMITTAL #03</td> <td></td> <td></td> <td></td> </tr> <tr> <td>7</td> <td>05.19.2022</td> <td>CITY PLANNING SUBMITTAL #04</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION	1	06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1				2	06.09.2021	PPR SUBMITTAL #01				3	09.10.2021	PPR SUBMITTAL #02				4	11.30.2021	CITY PLANNING SUBMITTAL #01_V2				5	02.22.2022	CITY PLANNING SUBMITTAL #02				6	04.08.2022	CITY PLANNING SUBMITTAL #03				7	05.19.2022	CITY PLANNING SUBMITTAL #04				<p>STAMP </p> <p>DRAWING TITLE SURVEY SHEET 2</p>	<p style="font-size: 2em; font-weight: bold;">T-03</p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">3906 HURON AVE</p>
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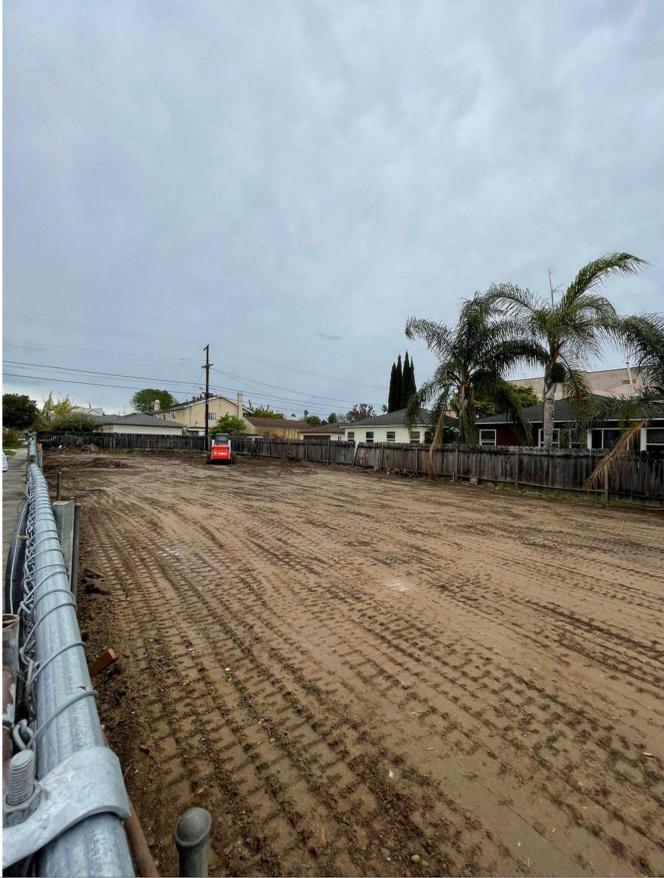
1



2



3



ARCHITECT:
Aaron Brumer & Assoc, Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire BLVD, #1000
Los Angeles, CA 90048
(310) 926-0248

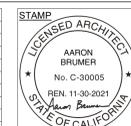
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE	DATE	DESCRIPTION
1	06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2	06.09.2021	PPR SUBMITTAL #01
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6	04.08.2022	CITY PLANNING SUBMITTAL #03
7	05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
EXISTING CONDITION
PHOTOS

T-04

3906 HURON AVE

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ADDRESS	SITE COVERAGE	HEIGHT	FRONT SETBACK
1 3848 HURON AVE.	49%	11'-0"	6'-0"
2 3856 HURON AVE.	35%	11'-0"	5'-10"
3 3862 HURON AVE.	21%	11'-6"	4'-11"
4 3866 HURON AVE.	35%	18'-0"	15'-4"
5 3872 HURON AVE.	49%	24'-0"	15'-9"
6 3910 HURON AVE.	39%	11'-0"	10'-0"
7 3914 HURON AVE.	38%	28'-0"	12'-2"
8 3918 HURON AVE.	58%	28'-0"	2'-9"
9 3920 HURON AVE.	66%	30'-0"	5'-10"
10 3924 HURON AVE.	53%	11'-0"	11'-4"
11 3930 HURON AVE.	23%	11'-0"	16'-10"
12 3940 HURON AVE.	37%	12'-0"	17'-1"
13 3944 HURON AVE.	47%	11'-6"	17'-11"
14 3952 HURON AVE.	43%	11'-6"	16'-9"
15 3956 HURON AVE.	44%	11'-6"	5'-4"

ADDRESS	SITE COVERAGE	HEIGHT	FRONT SETBACK
16 11001 WASHINGTON BLVD.	17%	12'-0"	35'-9"
17 3853 HURON AVE.	37%	12'-0"	34'-1"
18 3863 HURON AVE.	51%	12'-0"	29'-11"
19 3863 HURON AVE.	35%	21'-6"	21'-4"
20 3867 HURON AVE.	65%	22'-0"	16'-8"
21 3871 HURON AVE.	43%	21'-0"	27'-4"
22 3907 HURON AVE.	51%	11'-0"	12'-4"
23 3911 HURON AVE.	50%	21'-0"	20'-4"
24 3917 HURON AVE.	57%	22'-6"	17'-7"
25 3921 HURON AVE.	30%	11'-0"	23'-4"
26 3927 HURON AVE.	51%	21'-0"	29'-0"
27 3931 HURON AVE.	35%	11'-0"	25'-6"
28 3935 HURON AVE.	43%	11'-0"	24'-9"
29 3941 HURON AVE.	35%	21'-0"	23'-1"
30 3947 HURON AVE.	39%	11'-0"	19'-3"

ADDRESS	SITE COVERAGE	HEIGHT	FRONT SETBACK
31 3951 HURON AVE.	57%	21'-0"	16'-6"
32 3957 HURON AVE.	41%	20'-0"	19'-8"
33 3961 HURON AVE.	40%	11'-0"	19'-3"
34 3965 HURON AVE.	39%	11'-0"	19'-2"
35 3971 HURON AVE.	36%	11'-0"	23'-0"
36 3977 HURON AVE.	39%	21'-0"	16'-11"
37 11029 WASHINGTON BLVD.	27%	21'-0"	5'-11"
AVERAGE	42%	16'-1"	17'-4 1/2"
3906 HURON AVE	67%	30'-0"	16'-0"



MATTESON AVE.

WASHINGTON BLVD

HURON AVE.

HURON AVE.

MATTESON AVE.

SUBJECT PROPERTY
3906 HURON
PROPOSED 2-STORY
5-UNIT APARTMENT

1 VICINITY STUDY
1/32" = 1'-0"

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
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CIVIL:
DK Engineer Corp.
6420 Wilshire Blvd., #1000
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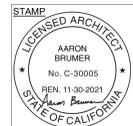
LANDSCAPE:
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1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
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7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



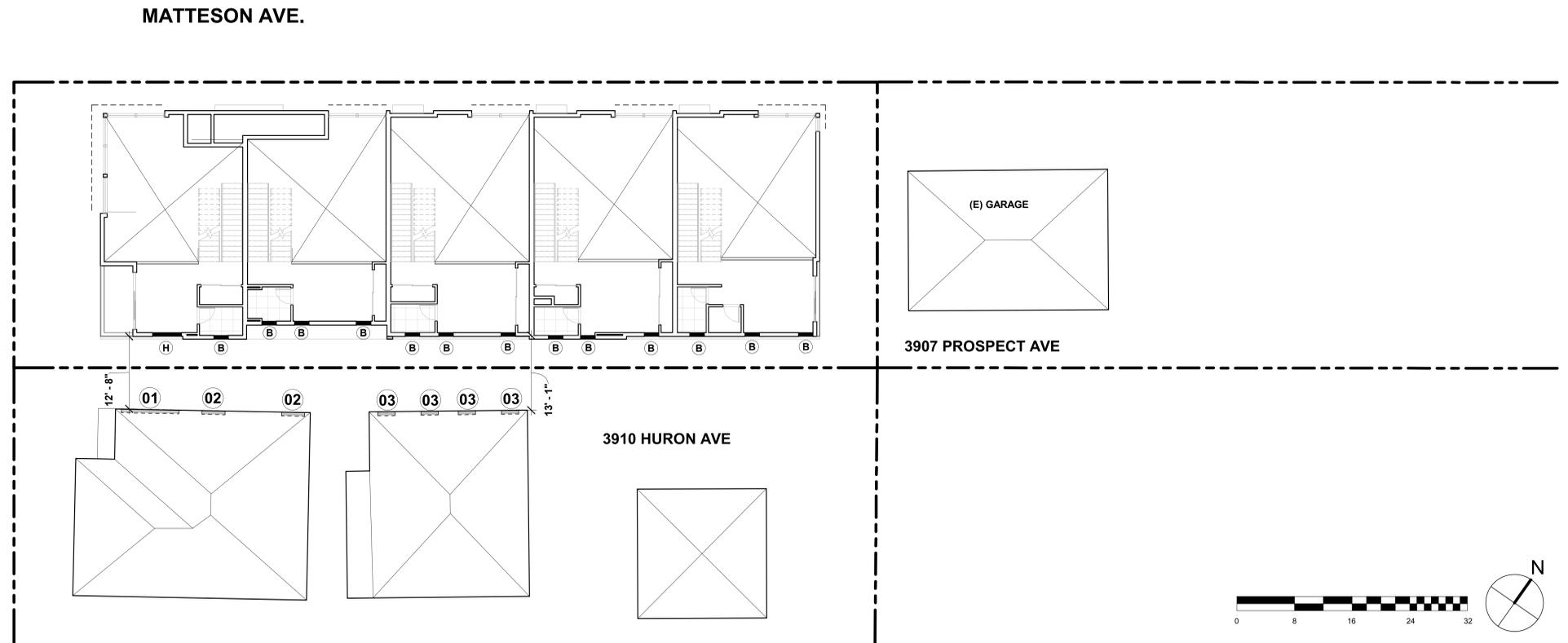
DRAWING TITLE
VICINITY STUDY

T-05

3906 HURON AVE

(N) WINDOWS & DOORS	
(N) WINDOW / DOOR NUMBER	DIMENSIONS (W x H)
(H)	5'-0" x 4'-6"
(B)	2'-6" x 4'-6"

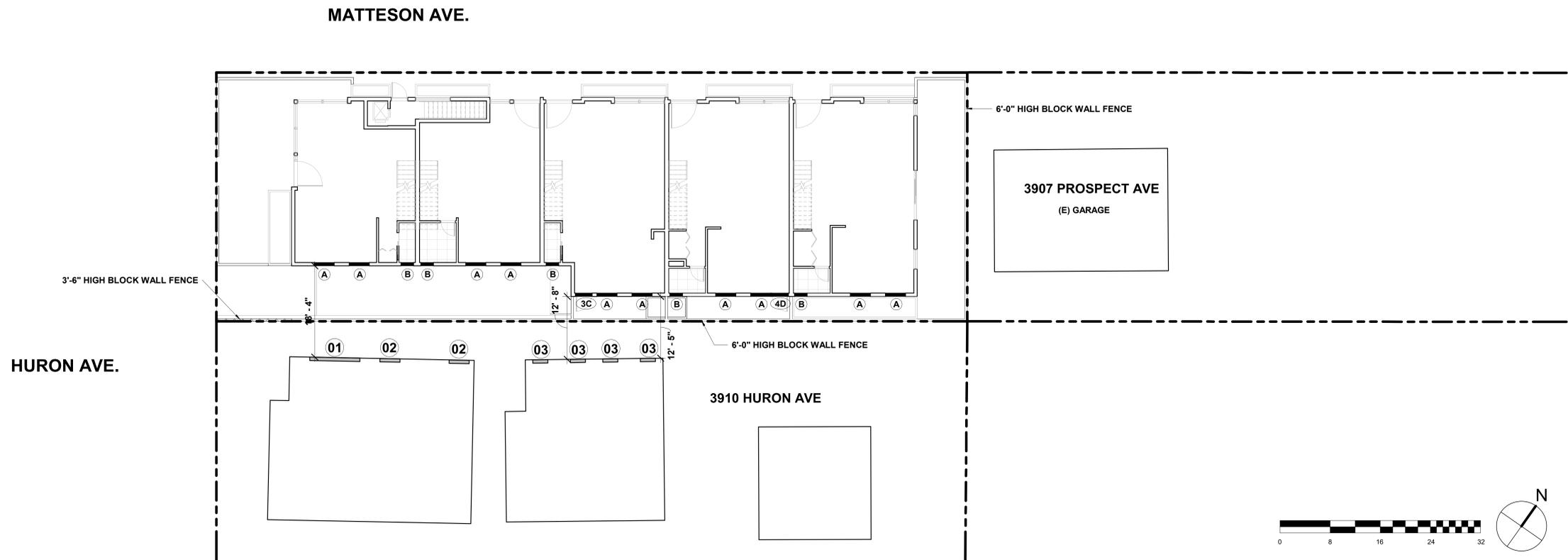
(E) WINDOWS RELATIONSHIP TO (N) WINDOWS		
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DIMENSIONS (W x H)
3910 HURON AVE.	(01)	10'-0" x 4'-6"
	(02)	4'-0" x 4'-6"
	(03)	3'-0" x 4'-6"



2 MEZZANINE FLOOR PLAN / WINDOW ADJACENCY STUDY
1" = 10'-0"

(N) WINDOWS & DOORS	
(N) WINDOW / DOOR NUMBER	DIMENSIONS (W x H)
(A)	4'-0" x 2'-0"
(B)	2'-6" x 4'-6"
(3C) (4D)	3'-0" x 8'-0"

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS		
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DIMENSIONS (W x H)
3910 HURON AVE.	(01)	10'-0" x 4'-6"
	(02)	4'-0" x 4'-6"
	(03)	3'-0" x 4'-6"



1 FIRST FLOOR PLAN / WINDOW ADJACENCY STUDY
1" = 10'-0"

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North Hollywood, CA 91602
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Email - aaron@aaronbrumer.com

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5530 Corbin Ave, Suite 229
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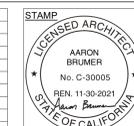
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South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE	DATE	DESCRIPTION
1	06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
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7	05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE	DATE	DESCRIPTION



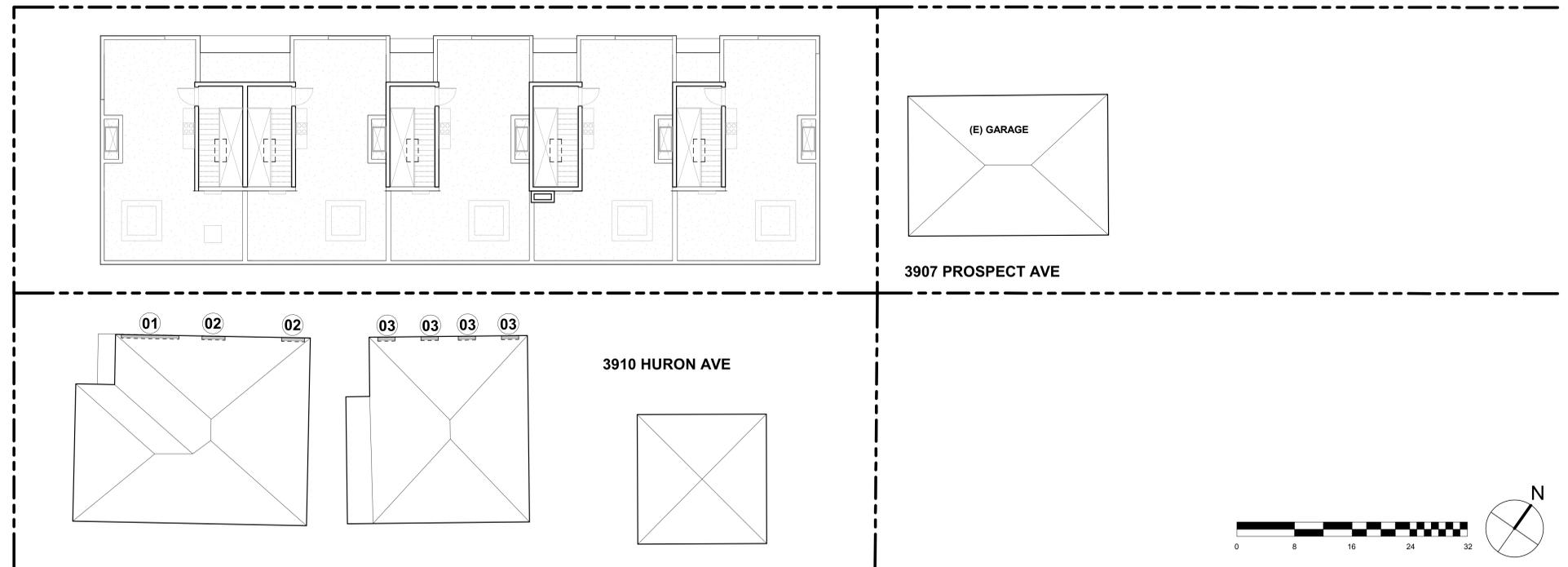
DRAWING TITLE
WINDOW ADJACENCY
STUDY / FIRST &
MEZZANINE FLOOR
PLANS

T-06

3906 HURON AVE

(E) WINDOWS		
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DIMENSIONS (W x H)
3910 HURON AVE.	01	10'-0" x 4'-6"
	02	4'-0" x 4'-6"
	03	3'-0" x 4'-6"

MATTESON AVE.



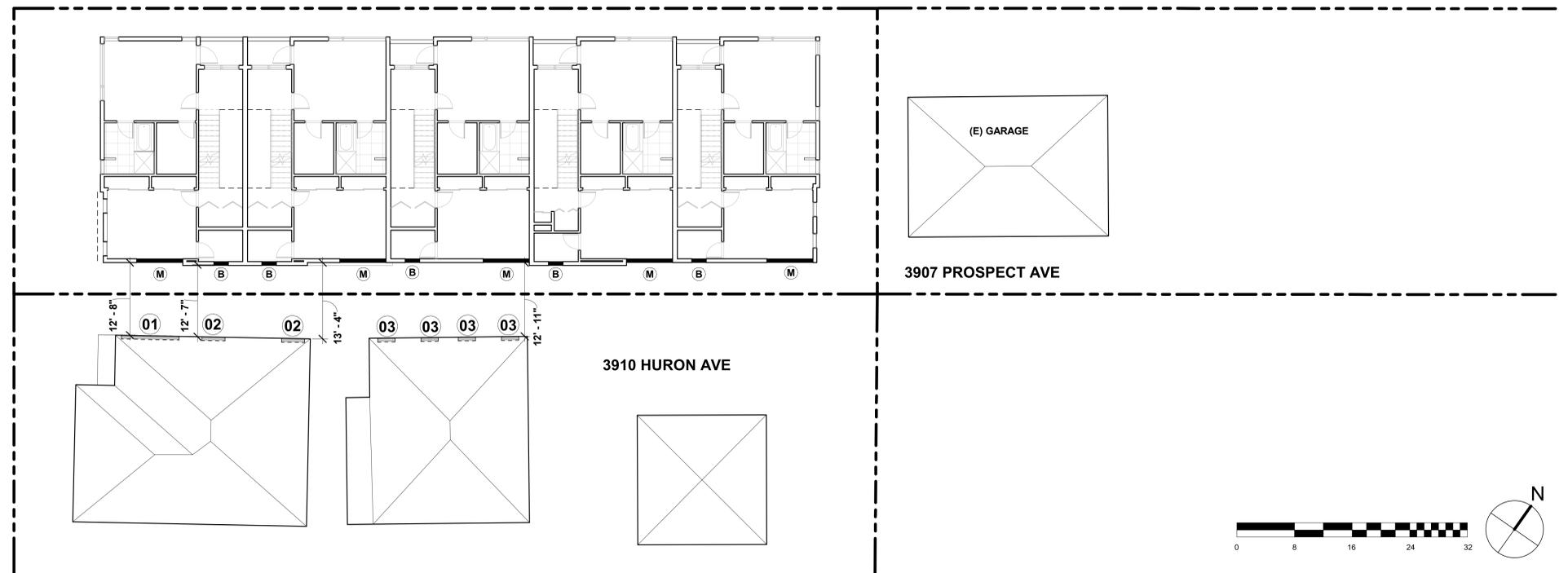
2 ROOF PLAN / WINDOW ADJACENCY STUDY
1" = 10'-0"

(N) WINDOWS & DOORS	
(N) WINDOW / DOOR NUMBER	DIMENSIONS (W x H)
(M)	8'-0" x 7'-0"
(B)	2'-6" x 4'-6"

(E) WINDOWS RELATIONSHIP TO (N) WINDOWS		
(E) WINDOW ADDRESS	(E) WINDOW NUMBER	DIMENSIONS (W x H)
3910 HURON AVE.	01	10'-0" x 4'-6"
	02	4'-0" x 4'-6"
	03	3'-0" x 4'-6"

MATTESON AVE.

HURON AVE.



1 SECOND FLOOR PLAN / WINDOW ADJACENCY STUDY
1" = 10'-0"

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
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Email - aaron@aaronbrumer.com

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TARZANA, CA 91356
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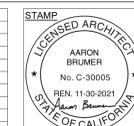
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1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE	DATE	DESCRIPTION
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ISSUE	DATE	DESCRIPTION

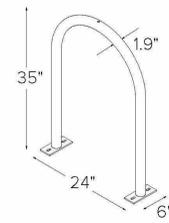


DRAWING TITLE
WINDOW ADJACENCY
STUDY / SECOND
FLOOR & ROOF PLAN

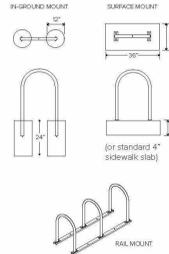
T-07

3906 HURON AVE

HOOP RACK
Submittal Sheet



- CAPACITY** 2 Bikes
- MATERIALS** 1.5" schedule 40 pipe (1.9" OD)
- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
 - PVC Dip**
Black PVC
 - Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
- MOUNT OPTIONS**
- In-ground**
In-ground mount is embedded into concrete base. Specify in-ground mount for this option.
 - Surface**
Foot Mount has two 2.5"x5"x.25" feet with two anchors per foot. Specify foot mount for this option.
 - Rail**
Rail Mounted Racks are bolted to two parallel rails which can be left free-standing or anchored to the ground. Rails are heavy duty 2"x4"x3/8" thick galvanized mounting rails. Specify rail mount for this option.
Rack Angle: 90° 60°
- OPTIONAL LEAN BAR** **Add Lean Bar**

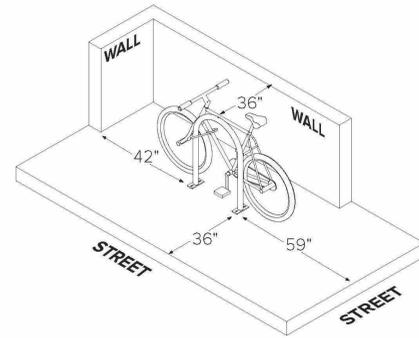


www.dero.com | 1-888-337-6729

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1	DERO HOOP RACK CUT SHEET
N.T.S	SHORT TERM BICYCLE RACK

HOOP RACK
Setbacks

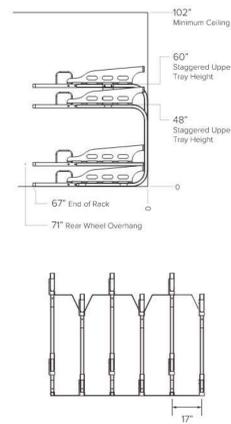


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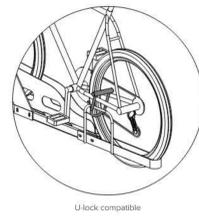
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Submittal Sheet



- CAPACITY** Varies per configuration
Minimum 6 bike system required for stability
- MATERIALS** Main frame tube: 2" TIG square tube
Connector plates: 1/4" plate
Bike trays: TIG plate
- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
 - Stainless**
304 grade stainless steel material with external surfaces polished to a satin finish. All surfaces passivated.
- MOUNT OPTIONS** **Surface only**
Each connector plate accepts 3/8" wedge anchors.

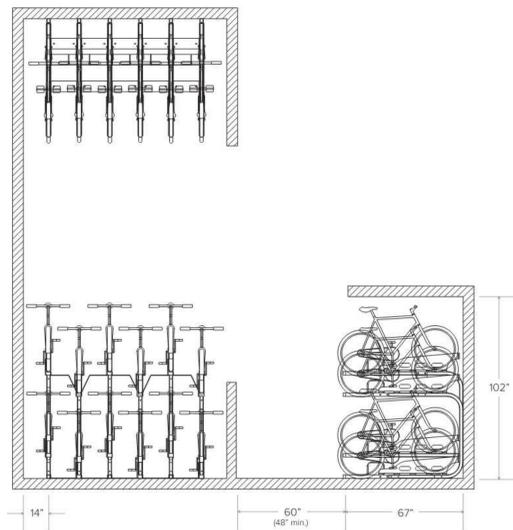


©2021

2	DERO DECKER CUT SHEET
N.T.S	LONG TERM 2-TIER STACKED BICYCLE RACK



Setbacks Single Sided



©2021

ARCHITECT:
Aaron Brumer & Assoc, Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
1010 Wilshire Blvd, #1000
Los Angeles, CA 90048
(310) 926-0248

LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

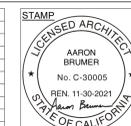
MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT

3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
BICYCLE RACK CUT SHEETS

T-08

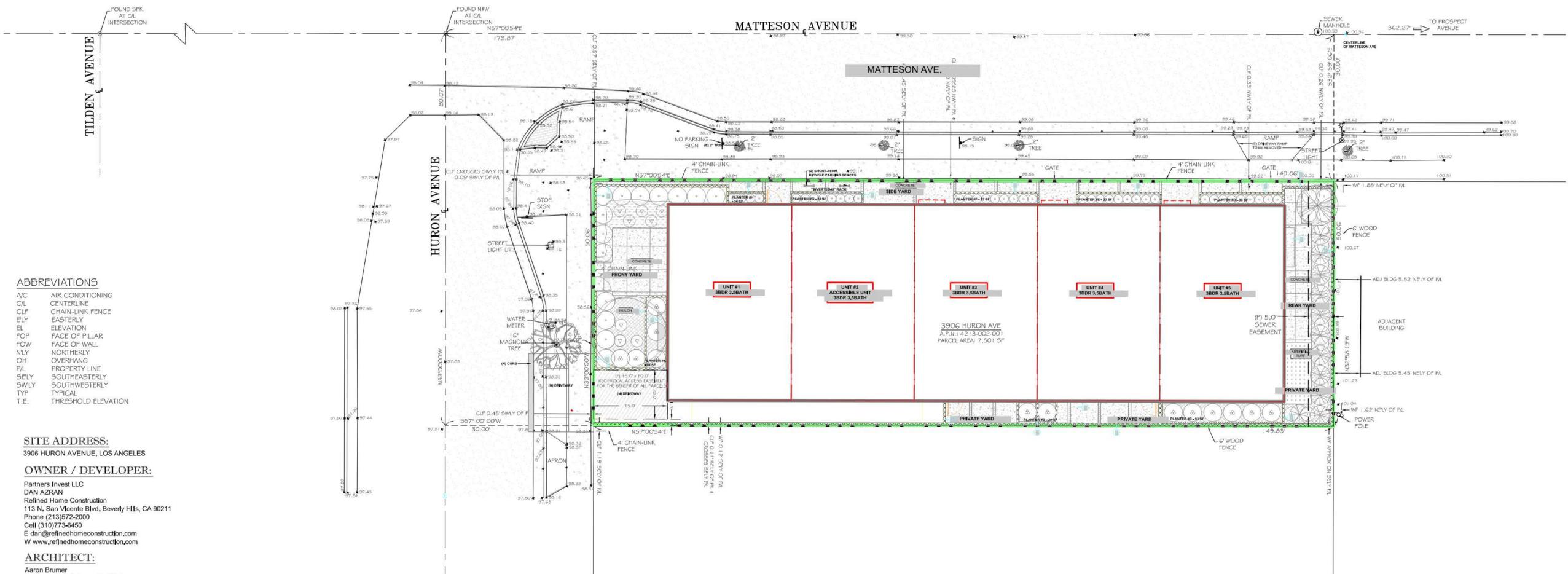
3906 HURON AVE

PRELIMINARY CONDOMINIUM TRACT

MAP NUMBER: 083810

IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

DATE OF SURVEY: AUGUST 2020



ABBREVIATIONS

- A/C AIR CONDITIONING
- C/L CENTERLINE
- CLF CHAIN-LINK FENCE
- ELY EASTERLY
- EL ELEVATION
- FOP FACE OF PILLAR
- FOW FACE OF WALL
- NLY NORTHERLY
- OH OVERHANG
- PL PROPERTY LINE
- SELY SOUTHEASTERLY
- SWLY SOUTHWESTERLY
- TYP TYPICAL
- T.E. THRESHOLD ELEVATION

SITE ADDRESS:

3906 HURON AVENUE, LOS ANGELES

OWNER / DEVELOPER:

Partners Invest LLC
 DAN AZRAN
 Refined Home Construction
 113 N. San Vicente Blvd, Beverly Hills, CA 90211
 Phone (213)572-2000
 Cell (310)773-6450
 E dan@refinedhomeconstruction.com
 W www.refinedhomeconstruction.com

ARCHITECT:

