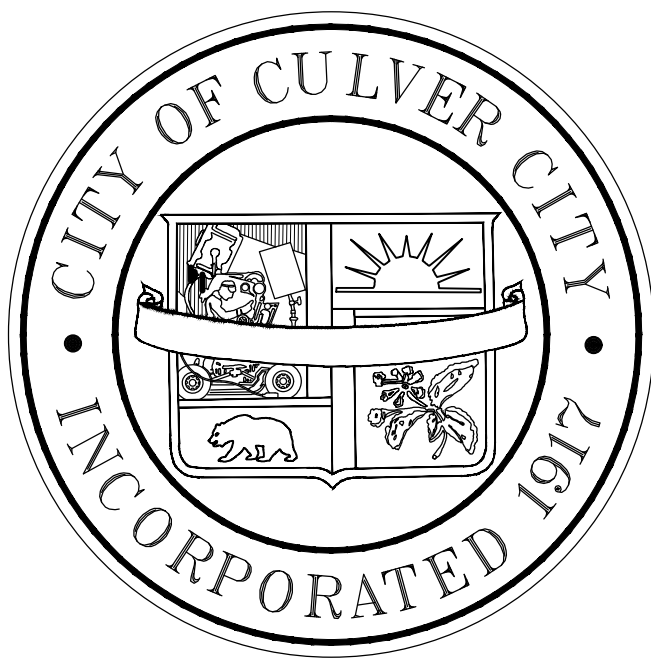


NOT FOR BIDDING



CULVER CITY POLICE DEPARTMENT

WINDOW REPLACEMENTS

- In no case shall work be scaled from plans or details. Refer to dimensions shown on drawings only. If a dimension is missing, notify the Architect for verification of correct information prior to installing work. Larger scale drawings shall take precedence over smaller scale drawings. Dimension lines are to face of concrete or face of stud, unless noted otherwise. At existing conditions, dimensions are to face of existing wall (F.O.W), whether it be concrete or gypsum construction.
- Contractor and Subcontractors shall be responsible for construction, workmanship and materials conforming to all applicable local, city, state and federal regulations, ordinances and codes, latest edition. Code requirements take precedence over the drawings.
- All work shall be in full accordance with the 2022 Edition of the California Building Code, 2022 California Plumbing Code, 2022 California Mechanical Code, 2022 California Electrical Code, 2022 California Energy Code, and all local codes and ordinances adopted with the latest rules of NFPA and OSHA. Particular attention shall be paid to the State of California Handicapped Access Regulations (Title 24) & A.D.A. Nothing in these plans or specifications shall be construed to permit work not according to Code.
- EXAMINATION OF THE SITE - Before submitting his/her bid, the Contractor shall examine the site and compare it with the plans and notes and to satisfy her/himself as to the conditions under which this work will be performed. The Contractor shall at that time ascertain the condition of the existing structures and equipment that may affect this work. S/he shall likewise determine with the Owner under what Security conditions, or special hours of operation limitations, the work shall be performed. No allowance shall subsequently be made for the Contractor's failure or neglect to make such examinations or determinations. The Contractor shall verify all quantities before submitting his/her bid.
- All work shall be performed in accordance with the property Building Standards and Procedures such as (but not limited to) equipment, system and material standards, work schedule, delivery times and locations, debris disposal, cleaning, etc. The contractor is responsible for contacting the building personnel to verify all Building Standards and Procedures prior to any construction.
- The Contractor shall report to RTI CONSULTING any error or omission discovered in the drawings or any inconsistencies between the drawings and field conditions, prior to commencing work. It shall be the responsibility of the Contractor to verify and account for existing conditions and dimensions prior to starting work, including utilities (H.V.A.C., electrical conduit, and plumbing, telephone, etc.) and all other works and facilities that affect this project. After the start of construction, the Contractor shall be responsible for any time delays and corrective measures which arise from errors, omissions and inconsistencies which have not been brought to the attention of the Architect. Corrective measures shall be implemented without cost to the Architect or Owner.
- The Contractor shall pay all fees, miscellaneous costs, and obtain and pay for all permits necessary to complete all work, unless stated otherwise in the project Specifications. Before final acceptance of any part of the work the Contractor shall furnish the Project Manager with appropriate "Certificates of Inspection" stating that work has been inspected and approved by the Building Department.
- The Contractor shall insure that all work drawn, specified or essential for the completion of the same is accounted for in the contracts of his sub-contractors (when appropriate) and is accounted for and reflected in the base bid.
- The Contractor agrees to furnish and transport all necessary labor, materials, tools, and implement required to perform and completely finish in a workmanlike manner to the satisfaction and approval of Owner, with all applicable building codes and zoning regulations applicable to the subject premises.
- The Contractor and Subcontractors shall maintain liability and worker's compensation insurance to protect themselves and their workers and shall hold the Owner and the Architect harmless from any and all claims for damages for personal or bodily injury or death or property damage during the course of construction. Contractors and subcontractors performing work on or related to these plans shall conduct their operations so that all employees are provided a safe place to work and the public is protected. All contractors and subcontractors shall comply with the "Occupational Safety and Health Regulations" of the U.S. Dept. of Labor and with the State of California Dept. of Industrial Relations, "Construction Safety Orders."
- During the life of the Contract the Contractor shall provide and pay for all temporary sanitary facilities and all temporary power, water, heat, fences, lighting, barricades, protection, scaffolding, shoring, stairs, etc., as required for the timely completion of the work, unless otherwise stated in Item 11b, or agreed to in writing. All above provisions shall be in compliance with all applicable codes and ordinances.
- All power for welding must be provided by the contractor or sub-contractor.
- The Contractor will be fully responsible for supervision of all work done by any of his subcontractors. The Contractor's responsibility for such supervision shall include all aspects of such work, including without limitation the speed, quality and safety thereof. All subcontractors employed by the Contractor shall be duly licensed, unless otherwise approved by Owner, in writing.
- The Contractor guarantees that the work performed will be free from faulty materials and workmanship. On receiving notification from the Owner, the Contractor agrees to remedy, repair or replace immediately, without cost to the owner and to the owner's satisfaction, all defects and imperfections. It shall be understood, unless otherwise noted, that all materials and workmanship shall be guaranteed for a period of one year by the Contractor from the acceptance of the project by the Owner.
- The Contractor shall notify the Owner of any extra costs arising from the execution of his Contract or his subcontracts and shall receive written Owner's approval of extra costs prior to the work involved.
- All construction documents are complementary. What is specified by any construction document will be binding as if specified by all construction documents. Any work shown or referred to on any construction document shall be provided as though shown on all related documents.

