

ATTACHMENT NO. 4

# AUTO SERVICE SHOP

## 2926 LA CIENEGA BLVD., CULVER CITY, CA.

revisions by

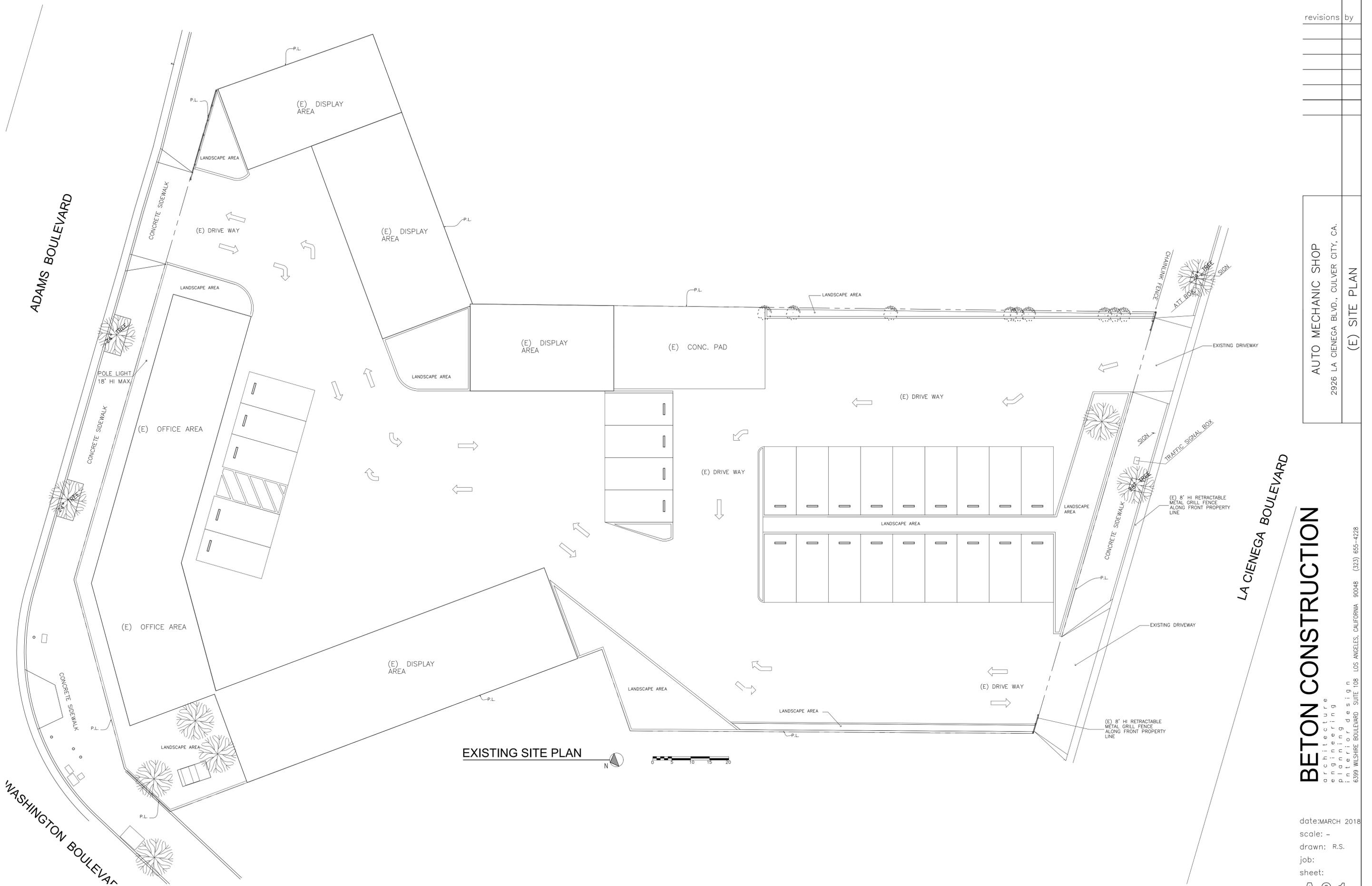
AUTO MECHANIC SHOP  
2926 LA CIENEGA BLVD., CULVER CITY, CA.  
COVER

ABBREVIATIONS	LEGEND	MATERIALS	SUMMARY	DRAWING INDEX
<p>A.B. ANCHOR BOLT A/C AIR CONDITIONING ALUM. ALUMINUM ARCH. ARCHITECTURAL</p> <p>BD. BOARD BLDG. BUILDING BLK. BLOCK BLK'G. BLOCKING B.W. BACK OF WALL</p> <p>C. COMPACT C.O. CLEAR OUT CONC. CONCRETE CONT. CONTINUOUS CSB. CONCRETE SPLASH BLOCK</p> <p>D. DRYER DBL. DOUBLE DN. DOWN DWG. DRAWING D.S. DOWN SPOUT DWR. DRAWER</p> <p>EL. ELEVATION EXIST'G. EXISTING EXT. EXTERIOR</p> <p>F.F. FINISHED FLOOR F.G. FIXED GLASS FIN. FINISH/FINISHED FL. FLOOR F.O.S. FACE OF STUD OR STRUCTURE F.P. FIXED PANEL F.S. FINISHED SURFACE FT. FOOT/FEET</p> <p>GA. GAUGE GALV. GALVANIZED GR. GRADE GYP. GYPSUM</p> <p>H.C. HOLLOW CORE HORIZ. HORIZONTAL</p> <p>INT. INTERIOR INV. INVERT MANFG. MANUFACTURING MANUF. MANUFACTURER MAX. MAXIMUM MECH. MECHANICAL MIN. MINIMUM M.T. METAL THRESHOLD</p> <p>N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE</p> <p>O.H. OVERHANG</p> <p>P.C. PULL CORD P.L. PROPERTY LINE P&amp;S. POLE AND SHELF PLYWD. PLYWOOD</p> <p>REC. RECREATION REINF. REINFORCED R.M. ROOM R.S. ROUGH SWAN</p> <p>S.C. SOLID CORE SCH. SCHEDULE SIM. SIMILAR STD. STANDARD STL. STEEL STRUC. STRUCTURAL SQ. SQUARE</p> <p>T.C. TOP OF CURB T&amp;G. TONGUE &amp; GROOVE THRU. THROUGH T.O.P. TOP OF PLATE T.O.S. TOP OF SLAB T.W. TOP OF WALL TYP. TYPICAL</p> <p>VERT. VERTICAL</p> <p>W. WASHER W/ WITH WD. WOOD WP. WATERPROOF OR WEATHERPROOF</p>	<p>WALL LINE: NUMBERS VERTICAL LETTERS HORIZONTAL</p> <p>DOOR SYMBOL NUMBERS</p> <p>WINDOW TYPE - LETTERS</p> <p>DETAIL DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</p> <p>SECTIONAL DETAIL DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</p> <p>SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</p> <p>ELEVATION IDENTIFICATION INTERIOR ELEVATION</p> <p>SHEAR WALL - LETTERS REVISION - NUMBERS CLOUD AROUND REVISION OPTICAL</p> <p>MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED</p> <p>WORK POINT</p> <p>NEW OR FINISHED CONTOURS EXISTING CONTOURS</p> <p>PROPERTY