Aaron Brumer
 Aaron Brumer & Assoc, Architects
 10999 Riverside Drive #300
 North Hollywood, CA 91602
 310-422-9234
 aaron@aaronbrumer.com

DATE OF PREPARATION:

NOVEMBER 2021

ASSESSOR'S PARCEL NUMBER:

A.P.N.: 4213-002-001

LEGAL DESCRIPTION:

LOT ONE, BLOCK 6 OF CLARKDALE TRUST, IN THE CITY OF CULVER CITY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 176 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:

THE BEARING OF N83°W ALONG THE CENTERLINE OF HURON AVENUE AS SHOWN ON MAP OF CLARKDALE, BOOK 9, PAGE 176 OF MAPS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

PROPOSED USE:

CONDOMINIUM- 5 UNITS

FLOOD ZONE:

ZONE X, OUTSIDE OF FLOOD ZONE, FIRM MAP NO. 06037C1595G

ZONING INFORMATION:

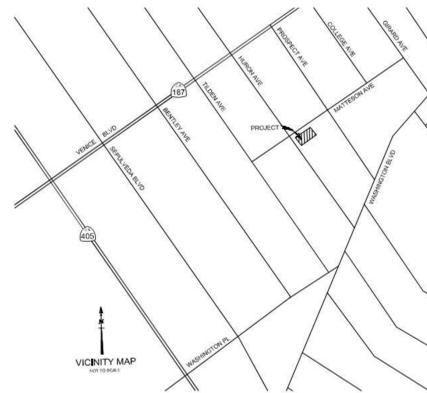
RMD RESIDENTIAL MEDIUM DENSITY MULTIPLE

AREA SUMMARY:

TOTAL SQ. FT.: 7,501 SQ. FT. / 0.172 ACRES

NOTES:

1. EXISTING LAND USE: VACANT LAND
2. PROPOSED LAND USE: CONDOMINIUM (5 UNITS)
3. EXISTING ADDRESS: 3906 HURON AVE, LOS ANGELES
 PROPOSED NEW ADDRESSES:
 3906 HURON AVE, UNIT 101
 3906 HURON AVE, UNIT 102
 3906 HURON AVE, UNIT 103
 3906 HURON AVE, UNIT 104
 3906 HURON AVE, UNIT 105
4. EXISTING PROPERTY USE IMMEDIATELY SURROUNDING SUBDIVISION: SINGLE-FAMILY RESIDENCES
5. CLOSEST INTERSECTION: MATTESON AVENUE.
6. THERE ARE 2 PROPOSED EASEMENTS ON THE SUBJECT PROPERTY (AS SHOWN HEREON)
7. THERE ARE NO HAZARDS OR HAZARDOUS MATERIAL ON THE SUBJECT PROPERTY
8. THERE ARE NO PROTECTED TREES ON THE SUBJECT PROPERTY



LEGEND:

- PROPERTY LINE
- WOOD FENCE
- CHAINLINK FENCE
- METAL/WIRE FENCE
- OVERHEAD WIRES
- BUILDING
- WALL
- CONCRETE
- PAVEMENT
- BRICK
- SLATE / STONE
- GRASS/ NATURAL GROUND
- SPOT ELEVATION
- TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
- TREE DRIPLINE

SURVEYOR'S CERTIFICATE

I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013). I FURTHER CERTIFY THAT THIS PLAN REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



KACIE A. PLOUFF, PL5 9013

PLAN PREPARED BY:
CHRISTENSEN & PLOUFF
 LAND SURVEYING
 25070 WILSON PARKWAY, SUITE 104
 VAN NUYS, CA 91411
 (818) 708-0800
 www.christensenandplouff.com

DATE: 12/01/2021
 DRAWING SCALE: 1" = 10'
 PREPARED BY: KACIE PLOUFF
 APPROVED BY: KACIE PLOUFF
 FILE NAME: SCA-20-125-006 HURON AVENUE, CA

3906 HURON AVENUE, CULVER CITY
 COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA
 APN: 4213-002-001

PROJECT:
PRELIMINARY TRACT MAP
 PROJECT NO.
SCA-20-129
 SHEET NO.
1 OF 1

ARCHITECT:
 Aaron Brumer & Assoc, Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

STRUCTURAL:
 Berkoz & Associates, INC
 5530 Corbin Ave, Suite 229
 TARZANA, CA 91356
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CIVIL:
 DK Engineer Corp.
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 Los Angeles, CA 90048
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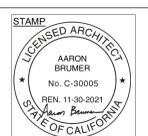
LANDSCAPE:
 Yael Lir Landscape Architects
 1010 Sycamore Ave, Suite 313
 South Pasadena, CA 91030
 (323) 258-5222

MEP:
 Creative Engineering Group
 7123 Remmet Ave,
 Canoga Park, CA 91303
 (818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
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5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

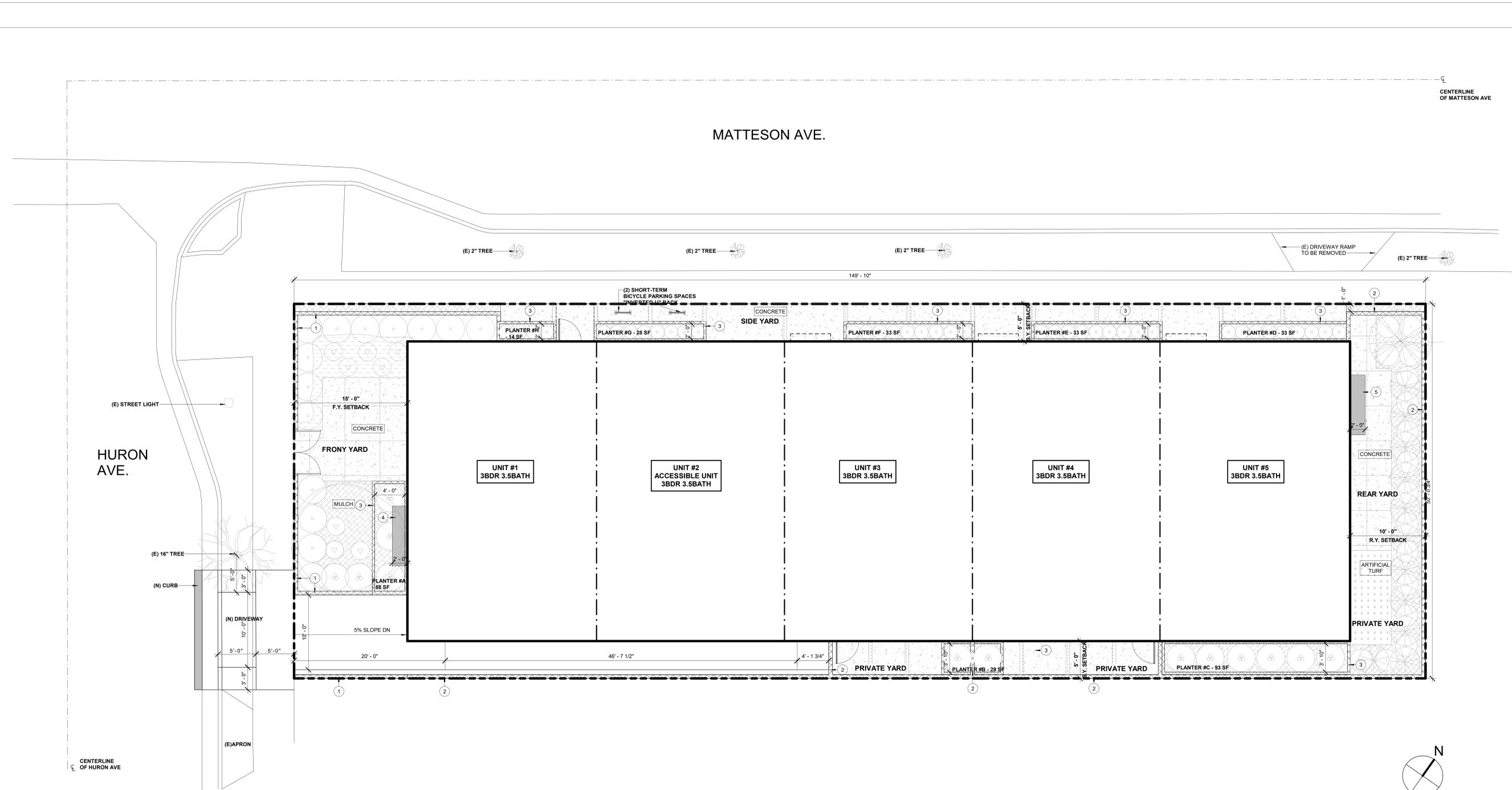
ISSUE DATE	DESCRIPTION



DRAWING TITLE
TENTATIVE TRACT MAP

T-09

3906 HURON AVE



1 SITE PLAN
3/16" = 1'-0"

KEYNOTES

- 01 (N) 6" CMU BLOCK WALL - 2'-6" HIGH
- 02 (N) 6" CMU BLOCK WALL - 6'-0" HIGH
- 03 (N) 4" CMU PLANTER WALL - 3'-6" HIGH
- 04 PROPOSED GAS METER LOCATION ABOVE PLANTER - TO BE SHIELDED BY LANDSCAPE
- 05 PROPOSED ELECTRICAL METER LOCATION

LEGEND

SHEET NOTES

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire BLVD. #1000
Los Angeles, CA 91034
(310) 926-0248

LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE	DATE	DESCRIPTION
1	06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2	06.09.2021	PPR SUBMITTAL #01
3	09.10.2021	PPR SUBMITTAL #02
4	11.30.2021	CITY PLANNING SUBMITTAL #01_V2
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7	05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE	DATE	DESCRIPTION

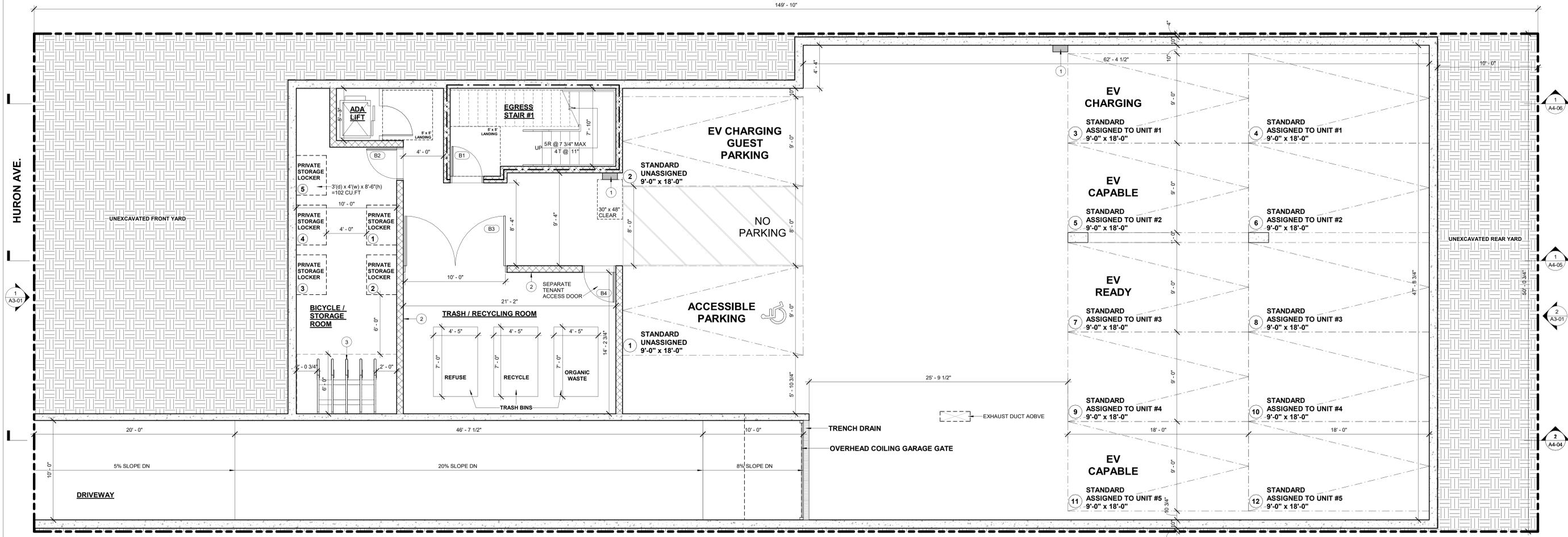


DRAWING TITLE
SITE PLAN

A1-00
3906 HURON AVE

Approved Trash Room
04/04/2022, EPO - MN

149' - 10"

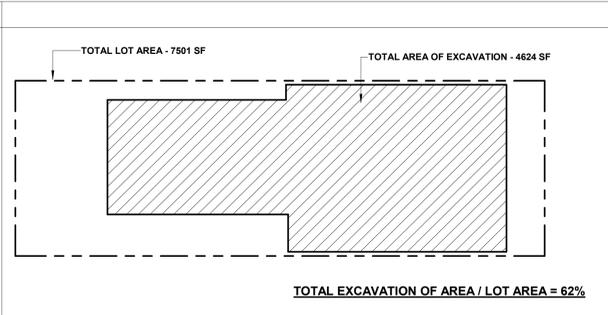


1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

KEYNOTES
01) MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
02) 6" WIDE X 8" HIGH CONCRETE CURB
03) (10) 2-TIER LONG-TERM BICYCLE PARKING SPACES

LEGEND	
	CONCRETE WALL - SEE STRUCTURAL DRAWINGS
	8" CMU WALL - SEE STRUCTURAL DRAWINGS
	1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE

SHEET NOTES
1. ALL DIMENSIONS ARE AS FOLLOWS: A. FACE OF WALL @ CONCRETE WALLS B. CENTERLINE OF FRAMING OR FACE OF FRAMING UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
3. WHERE NEW WALL IS IN PLANE WITH EXISTING WALL, ALIGN FINISH FACE OF NEW WALL WITH ADJACENT EXISTING FINISH FACE ON BOTH SIDES OF WALL, TYP.
4. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
5. 1 LAYER 5/8" WATER RESISTANT GWB TO BE USED AT ALL WET LOCATIONS
6. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION
7. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING, DRAINAGE AND LANDSCAPE INFORMATION
8. CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO.
9. ALL NEW WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS.
10. NOISE ATTENUATING GLAZING SYSTEMS SHALL BE INSTALLED IN ALL UNITS.



ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wishire Blvd. #1000
Los Angeles, CA 90048
(310) 926-0248

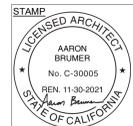
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90222

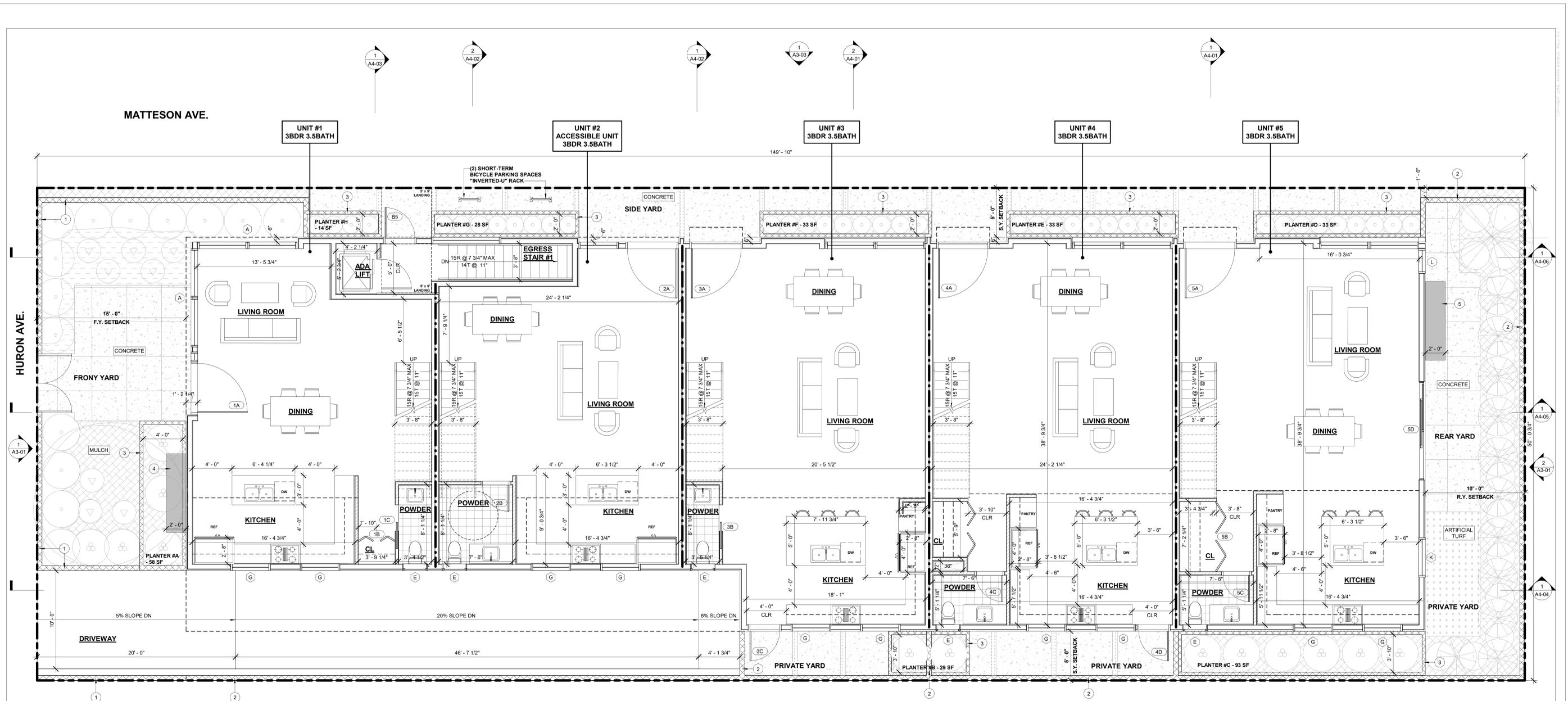
ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
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3 09.10.2021	PPR SUBMITTAL #02
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5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
BASEMENT FLOOR PLAN

A2-00
3906 HURON AVE



2 FIRST FLOOR PLAN
1/4" = 1'-0"

KEYNOTES	
01	(N) 6" CMU BLOCK WALL - 2'-6" HIGH SEE STRUCTURAL DRAWINGS
02	(N) 6" CMU BLOCK WALL - 6'-0" HIGH SEE STRUCTURAL DRAWINGS
03	(N) 4" CMU PLANTER WALL - 3'-6" HIGH SEE STRUCTURAL DRAWINGS
04	PROPOSED GAS METER LOCATION ABOVE PLANTER - TO BE SHIELDED BY LANDSCAPE
05	PROPOSED ELECTRICAL METER LOCATION

LEGEND	
	6" CMU WALL - SEE STRUCTURAL DRAWINGS
	2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS
	2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
	1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE
	2-HR RATED CONSTRUCTION

SHEET NOTES	
1.	ALL DIMENSIONS ARE AS FOLLOWS: A. FACE OF WALL @ CONCRETE WALLS B. CENTERLINE OF FRAMING OR FACE OF FRAMING UNLESS OTHERWISE NOTED.
2.	ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
3.	WHERE NEW WALL IS IN PLANE WITH EXISTING WALL, ALIGN FINISH FACE OF NEW WALL WITH ADJACENT EXISTING FINISH FACE ON BOTH SIDES OF WALL, TYP.
4.	ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
5.	1 LAYER 5/8" WATER RESISTANT GWB TO BE USED AT ALL WET LOCATIONS
6.	SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION
7.	SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING, DRAINAGE AND LANDSCAPE INFORMATION
8.	CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO.
9.	ALL NEW WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS.
10.	NOISE ATTENUATING GLAZING SYSTEMS SHALL BE INSTALLED IN ALL UNITS.



DKE
DK ENGINEER, CORP
6420 WILSHIRE BLVD., #1000
LOS ANGELES, CA 90048
310.926.0248

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

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5530 Corbin Ave, Suite 229
TARZANA, CA 91356
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Los Angeles, CA 90048
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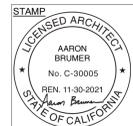
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Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

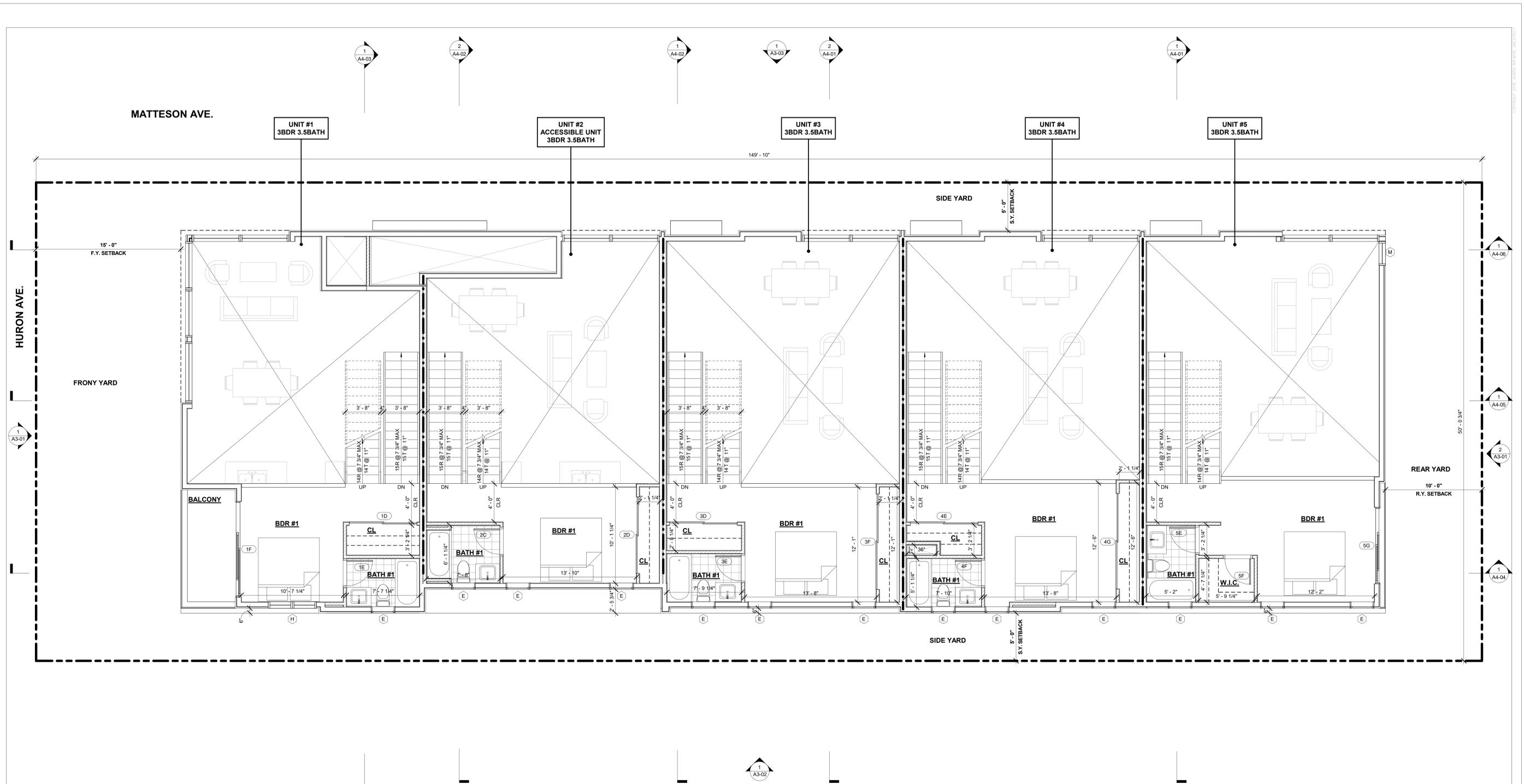
ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
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4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
FIRST FLOOR PLAN

A2-01
3906 HURON AVE



1 MEZZANINE FLOOR PLAN
1/4" = 1'-0"

KEYNOTES
<p>6" CMU WALL - SEE STRUCTURAL DRAWINGS</p> <p>2 X 6 W/D STUD WALL - SEE STRUCTURAL DRAWINGS</p> <p>2 X 4 W/D STUD WALL - SEE STRUCTURAL DRAWINGS</p> <p>1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE</p> <p>2-HR RATED CONSTRUCTION</p>

LEGEND
<p>6" CMU WALL - SEE STRUCTURAL DRAWINGS</p> <p>2 X 6 W/D STUD WALL - SEE STRUCTURAL DRAWINGS</p> <p>2 X 4 W/D STUD WALL - SEE STRUCTURAL DRAWINGS</p> <p>1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE</p> <p>2-HR RATED CONSTRUCTION</p>

SHEET NOTES
<ol style="list-style-type: none"> ALL DIMENSIONS ARE AS FOLLOWS: A. FACE OF WALL @ CONCRETE WALLS B. CENTERLINE OF FRAMING OR FACE OF FRAMING UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. WHERE NEW WALL IS IN PLANE WITH EXISTING WALL, ALIGN FINISH FACE OF NEW WALL WITH ADJACENT EXISTING FINISH FACE ON BOTH SIDES OF WALL, TYP. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N. 1 LAYER 5/8" WATER RESISTANT GWB TO BE USED AT ALL WET LOCATIONS. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING, DRAINAGE AND LANDSCAPE INFORMATION CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO. ALL NEW WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. NOISE ATTENUATING GLAZING SYSTEMS SHALL BE INSTALLED IN ALL UNITS.

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PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
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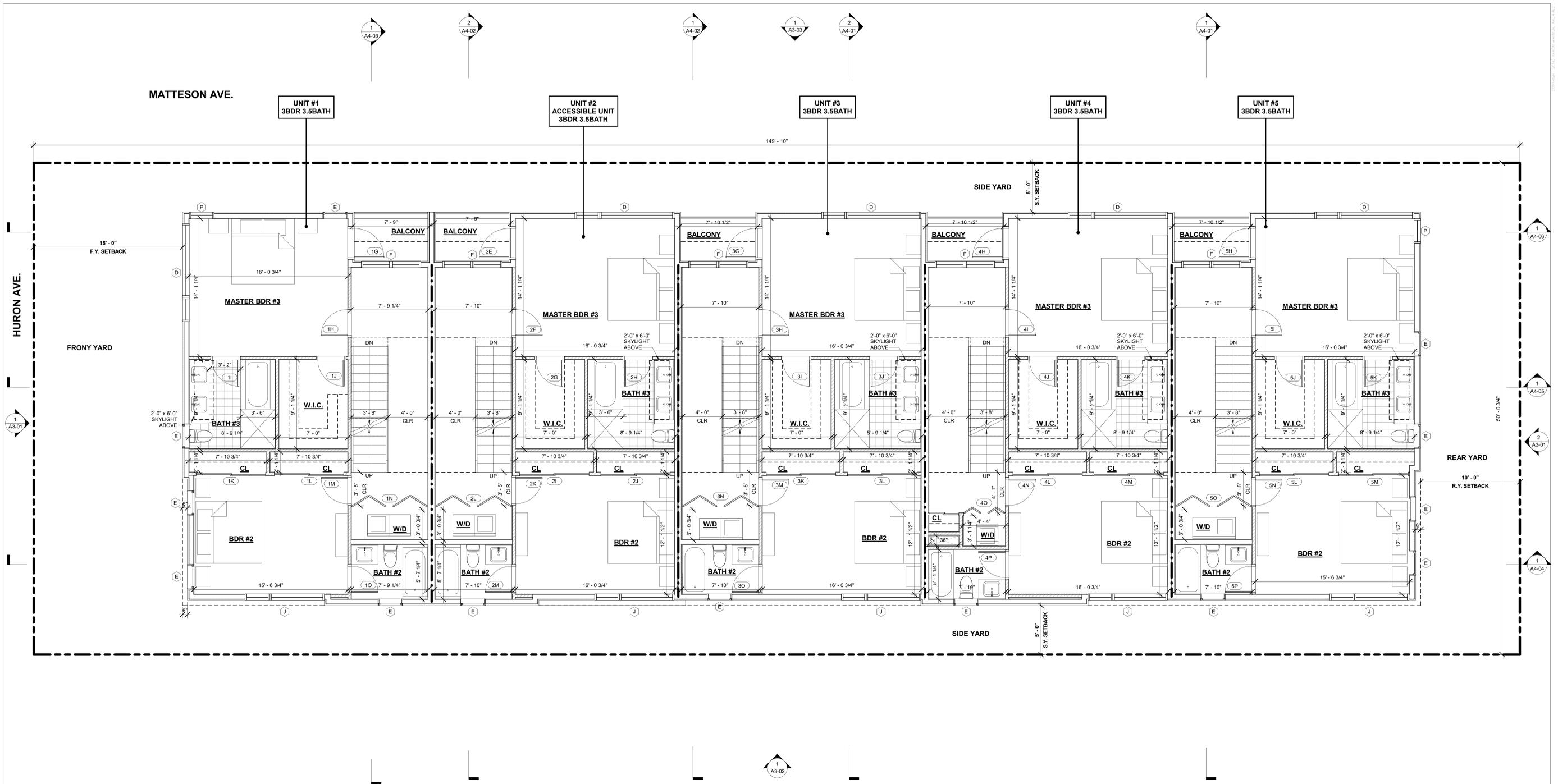
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ISSUE DATE	DESCRIPTION



DRAWING TITLE
MEZZANINE FLOOR PLAN

A2-02
3906 HURON AVE



1 SECOND FLOOR PLAN
1/4" = 1'-0"

KEYNOTES
6" CMU WALL - SEE STRUCTURAL DRAWINGS
2 X 6 W/D STUD WALL - SEE STRUCTURAL DRAWINGS
2 X 4 W/D STUD WALL - SEE STRUCTURAL DRAWINGS
1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE
2-HR RATED CONSTRUCTION

LEGEND
6" CMU WALL - SEE STRUCTURAL DRAWINGS
2 X 6 W/D STUD WALL - SEE STRUCTURAL DRAWINGS
2 X 4 W/D STUD WALL - SEE STRUCTURAL DRAWINGS
1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE
2-HR RATED CONSTRUCTION

SHEET NOTES
1. ALL DIMENSIONS ARE AS FOLLOWS: A. FACE OF WALL @ CONCRETE WALLS B. CENTERLINE OF FRAMING OR FACE OF FRAMING UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
3. WHERE NEW WALL IS IN PLANE WITH EXISTING WALL, ALIGN FINISH FACE OF NEW WALL WITH ADJACENT EXISTING FINISH FACE ON BOTH SIDES OF WALL, TYP.
4. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
5. 1 LAYER 5/8" WATER RESISTANT GWB TO BE USED AT ALL WET LOCATIONS.
6. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION
7. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING, DRAINAGE AND LANDSCAPE INFORMATION
8. CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO.
9. ALL NEW WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS.
10. NOISE ATTENUATING GLAZING SYSTEMS SHALL BE INSTALLED IN ALL UNITS.