- The construction documents are provided to illustrate the design and general type of construction desired, and imply the finest quality of construction, material and workmanship. The Contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as the letter in which they were drawn.
- Incidental items not indicated on the drawings or mentioned in the specifications that can be legitimately and reasonably inferred to belong to the work described or be necessary in good practice to provide a complete installation or system shall be provided and be installed as though called out herein in every detail.
- Work done without lines or grades being given or shown on the plans, work done in the absence or without the consent of the Structural engineer and/or Owner, or any work done without written authority, will be considered as unauthorized an at the expense of the contractor.
- The location of the utilities, if indicated, on the plans is not guaranteed to be accurate or complete, but is plotted for the general information of the Contractor. It shall be the responsibility of the Contractor to determine the exact location of all utilities and their service connections. The Contractor shall make necessary measures for protecting and supporting any utilities that occur in the limits of the work.
- The Contractor shall lay out the work and establish all points, grades, and levels which are shown on the drawings. If they do not conform with the physical conditions of the proposed work, immediately notify the Architect who will make the necessary revisions or corrections. Set all grade stakes and protect them in place as long as may be required by all trades and crafts.
- The Contractor shall protect areas from damage which may occur during construction. Any damage to new and existing construction, structure or equipment shall be the Contractors responsibility and shall be immediately repaired or replaced to the satisfaction of the owner at the expense of the general contractor.
- TEMPORARY BRACING - It shall be the responsibility of the Contractor to install all temporary bracing and shoring to insure the safety of the work until it is in its completed form.
- REPAIR - The Contractor shall repair and or repair any damage to existing structures or surfaces caused by demolition or construction in the course of performing this work and shall finish to match adjoining surfaces.
- All dust and noise created by the work shall be kept to a minimum.
- The Contractor shall provide sufficient means for protecting existing exposed interior finishes, and new construction and materials, from damage by weather or vandals for the course of the project.
- The Contractor shall follow general construction industry standards and manufacturer's instructions for all products.
- SHOP DRAWINGS - Shop drawings, catalogue cuts, data sheets, and samples shall be provided as required in the Specifications and on structural, mechanical, electrical, plumbing, fire protection and landscape drawings and notes.
- SUBMITTALS for this work shall include Mill Certifications for Structural Steel, Rods, Angles, Channels and Reinforcing Bars. Concrete and Grout Submittals shall include mix designs to be approved by the Structural Engineer.
- The Contractor shall submit to the owner a detailed construction schedule indicating phasing of work from start to completion.
- All work listed, shown, or implied on any construction document shall be supplied and installed by the general contractor, unless otherwise noted. The Contractor shall closely coordinate his work with that of sub-contractors or vendors to assure that all schedules are met and all work is done in conformance to manufacturers requirements.
- The Contractor shall provide the minimum insurance as required by the Client.
- The Contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all sub-contractors with current construction documents as required.
- RECORD DRAWINGS - The Contractor shall request a complete set of prints which shall be maintained in good order at the site. All differences between the locations or arrangements indicated on these drawings and those of the actual installation shall be recorded in red pencil on the set. At the end of the project and prior to final payment, the Contractor shall sign and date each "as built" drawing as being a correct and accurate representation of the work, and shall submit the complete package to the Owner.
- The Contractor shall remove all rubbish and waste materials on a regular basis, of all sub-contractors and trades. He shall observe, follow and implement all the requirements of NPDES and Stormwater Pollution Prevention Program. He shall exercise strict control over job cleaning throughout construction including final clean up upon completion of work.
- No substitution shall be made for any material, article, method or process herein specified or shown on the drawings unless approved by the architect or engineer.
- CONSTRUCTION OBSERVATION - The Engineers shall have access to the work at all times for the purpose of observing construction.

PROJECT DATA

Description of Work	Replacement of the existing single glazed windows with new dual glazed insulated windows in the existing openings.
Building Codes:	2022 CBC, CMC, CEC, CPC
Fire Codes:	2022 California Fire Code & Title 19 of CCR
Building Construction Type:	V-N
Fire Sprinklers:	YES
Smoke Detectors:	YES
Occupancy Group:	B-2 (Existing, No Change)
No. of Stories:	2 (Existing, No Change)
Bldg. Height	39'-6" (Existing, No Change)
Project Area	N/A (Window Replacements only)

Deferred Submittals: none

SHEET INDEX

ARCHITECTURAL		CITY REVIEW			
T0.0	COVER SHEET, SITE PLAN, PROJECT DATA & NOTES				
A0.8	SCHEDULES				
A2.1	FIRST FLOOR PLANS				
A2.2	SECOND FLOOR PLAN				
A4.0	DETAILS				
A5.0	WINDOW MFR CUT SHEETS				

CLIENT/OWNER

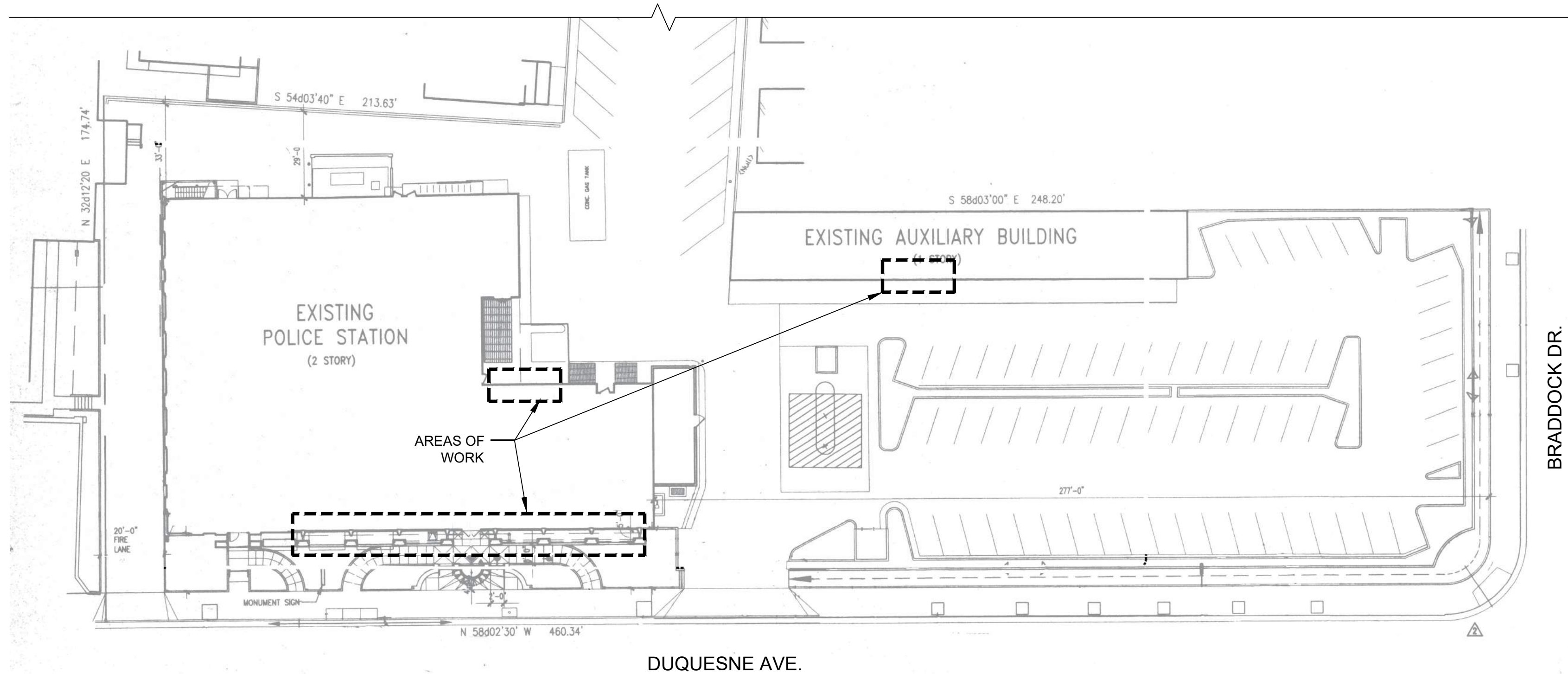
NAME: CITY OF CULVER CITY
ADDRESS: 9770 CULVER BLVD.
CULVER CITY, CA 90232
TEL.: 310.253.6000