LINE CENTER LINE</p>	<p>PEDESTRIAN AREA</p> <p>PARKING AREA</p> <p>DRIVE-WAY</p> <p>LANDSCAPED AREA</p> <p>(E) BUILDING AREA</p> <p>PROPOSED OFFICE ADDITION</p>	<p>OWNER: CALIFORNIA RENT A CAR 11725 SANTA MONICA BLVD. LOS ANGELES, CA. 90025</p> <p>BUILDING CODE EDITION: LABC 2017</p> <p>LEGAL DESCRIPTION: A PARCEL OF LAND IN THE CITY OF CULVER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING THOSE PORTIONS OF LOTS 47, 61, 62, 63, 64, 65, 66 AND 67 OF TRACT NO. 5345 AS PER MAP RECORDED IN BOOK 57, PAGE 57 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, ALSO THOSE PORTIONS OF PARCELS 30, 31, 32, 33, 34 AND 35 AS SHOWN ON LICENSED SURVEYOR'S MAP FIELD IN BOOK 12, PAGE 32 OF RECORD SURVEYS IN SAID OFFICE OF THE COUNTY RECORDER, ALSO THOSE PORTIONS OF PARCELS 126 AND 127 AS SHOWN ON LICENSED SURVEYOR'S MAP FIELD IN BOOK 13 PAGE 2 OF RECORD OF SURVEYS IN SAID OFFICE OF THE COUNTY RECORDER, AND ALSO THAT PORTION OF ADAMS STREET (NOW VACATED), AS VACATED BY ORDINANCE NO. CS-443 RECORDED DECEMBER 24, 1962 AS INSTRUMENT NO. 2612, OFFICIAL RECORDS, 90' WIDE AS SHOWN ON SAID MAP OF TRACT NO. 5345.</p> <p>OCCUPANCY GROUP: MAIN BUILDING B COVERED PARKING S-2</p> <p>BUILDING TYPE: V-B</p> <p>SPRINKLERS: YES</p> <p>ZONE: IG</p> <p>FIRE ZONE: LOT AREA 33,406.0 Sq. ft. EXISTING OFFICE AREA 2,446.0 Sq. ft. EXISTING DISPLAY AREA 2,217.0 Sq. ft. TOTAL EXISTING AREA 4,663.0 Sq. ft. NEW OFFICE BUILDING ADDITION 2,900.0 Sq. ft. TOTAL 7,563.0 Sq. ft.</p> <p>ALLOWABLE AREA: 29,000. X 2 =58,000. SQ. FT. ALLOWABLE HEIGHT: 3 STORES</p> <p>PARKING: OFFICE AREA: 2,446 / 350 = 7 DISPLAY AREA: 3,107 / 1000 = 3 LUBE BAY AREA: 4 BAY X 3 =12 STORAGE AREA: 521 / 350 = 1 (N) OFFICE AREA: 2,878 / 350 = 8 TOTAL REQUIRED PARKING SPACES =31 PROVIDED PARKING SPACES =31</p>	<p>ARCHITECTURE</p> <p>A0.0 COVER SHEET A1.0 NEW AND EXISTING SITE PLAN A2.0 NEW AND EXISTING PLAN A3.0 NEW AND EXISTING ROOF PLAN A4.0 NEW AND EXISTING ELEVATIONS A5.0 NEW OFFICE PLAN AND ELEVATIONS</p> <p>C.1 GRADING PLAN C.2 GRADING PLAN C.3 GRADING PLAN C.4 GRADING PLAN</p> <p>L.1 LANDSCAPE PLAN L.2 LANDSCAPE DETAILS L.3 LANDSCAPE PLAN L.4 LANDSCAPE DETAILS L.5 LANDSCAPE DETAILS</p>
VICINITY				
CONSULTANTS				