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire Blvd, #1000
Los Angeles, CA 90048
(310) 926-0248

LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90222

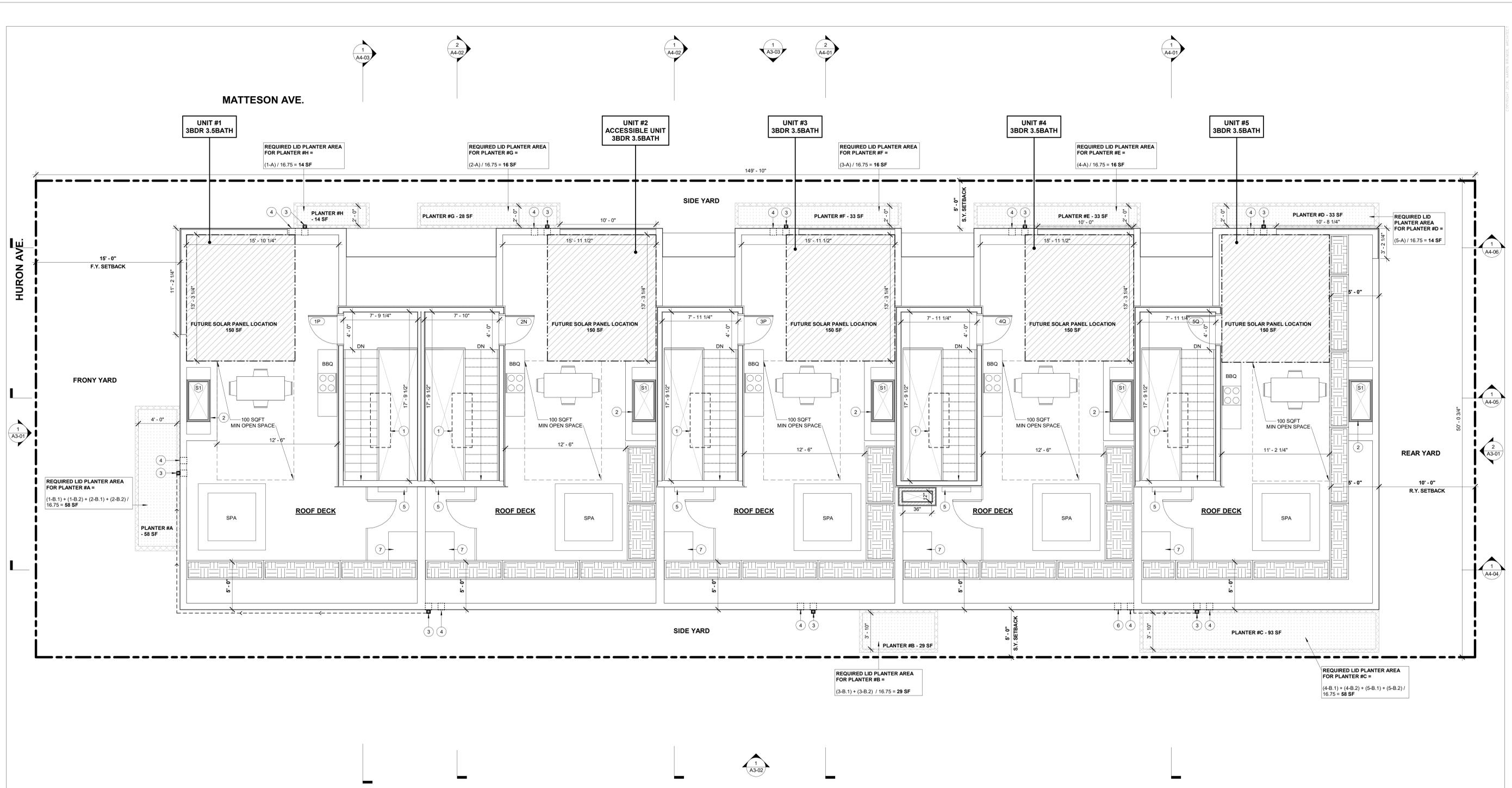
ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
SECOND FLOOR PLAN

A2-03
3906 HURON AVE



1 ROOF PLAN
1/4" = 1'-0"

KEYNOTES
01 DASHED LINES INDICATE 27 1/8" X 75 1/8" VELUX FIXED SKYLIGHT ABOVE - MODEL 2270 SEE SHEET FOR SPECIFICATION
02 27 1/8" X 51 1/8" VELUX FIXED SKYLIGHT - MODEL 2246 SEE SHEET FOR SPECIFICATION
03 THROUGHWALL SCUPPER & DOWNSPOUT
04 OVERFLOW SCUPPER
05 TANKLESS WATER HEATER
06 THROUGH WALL SCUPPER
07 3' x 3' CONDENSER

LEGEND	
	6" CMU WALL - SEE STRUCTURAL DRAWINGS
	2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS
	2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
	1-HR RATED CONSTRUCTION - INSTALL (1) LAYER 5/8" TYPE "X" GWB ON INTERIOR FACE OF WALL AND ON CEILING IN GARAGE TIGHT TO UNDERSIDE OF STRUCTURE
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KEY PLAN

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire Blvd. #1000
Los Angeles, CA 90048
(310) 926-0248

LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
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7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION

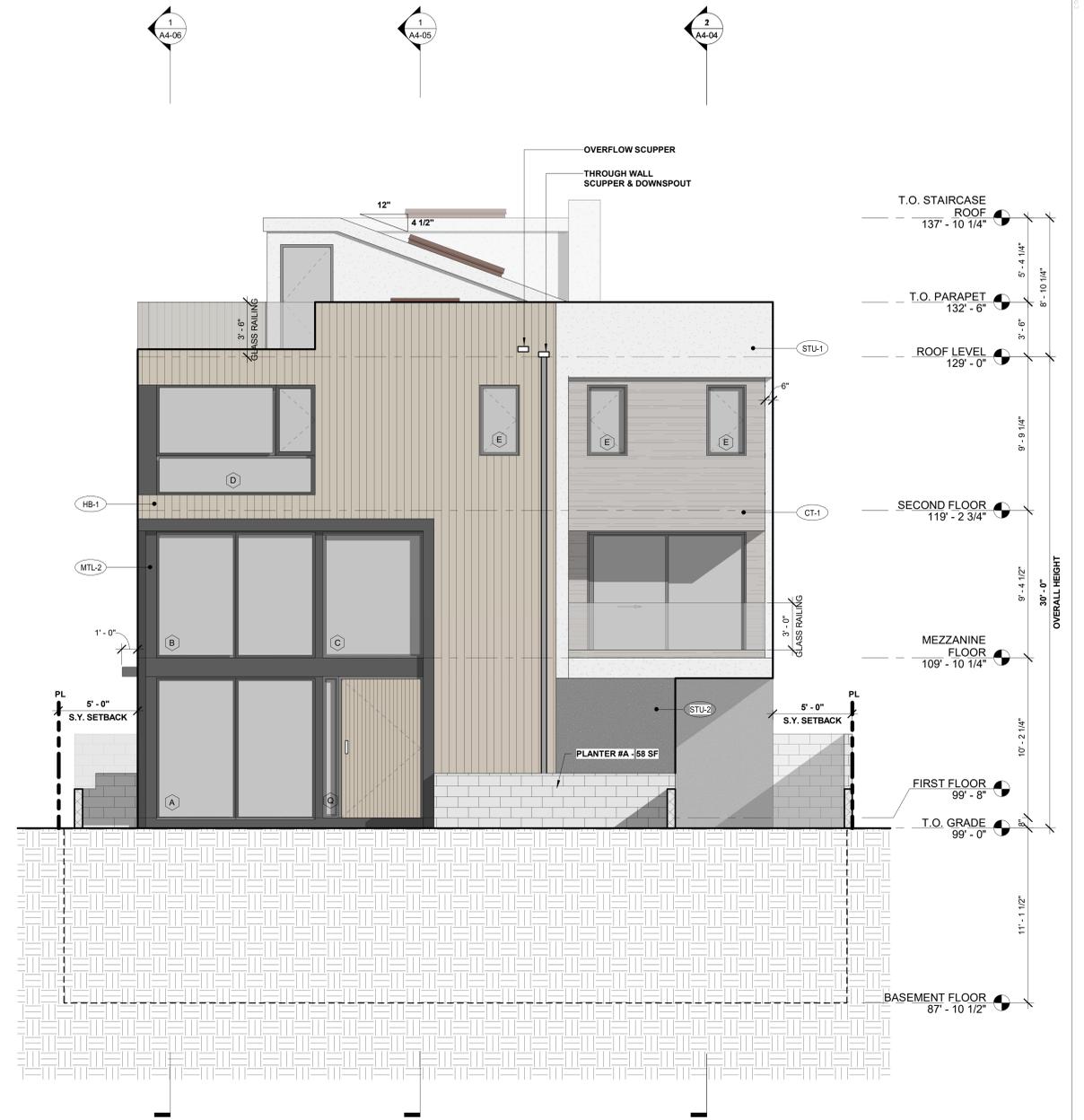


DRAWING TITLE
ROOF DECK PLAN

A2-04
3906 HURON AVE



2 NORTHEAST EXTERIOR ELEVATION
1/4" = 1'-0"



1 SOUTHWEST EXTERIOR ELEVATION
1/4" = 1'-0"

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire BLVD. #1000
Los Angeles, CA 90048
(310) 926-0248

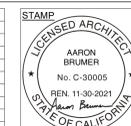
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
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2 06.09.2021	PPR SUBMITTAL #01
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5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
SOUTHWEST &
NORTHEAST
EXTERIOR
ELEVATIONS

A3-01

3906 HURON AVE



1 SOUTHEAST EXTERIOR ELEVATION
1/4" = 1'-0"

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire BLVD. #1000
Los Angeles, CA 91030
(310) 926-0248

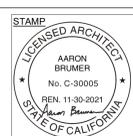
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE	DATE	DESCRIPTION
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2	06.09.2021	PPR SUBMITTAL #01
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7	05.19.2022	CITY PLANNING SUBMITTAL #04

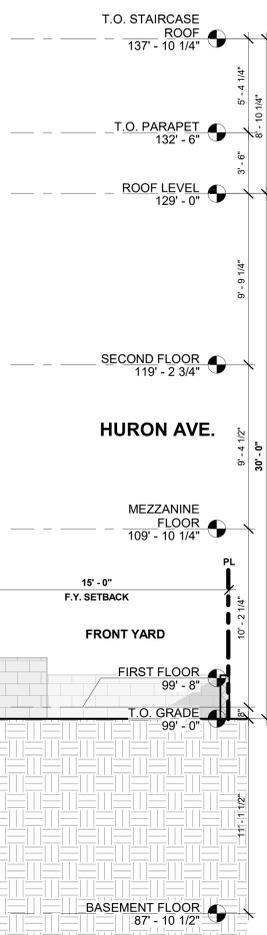
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
SOUTHEAST
EXTERIOR ELEVATION

A3-02
3906 HURON AVE

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1 NORTHWEST EXTERIOR ELEVATION
1/4" = 1'-0"

ARCHITECT:
Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
 5530 Corbin Ave, Suite 229
 TARZANA, CA 91356
 (818) 668-8589

CIVIL:
DK Engineer Corp.
 6420 Wilshire BLVD, #1000
 Los Angeles, CA 90048
 (310) 926-0248

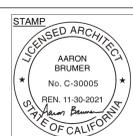
LANDSCAPE:
Yael Lir Landscape Architects
 1010 Sycamore Ave, Suite 313
 South Pasadena, CA 91030
 (323) 258-5222

MEP:
Creative Engineering Group
 7123 Remmet Ave,
 Canoga Park, CA 91303
 (818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

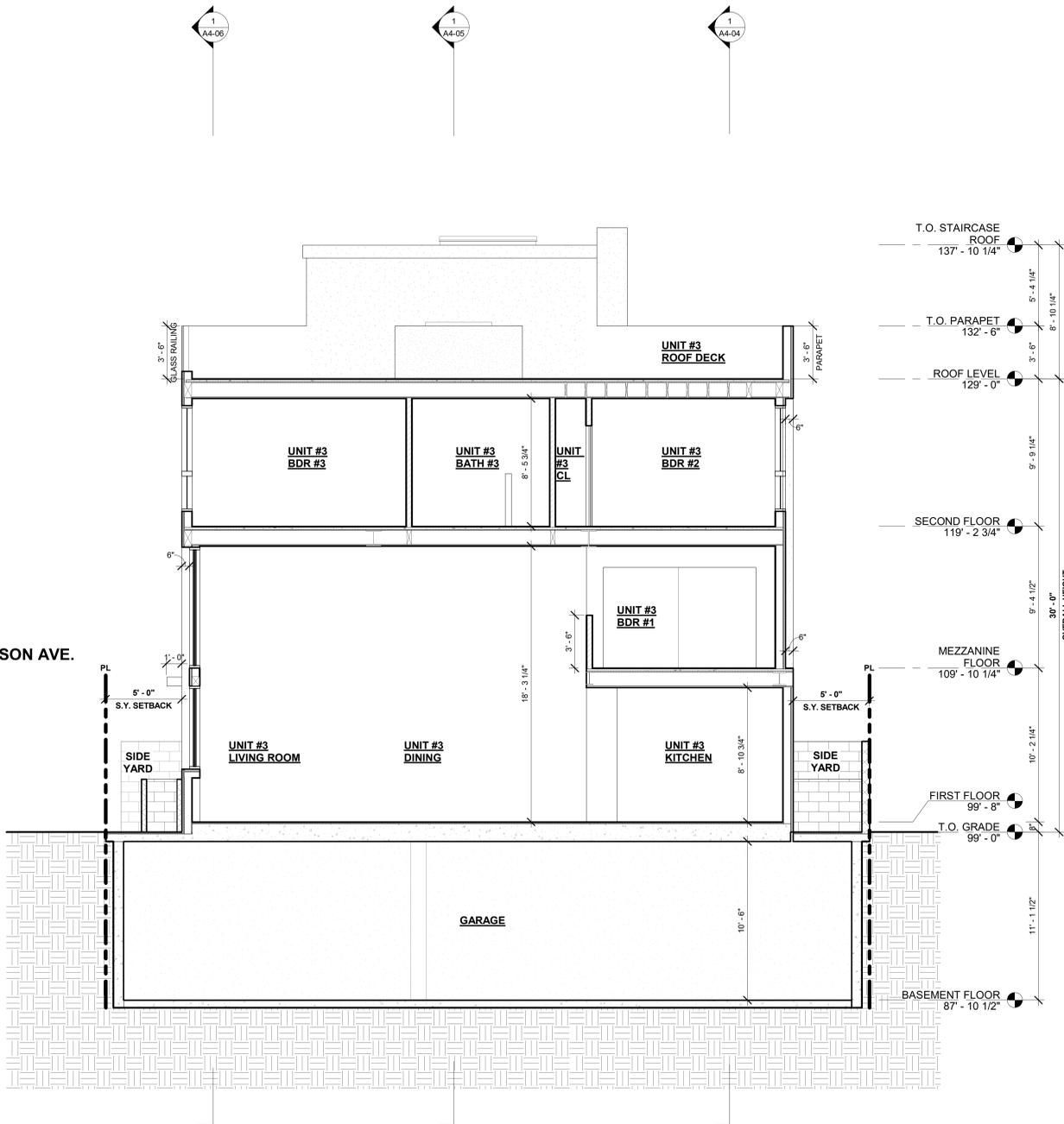
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1	06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2	06.09.2021	PPR SUBMITTAL #01
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7	05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
 NORTHWEST
 EXTERIOR ELEVATION

A3-03
 3906 HURON AVE



T.O. STAIRCASE ROOF 137' - 10 1/4"

T.O. PARAPET 132' - 6"

ROOF LEVEL 129' - 0"

SECOND FLOOR 119' - 2 3/4"

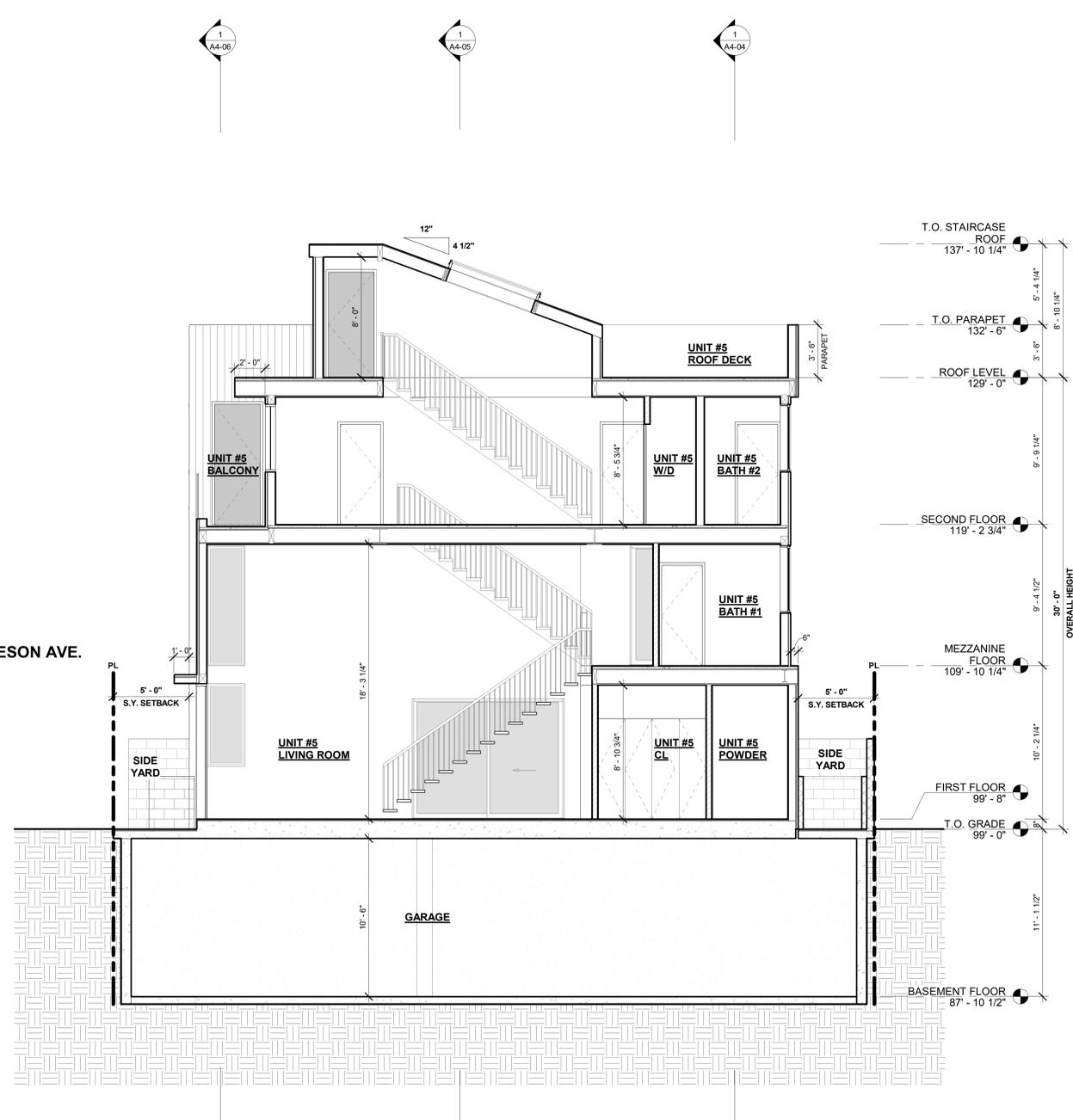
MEZZANINE FLOOR 109' - 10 1/4"

FIRST FLOOR 99' - 8"

T.O. GRADE 99' - 0"

BASEMENT FLOOR 87' - 10 1/2"

OVERALL HEIGHT 30'-0"



T.O. STAIRCASE ROOF 137' - 10 1/4"

T.O. PARAPET 132' - 6"

ROOF LEVEL 129' - 0"

SECOND FLOOR 119' - 2 3/4"

MEZZANINE FLOOR 109' - 10 1/4"

FIRST FLOOR 99' - 8"

T.O. GRADE 99' - 0"

BASEMENT FLOOR 87' - 10 1/2"

OVERALL HEIGHT 30'-0"

2 Section 2
1/4" = 1'-0"

1 Section 1
1/4" = 1'-0"

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire BLVD. #1000
Los Angeles, CA 91048
(310) 926-0248

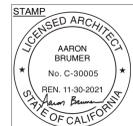
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
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4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
SECTIONS

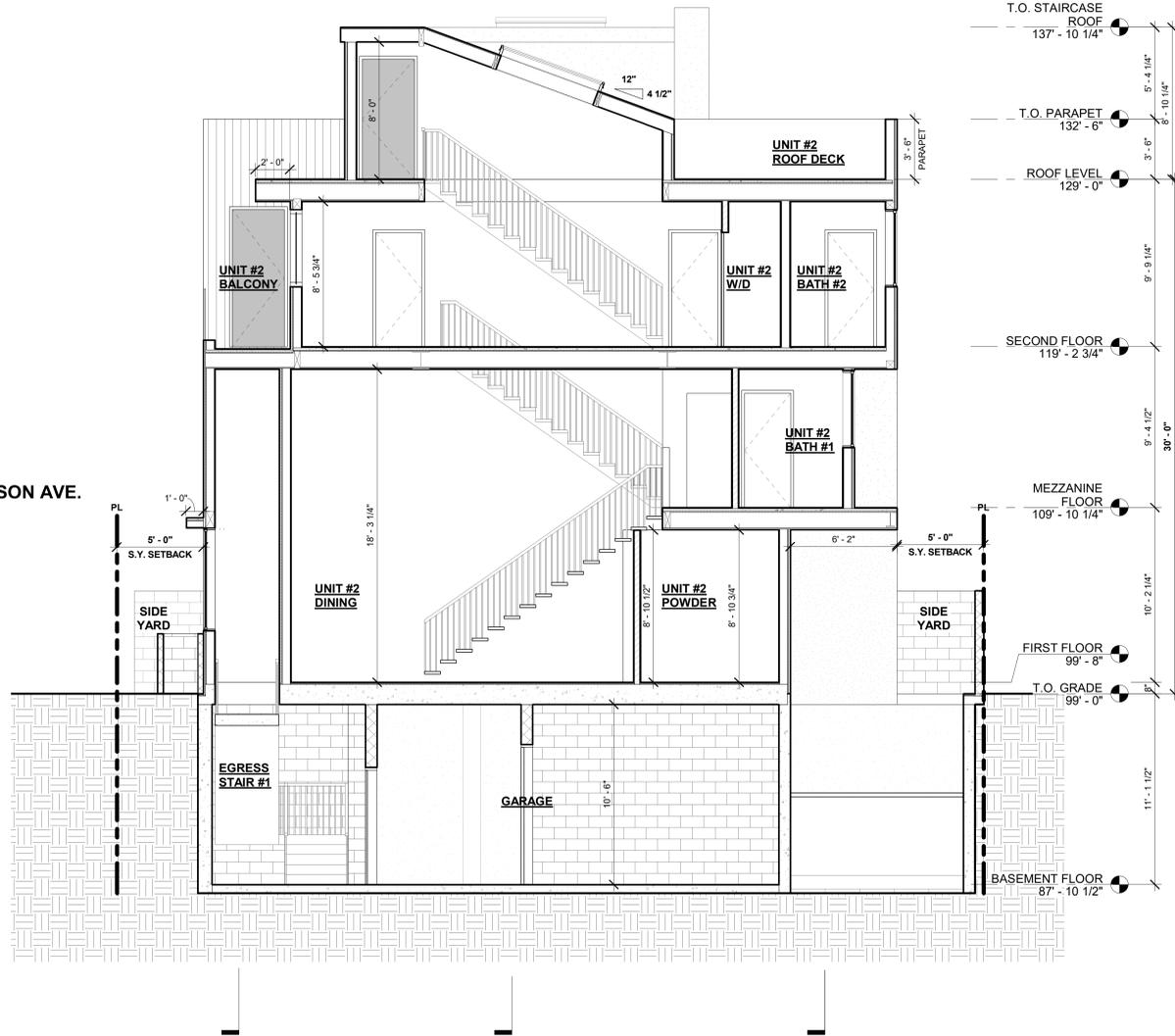
A4-01

3906 HURON AVE

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MATTESON AVE.



T.O. STAIRCASE ROOF 137' - 10 1/4"

T.O. PARAPET 132' - 6"

ROOF LEVEL 129' - 0"

SECOND FLOOR 119' - 2 3/4"

MEZZANINE FLOOR 109' - 10 1/4"

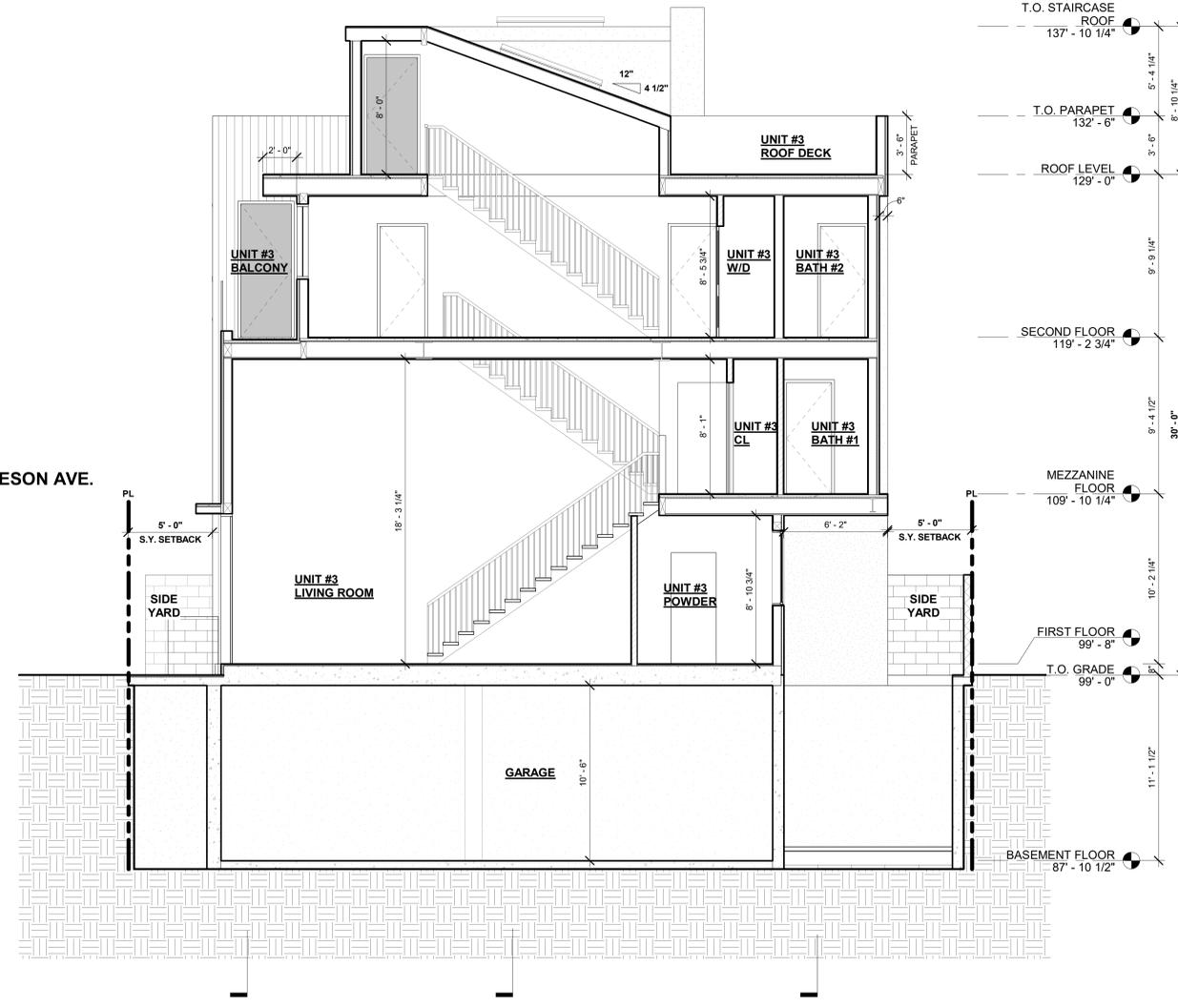
FIRST FLOOR 99' - 8"

T.O. GRADE 99' - 0"

BASEMENT FLOOR 87' - 10 1/2"

OVERALL HEIGHT 30' - 0"

MATTESON AVE.