ARCHITECT

FIRM: KOLODNY ARCHITECTS, INC.
ADDRESS: 1644 TALMADGE ST.
LOS ANGELES, CA 90027
TEL.: 213.935.0665
EMAIL: josh@kolodnyarchitects.com
CONTACT: JOSHUA KOLODNY

CONSULTANT

FIRM: RTI CONSULTING, INC.
ADDRESS: 8325 McCONNELL AVE.
LOS ANGELES, CA 90045
TEL.: 310.670.5977
EMAIL: bob.neiwirth@rticm.com
CONTACT: ROBERT NEIWRTH



1 SITE PLAN
SCALE: 1"= 30'-0"

PROJECT PARTICIPANTS



ISSUED FOR:

REV.	DESCRIPTION	DATE

SEAL

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SHEET TITLE:

COVER SHEET, PROJECT DATA, SITE PLAN & NOTES

PROJECT NAME:

Culver City Police Department
Window Replacements

PROJECT ADDRESS:

4040 Duquesne Ave.
Culver City, CA 90232

PROJECT NUMBER:	23.03
DRAWN BY: JK	REVIEWED BY: JK
SCALE: AS NOTED	DATE 2/9/24
SHEET NUMBER	

T0.0

7

WINDOW SCHEDULE

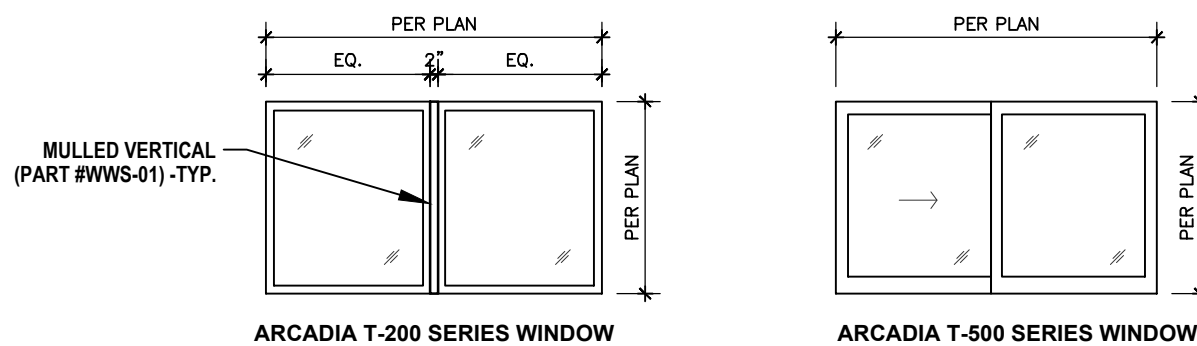
1. NEW WINDOWS TO BE BY _____ (OR EQUAL)
SERIES: _____, COLOR: _____.

1: HINGING OR OPERATION AS VIEWED FROM THE OUTSIDE

2. HINGING OR OPERATION AS VIEWED FROM THE OUTSIDE.
3. FOLLOW MANUFACTURERS INSTRUCTIONS.
4. VERIFY ALL WINDOW OPENING SIZES PRIOR TO ORDERING OR COMMENCING ANY WORK. CHECK FOR ANY CONFLICTS AND ALERT ARCHITECT OF ANY FINDINGS.
- 5.1. VERIFY WITH OWNER THE WINDOW OPERATION (DIRECTION OF SWINGS, SLIDING PANELS, ETC) PRIOR TO ORDERING
6. ALL WINDOW HEADERS SHALL BE AT 7" AFF UNLESS NOTED OTHERWISE OR IF REQUIRED AT A SPECIFIC HEIGHT BY WINDOW MFR.
7. PROVIDE FLASHING AROUND OPENINGS PER INDUSTRY STANDARDS AND DETAILS IN THIS SET OF DRAWINGS.
8. ALL FINISHESATIONS ON WINDOWS AND DOORS SHALL HAVE FACTORS AND SOLAR HEAT GAIN COEFFICIENT (SHG) VALUES IN ACCORDANCE WITH T-54 ENERGY CALCULATIONS. ALL FINISHESATIONS MUST HAVE TEMPERED OR PERMANENT LABELS.
9. GLAZING: DUAL GLAZED UNIT, TEMPERED, CLEAR, U-NO. PROVIDE TEMPERED GLASS BUOY ON ALL WINDOWS REQUIRED TO HAVE TEMPERED GLAZING.
10. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGULAR-RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MINIMUM OPENING OF 1/8". THIS SECTION SHALL NOT APPLY TO DOORS OR WINDOWS WITH PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. (F713)
11. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B, F, M & OCCUPANCIES, SUCH DEVICES SHALL BE: GLIDE BARS, BOLTS, CROSS-BARS AND / OR PADLOCKS WITH MINIMUM Q32 HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (F715.2)
12. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CORNER OF THE MOVING PANEL, TO PROHIBIT RASING AND REMOVING OF THE MOVING PANEL, IN THE CLOSED OR PARTIALLY OPEN POSITION. (F715.1)
13. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AS TO REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SECTION 77.2.

[illegible]

CODES



Operation:

A B C

F Fixed
Sl Sliding

8325 McConnell Ave., Los Angeles, CA 90045
T: 310-670-5977 F: 310-919-3030



KA
KOLODNY
ARCHITECTS
1644 TALMADGE ST. LOS ANGELES, CA 90024
T: 213-935-0665

REV.	DESCRIPTION
------	-------------

DATE _____

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SHEET TITLE:

WINDOW SCHEDULE & NOTES

PROJECT NAME:

Culver City Police Department

Window Replacements

PROJECT ADDRESS:

4040 Duquesne Ave.
Culver City, CA 90232

PROJECT NUMBER:

23.03

DRAWN BY: JK

REVIEWED BY: JK

SCALE: AS NOTED

DATE 2/9/24

SHEET NUMBER

A0.8

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1 1ST FLOOR PLAN
SCALE: 1/8" = 1' - 0"

ISSUED FOR:

REV. DESCRIPTION DATE

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Architect. Visual contact with the
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acceptance of these restrictions.