BETON CONSTRUCTION  
architecture  
engineering  
planning  
interior design  
6399 WILSHIRE BOULEVARD, SUITE 108 LOS ANGELES, CALIFORNIA 90048 (310) 655-4228

date: MARCH 2018  
scale: -  
drawn: R.S.  
job:  
sheet:





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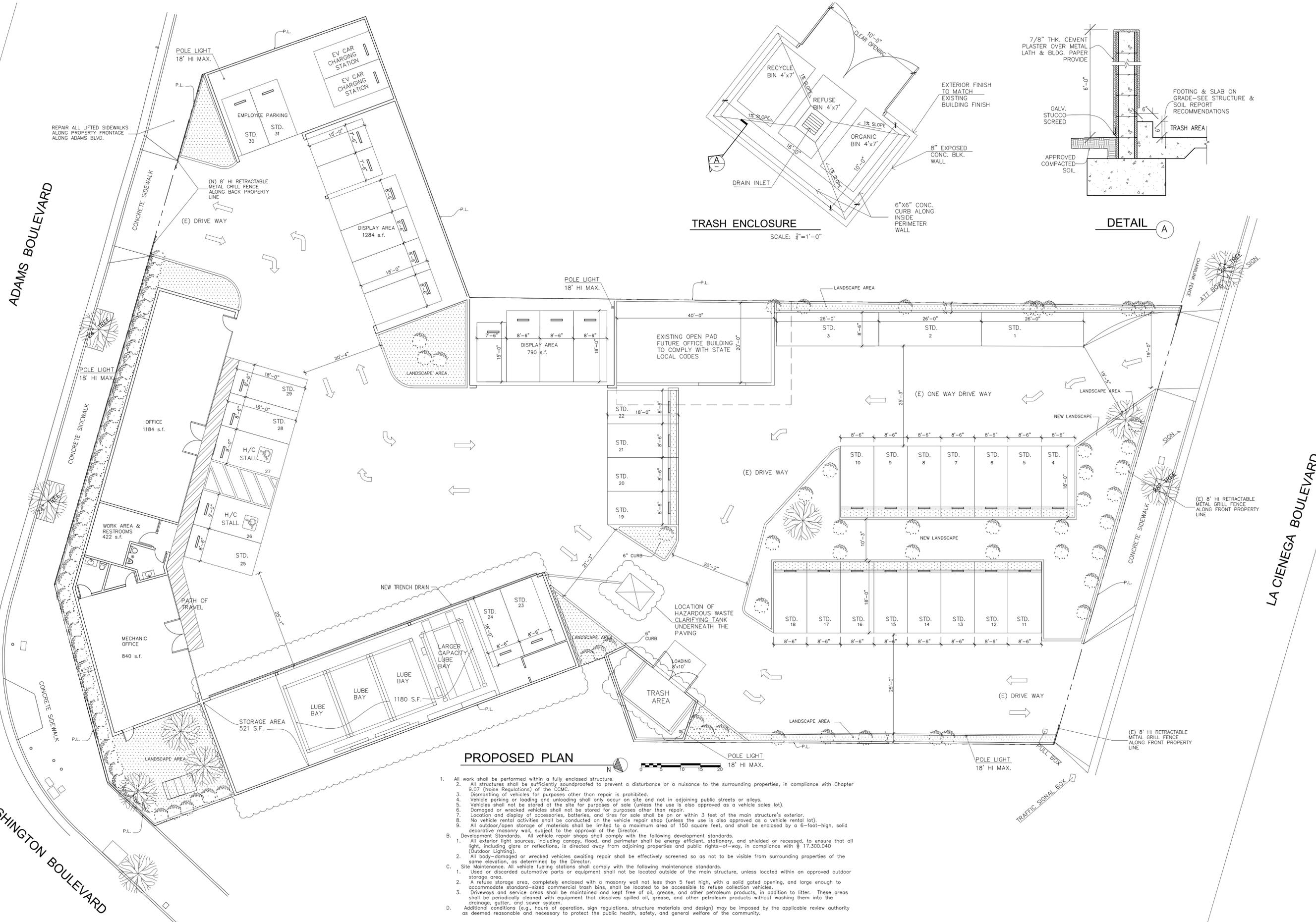
AUTO MECHANIC SHOP  
 2926 LA CIENEGA BLVD., CULVER CITY, CA.  
 (E) SITE PLAN