T.O. STAIRCASE ROOF 137' - 10 1/4"

T.O. PARAPET 132' - 6"

ROOF LEVEL 129' - 0"

SECOND FLOOR 119' - 2 3/4"

MEZZANINE FLOOR 109' - 10 1/4"

FIRST FLOOR 99' - 8"

T.O. GRADE 99' - 0"

BASEMENT FLOOR 87' - 10 1/2"

OVERALL HEIGHT 30' - 0"

2 Section 4
1/4" = 1'-0"

1 Section 3
1/4" = 1'-0"

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

STRUCTURAL:
 Berkoz & Associates, INC
 5530 Corbin Ave, Suite 229
 TARZANA, CA 91356
 (818) 668-8589

CIVIL:
 DK Engineer Corp.
 6420 Wilshire BLVD. #1000
 Los Angeles, CA 91304
 (310) 926-0248

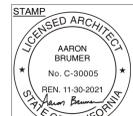
LANDSCAPE:
 Yael Lir Landscape Architects
 1010 Sycamore Ave, Suite 313
 South Pasadena, CA 91030
 (323) 258-5222

MEP:
 Creative Engineering Group
 7123 Remmet Ave,
 Canoga Park, CA 91303
 (818) 999-0415

PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

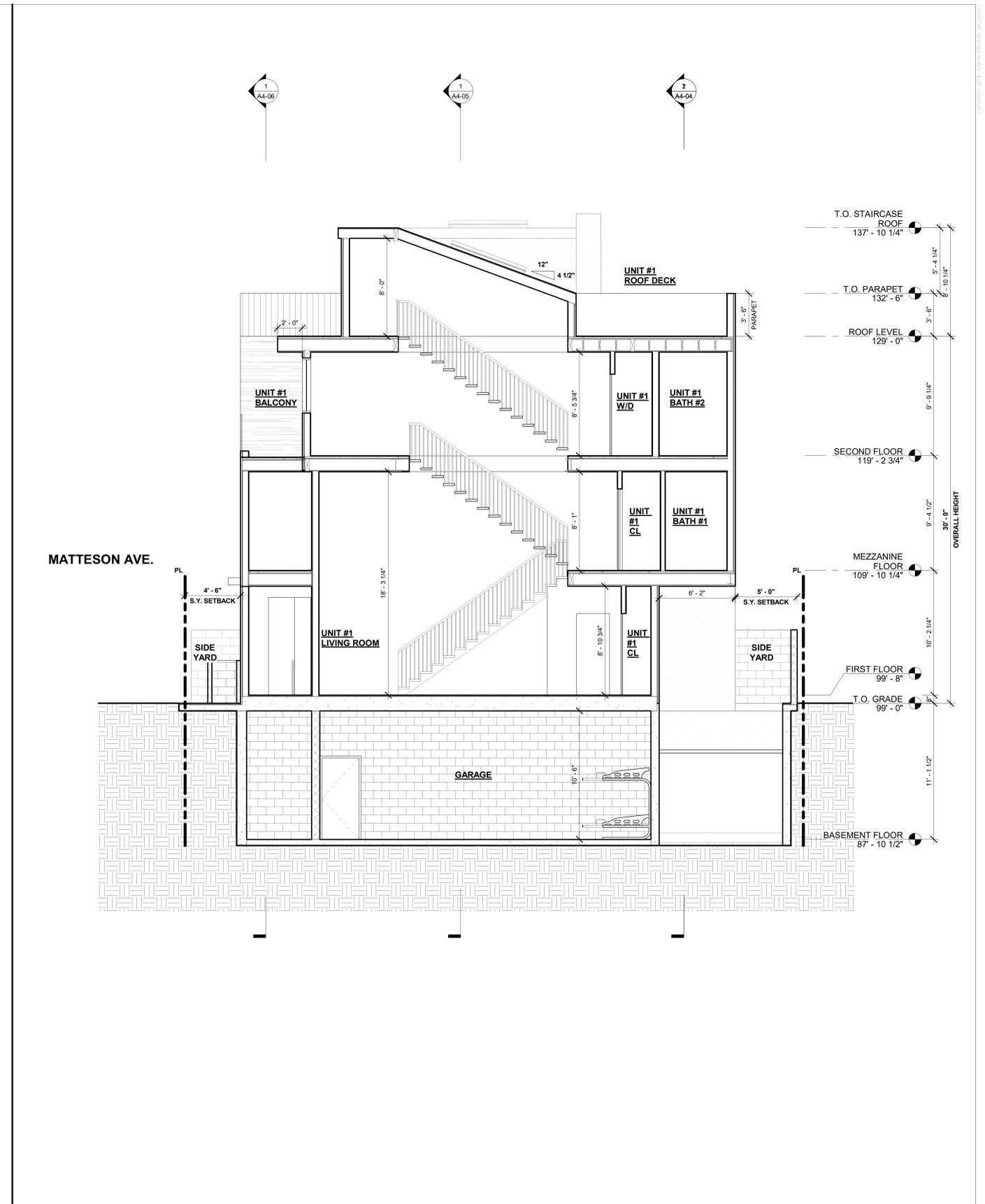
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6	04.08.2022	CITY PLANNING SUBMITTAL #03
7	05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
 SECTIONS

A4-02
 3906 HURON AVE



1 Section 5
1/4" = 1'-0"

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire BLVD. #1000
Los Angeles, CA 90048
(310) 926-0248

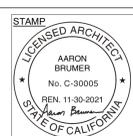
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

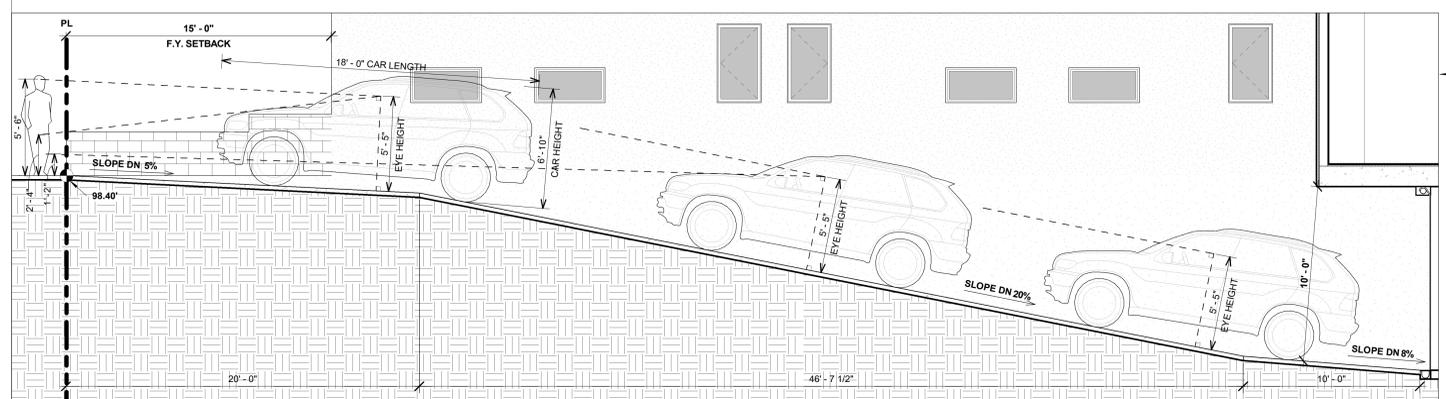
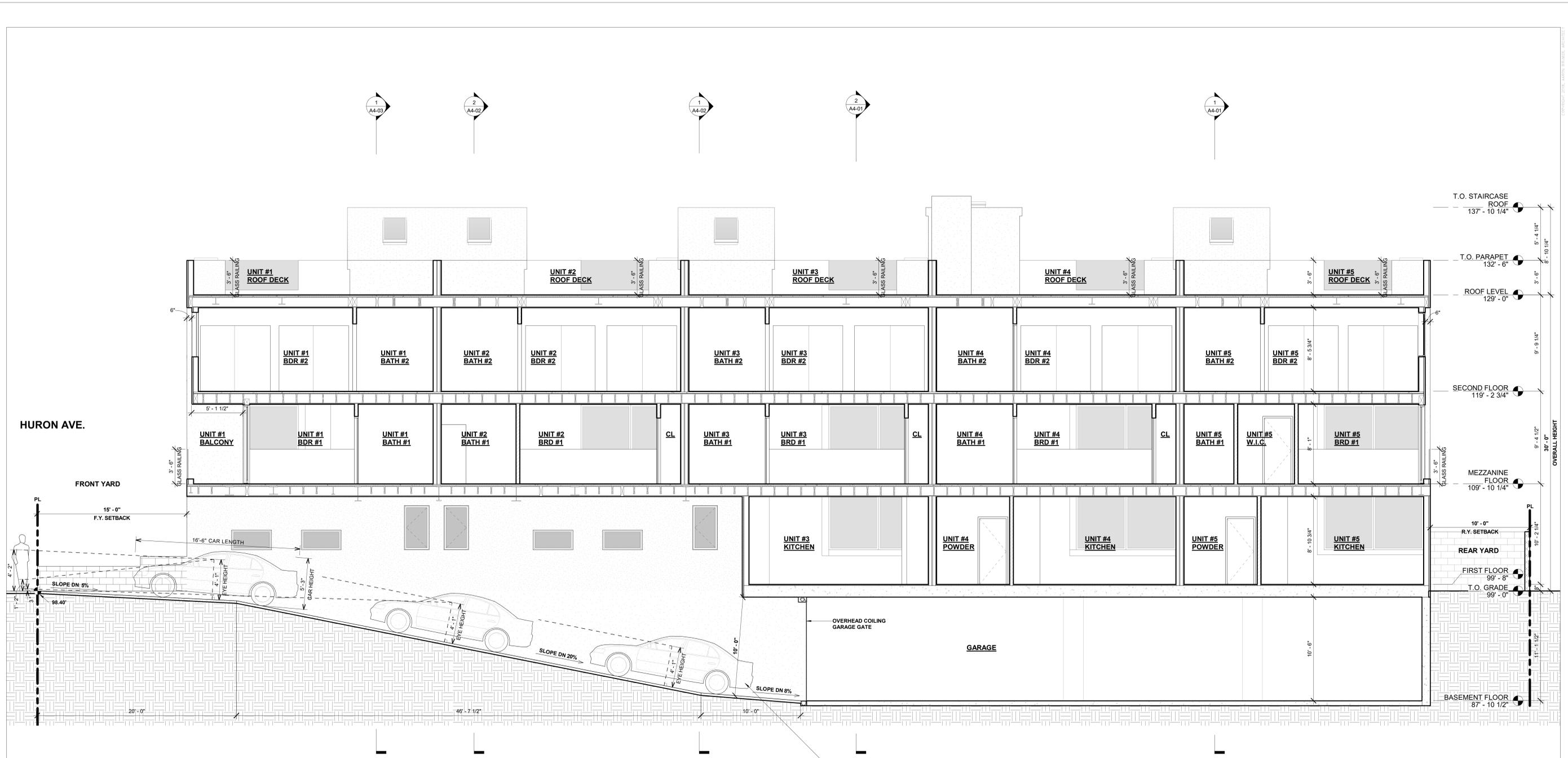
ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
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6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
SECTIONS

A4-03
3906 HURON AVE



1 SECTION WITH VEHICLE SIGHT CLEARANCE
1/4" = 1'-0"



DKE
DK ENGINEER, CORP
6420 WILSHIRE BLVD., #1000
LOS ANGELES, CA 90048
310.926.0248

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire Blvd. #1000
Los Angeles, CA 90048
(310) 926-0248

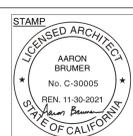
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

MEP:
Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
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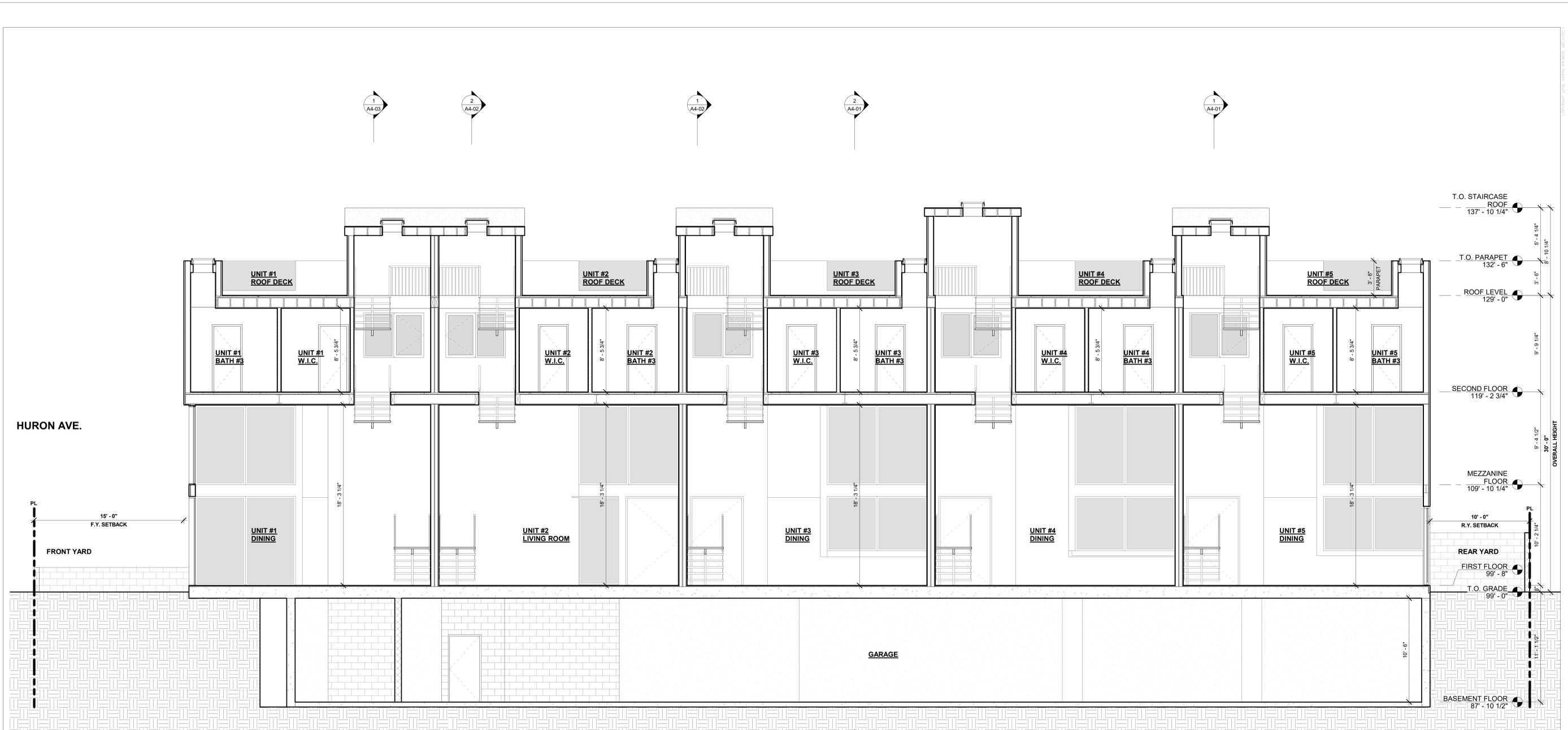
ISSUE DATE	DESCRIPTION



DRAWING TITLE
SECTION WITH VEHICLE SIGHT CLEARANCE

A4-04

3906 HURON AVE



1 Section 7
1/4" = 1'-0"

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

STRUCTURAL:
 Berkov & Associates, INC
 5530 Corbin Ave, Suite 229
 TARZANA, CA 91356
 (818) 668-8589

CIVIL:
 DK Engineer Corp.
 6420 Wilshire BLVD. #1000
 Los Angeles, CA 90048
 (310) 926-0248

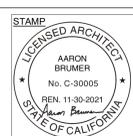
LANDSCAPE:
 Yael Lir Landscape Architects
 1010 Sycamore Ave, Suite 313
 South Pasadena, CA 91030
 (323) 258-5222

MEP:
 Creative Engineering Group
 7123 Remmet Ave,
 Canoga Park, CA 91303
 (818) 999-0415

PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

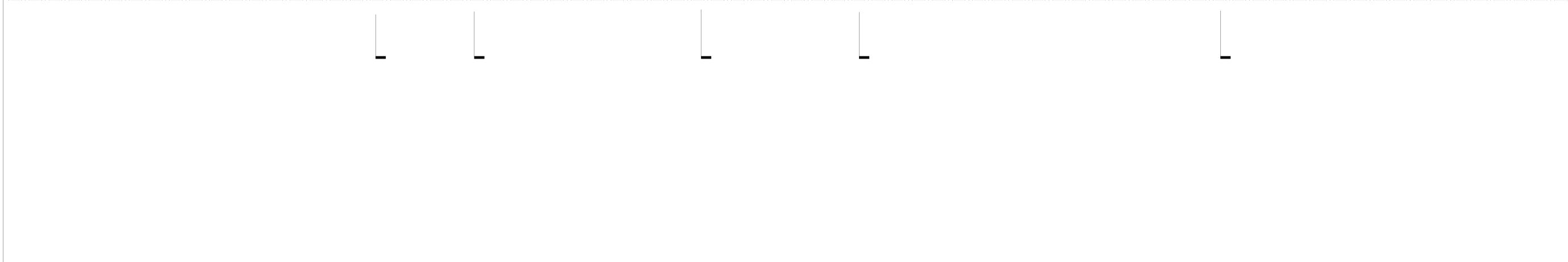
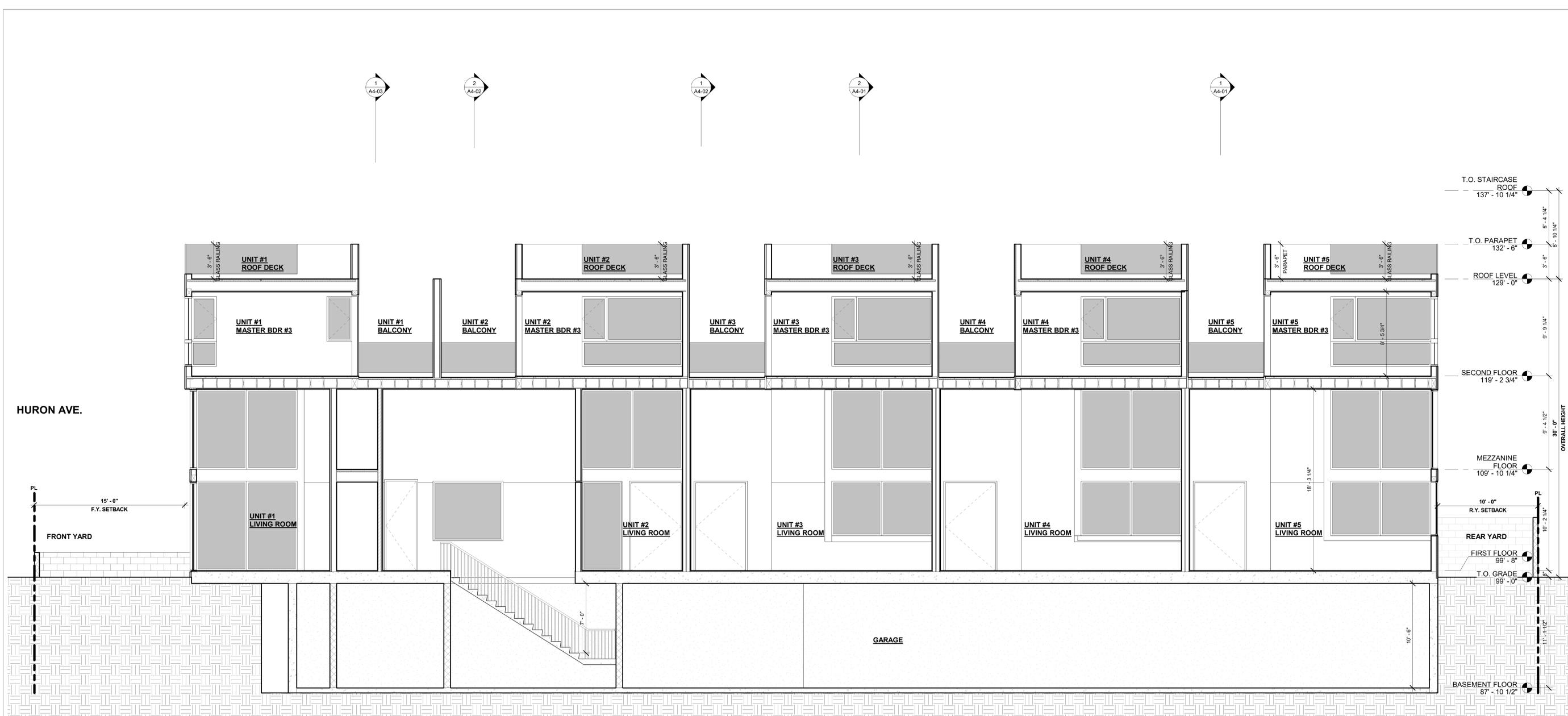
ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
3 09.10.2021	PPR SUBMITTAL #02
4 11.30.2021	CITY PLANNING SUBMITTAL #01_V2
5 02.22.2022	CITY PLANNING SUBMITTAL #02
6 04.08.2022	CITY PLANNING SUBMITTAL #03
7 05.19.2022	CITY PLANNING SUBMITTAL #04

ISSUE DATE	DESCRIPTION



DRAWING TITLE
 SECTION

A4-05
 3906 HURON AVE



1 Section 8
1/4" = 1'-0"

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

STRUCTURAL:
Berkoz & Associates, INC
5530 Corbin Ave, Suite 229
TARZANA, CA 91356
(818) 668-8589

CIVIL:
DK Engineer Corp.
6420 Wilshire BLVD. #1000
Los Angeles, CA 90048
(310) 926-0248

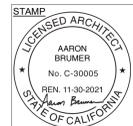
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Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

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Creative Engineering Group
7123 Remmet Ave,
Canoga Park, CA 91303
(818) 999-0415

PROJECT:
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3906 Huron Ave, Culver City, CA 90232

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ISSUE	DATE	DESCRIPTION



DRAWING TITLE
SECTION

A4-06
3906 HURON AVE

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1 RENDERING FROM FRONT STREET VIEW 01

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

STRUCTURAL:
 Berkoz & Associates, INC
 5530 Corbin Ave, Suite 229
 TARZANA, CA 91356
 (818) 668-8589

CIVIL:
 DK Engineer Corp.
 6420 Wilshire BLVD. #1000
 Los Angeles, CA 90048
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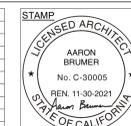
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE
 RENDERING

A5-01

3906 HURON AVE



2 RENDERING FROM FRONT STREET VIEW 02

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

STRUCTURAL:
 Berkoz & Associates, INC
 5530 Corbin Ave, Suite 229
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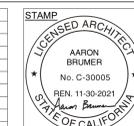
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DRAWING TITLE
 RENDERING

A5-02
 3906 HURON AVE



3 RENDERING FROM REAR STREET VIEW 01

ARCHITECT:
 Aaron Brumer & Assoc, Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

STRUCTURAL:
 Berkoz & Associates, INC
 5530 Corbin Ave, Suite 229
 TARZANA, CA 91356
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 DK Engineer Corp.
 6420 Wilshire BLVD, #1000
 Los Angeles, CA 90048
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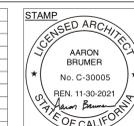
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PROJECT:
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 RENDERING

A5-03
 3906 HURON AVE



4 RENDERING FROM REAR STREET VIEW 02

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

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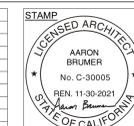
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 RENDERING

A5-04

3906 HURON AVE

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CULVER CITY GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), AND ANY AMENDMENTS THERETO, THE LATEST EDITION OF THE STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK STANDARD PLANS), OTHER CITY STANDARDS, AND TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR/CITY ENGINEER, OR HIS/HER DESIGNEE.
- TRAFFIC CONTROL SHALL BE PER MUTCD AND TO THE SATISFACTION OF THE PUBLIC WORKS INSPECTOR.
- CONTRACTOR SHALL CALL FOR INSPECTION FOR ANY WORK PROPOSED AT 310.253.5600 AT LEAST 48 HOURS IN ADVANCE. FAILURE TO PROPERLY NOTIFY THE PUBLIC WORKS INSPECTOR IS CAUSE FOR REVOCATION OF PERMIT.
- THE APPLICANT SHALL BE RESPONSIBLE FOR THE EXPENSE AND TO REPAIR OR REPLACE ANY DAMAGED TO THE PUBLIC RIGHT-OF-WAY, TO INCLUDE EXISTING TRAFFIC LOOPS, SIGNAL, LIGHTING, ELECTRICAL SYSTEMS, AND UNDERGROUND INSTALLATIONS (WHETHER OR NOT PHYSICALLY MARKED OR SHOWN ON THE CONTRACT PLANS), DAMAGED CAUSED BY THE CONSTRUCTION OF THE PROPOSED WORK OR PROJECT. SUCH REPAIRS OR REPLACEMENT SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.
- WORKING HOURS FOR LANE CLOSURES SHALL BE FROM 9:00 AM TO 3:00 PM WEEKDAYS ON PUBLIC RIGHT OF WAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER; ALL CONSTRUCTION ACTIVITY ON PRIVATE PROPERTY SHALL BE PROHIBITED, EXCEPT BETWEEN THE HOURS OF: 8:00 A.M. AND 5:00 P.M. MONDAYS THROUGH FRIDAYS; 9:00 A.M. AND 7:00 P.M. SATURDAYS ;10:00 A.M. AND 7:00 P.M. SUNDAYS
- TO MINIMIZE INCONVENIENCE TO TRAFFIC AND THE PUBLIC IN GENERAL, THE CONTRACTOR SHALL SCHEDULE THE CONCRETE PLACEMENT AND/OR ROADWAY PAVEMENT TO BE COMPLETED NO LATER THAN TWO (2) DAYS AFTER THE REMOVAL OPERATIONS, UNLESS APPROVED BY PUBLIC WORKS INSPECTOR. SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR MOVEMENT AT AND AROUND ALL CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES. APPROVED BARRIERS AND SIGNS (TRAFFIC FLAGGING PERSONNEL, IF NECESSARY), SHALL BE FURNISHED AND UTILIZED BY THE CONTRACTOR TO ENSURE PUBLIC SAFETY AT ALL TIMES.
- THE CONTRACTOR SHALL NOT DISCHARGE OR PERMIT TO BE DISCHARGED TO ANY STREET, STORM DRAIN, OF ANY APPURTENANCE THEREOF, ANY NON-RAIN WATER OR OTHER LIQUID FROM THE PROJECT SITE OF FROM OPERATIONS PERTAINING TO THE PROJECT SITE, PER NPDES REGULATIONS AND CITY'S STORM WATER POLLUTION ORDINANCE SECTION 5.02.500 ET SEQ.
- CATCH BASINS WITHIN 50 FEET OF WORK AREA SHALL BE PROTECTED WITH PERMEABLE FABRIC AND SANDBAGS PRIOR TO COMMENCING WORK AND MAINTAINED DURING DURATION OF OPERATION. FAILURE TO PROVIDE PROTECTION TO THE CATCH BASIN(S) AND STORM DRAIN INLET(S) IS CAUSE FOR REVOCATION OF PERMIT.
- STOCKPILING OF MATERIAL OR EQUIPMENT IN THE PUBLIC RIGHT OF WAY IS PROHIBITED UNLESS AUTHORIZED BY THE PUBLIC WORKS DIRECTOR/CITY ENGINEER OR HIS/HER DESIGNEE.
- THE PROJECT WORK AREA SHALL BE KEPT CLEAN, SAFE, AND SANITARY CONDITION, AT THE END OF EACH WORK DAY, THE PROJECT WORK AREA SHALL BE SWEEP BY MANUAL OR MECHANICAL MEANS TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR/CITY ENGINEER, OR HIS/HER DESIGNEE.
- NO STAGING OF CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES ALONG PUBLIC RIGHT OF WAY UNLESS AUTHORIZED BY THE PUBLIC WORKS DIRECTOR/CITY ENGINEER OR HIS/HER DESIGNEE.
- CONSTRUCTION VEHICLES SHALL NOT BE PARKED OVER NIGHT OR DURING NON-OPERATIONAL HOURS ON PUBLIC RIGHT OF WAY.
- CALL PUBLIC WORKS INSPECTOR BEFORE STARTING PROJECT. 310-253-5600.