SHEET TITLE:

FIRST FLOOR PLANS

PROJECT NAME:

Culver City Police Department
Window Replacements

PROJECT ADDRESS:

4040 Duquesne Ave.
Culver City, CA 90232

PROJECT NUMBER:

23.03

DRAWN BY: JK

REVIEWED BY: JK

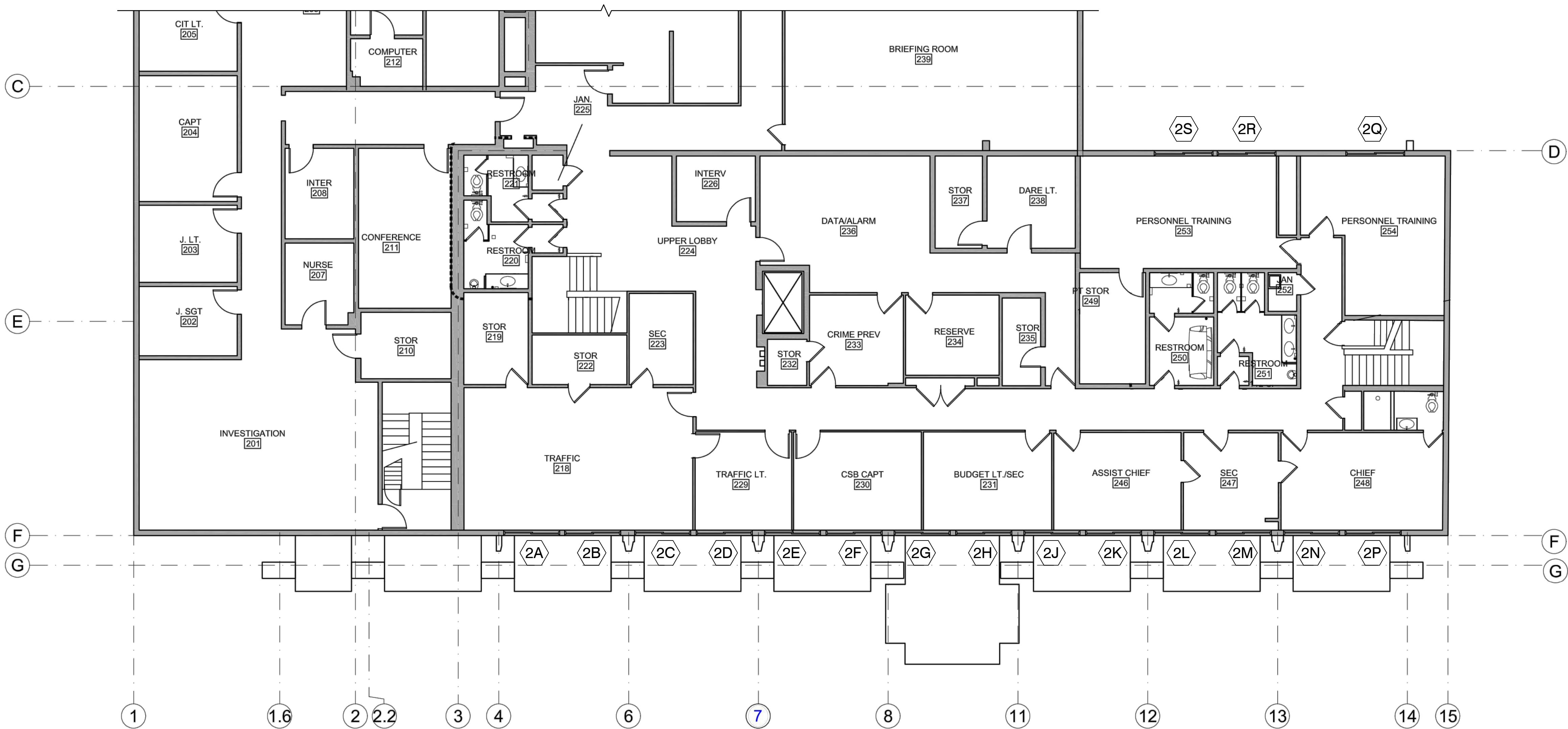
SCALE: AS NOTED

DATE 2/9/24

SHEET NUMBER

A2.1

NOT FOR BIDDING



1 2ND FLOOR PLAN (PARTIAL)
SCALE: 1/8" = 1'-0"



8325 McConnell Ave., Los Angeles, CA 90045
T: 310-670-5977 F: 310-819-3030



1644 TAlMADGE ST, LOS ANGELES, CA 90027
T: 213-935-0665

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and appropriate compensation to the
Architect. Visual contact with the
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constitute conclusive evidence of
acceptance of these restrictions.

SHEET TITLE:

SECOND FLOOR PLAN

PROJECT NAME:

Culver City Police Department
Window Replacements

PROJECT ADDRESS:

4040 Duquesne Ave.
Culver City, CA 90232

PROJECT NUMBER:

23.03

DRAWN BY:

JK

REVIEWED BY:

JK

SCALE:

AS NOTED

DATE

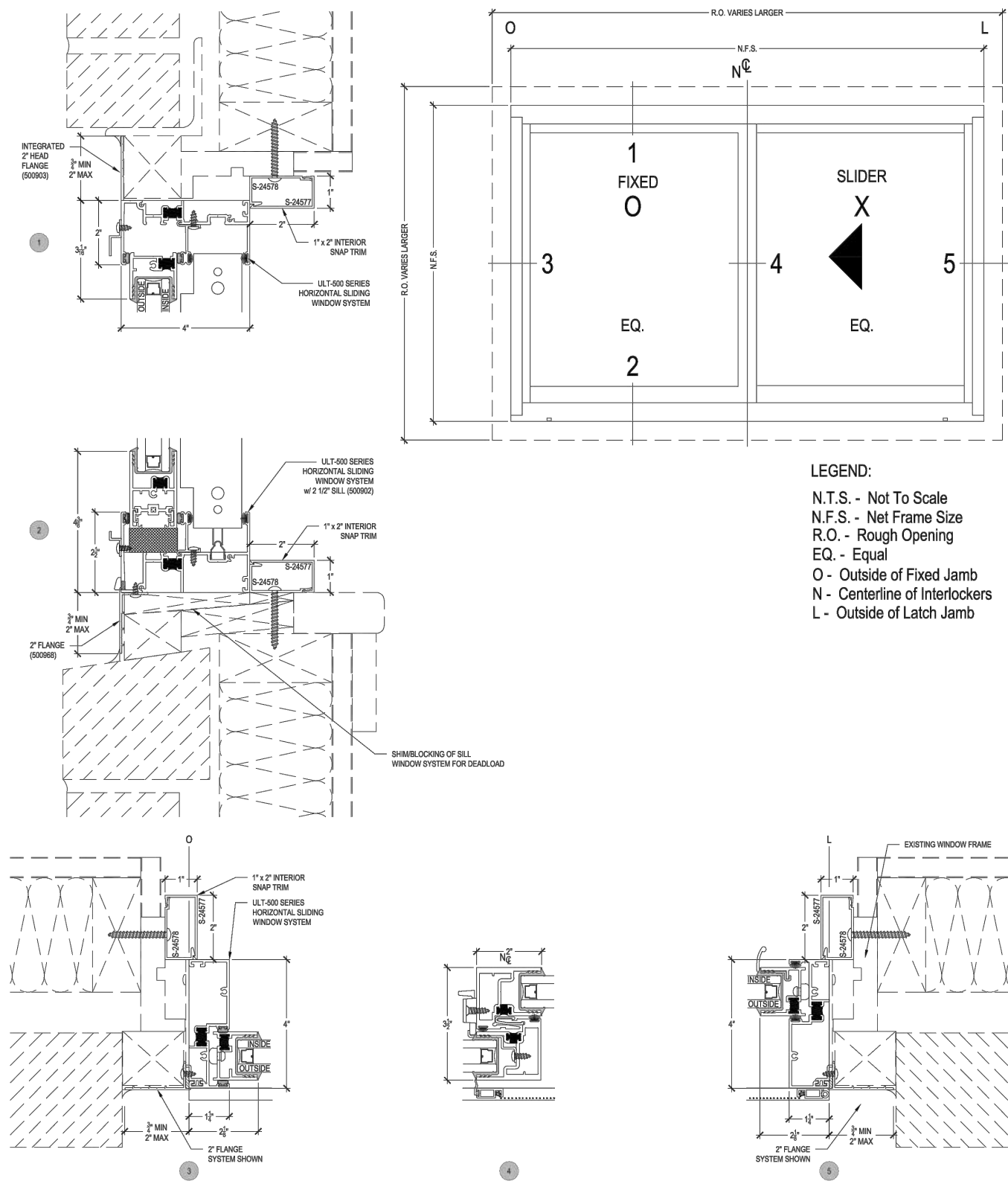
2/9/24

SHEET NUMBER

A2.2



ULT500 Series
Description: Horizontal Sliding
Function: Window
Detail: Retrofit Options
Scale: 3" = 1'-0" SHEET 4 OF 6

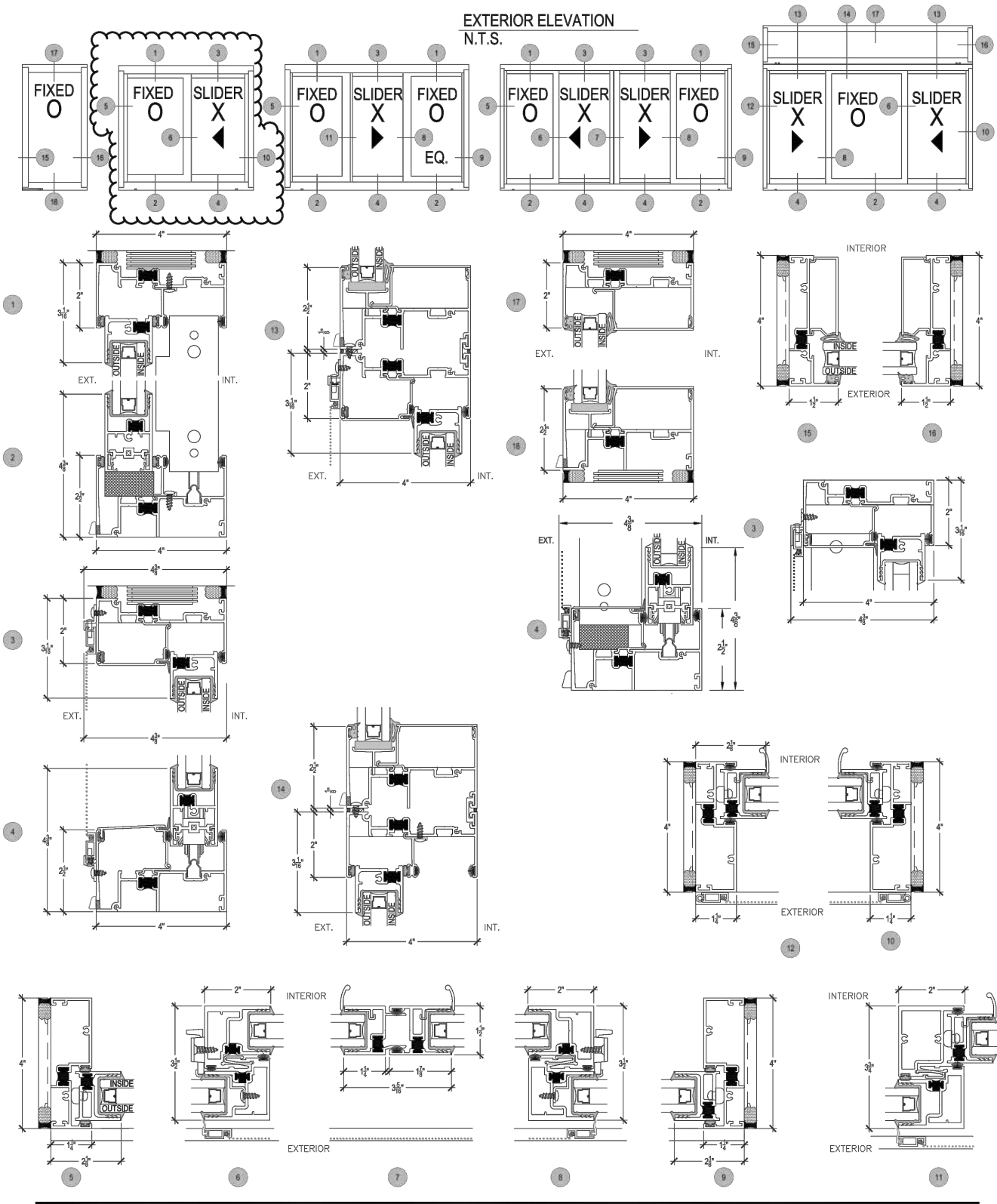


WINDOW-ARCADIA-THERMAL-ULT-500-ALL-SERIES.pdf

As of: 09/24/21



ULT500 Series
Description: Horizontal Sliding
Function: Window
Detail: ALL (1 of 2)
Scale: 3" = 1'-0" SHEET 1 OF 6