ABBREVIATIONS:

Q ₅	25 YEAR PEAK FLOW RATE	OH	OVERHEAD WIRES
Q ₁₀	10 YEAR PEAK FLOW RATE	PCL	PARCEL
ADA	AMERICANS WITH DISABILITIES ACT	PEB	PEDESTAL
AC	ASPHALTIC CONCRETE	PVC	POLYVINYL CHLORIDE
BW	BACK OF WALK	PCC	PORTLAND CEMENT CONCRETE
BCR	BEGIN CURVE RETURN	PP	POWER POLE
BM	BENCHMARK	PL	PROPERTY LINE
BMP(S)	BEST MANAGEMENT PRACTICE(S)	PROP.	PROPOSED
BX	BOX	REF	REFERENCE
CB	CATCH BASIN	R/W	RIGHT-OF-WAY LINE
CL	CENTER LINE	RG	ROUGH GRADE
CLF	CHAIN LINK FENCE	SS	SANITARY SEWER
CF	CURB FACE	SSMH / SMH	SANITARY SEWER MANHOLE
CFS	CUBIC FEET PER SECOND	SGN	SIGN
CONC	CONCRETE	S=	SLOPE EQUALS
DS	DOWNSPOUT	S	SOUTH
DW	DOMESTIC WATER	S/	SOUTH OF
DWY	DRIVEWAY	SF	SQUARE FEET
E	EAST	STD	STANDARD
ELY	EASTERLY	SPRWC	STANDARD PLAN FOR PUBLIC WORKS CONSTRUCTION
EG	EDGE OF GUTTER	STA	STATION
ELEC	ELECTRIC	ST	STREET
EL OR ELEV.	ELEVATION	SD	STORM DRAIN
ECR	END CURVE RETURN	SDMH	STORM MANHOLE
(E) OR EX.	EXISTING	SL	STREET LIGHT
FF	FINISHED FLOOR	SLB	STREET LIGHT BOX
FG	FINISHED GRADE (LANDSCAPE)	TEL	TELEPHONE
FS	FINISHED SURFACE (HARDSCAPE)	TC	TOP OF CURB
FH	FIRE HYDRANT	TG	TOP OF GRATE
FW	FIRE WATER	TW	TOP OF WALL
FL	FLOW LINE	TS	TRAFFIC SIGNAL
GPM	GALLONS PER MINUTE	TSB	TRAFFIC SIGNAL BOX
G	GAS	TSL	TRAFFIC SIGNAL LIGHT
GV	GAS VALVE	TSPB	TRAFFIC SIGNAL PULL BOX
GB	GRADE BREAK	TYP	TYPICAL
IMP	IMPERVIOUSNESS	UG	UNDER GROUND CONDUIT
INV	INVERT	ULT	VAULT
LL	LOT LINE	VCP	VITRIFIED CLAY PIPE
MH	MANHOLE	WSHR	WASHER
MSC	MISCELLANEOUS	WM	WATER METER
[N]	NEW	WV	WATER VALVE
N	NORTH	W	WEST
NTS	NOT TO SCALE	W/LY	WESTERLY
O/S	OFFSET	HC, ADA RMP	WHEELCHAIR RAMP
O.C.	ON CENTER	W/	WITH

STORM WATER POLLUTION CONTROL

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

- Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
- Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

GENERAL NOTES:

- WORK ON PLANS SHALL BE COMPLETED PER LOCAL BUILDING CODE AND DETAILS AND LATEST "GREENBOOK" STANDARDS
- GRADING SHALL BE PER LA CITY SOILS APPROVAL LETTER AND PROJECT GEOTECHNICAL REPORT BY AGI GEOTECHNICAL INC. SEPTEMBER 16, 2020.
- PROJECT TOPOGRAPHY IS PER SURVEY BY CHRISTENSEN & PLOUFF LAND SURVEYING DATED 07/28/2021.
- PRIOR TO ANY CONTRACTOR CHANGES TO APPROVED CIVIL PLANS, CONTRACTOR SHALL OBTAIN APPROVAL IN WRITING FROM PROJECT ENGINEER OF RECORD.
- EXISTING UTILITY INFORMATION OBTAINED FROM PROJECT SURVEY AND/OR PUBLIC UTILITY RECORDS. CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS, SIZES, AND INVERTS.
- CONTRACTOR SHALL NOTIFY PROJECT GEOTECHNICAL ENGINEER IF UNFAVORABLE GEOTECHNICAL CONDITIONS ARE DISCOVERED.
- GRADES SHOWN ON THE FINE GRADING PLAN REPRESENT THE FINAL CONDITIONS. CONTRACTOR TO SUBTRACT PAVEMENT AND BASE THICKNESS TO OBTAIN ROUGH GRADE ELEVATIONS.
- WATER LINES SHALL BE INSTALLED A MIN 36" BELOW FINISH GRADE PER LOCAL CODES.

PROJECT INFORMATION:

LEGAL DESCRIPTION:
LOT 1, BLOCK 6, MAP OF CLARKDALE RECORDED IN BOOK 9 PAGE 176
OF LOS ANGELES COUNTY RECORDS

OWNER:
STEPHANIE OHAYAN
42 AVENUE MONTAIGNE
75008 PARIS

CIVIL ENGINEER:
DK ENGINEER CORP.
6420 WILSHIRE BLVD. #1000
LOS ANGELES, CA 90048
310.926.0248

GEOTECHNICAL ENGINEER:
AGI GEOTECHNICAL, INC.
16555 SHERMAN WAY, SUITE A
VAN NUYS, CA 91406
818.785.5244

CIVIL SHEET INDEX:

C0.01	TITLE SHEET
C1.00	SURVEY (FOR REFERENCE ONLY)
C1.10	EROSION CONTROL AND DEMOLITION PLAN
C1.20	ROUGH GRADING PLAN
C1.30	GRADING PLAN
C1.40	UTILITY AND LID PLAN
C1.50	HORIZONTAL CONTROL AND PAVING PLAN
C2.00	DETAILS



VICINITY MAP
NOT TO SCALE

1-800-227-2600
CALL USA/SC FOR
UNDERGROUND LOCATING
48 HOURS BEFORE YOU
DIG!

IMPORTANT NOTICE
SECTION 4216/4217 OF THE GOVERNMENT CODE
REQUIRES A DIGALERT IDENTIFICATION NUMBER
BE ISSUED BEFORE A "PERMIT TO EXCAVATE"
WILL BE VALID. FOR YOUR DIGALERT I.D.
NUMBER CALL UNDERGROUND SERVICE ALERT
TOLL FREE 1-800-227-2600 TWO WORKING
DAYS BEFORE YOU DIG

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
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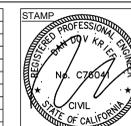
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DKE
DK ENGINEER, CORP
6420 WILSHIRE BLVD. #1000
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310.926.0248

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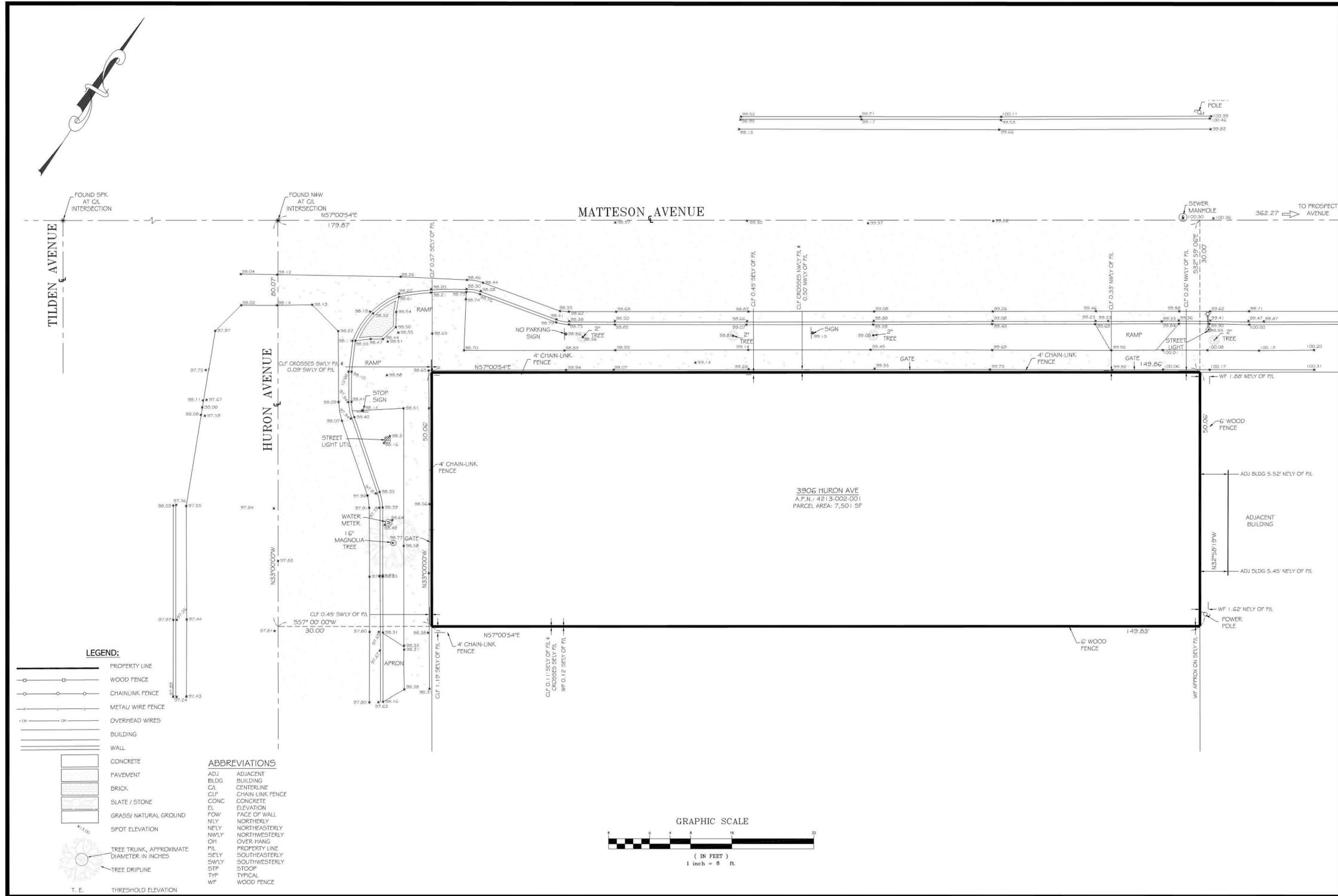
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DRAWING TITLE
TITLE SHEET

C0.01

3906 HURON AVE



- LEGEND:**
- PROPERTY LINE
 - WOOD FENCE
 - CHAINLINK FENCE
 - METAL WIRE FENCE
 - OVERHEAD WIRES
 - BUILDING
 - WALL
 - CONCRETE
 - PAVEMENT
 - BRICK
 - SLATE / STONE
 - GRASS/ NATURAL GROUND
 - SPOT ELEVATION
 - TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
 - TREE DRIFLINE
 - T. E. THRESHOLD ELEVATION
- ABBREVIATIONS**
- ADJ ADJACENT
 - BLDG BUILDING
 - CL CENTERLINE
 - CLF CHAIN-LINK FENCE
 - CONC CONCRETE
 - EL ELEVATION
 - POW FACE OF WALL
 - NELY NORTHERLY
 - NWLY NORTHWESTERLY
 - OH OVER-HANG
 - P/L PROPERTY LINE
 - SELY SOUTHEASTERLY
 - SWLY SOUTHWESTERLY
 - STP STOOP
 - TYP TYPICAL
 - WF WOOD FENCE

CHRISTENSEN & PLOUFF
LAND SURVEYING
11452 CALIFORNIA BLVD. SUITE 100
VAN NUYS, CA 91411
www.christensenplouff.com

**3906 HURON AVENUE, CULVER CITY
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA
APN: 4213-002-001**

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

DATE: 07/26/21
DRAWING SCALE: 1" = 8'
PREPARED BY: KACIE PLOUFF
APPROVED BY: KACIE PLOUFF
FILE NAME: SCA20-129-001-001 HURON AVENUE LOS ANGELES, ALTA

PROJECT NO.: SCA-20-129
SHEET NO.: 2 OF 2

FOR REFERENCE ONLY

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Aaron Brumer & Assoc, Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
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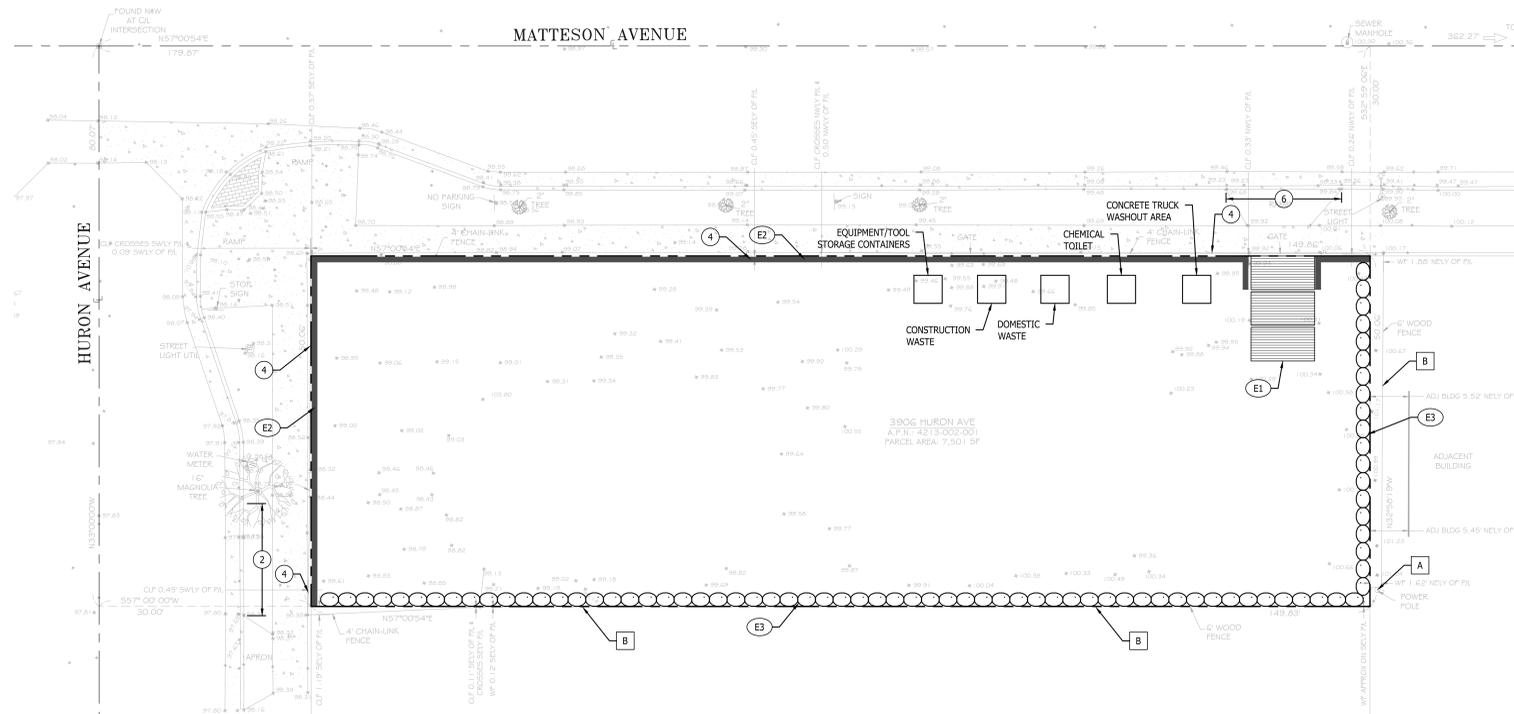
ISSUE DATE	DESCRIPTION

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SURVEY (FOR REFERENCE ONLY)

C1.00

3906 HURON AVE



BMP NOTES:

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JULY 2012, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS).

EROSION CONTROL

- EC1-SCHEDULING
- EC2-PRESERVATION OF EXISTING VEGETATION

TEMPORARY SEDIMENT CONTROL

- SE7-STREET SWEEPING AND VACUUMING
- SE8-SANDBAG BARRIER

EQUIPMENT TRACKING CONTROL

- TC1-STABILIZED CONSTRUCTION ENTRANCE/EXIT
- TC3-ENTRANCE/OUTLET TIRE WASH

WIND EROSION CONTROL

- WE1-WIND EROSION CONTROL

NON-STORMWATER MANAGEMENT

- NS1-WATER CONSERVATION PRACTICES
- NS3-PAVING AND GRINDING OPERATIONS
- NS12-CONCRETE CURING
- NS13-CONCRETE FINISHING

WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL

- WM1-MATERIAL DELIVERY AND STORAGE
- WM2-MATERIAL USE
- WM3-STOCKPILE MANAGEMENT
- WM4-SPILL PREVENTION AND CONTROL
- WM5-SOLID WASTE MANAGEMENT
- WM6-HAZARDOUS WASTE MANAGEMENT
- WM7-CONTAMINATED SOIL MANAGEMENT
- WM8-CONCRETE WASTE MANAGEMENT
- WM9-SANITARY/SEPTIC WASTE MANAGEMENT
- WM10-LIQUID WASTE MANAGEMENT

DUST CONTROL NOTES:

1. DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALLIATIVE. THE DUST PALLIATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS DIRECTED BY THE ENGINEER.
2. WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE DISTRIBUTORS OR PIPE LINES EQUIPPED WITH A SPAY SYSTEM OR HOSES WITH NOZZLES THAT WILL INSURE A UNIFORM APPLICATION OF WATER.
3. UNLESS WATER IS APPLIED BY MEANS OF PIPE LINES, AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR APPLYING WATER.
4. ALL SOIL MATERIALS OR DEBRIS TRUCKED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.
5. PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZING OF EXPOSED SOILS.
6. PROVIDE FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.
7. LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

DEMOLITION NOTES:

- 1 DEMOLISH & REMOVE STRUCTURE
- 2 DEMOLISH & REMOVE CONCRETE WALL
- 3 REMOVE TREE
- 4 DEMOLISH & REMOVE FENCE/GATE
- 5 REMOVE GAS METERS
- 6 DEMOLISH EXISTING DRIVEWAY.

PROTECTION NOTES:

- A PROTECT IN PLACE POWER POLE.
- B PROTECT-IN-PLACE FENCE.

EROSION CONTROL NOTES:

- E1 STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 1, HEREON. CONSTRUCTION ENTRANCE TO BE RELOCATED AS NEEDED BY CONTRACTOR.
- E2 FIBER ROLLS PER DETAIL 2, HEREON. FIBER ROLLS TO BE RELOCATED AS NEEDED BY CONTRACTOR.
- E3 PLACE 2 ROWS, 3 BAGS HIGH OF SANDBAGS PER DETAIL 3, HEREON.

PROJECT INFORMATION

JOB ADDRESS 3906 HURON AVE
CULVER CITY, CA 90232

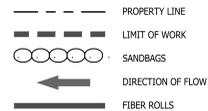
APN 4213-002-001

OWNER STEPHANIE OHAYAN
42 AVENUE MONTAIGNE
75008 PARIS

24-HR EMERGENCY CONTACT

TOTAL DISTURBANCE 7,501 SF (1.17 ACRES)

LEGEND:



TEMPORARY EROSION CONTROL MEASURES EFFECTIVE DURING RAINY SEASON (OCTOBER-APRIL):

1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE WWEEP WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
2. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
3. WHEN DIRECTED BY THE INSPECTOR, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
4. PROVIDE VELOCITY CHECK DAMS ACROSS THE OUTLET OF ALL LOTS DRAINING INTO THE STREET.
5. ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGES OF THE FILL.
6. ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. STORM AND SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING UPWARD. TO WITHIN TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT TO EXCEED THE FOLLOWING:

GRADE OF STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

7. PROVIDE STANDARD "VELOCITY CHECK DAMS" AT ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED IN PARAGRAPH 6 ABOVE. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIAL. APPROVED BY THE INSPECTOR AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DAMS MAY NOT BE USED AS "VELOCITY CHECK DAMS".
8. PROVIDE STANDARD "VELOCITY CHECK DAMS" IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW.

GRADE OF CHANNEL CHECK DAMS	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET

9. THE STANDARD "VELOCITY CHECK DAM" SHALL HAVE A MINIMUM HEIGHT OF 12-INCHES. VELOCITY CHECK DAMS ACROSS OUTLETS OF ALL LOTS SHALL HAVE A MINIMUM HEIGHT OF 18-INCHES. VELOCITY CHECK DAMS CONSTRUCTED WITH SANDBAGS THAT ARE 18-INCHES HIGH SHALL BE BUILT WITH A DOUBLE ROW.
10. AFTER SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHEN TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
11. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY EXCEED 40% AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
12. AFTER EACH STORM, ALL "DESILTING BASINS" AND "VELOCITY CHECK DAMS" SHALL BE PUMPED DRY AND REMOVED OF ALL DEBRIS AND SILT WITH IN 24 HOURS AND RESTORED TO THEIR ORIGINAL CAPACITY.
13. EROSION CONTROL DEVICES SHALL BE STOCKPILED IN PARKWAYS AT INTERVALS SHOWN ON THE WWEEP, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED OR WHEN DIRECTED BY THE INSPECTOR.
14. ALL CUT AND FILL SLOPES GREATER THAN 1 VERTICAL TO 3 HORIZONTAL SHALL BE COVERED WITH 10 MIL PLASTIC SHEETING HELD IN PLACE WITH SANDBAGS (UNLESS PLANTED OR HYDRO-SEEDED).
15. BRUSH AND VEGETATIVE GROUND COVER MAY NOT BE REMOVED MORE THAN 10-FEET ABOVE FILLS DURING THE RAINY SEASON WHICH OCCURS BETWEEN OCTOBER 1 AND APRIL 15.

JOB ADDRESS: 3906 HURON AVENUE
CULVER CITY, CA 90232

OWNER: STEPHANIE OHAYAN
42 AVENUE MONTAIGNE
75008 PARIS

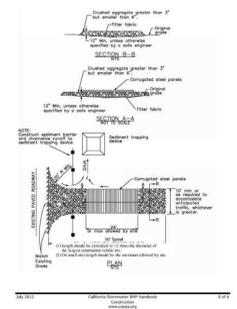
24 HR. EMERGENCY CONTACT: DAN AZRAN
113 N. SAN VICENTE BLVD, 2ND FLOOR
BEVERLY HILLS, CA 90211
(310) 773 6450

FOR DESILTING BASINS:

1. ALL "DESILTING BASINS" BUILT ON LOTS ADJACENT TO DWELLINGS MUST BE COMPLETELY LINED WITH AC-2 OR GUNITE.
2. SIZES OF "DESILTING BASINS" AND "WEIRS" SHALL BE SHOWN ON THE PLANS AND HAVE THE CAPACITY TO SERVICE THE AFFECTED WATERSHED.
3. ALL SPILLWAYS FROM BASINS SHALL BE PAVED TO EXISTING PAVED STREETS, EXISTING STORM DRAIN CATCH BASINS OR OTHER APPROVED WATERCOURSES.
4. RETENTION OR DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE PUBLIC WORKS ENGINEER UNTIL ALL SURFACE IMPROVEMENTS HAVE BEEN COMPLETED.
5. SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE. SEWER LINES SHALL FIRST BE ENCASED IN CONCRETE BEFORE SANDBAGS ARE PLACED.
6. "DESILTING" AND "RETENTION" BASINS SHALL BE CONSTRUCTED AS FOLLOWS:
 - (A) OUTLET AND APRON - (AS DESCRIBED ON BMP E556, "TEMPORARY SEDIMENT BASIN").
 - (B) DIKES:
 1. SHALL BE COMPACTED TO 95% COMPACTION AND SHALL BE CONSTRUCTED UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS EROSION CONTROL INSPECTOR.
 2. THE PLACEMENT OF SPILLWAYS AND OUTLET PIPES SHALL BE AS FAR AS PRACTICABLE FROM INLETS.
 3. BASIN WALLS SHALL NOT EXCEED 2:1 SLOPE.
 - (C) INLET TO BASINS:
 1. WALLS SHALL BE PAVED WITH AC-3 OR CONSTRUCTED SANDBAG BERMS WHEN APPROVED BY THE PUBLIC WORKS EROSION CONTROL INSPECTOR.
 2. SLOPE OF INLETS SHALL BE EQUAL TO OR MORE THAN THE SLOPE OF THE CARRYING SURFACE IMMEDIATELY ABOVE THE INLET TO AVOID "SILTING UP" OF THE INLETS.
 - (D) IF A GRAVITY PIPE IS IMPRACTICABLE, A STANDBY PUMP SHALL BE PROVIDED FOR EACH DESILTING BASIN. A GUARD IS TO BE ON CONTINUOUS DUTY WHILE THE BASIN CONTAINS WATERS.
 - (E) DESILTING BASINS REQUIRED FOR TEMPORARY EROSION CONTROL SHALL NOT BE PERMITTED IN THE STREET AREAS UNLESS SPECIFICALLY AUTHORIZED BY THE PUBLIC WORKS ENGINEER.
7. A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE DEVELOPER OR CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS:

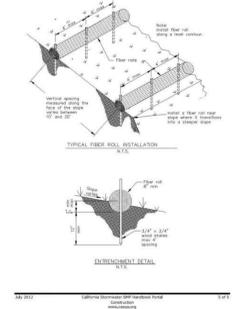
NAME:
TELEPHONE:

Stabilized Construction Entrance/Exit TC-1



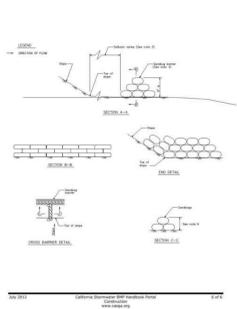
1 STABILIZED CONSTRUCTION ENTRANCE
HEREON N.T.S.

Fiber Rolls SE-5



2 FIBER ROLLS
HEREON N.T.S.

Sandbag Barrier SE-8



3 SANDBAG BARRIER
HEREON N.T.S.



VICINITY MAP
SCALE: 1" = 800'

ARCHITECT:
Aron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

DKE
DK ENGINEER, CORP
6420 WILSHIRE BLVD., #1000
LOS ANGELES, CA 90048
310.926.0248

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

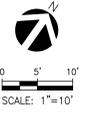
ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01		
2 06.09.2021	PPR SUBMITTAL #01		
3 09.09.2021	PPR SUBMITTAL #02		

ISSUE DATE	DESCRIPTION

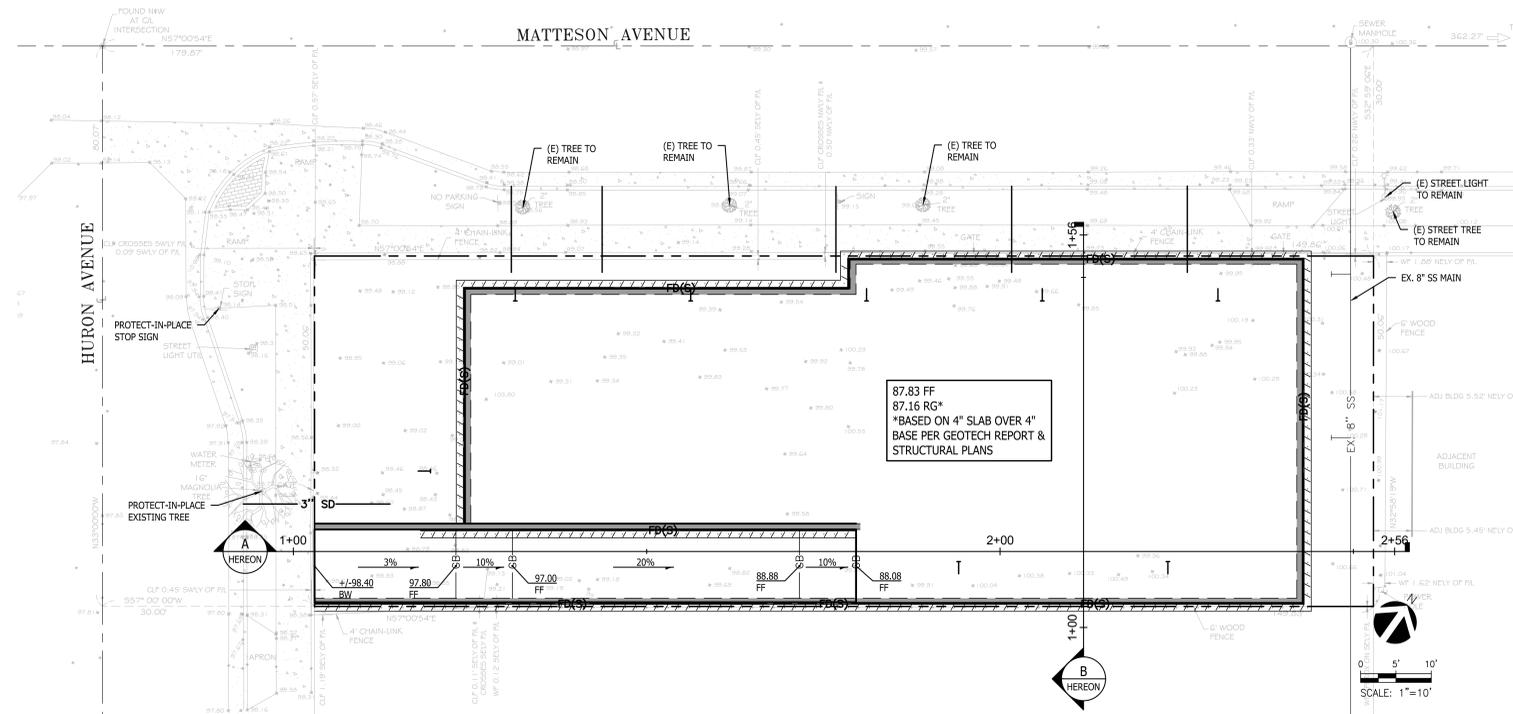


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EROSION CONTROL AND
DEMOLITION PLAN

C1.10



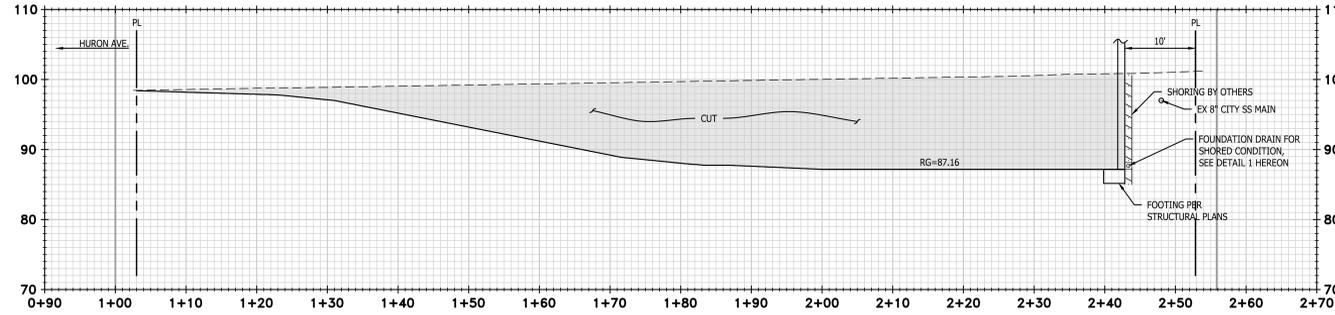
3906 HURON AVE



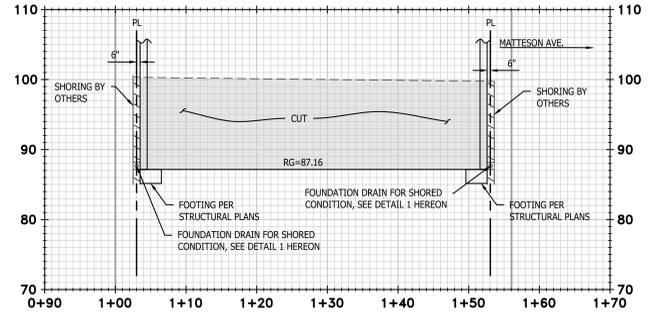
ESTIMATED EARTHWORK QUANTITIES	
CUT:	2,330 CUBIC YARDS
FILL:	0 CUBIC YARDS
REMOVAL AND RECOMPACTION: SHRINKAGE 10%	0 CUBIC YARDS
NET (CUT):	2,330 CUBIC YARDS

NOTES:
1. QUANTITIES SHOWN ON HERE ARE FOR PLAN CHECK PURPOSES ONLY. CONTRACTOR TO GENERATE OWN QUANTITIES FOR BIDDING PURPOSES.

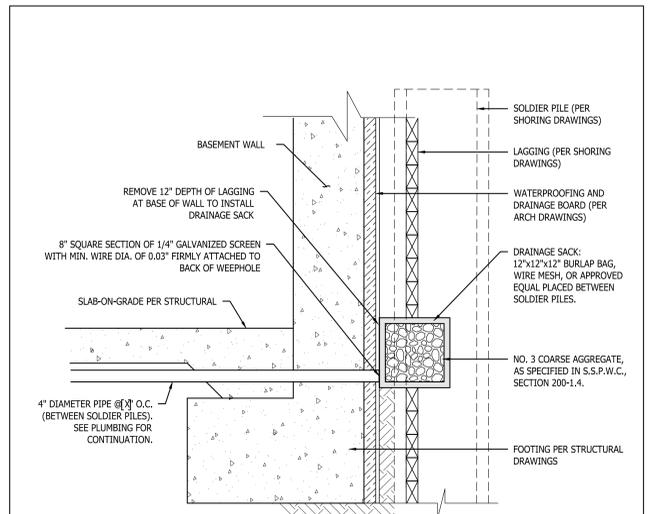
- LEGEND:
- BASEMENT BUILDING WALL PER STRUCTURAL
 - TOE/TOP OF SLOPE
 - SHORING BY OTHERS
 - FOUNDATION DRAINAGE FOR SHORED CONDITION PER DETAIL 1, HEREON. SEE PLUMBING DRAWINGS FOR CONNECTION TO BASEMENT SUMP PUMP.



SECTION A
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=10'



SECTION B
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=10'



- NOTES:
1. FOUNDATION WALL DRAINAGE SHALL ADHERE TO THE LATEST BUILDING ADMINISTRATIVE CODES.

1 FOUNDATION DRAINAGE FOR SHORED CONDITION N.T.S.

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

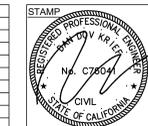
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222

DKE
DK ENGINEER, CORP
6420 WILSHIRE BLVD. #1000
LOS ANGELES, CA 90048
310.926.0248

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

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1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
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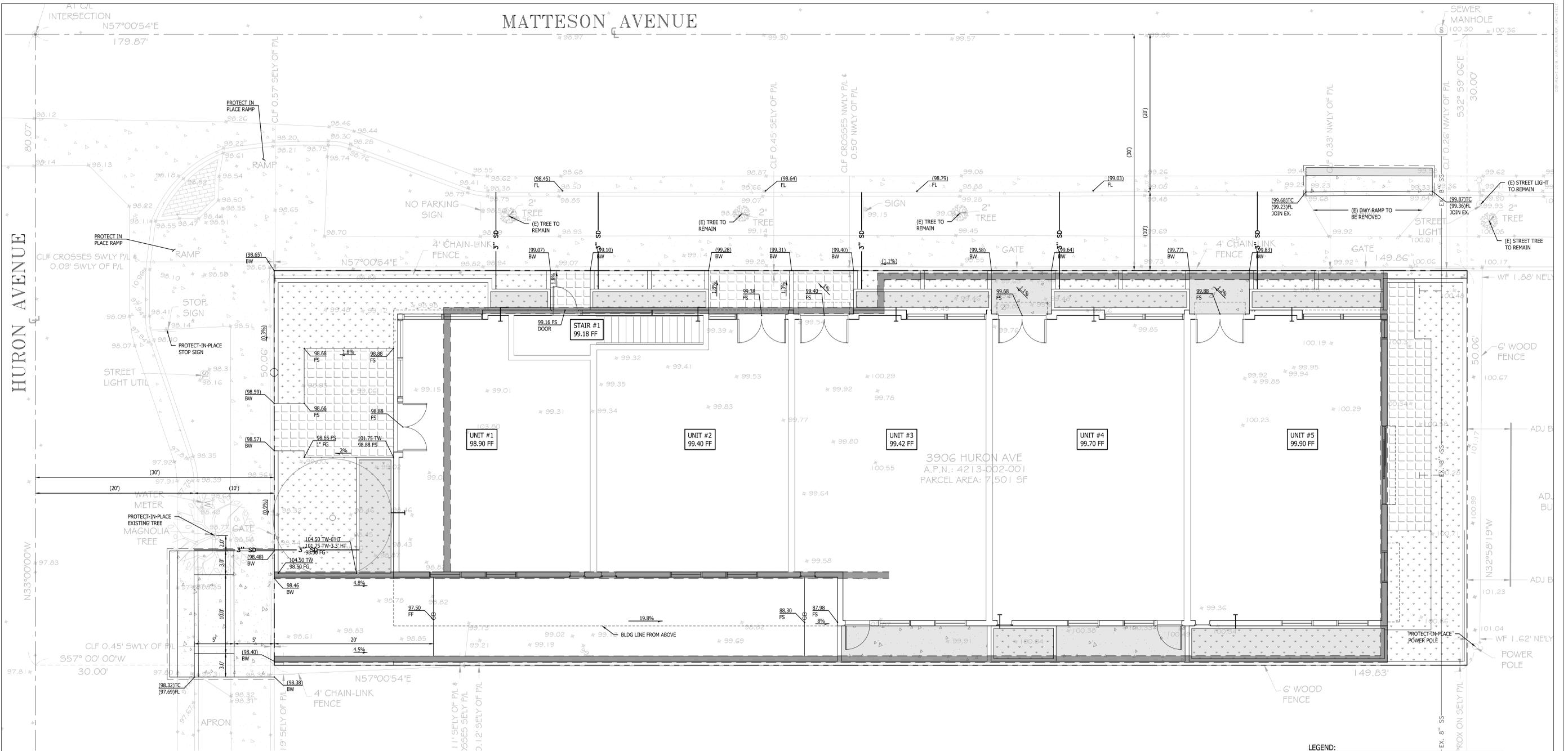


DRAWING TITLE
ROUGH GRADING PLAN
AND SECTIONS

C1.20

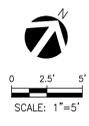
3906 HURON AVE

MATTESON AVENUE



3906 HURON AVE
A.P.N.: 4213-052-001
PARCEL AREA: 7,501 SF

- LEGEND:**
- PROPERTY LINE
 - CONCRETE PAVING ON GRADE PER DETAIL 3, C2.00.
 - PERMEABLE PAVER PER DETAIL 4, C2.00. SEE ARCHITECT PLANS FOR PRODUCT MANUFACTURE.
 - CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN. FINISH, COLOR AND SCORING PATTERN PER LANDSCAPE ARCH.
 - PLANTER AREA PER LANDSCAPE
 - ASPHALT PAVING
 - PERMAVOID LID PLANTER PER DETAIL 6, C2.00.



ARCHITECT:
Aaron Brumer & Assoc, Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234
Email - aaron@aaronbrumer.com

LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222



PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

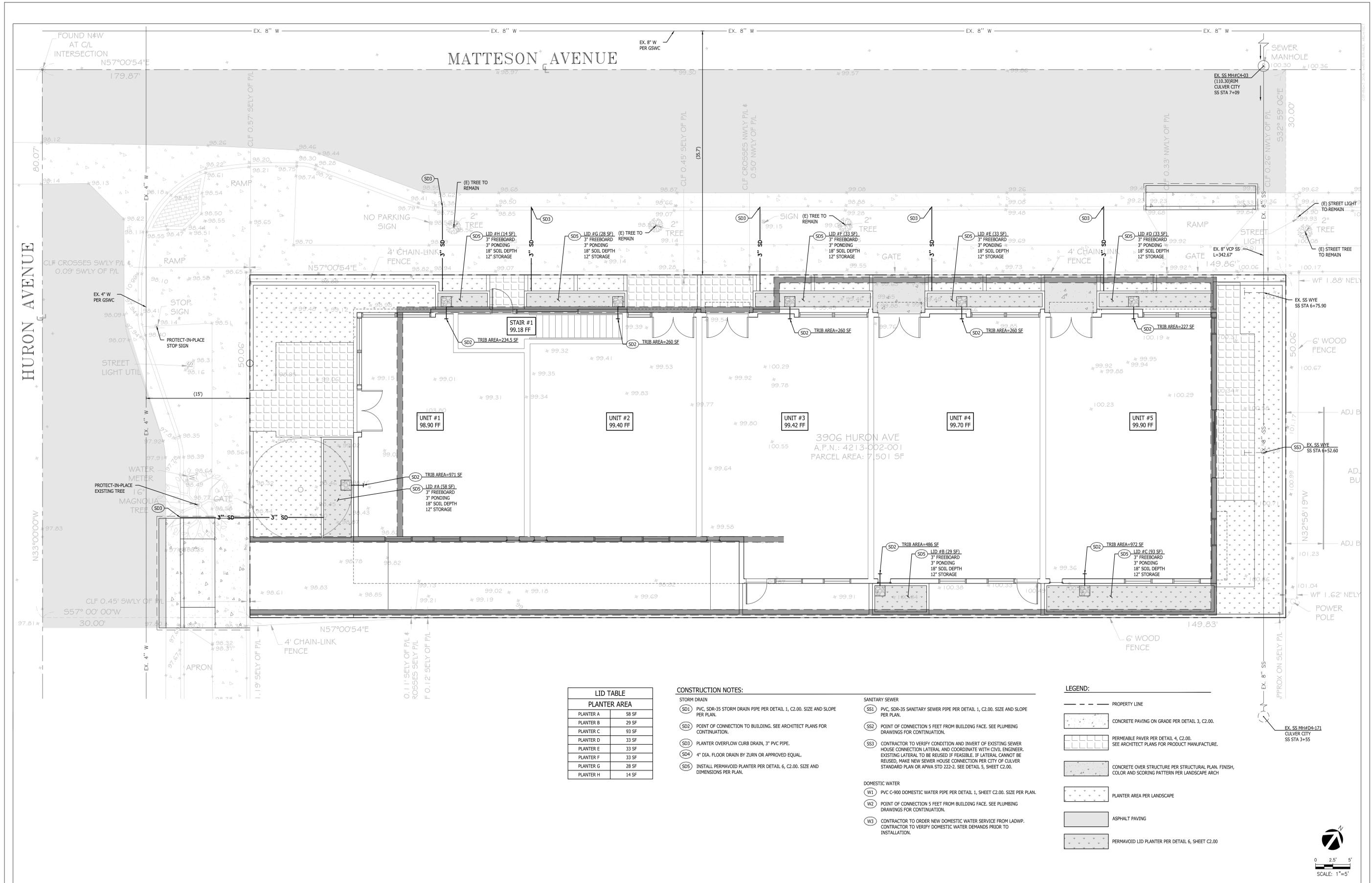
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ISSUE DATE	DESCRIPTION



DRAWING TITLE
GRADING PLAN

C1.30
3906 HURON AVE



MATTESON AVENUE

HURON AVENUE

3906 HURON AVE
A.P.N.: 4213-002-001
PARCEL AREA: 7,501 SF

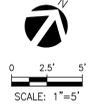
LID TABLE	
PLANTER AREA	
PLANTER A	58 SF
PLANTER B	29 SF
PLANTER C	93 SF
PLANTER D	33 SF
PLANTER E	33 SF
PLANTER F	33 SF
PLANTER G	28 SF
PLANTER H	14 SF

CONSTRUCTION NOTES:

- STORM DRAIN**
- (SD1) PVC, SDR-35 STORM DRAIN PIPE PER DETAIL 1, C2.00. SIZE AND SLOPE PER PLAN.
 - (SD2) POINT OF CONNECTION TO BUILDING. SEE ARCHITECT PLANS FOR CONTINUATION.
 - (SD3) PLANTER OVERFLOW CURB DRAIN, 3" PVC PIPE.
 - (SD4) 4" DIA. FLOOR DRAIN BY ZURN OR APPROVED EQUAL.
 - (SD5) INSTALL PERMAVOID PLANTER PER DETAIL 6, C2.00. SIZE AND DIMENSIONS PER PLAN.
- SANITARY SEWER**
- (SS1) PVC, SDR-35 SANITARY SEWER PIPE PER DETAIL 1, C2.00. SIZE AND SLOPE PER PLAN.
 - (SS2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
 - (SS3) CONTRACTOR TO VERIFY CONDITION AND INVERT OF EXISTING SEWER HOUSE CONNECTION LATERAL AND COORDINATE WITH CIVIL ENGINEER. EXISTING LATERAL TO BE REUSED IF FEASIBLE. IF LATERAL CANNOT BE REUSED, MAKE NEW SEWER HOUSE CONNECTION PER CITY OF CULVER STANDARD PLAN OR APWA STD 222-2. SEE DETAIL 5, SHEET C2.00.
- DOMESTIC WATER**
- (W1) PVC C-900 DOMESTIC WATER PIPE PER DETAIL 1, SHEET C2.00. SIZE PER PLAN.
 - (W2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
 - (W3) CONTRACTOR TO ORDER NEW DOMESTIC WATER SERVICE FROM LADWP. CONTRACTOR TO VERIFY DOMESTIC WATER DEMANDS PRIOR TO INSTALLATION.

LEGEND:

- PROPERTY LINE
- CONCRETE PAVING ON GRADE PER DETAIL 3, C2.00.
- PERMEABLE PAVEMENT PER DETAIL 4, C2.00. SEE ARCHITECT PLANS FOR PRODUCT MANUFACTURE.
- CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN. FINISH, COLOR AND SCORING PATTERN PER LANDSCAPE ARCH.
- PLANTER AREA PER LANDSCAPE
- ASPHALT PAVING
- PERMAVOID LID PLANTER PER DETAIL 6, SHEET C2.00.



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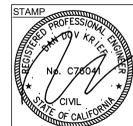
LANDSCAPE:
Yael Lir Landscape Architects
1010 Sycamore Ave, Suite 313
South Pasadena, CA 91030
(323) 258-5222



PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
3906 Huron Ave, Culver City, CA 90232

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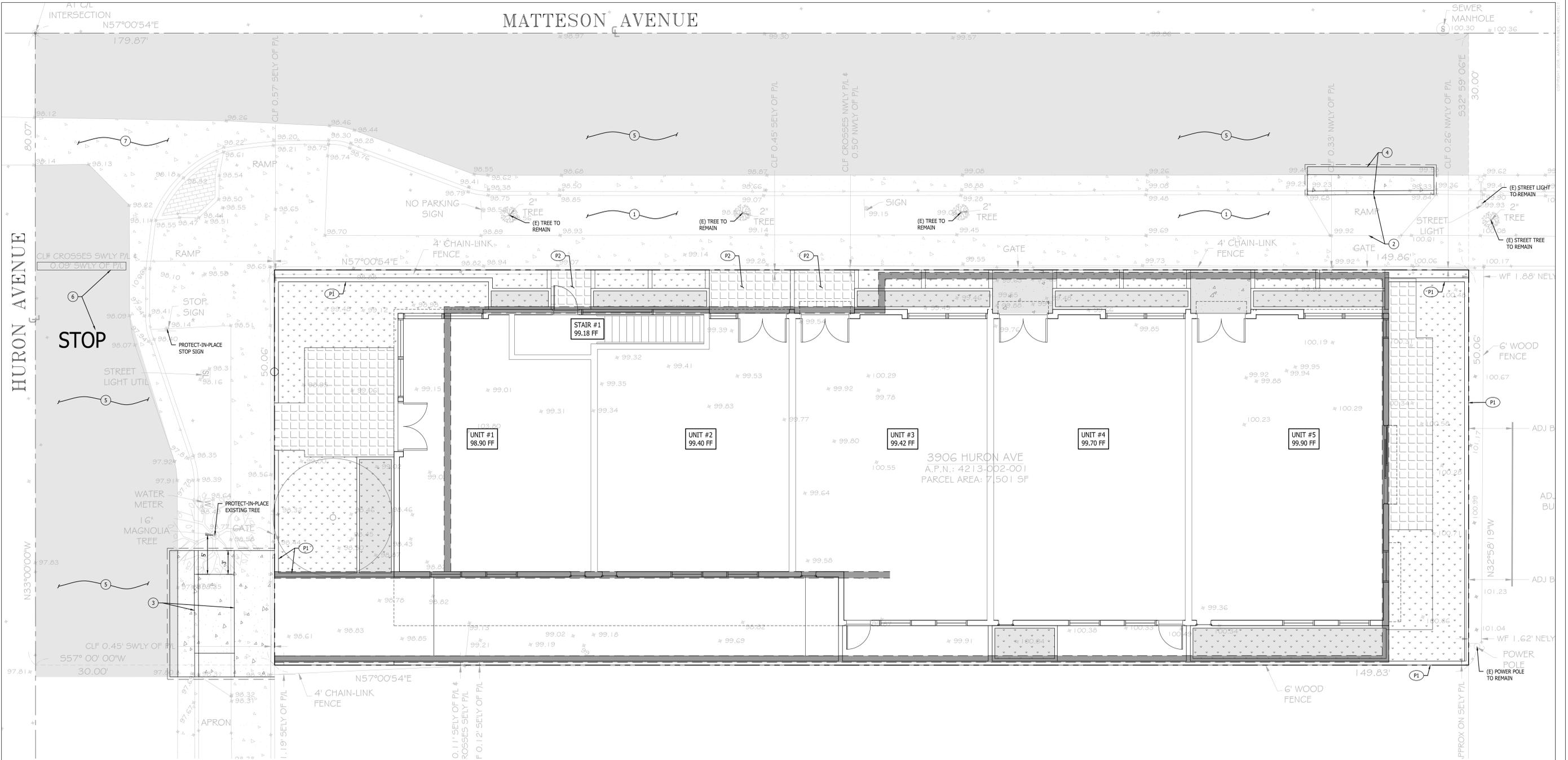


DRAWING TITLE
UTILITY AND LID PLAN

C1.40

3906 HURON AVE

MATTESON AVENUE



OFF-SITE CONSTRUCTION NOTES:

- 1 PARKWAY PLANTING IMPROVEMENTS PER LANDSCAPE DWGS.
- 2 REMOVE EXISTING DRIVEWAY RAMP AND RECONSTRUCT SIDEWALK PER APWA 113-2. SEE DETAIL 3, SHEET C2.01.
- 3 INSTALL NEW DRIVEWAY APPROACH PER APWA STANDARD PLAN 110-2. TYPE A W=10', X=3', Y=5'. SEE DETAIL 1, SHEET C2.01.
- 4 INSTALL NEW CURB & GUTTER WITH 2FT WIDTH OF FULL DEPTH OF AC REPLACEMENT PER APWA STANDARD PLAN 120-1. DIMENSIONS PER PLAN. SEE DETAIL 2, SHEET C2.01.
- 5 2" GRIND AND OVERLAY THE STREET HALF RIGHT-OF-WAY ALONG PROJECT FRONTAGE. ASPHALT PAVEMENT SHALL BE RUBBERIZED.
- 6 STOP BAR AND STOP LEGEND TO BE RESTORED. LIMIT LINE SHALL BE 12" WHITE THERMOPLASTIC AND STOP LEGEND SHALL BE WHITE THERMOPLASTIC PER CALTRANS STANDARD PLAN 124D.
- 7 PROTECT IN PLACE EXISTING CONCRETE PAVING.

ON-SITE CONSTRUCTION NOTES:

- P1 SITE WALL/FENCE PER ARCHITECTURAL PLANS.
- P2 PERMEABLE PAVERS PER DETAIL 4, C2.00.

LEGEND:

- PROPERTY LINE
- [Pattern] CONCRETE PAVING ON GRADE PER DETAIL 3, C2.00.
- [Pattern] PERMEABLE PAVEMENT PER DETAIL 4, C2.00. SEE ARCHITECT PLANS FOR PRODUCT MANUFACTURE.
- [Pattern] CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN, FINISH, COLOR AND SCORING PATTERN PER LANDSCAPE ARCH.
- [Pattern] PLANTER AREA PER LANDSCAPE
- [Pattern] ASPHALT PAVING
- [Pattern] PERMAVOID LID PLANTER PER DETAIL X, SHEET XXX



ARCHITECT:
Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

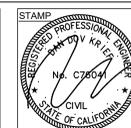
LANDSCAPE:
Yael Lir Landscape Architects
 10110 Sycamore Ave, Suite 313
 South Pasadena, CA 91030
 (323) 258-5222

DKE
 DK ENGINEER, CORP
 6420 WILSHIRE BLVD. #1000
 LOS ANGELES, CA 90048
 310.926.0248

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
3 09.09.2021	PPR SUBMITTAL #02

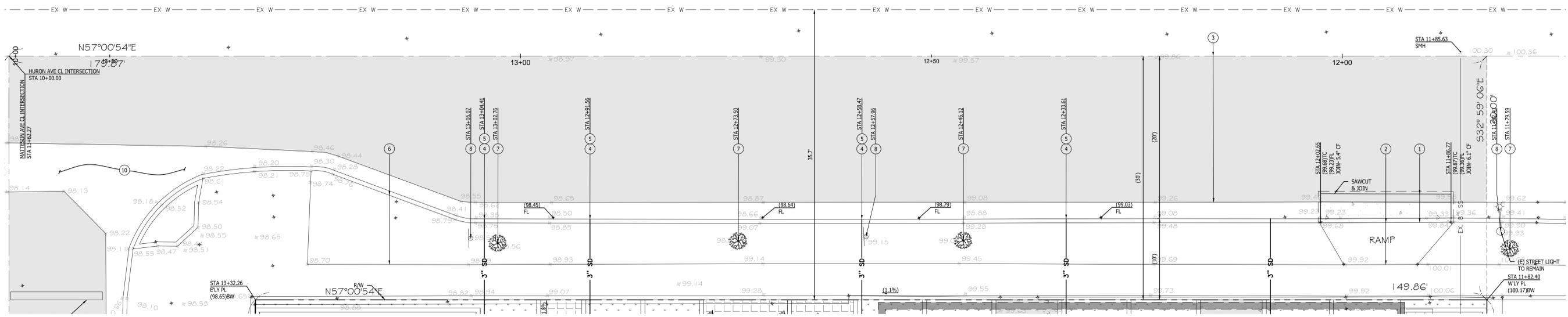
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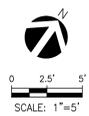
DRAWING TITLE
HORIZONTAL CONTROL AND PAVING PLAN

C1.50

3906 HURON AVE



- CONSTRUCTION NOTES:**
- 1 INSTALL NEW CURB & GUTTER WITH 2FT WIDTH OF FULL DEPTH OF AC REPLACEMENT PER APWA STANDARD PLAN 120-1. DIMENSIONS PER PLAN. SEE DETAIL 2, SHEET C2.01.
 - 2 REMOVE EXISTING DRIVEWAY RAMP AND RECONSTRUCT SIDEWALK PER APWA 113-2. SEE DETAIL 3, SHEET C2.01.
 - 3 2" GRIND AND OVERLAY THE STREET HALF RIGHT-OF-WAY ALONG PROJECT FRONTAGE. ASPHALT PAVEMENT SHALL BE RUBBERIZED.
 - 4 PVC, SDR-35 STORM DRAIN PIPE PER DETAIL 1, C2.00. SIZE AND SLOPE PER PLAN.
 - 5 PLANTER OVERFLOW CURB DRAIN, 3" PVC PIPE.
 - 6 PARKWAY PLANTING IMPROVEMENTS PER LANDSCAPE DWGS.
 - 7 PROTECT IN PLACE EXISTING STREET TREE AND TREE WELL.
 - 8 PROTECT IN PLACE EXISTING STREET SIGN.
 - 9 PROTECT IN PLACE EXISTING STREET LIGHT.
 - 10 PROTECT IN PLACE EXISTING CONCRETE PAVING.