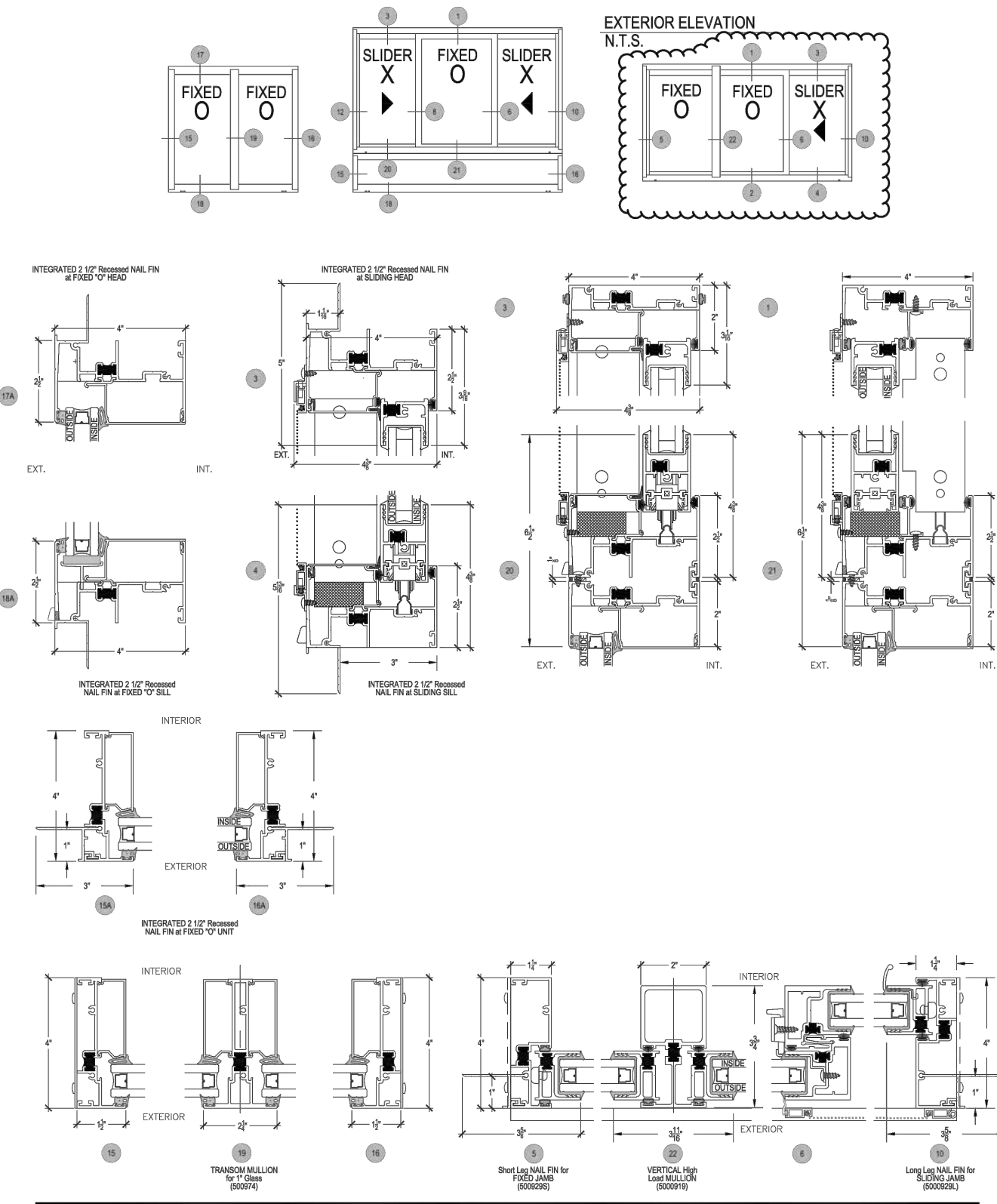


WINDOW-ARCADIA-THERMAL-ULT-500-ALL-SERIES.pdf

As of: 09/24/21



ULT500 Series
Description: Horizontal Sliding
Function: Window
Detail: ALL (2 of 2)
Scale: 3" = 1'-0" SHEET 2 OF 6

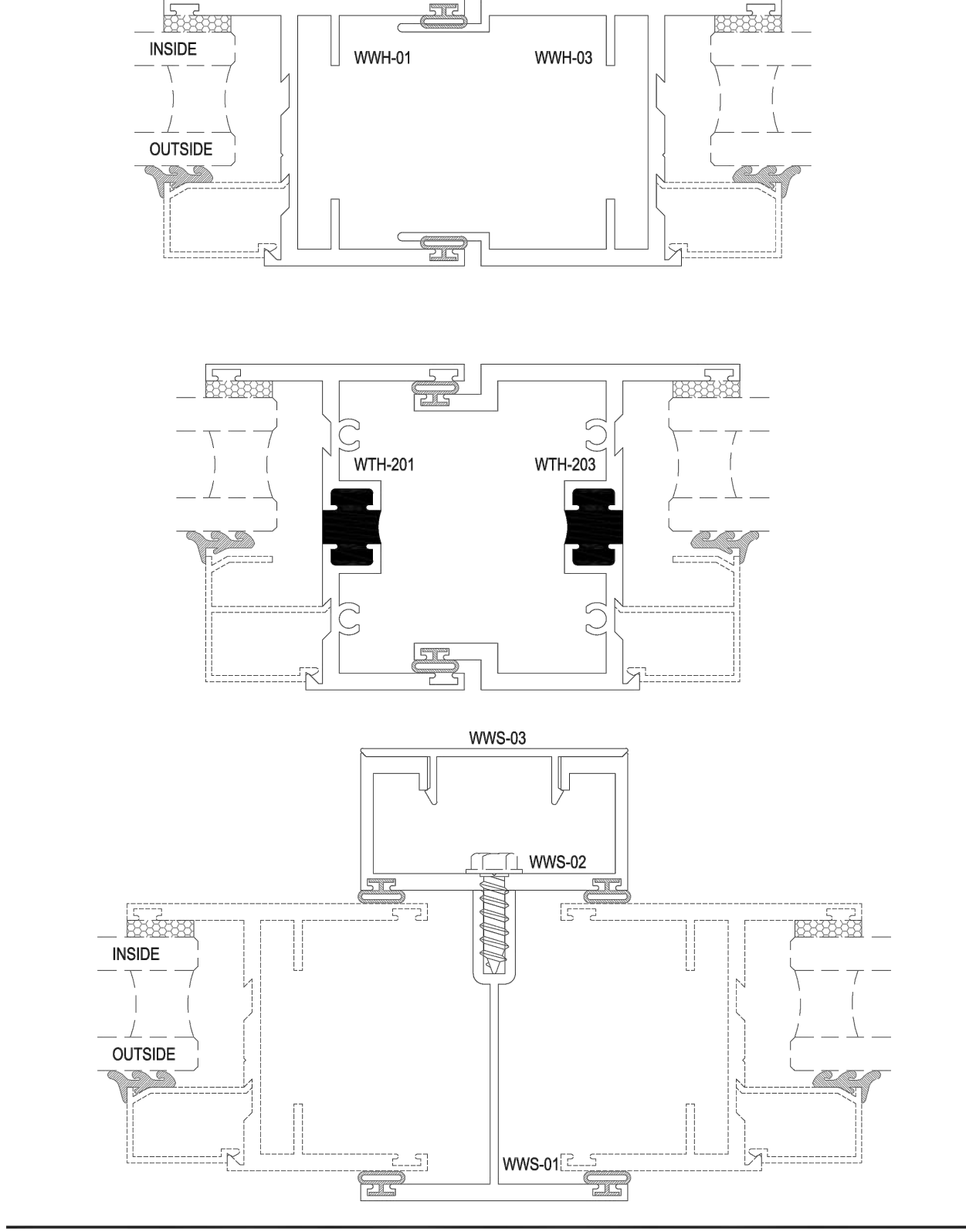


WINDOW-ARCADIA-THERMAL-ULT-500-ALL-SERIES.pdf

As of: 09/24/21



Window Accessories
Description: Mullion Options
Function: Windows
Detail: ALL
Scale: 1'-0" = 1'-0" (Full) SHEET 1 OF 4