ARCHITECT:
 Aaron Brumer & Assoc, Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

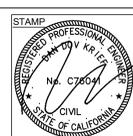
LANDSCAPE:
 Yael Lir Landscape Architects
 1010 Sycamore Ave, Suite 313
 South Pasadena, CA 91030
 (323) 258-5222

DKE
 DK ENGINEER, CORP
 6420 WILSHIRE BLVD. #1000
 LOS ANGELES, CA 90048
 310.926.0248

PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1
2 06.09.2021	PPR SUBMITTAL #01
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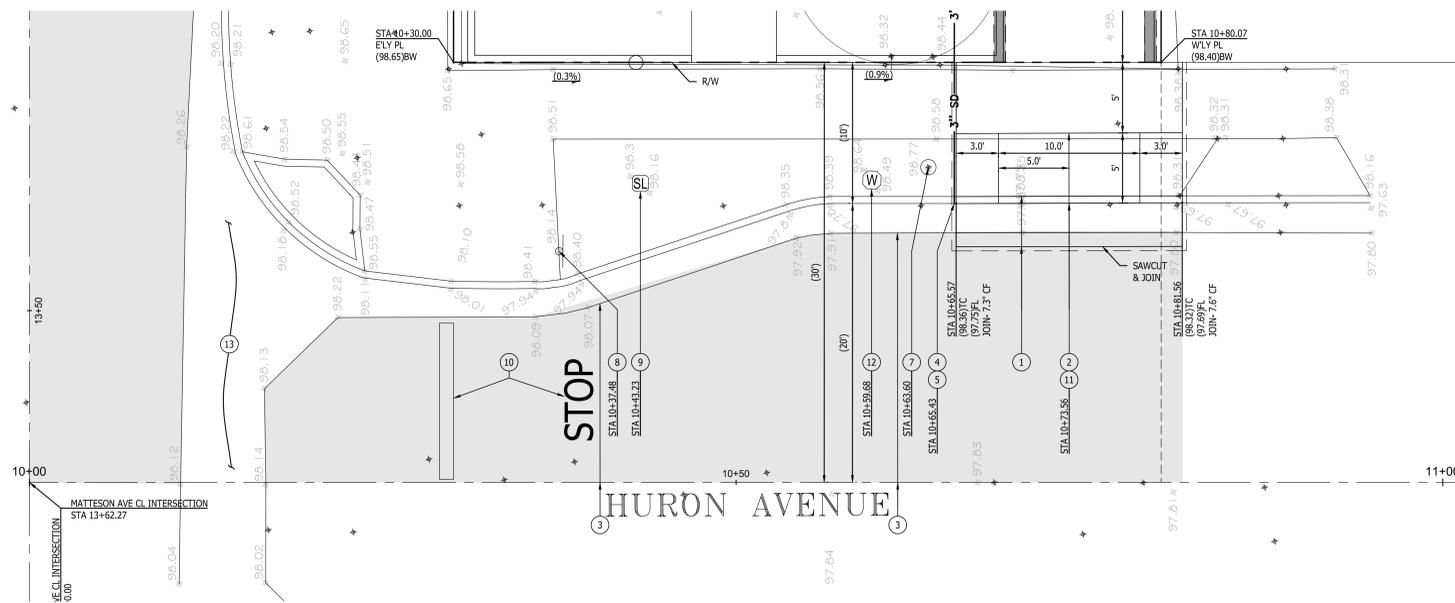
ISSUE DATE	DESCRIPTION



DRAWING TITLE
 GRADING PLAN

C1.60

3906 HURON AVE



LEGEND:

- PROPERTY LINE
- CONCRETE PAVING ON GRADE PER DETAIL 3, C2.00.
- PERMEABLE PAVEMENT PER DETAIL 4, C2.00. SEE ARCHITECT PLANS FOR PRODUCT MANUFACTURE.
- CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN. FINISH, COLOR AND SCORING PATTERN PER LANDSCAPE ARCH
- PLANTER AREA PER LANDSCAPE
- ASPHALT PAVING
- PERMAVOID LID PLANTER PER DETAIL X, SHEET XXX

CONSTRUCTION NOTES:

- 1 INSTALL NEW CURB & GUTTER WITH 2FT WIDTH OF FULL DEPTH OF AC REPLACEMENT PER APWA STANDARD PLAN 120-1. DIMENSIONS PER PLAN. SEE DETAIL 2, SHEET C2.01.
- 2 INSTALL NEW DRIVEWAY APPROACH PER APWA STANDARD PLAN 110-2. TYPE A W=10', X=3', Y=5'. SEE DETAIL 1, SHEET C2.01.
- 3 2" GRIND AND OVERLAY THE STREET HALF RIGHT-OF-WAY ALONG PROJECT FRONTAGE. ASPHALT PAVEMENT SHALL BE RUBBERIZED.
- 4 PVC, SDR-35 STORM DRAIN PIPE PER DETAIL 1, C2.00. SIZE AND SLOPE PER PLAN.
- 5 PLANTER OVERFLOW CURB DRAIN, 3" PVC PIPE.
- 6 PARKWAY PLANTING IMPROVEMENTS PER LANDSCAPE DWGS.
- 7 PROTECT IN PLACE EXISTING STREET TREE AND TREE WELL.
- 8 PROTECT IN PLACE EXISTING STREET SIGN.
- 9 PROTECT IN PLACE EXISTING STREET LIGHT.
- 10 STOP BAR AND STOP LEGEND TO BE RESTORED. LIMIT LINE SHALL BE 12" WHITE THERMOPLASTIC AND STOP LEGEND SHALL BE WHITE THERMOPLASTIC PER CALTRANS STANDARD PLAN 124D.
- 11 REMOVE EXISTING SIDEWALK.
- 12 PROTECT IN PLACE EXISTING WATER METER.
- 13 PROTECT IN PLACE EXISTING CONCRETE PAVING.



ARCHITECT:
Aaron Brumer & Assoc, Architects
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 North Hollywood, CA 91602
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 Email - aaron@aaronbrumer.com

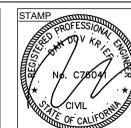
LANDSCAPE:
Yael Lir Landscape Architects
 1010 Sycamore Ave, Suite 313
 South Pasadena, CA 91030
 (323) 258-5222

DKE
 DK ENGINEER, CORP
 6420 WILSHIRE BLVD. #1000
 LOS ANGELES, CA 90048
 310.926.0248

PROJECT:
5-UNIT TOWNHOUSE DEVELOPMENT
 3806 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING 01
2 06.09.2021	PPR SUBMITTAL #01
3 09.09.2021	PPR SUBMITTAL #02

ISSUE DATE	DESCRIPTION



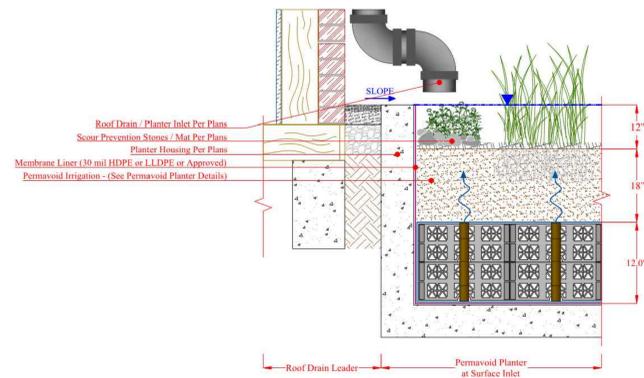
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GRADING PLAN

C1.61

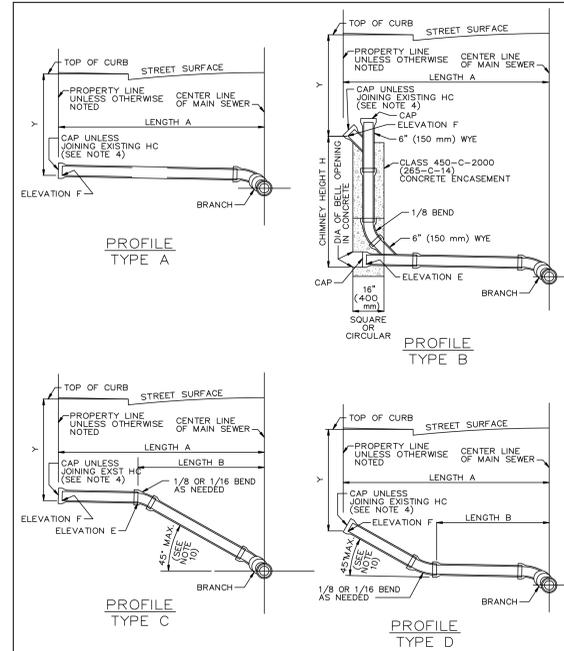
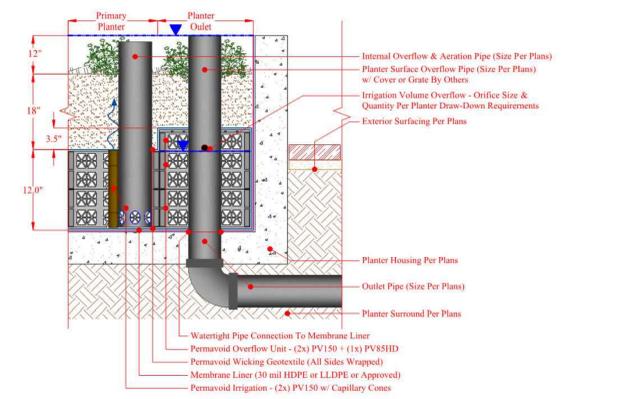
3806 HURON AVE



PERMAVOID INLET DETAIL - PVI0C-109



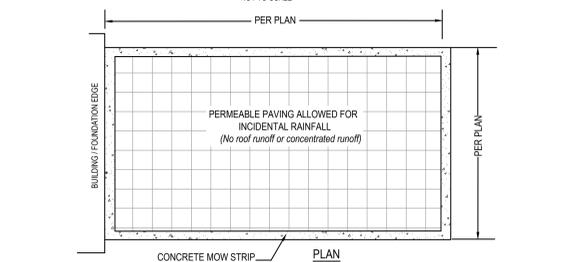
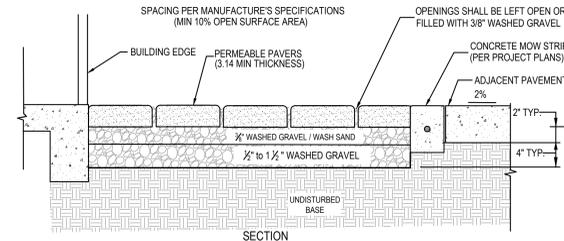
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STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION HOUSE CONNECTION SEWER 222-2 SHEET 1 OF 2

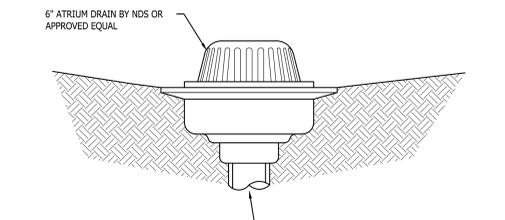
- NOTES: 1. EXCEPT AS OTHERWISE INDICATED ON THE PLANS, ALL HOUSE CONNECTION SEWERS SHALL BE TYPE 'A' AND SHALL BE CONSTRUCTED ON STRAIGHT LINES AND GRADES BETWEEN CONTROL POINTS AND ELEVATIONS. 2. DIMENSIONS: A. LENGTH 'A' AND 'B' - SEE PLANS. B. HEIGHT 'A' AND 'B' - SEE PLANS. C. ELEVATIONS 'E' AND 'F' - SEE PLANS. 3. ALL HOUSE CONNECTION SEWER PIPE SHALL BE 150 mm (6") UNLESS OTHERWISE INDICATED AND MAY BE ANY OF THE FOLLOWING: A. VC PIPE B. PE PIPE C. ABS SOLID WALL PIPE D. ABS COMPOSITE PIPE E. PVC PLASTIC PIPE...

STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION HOUSE CONNECTION SEWER 222-2 SHEET 2 OF 2

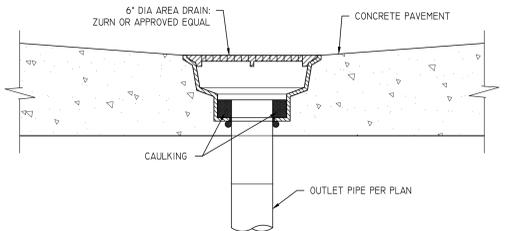


- NOTES: 1. SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 0.5 INCHES PER HOUR). 2. INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT, TUNNEL EROSION, OR SLOPE STABILITY. 3. IF INFILTRATION HAZARDS ARE A CONCERN, AN UNDERDRAIN SHALL BE INSTALLED TO DRAIN WATER INTO STORM DRAIN INLET OR ONSITE BMP. 4. ANY OVERFLOW SHALL BE DISCHARGED PER BUREAU OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS. 5. SLOPE IS NOT GREATER THAN 3 PERCENT. 6. FLOW DIRECTED TO PERMEABLE PAVEMENT SHALL BE DISPERSED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT. 7. PRE-FABRICATED PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURER'S SPECIFICATIONS. IF REQUIRED, SUB-GRADE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION. 8. SEE ARCHITECT PLANS FOR PERMEABLE PAVERS. FACT SHEET FOR MORE INFORMATION.

4 PERMEABLE PAVEMENT N.T.S.



NOTE: PROVIDE LABEL AT ALL DRAINAGE INLETS (I.E. CATCH BASINS, TRENCH DRAINS)



2 AREA DRAINS N.T.S.

6 PERMAVOID LID PLANTER N.T.S.

5 APWA 222-2 SEWER HOUSE CONNECTION N.T.S.

3 CONCRETE WALK SECTION N.T.S.

1 TRENCH SECTION N.T.S.

ARCHITECT: Aaron Brumer & Assoc, Architects 10999 Riverside Drive, Suite 300 North Hollywood, CA 91602 (310) 422-9234 Email - aaron@aaronbrumer.com

LANDSCAPE: Yael Lir Landscape Architects 1010 Sycamore Ave, Suite 313 South Pasadena, CA 91030 (323) 258-5222



PROJECT: 5-UNIT TOWNHOUSE DEVELOPMENT 3906 Huron Ave, Culver City, CA 90232

Table with 2 columns: ISSUE DATE, DESCRIPTION. Rows include 06.03.2021 NEIGHBORHOOD OUTREACH MEETING #1, 06.09.2021 PPR SUBMITTAL #01, 09.09.2021 PPR SUBMITTAL #02.

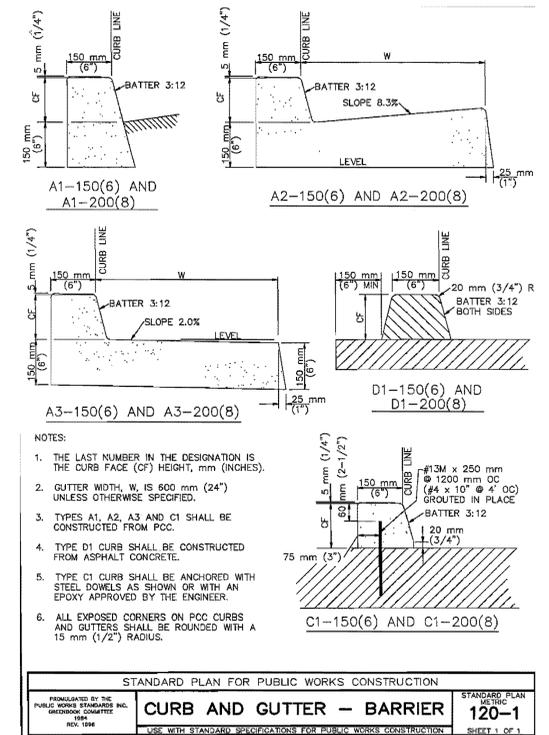
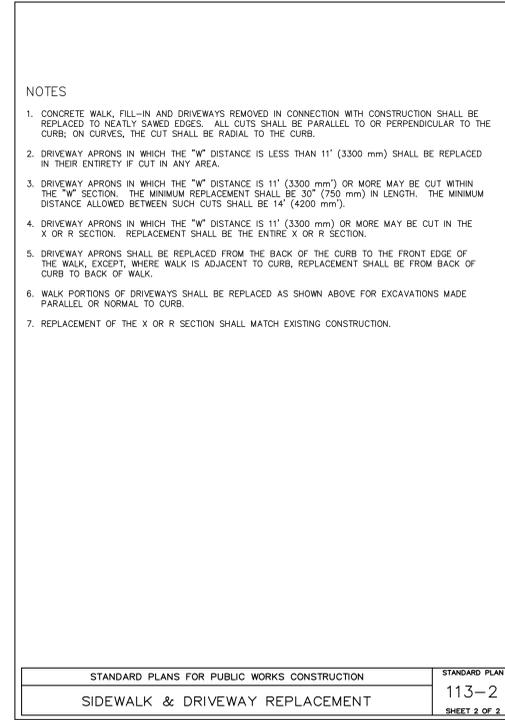
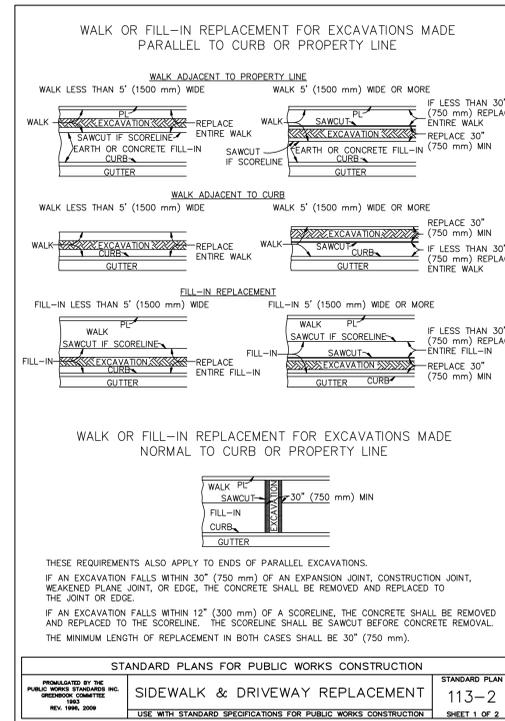
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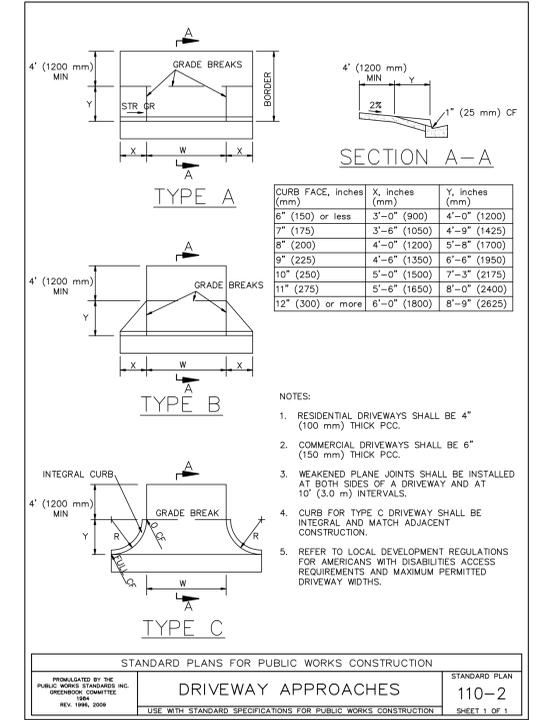
DRAWING TITLE: DETAILS

C2.00

3906 HURON AVE



2 APWA 120-1 CURB AND GUTTER - BARRIER N.T.S.



1 APWA 110-2 DRIVEWAY APPROACHES N.T.S.

3 APWA 113-2 SIDEWALK AND DRIVEWAY REPLACEMENT N.T.S.

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234
 Email - aaron@aaronbrumer.com

LANDSCAPE:
 Yael Lir Landscape Architects
 1010 Sycamore Ave, Suite 313
 South Pasadena, CA 91030
 (323) 258-5222

DKE
 DK ENGINEER, CORP
 6420 WILSHIRE BLVD, #1000
 LOS ANGELES, CA 90048
 310.926.0248

PROJECT:
 5-UNIT TOWNHOUSE DEVELOPMENT
 3906 Huron Ave, Culver City, CA 90232

ISSUE DATE	DESCRIPTION	ISSUE DATE	DESCRIPTION
1 06.03.2021	NEIGHBORHOOD OUTREACH MEETING #1		
2 06.09.2021	PPR SUBMITTAL #01		
3 09.09.2021	PPR SUBMITTAL #02		



DRAWING TITLE
 DETAILS

C2.00

3906 HURON AVE

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	*Geijera parviflora	Australian Willow	36"box	1		low 0.3
⊙	*Heteromeles arbutifolia	Toyon	36"box	1		low 0.3
⊙	*Laurus nobilis	Sweet Bay	36"box	1	hedge	low 0.3
⊙	*Laurus nobilis	Sweet Bay	24"box	10	hedge	low 0.3
⊙	Street tree	Per City req.	24"box	1		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
▼	*Aeonium 'Kiwi'		5-gal	2		low 0.3
●	*Aeonium a. 'Tip Top'		5-gal	3		low 0.3
⊙	*Agave 'Blue Flame'		5-gal	10		low 0.3
⊙	*Aloe striata		5-gal	25		low 0.3
⊙	*Diets bicolor	Fortnight Lily	5-gal	16		low 0.3
⊙	*Diets iridioides 'Variegata'	Variegated Fortnight Lily	5-gal	14		low 0.3
⊙	Festuca	Marathon Sod	sod	-		high 0.9
⊙	*Juncus patens	Ca. Grey Rush	5-gal	39		low 0.3
⊙	*Parthenocissus tricuspidata	Boston Ivy	5-gal	10	train to wall	low 0.3
⊙	*Senecio radicans	String of Bananas	1-gal	34		low 0.3
⊙	Senecio serpens	Blue Chalks Sticks	1-gal	10"oc		low 0.3
⊙	*Westringia f. 'Blue Gem'	Coast Rosemary	5-gal	14		low 0.3

* Points claimed for low water plants

LANDSCAPE AREA: 2,013 SF/3% TURF
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

Total On site landscape area 1,467 s.f.

Total number of required trees 3 (1 per 500 s.f.)

NOTES:

All groundcover areas where plants are 3" or greater to have 1 layers of geotextile fabric installed 3" below finished grade to ensure weeds will not germinate w/ 3" shredded bark above to eliminate weed growth.

Waterproofing and drains in planters by others.

All trees to be planted with commercial root barriers.

3" deep shredded Cedar bark to spread between plants.

Mulch is not to touch the tree trunk as it will cause root rot and the death of the tree



Geijera parviflora / Australian Willow



Heteromeles arbutifolia / Toyon



Laurus nobilis / Sweet Bay



Agave 'Blue Flame' Senecio serpens / Blue Chalks Sticks Aeonium 'Kiwi' Aeonium a. 'Tip Top' Aloe striata Diets bicolor / Fortnight Lily



Senecio radicans / String of Bananas Diets iridioides 'Variegata' / Variegated Fortnight Lily Parthenocissus tricuspidata / Boston Ivy Juncus patens / Ca. Grey Rush Westringia f. 'Blue Gem' / Coast Rosemary

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC; CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"

*150 LBS. GRO-POWER
*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.

9. PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 90% SOIL OF SITE AND 20% FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.

10. ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.

11. CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.

12. SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.

13. USE OF CLASS I OR CLASS II COMPOSTPRODUCED USING CITY ORGANIC MATERIALS (TOPGRO®) IN A MAJORITY OF LANDSCAPED AREAS



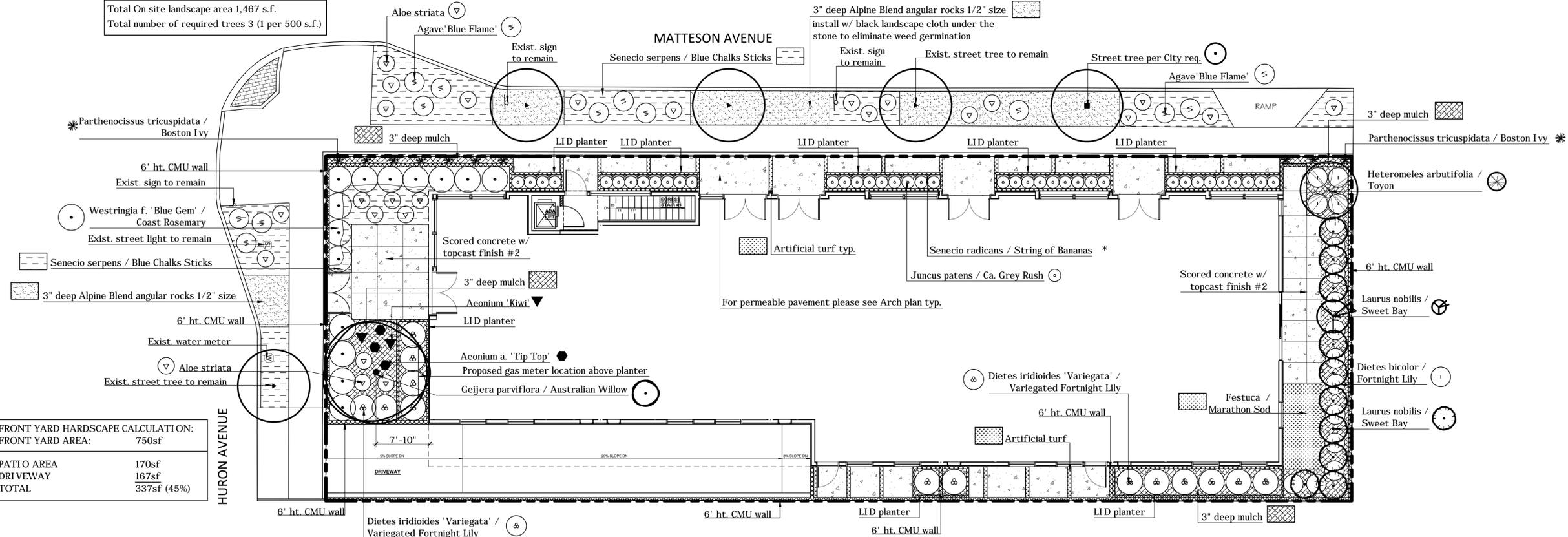
ASLA
Yael Lir Landscape Architects
1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaellir.com

5 UNITS
3906 HURON AVE.
CULVER CITY, CA 90232

FIRST FLOOR PLANTING PLAN



DATE: MARCH 2, 2021
SCALE: 1/8"=1'-0"
JOB NUMBER: 222021
DRAWN BY:



FRONT YARD HARDSCAPE CALCULATION:

FRONT YARD AREA:	750sf
PATIO AREA	170sf
DRIVEWAY	167sf
TOTAL	337sf (45%)



SHRUBS AND GROUND COVER LEGEND

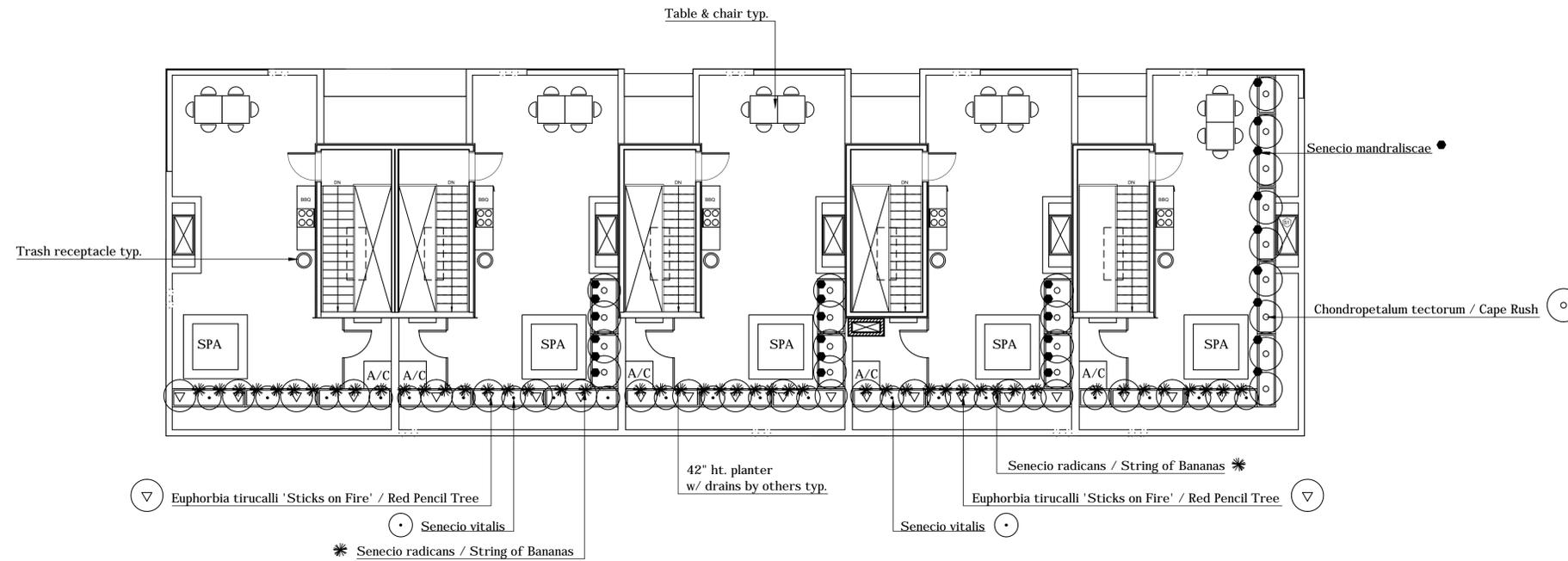
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
○	*Chondropetalum tectorum	Cape Rush	5-gal	21		low 0.3
▽	*Euphorbia tirucalli 'Sticks on Fire'	Red Pencil Tree	5-gal	21		low 0.3
*	*Senecio radicans	String of Bananas	5-gal	27		low 0.3
●	*Senecio mandraliscae		5-gal	47		low 0.3
○	*Senecio vitalis		5-gal	21		low 0.3

* Points claimed for low water use plants

Waterproofing and drains in planters by others.



Senecio mandraliscae Chondropetalum tectorum / Cape Rush Euphorbia tirucalli 'Sticks on Fire' / Red Pencil Tree Senecio radicans / String of Bananas Senecio vitalis Table Chair Trash



REVISIONS	DATE
1.	4.5.21
2.	6.14.21
3.	9.8.21
4.	2.16.22
5.	2.22.22
6.	
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Yael Lir
 ASLA
 Yael Lir Landscape Architects
 1010 Sycamore Ave. Suite 313
 South Pasadena, CA 91030
 Tel 323.258.5222
 Fax 323.258.5333
 yael@yaellir.com

5 UNITS
 3906 HURON AVE.
 CULVER CITY, CA 90232

ROOF PLANTING PLAN



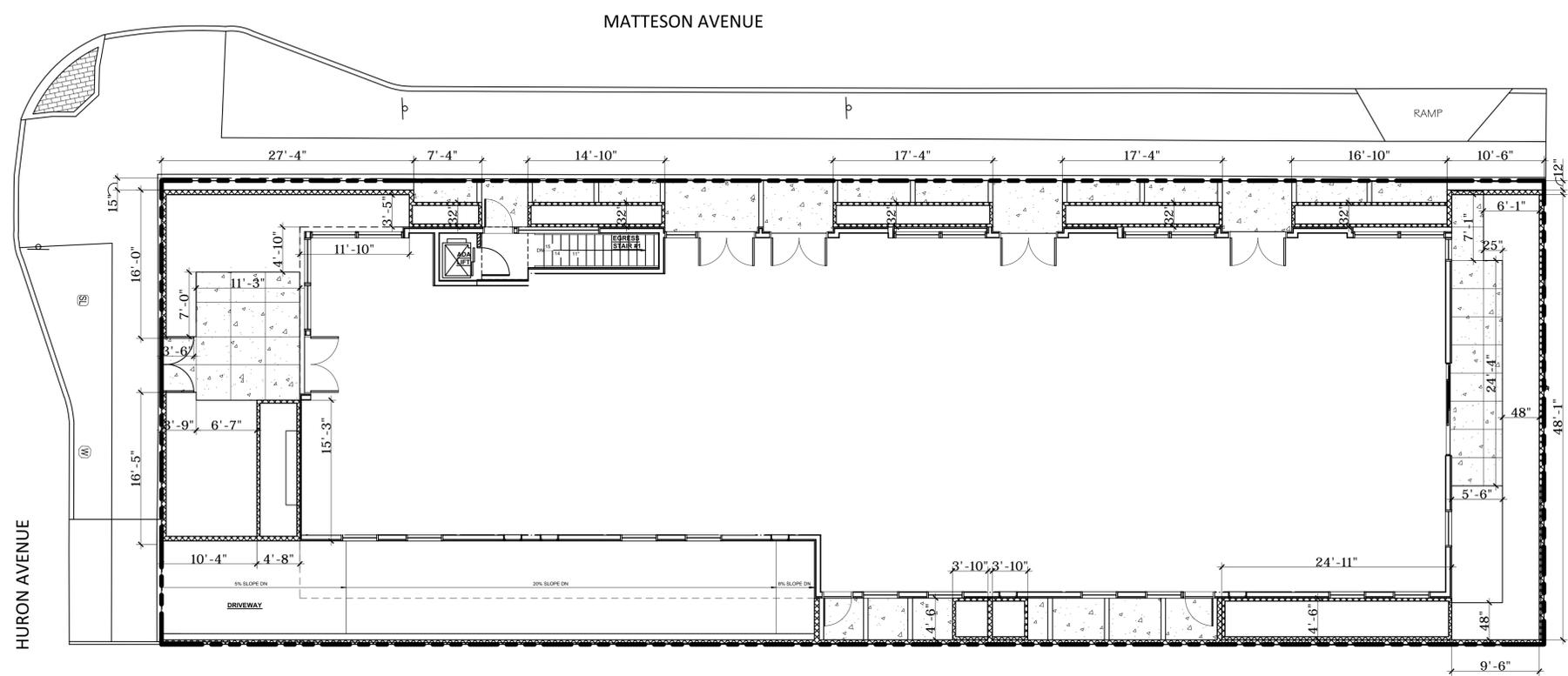
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 JOB NUMBER: 222021
 DRAWN BY:



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ASLA
 Yael Lir Landscape Architects
 1010 Sycamore Ave. Suite 313
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 Tel 323.258.5222
 Fax 323.258.5333
 yael@yaellir.com



5 UNITS
 3906 HURON AVE.
 CULVER CITY, CA 90232

FIRST FLOOR
 PLANTER DIMENSION



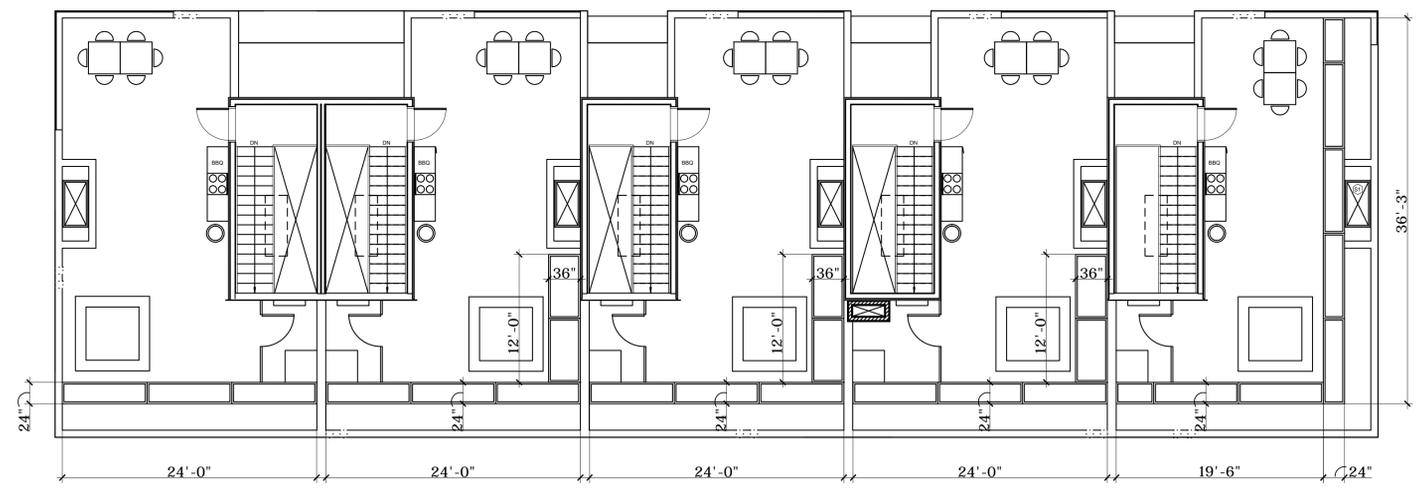
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5 UNITS
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ROOF
 PLANTER DIMENSION

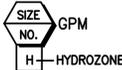


DATE: MARCH 2, 2021
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 222021
 DRAWN BY:



ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND				
DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.
'RAINBIRD' RWS-B-1402		10	-	.50
'SUPERIOR' BRASS CONTROL VALVES, #950				
'NIBCO' GATE VALVE T-113				
'CHRISTY' CONCRETE VALVE BOX				
'RAINBIRD' QUICK COUPLER 44 LRC 1"				
'SUPERIOR' 3100 series MASTER VALVE		1.5"		
'HUNTER' FLOW SENSOR FCT-150 FLOW		1.5"		
'WILKINS' REGULATOR MODEL 500		1.5"		
'WILKINS' BACKFLOW PREVENTER 375				
'HUNTER' ACC2				
'HUNTER' SOLAR SYNC WIRELESS				
SLEEVING SCH. 40 P.V.C.				
PRESSURE LINE SCH. 40 P.V.C.				
NON-PRESSURE LINE SCH. 40 P.V.C.				
IRRIGATION SUB-METER				
POINT OF CONNECTION				
NETAFIM LEGEND				
'NETAFIM' LVC210075-LF				CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.
'NETAFIM' LINE FLUSH VALVE				
'NETAFIM' IN LINE CV CHECK VALVE				
'NETAFIM' TECHLINE CV TLV4-18025				
NON-PRESSURE 1" SCH. 40 PVC HEADER				BURIED 3" BELOW GRADE



LANDSCAPE AREA: 2,013 SF
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"
9/07/2021

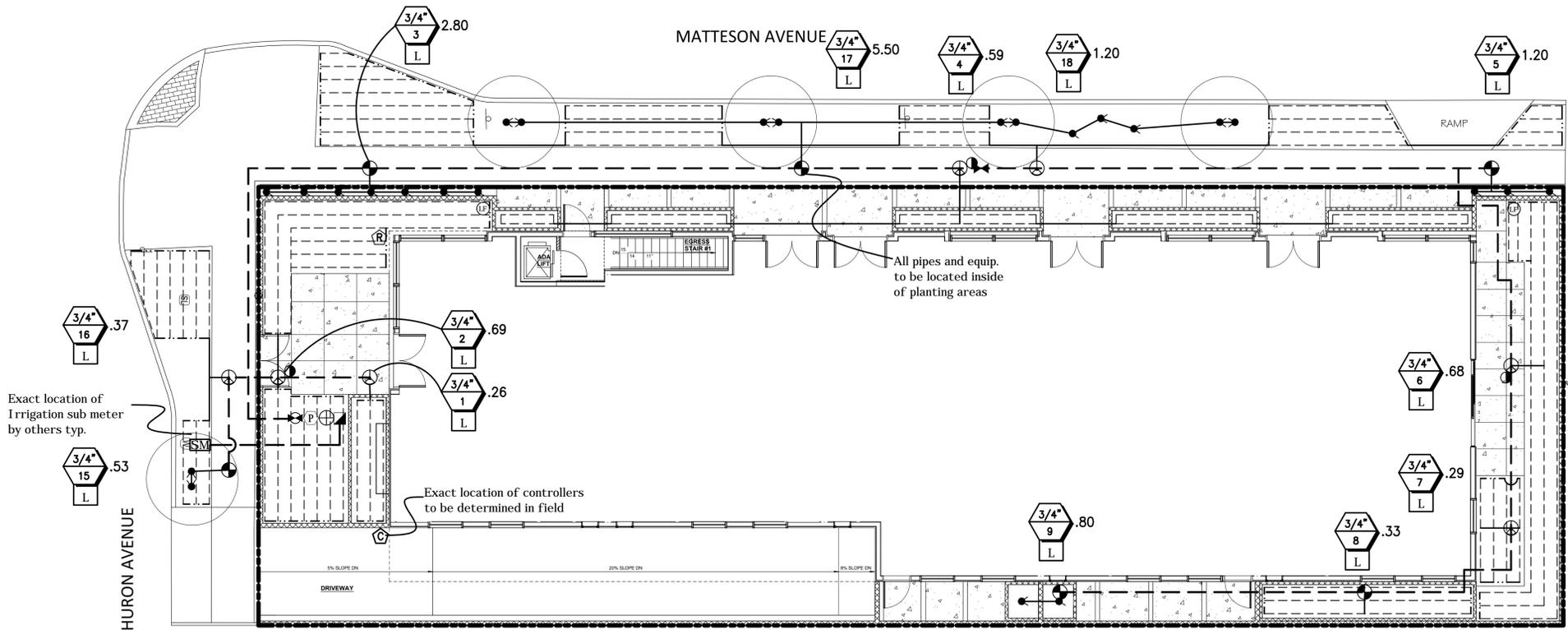
A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.



REVISIONS	DATE
1.	4.5.21
2.	6.14.21
3.	9.8.21
4.	2.16.22
5.	2.22.22
6.	
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8.	
9.	

Yael
ASLA
Yael Lir Landscape Architects
1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaelir.com

5 UNITS
3906 HURON AVE.
CULVER CITY, CA 90232

FIRST FLOOR IRRIGATION PLAN



DATE: MARCH 2, 2021
SCALE: 1/8"=1'-0"
JOB NUMBER: 222021
DRAWN BY:



WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ET_o): 50.1

IRRIGATION LEGEND				
DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.
'RAINBIRD' XS-360TS-SPYK		30	-	.40
'SUPERIOR' BRASS CONTROL VALVES, #950				
'NIBCO' GATE VALVE T-113				
'CHRISTY' CONCRETE VALVE BOX				
TYPE 'K' COPPER TUBING		1.5"		
'RAINBIRD' XBS BLACK STRIPE TUBING		1/2"		

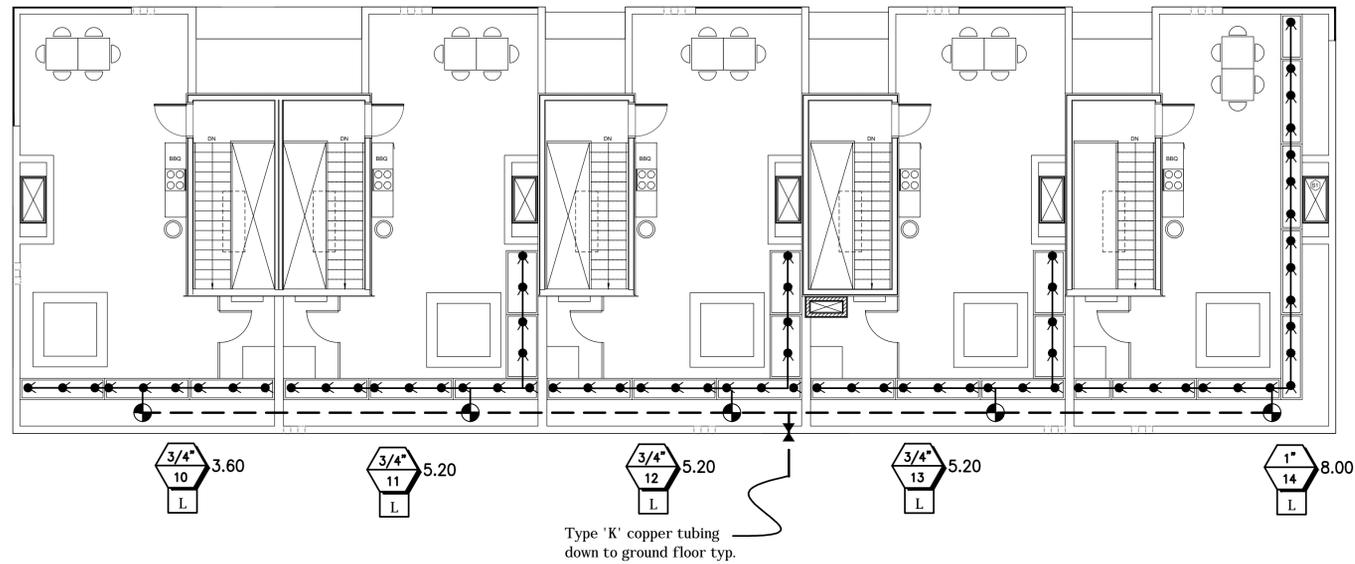


HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	70	25.9	804
2 / water use plants	.3	DRIP	.81	.37	232	85.84	2666
3 / water use plants	.3	DRIP	.81	.37	30	11.1	344
4 / water use plants	.3	DRIP	.81	.37	198	73.26	2286
5 / water use plants	.3	DRIP	.81	.37	10	3.7	1149
6 / water use plants	.3	DRIP	.81	.37	230	85.1	2643
7 / water use plants	.3	DRIP	.81	.37	70	25.9	804
8 / water use plants	.3	DRIP	.81	.37	112	41.44	1287
9 / water use plants	.3	DRIP	.81	.37	36	13.32	413
10 / water use plants	.3	DRIP	.81	.37	80	29.6	919
11 / water use plants	.3	DRIP	.81	.37	80	29.6	919
12 / water use plants	.3	DRIP	.81	.37	80	29.6	919
13 / water use plants	.3	DRIP	.81	.37	80	29.6	919
14 / water use plants	.3	DRIP	.81	.37	106	39.22	1281
15 / water use plants	.3	DRIP	.81	.37	10	3.7	114
16 / water use plants	.3	DRIP	.81	.37	127	46.99	1459
17 / water use plants	.3	DRIP	.81	.37	55	20.35	632
18 / water use plants	.3	DRIP	.81	.37	407	150.59	4677
SUM					2,013	744.81	

ETAF CALCULATION

ETAF x AREA	744.81
TOTAL AREA	2,013
AVERAGE ETAF	.37

SUM	2,013	744.81
ESTIMATED TOTAL WATER USE (ETWU)		24,265
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)		34,390



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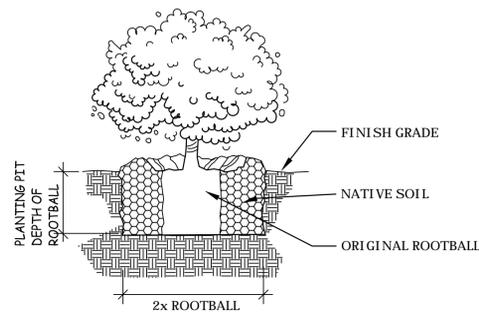
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ROOF IRRIGATION PLAN

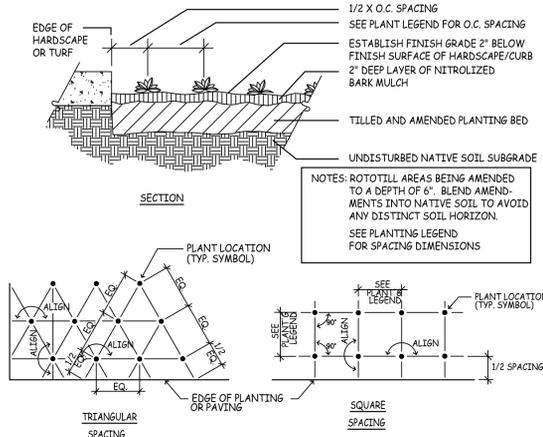


DATE: MARCH 2, 2021
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JOB NUMBER: 222021
DRAWN BY:

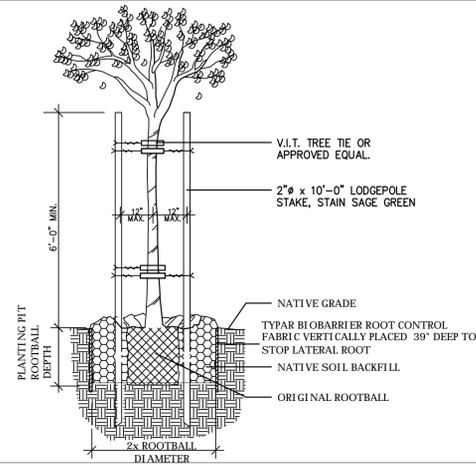




SHRUB PLANTING
SCALE: N.T.S.
FILE: D_PLA001



GROUNDCOVER PLANTING
SCALE: N.T.S.
FILE: D_PLA002



TREE PLANTING & STAKING
SCALE: N.T.S.
FILE: PLA_003

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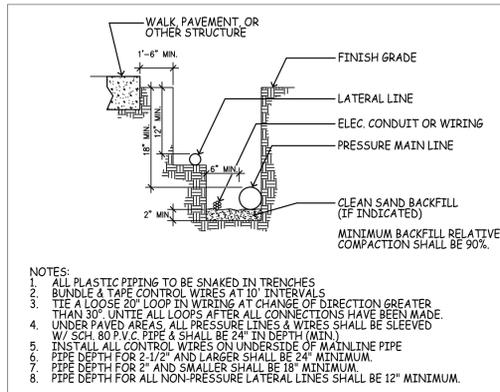
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PLANTING DETAIL SHEET

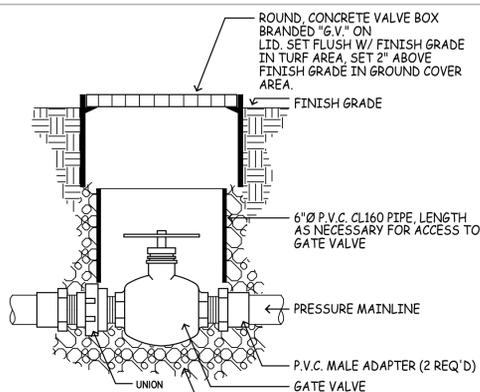


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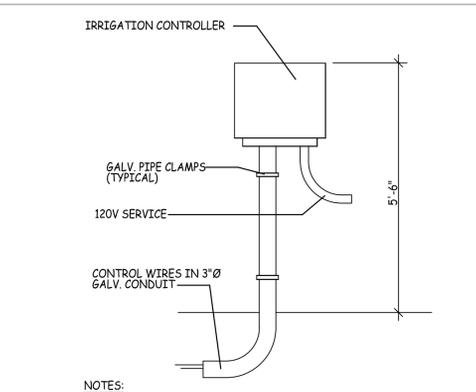




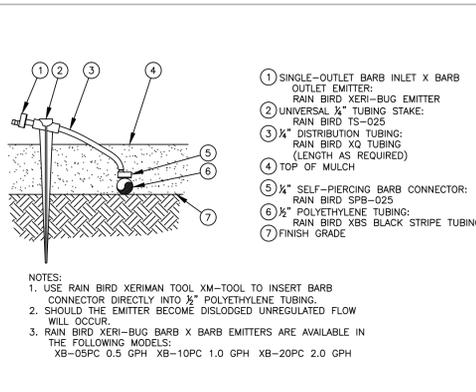
TRENCHING DETAIL
SCALE: N.T.S.
FILE: D_IRR002



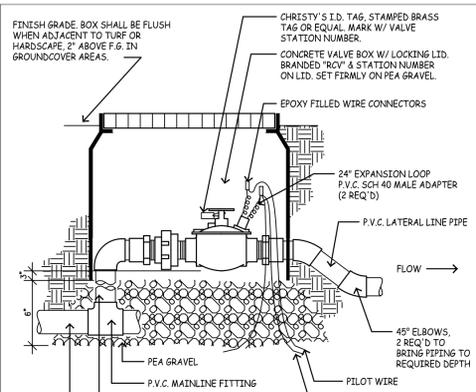
GATE VALVE
SCALE: N.T.S.
FILE: D_IRR003



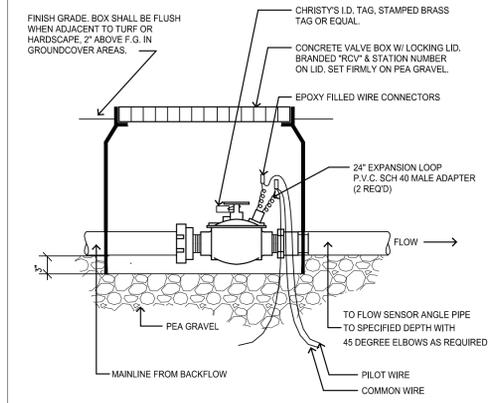
WALL MOUNT CONTROLLER
SCALE: N.T.S.
FILE: D_IRR008



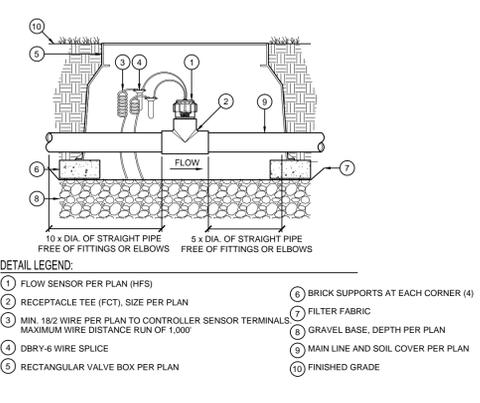
STAKE & XERI-BUG
SCALE: SCALE
FILE: FILENAME



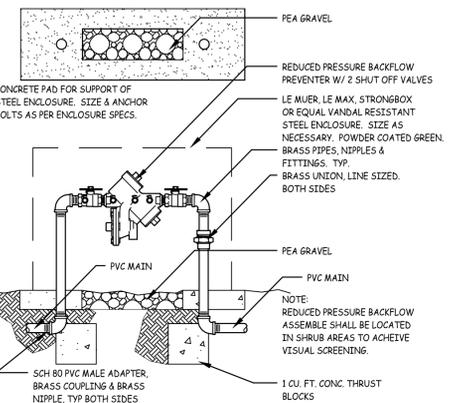
CONTROL VALVE
SCALE: N.T.S.
FILE: D_IRR004



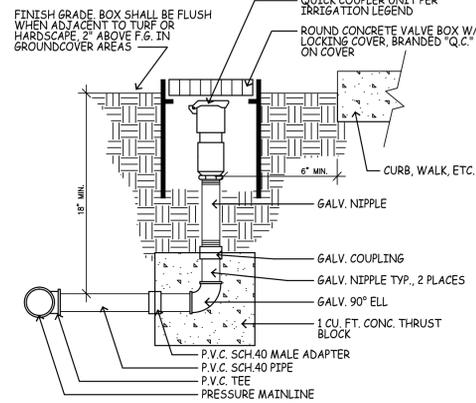
MASTER VALVE
SCALE: N.T.S.
FILE: D_IRR004



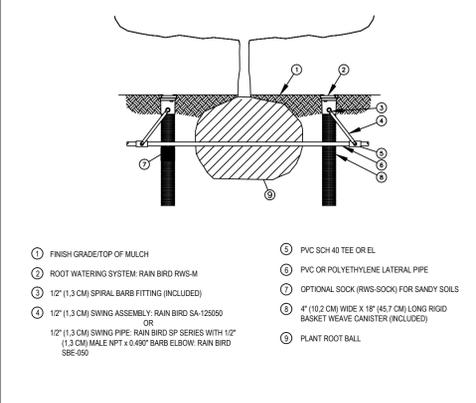
FLOW SENSOR
SCALE: SCALE
FILE: FILENAME



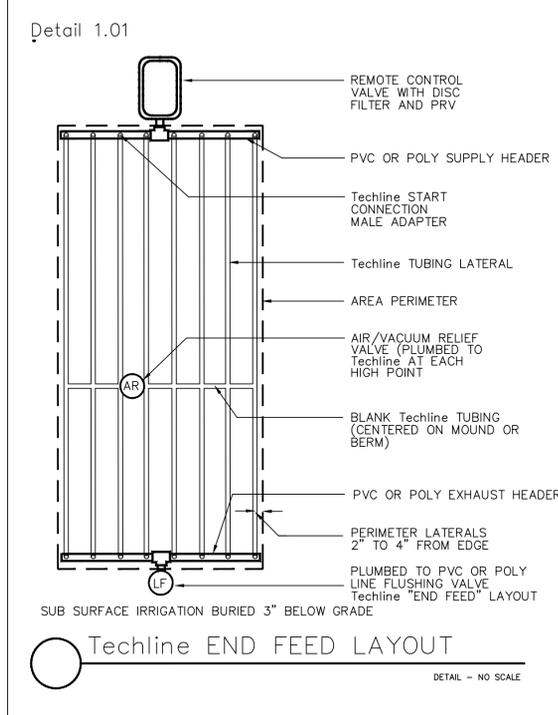
BACKFLOW PREVENTER
SCALE: N.T.S.
FILE: D_IRR006



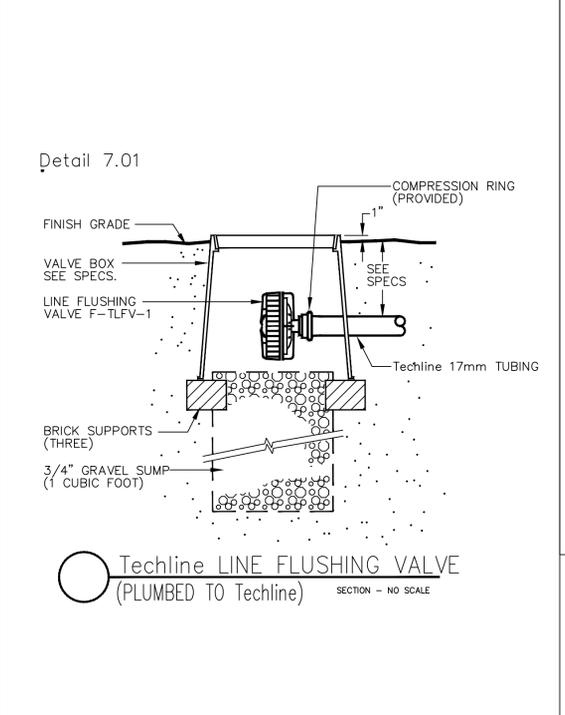
QUICK COUPLER
SCALE: N.T.S.
FILE: D_IRR006



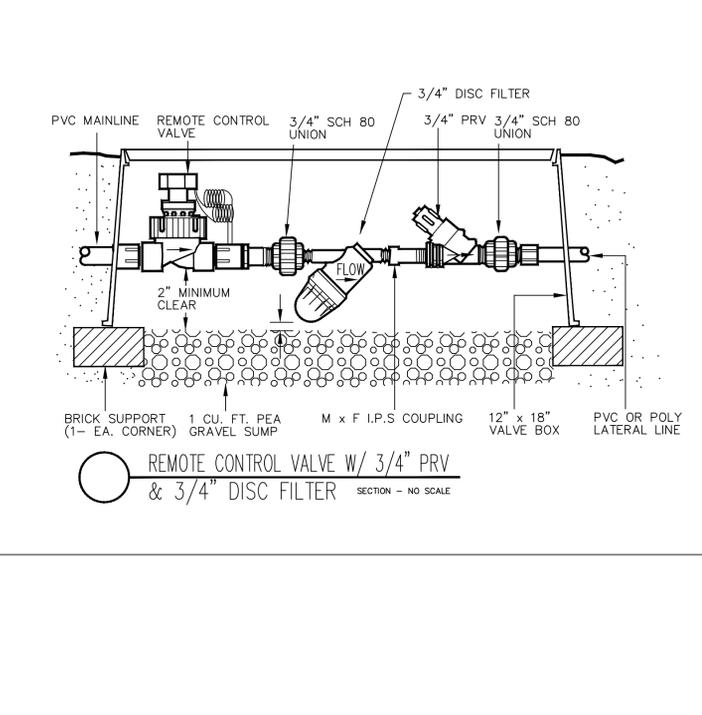
TREE ROOT WATER SYSTEM
SCALE: N.T.S.
FILE: FILENAME



Techline END FEED LAYOUT
DETAIL - NO SCALE



Detail 7.01
Techline LINE FLUSHING VALVE (PLUMBED TO Techline)
SECTION - NO SCALE



Remote Control Valve w/ 3/4\"/>

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IRRIGATION DETAIL SHEET



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