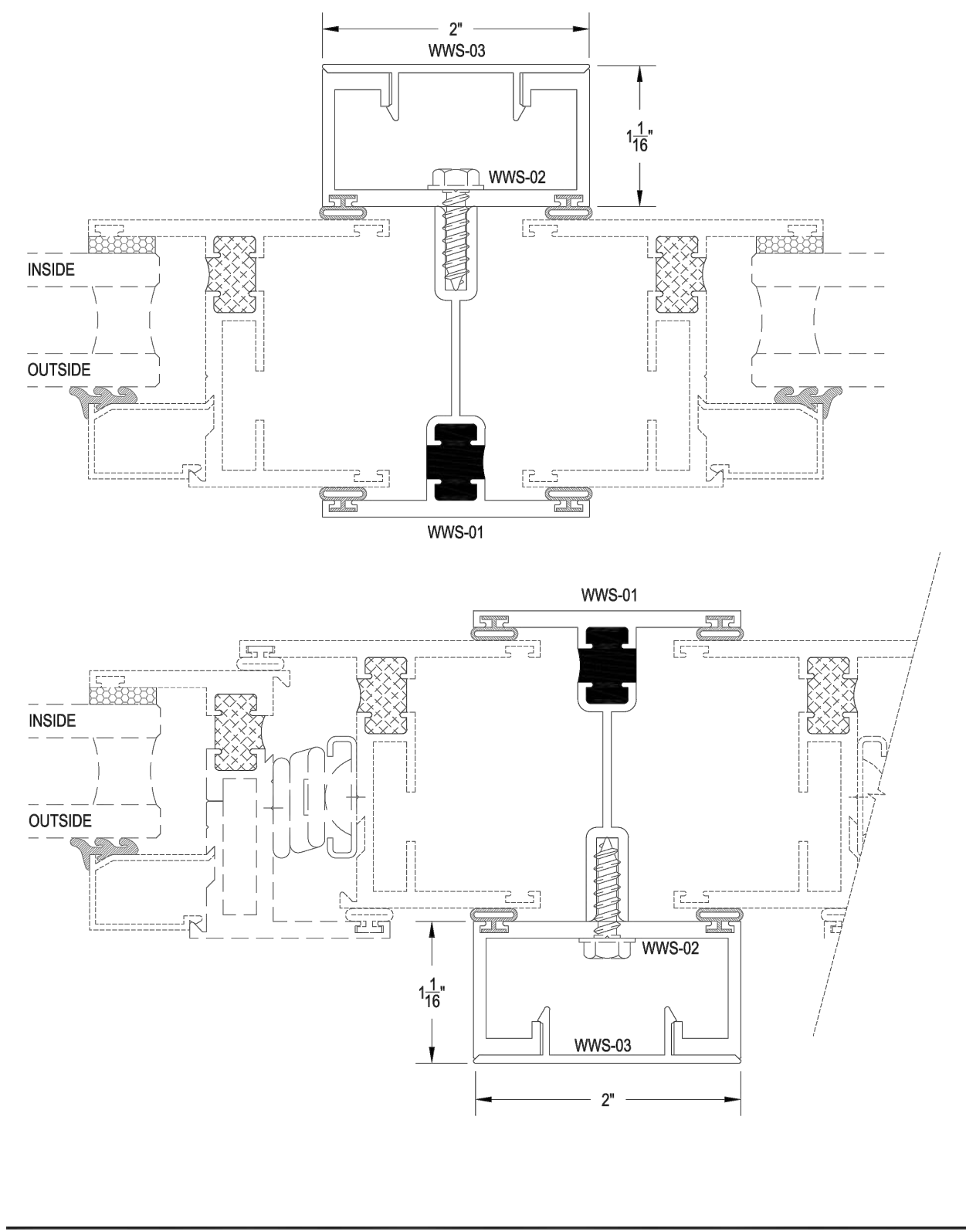


WINDOW-ARCADIA-MULLIONS-ALL-SERIES.pdf

As of: 04/03/14



Window Accessories
Description: Mullion Options
Function: Windows
Detail: T200 Series
Scale: 1'-0" = 1'-0" (Full) SHEET 3 OF 4

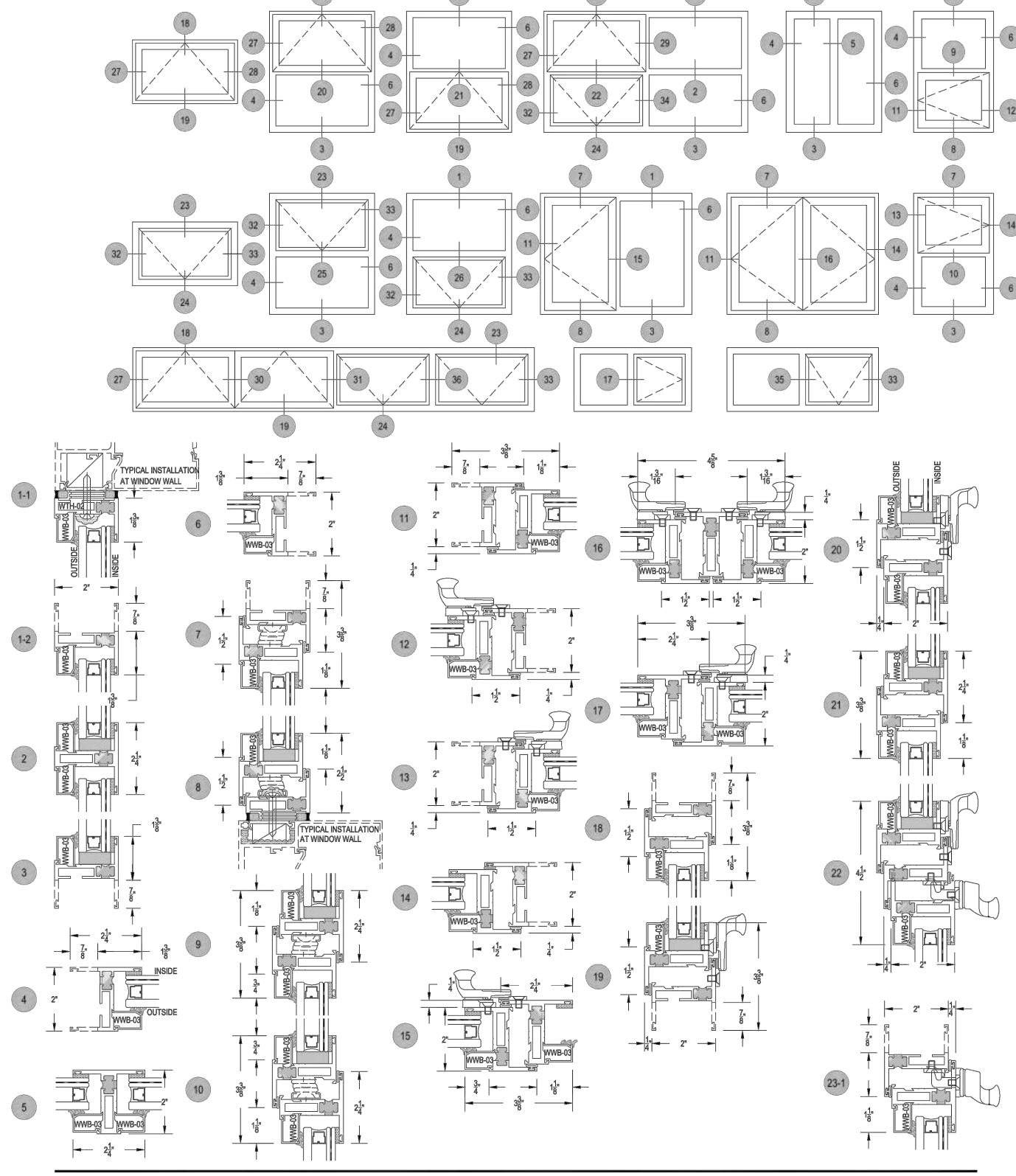


WINDOW-ARCADIA-MULLIONS-ALL-SERIES.pdf

As of: 04/03/14



T200 STC Series
Description: Heavy Commercial window (Outside Set)
Function: Acoustical - Hung Window - (STC-34 to 38)
Detail: Fixed, Casement, Awning, Hopper
Scale: 3" = 1'-0" SHEET 1 OF 5

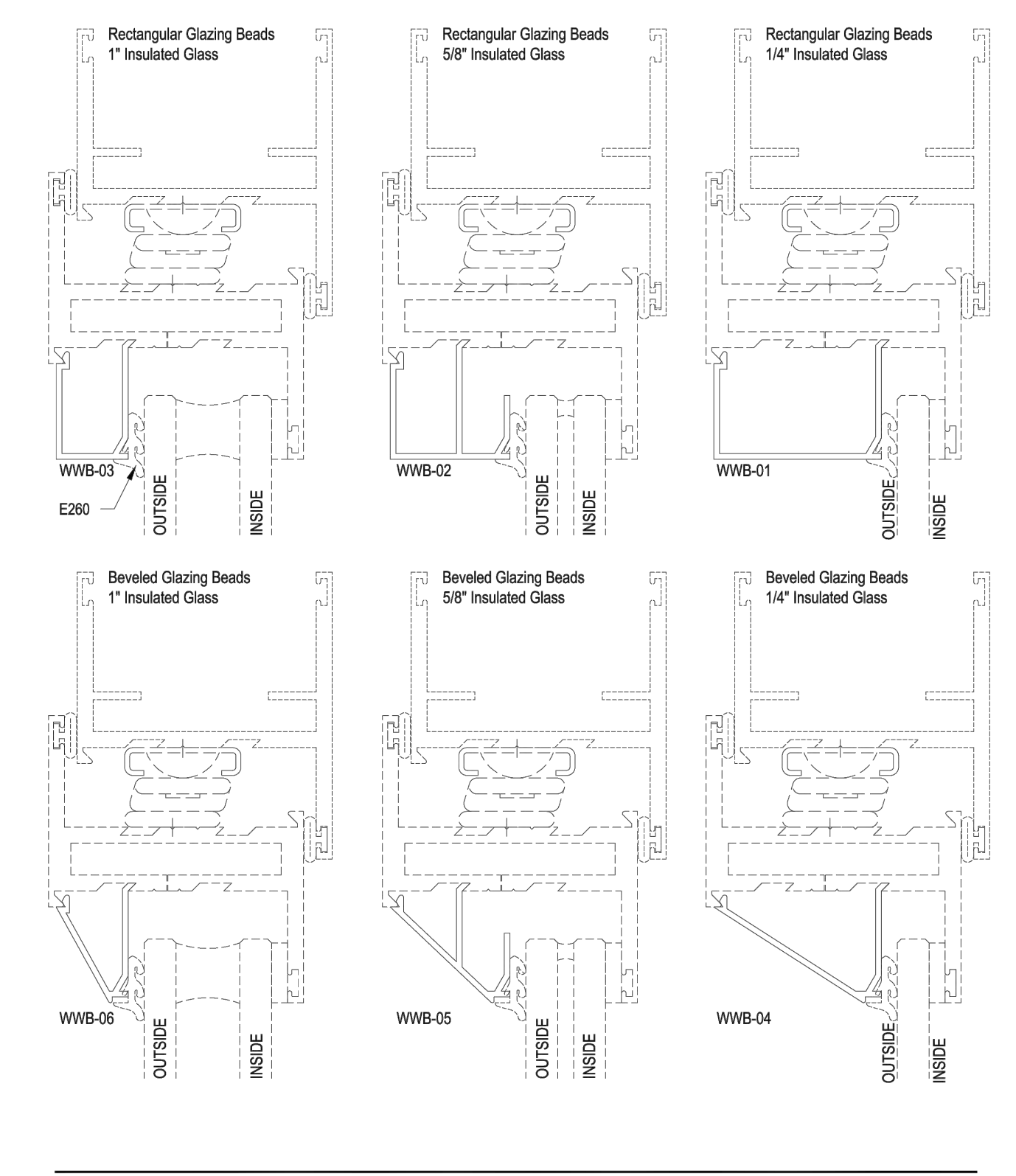


WINDOW-ARCADIA-STC-THERMAL-T200-ALL-SERIES.pdf

As of: 08/30/13



T200 Series
Description: Heavy Commercial window (Outside Set)
Function: Glazing Beads
Detail: Fixed, Casement, Awning, Hopper
Scale: 1'-0" = 1'-0" (Full) SHEET 5 OF 5



WINDOW-ARCADIA-STC-THERMAL-T200-ALL-SERIES.pdf

As of: 08/30/13

NOT FOR BIDDING

3 SLIDING WINDOW MFR. CUT SHEETS (T-500 SERIES)
SCALE: N/A

2 MULLED VERTICAL STRENGTHENER FOR T-200 SERIES
SCALE: N/A

1 FIXED WINDOW MFR. CUT SHEETS (T-200 SERIES)
SCALE: N/A



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SHEET TITLE:
**FIXED WINDOW DETAIL
CUT SHEETS**

PROJECT NAME:
**Culver City Police Department
Window Replacements**

PROJECT ADDRESS:
**4040 Duquesne Ave.
Culver City, CA 90232**

PROJECT NUMBER:	23.03
DRAWN BY: JK	REVIEWED BY: JK
SCALE: AS NOTED	DATE 2/9/24
SHEET NUMBER	

A5.0