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date: MARCH 2018  
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 job:  
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A 0.1





**PROPOSED PLAN**

1. All work shall be performed within a fully enclosed structure.
2. All structures shall be sufficiently soundproofed to prevent a disturbance or a nuisance to the surrounding properties, in compliance with Chapter 9.07 (Noise Regulations) of the CCMC.
3. Dismantling of vehicles for purposes other than repair is prohibited.
4. Vehicle parking or loading and unloading shall only occur on site and not in adjoining public streets or alleys.
5. Vehicles shall not be stored at the site for purposes of sale (unless the use is also approved as a vehicle sales lot).
6. Damaged or wrecked vehicles shall not be stored for purposes other than repair.
7. Location and display of accessories, batteries, and tires for sale shall be on or within 3 feet of the main structure's exterior.
8. No vehicle rental activities shall be conducted on the vehicle repair shop (unless the use is also approved as a vehicle rental lot).
9. All outdoor/open storage of materials shall be limited to a maximum area of 150 square feet, and shall be enclosed by a 6-foot-high, solid decorative masonry wall, subject to the approval of the Director.
- B. Development Standards. All vehicle repair shops shall comply with the following development standards.
  1. All exterior light sources, including canopy, flood, and perimeter shall be energy efficient, stationary, and shielded or recessed, to ensure that all light, including glare or reflections, is directed away from adjoining properties and public rights-of-way, in compliance with § 17.300.040 (Outdoor Lighting).
  2. All body-damaged or wrecked vehicles awaiting repair shall be effectively screened so as not to be visible from surrounding properties of the same elevation, as determined by the Director.
- C. Site Maintenance. All vehicle fueling stations shall comply with the following maintenance standards.
  1. Used or discarded automotive parts or equipment shall not be located outside of the main structure, unless located within an approved outdoor storage area.
  2. A refuse storage area, completely enclosed with a masonry wall not less than 5 feet high, with a solid gated opening, and large enough to accommodate standard-sized commercial trash bins, shall be located to be accessible to refuse collection vehicles.
  3. Driveways and service areas shall be maintained and kept free of oil, grease, and other petroleum products, in addition to litter. These areas shall be periodically cleaned with equipment that dissolves spilled oil, grease, and other petroleum products without washing them into the drainage, gutter, and sewer system.
- D. Additional conditions (e.g., hours of operation, sign regulations, structure materials and design) may be imposed by the applicable review authority as deemed reasonable and necessary to protect the public health, safety, and general welfare of the community.

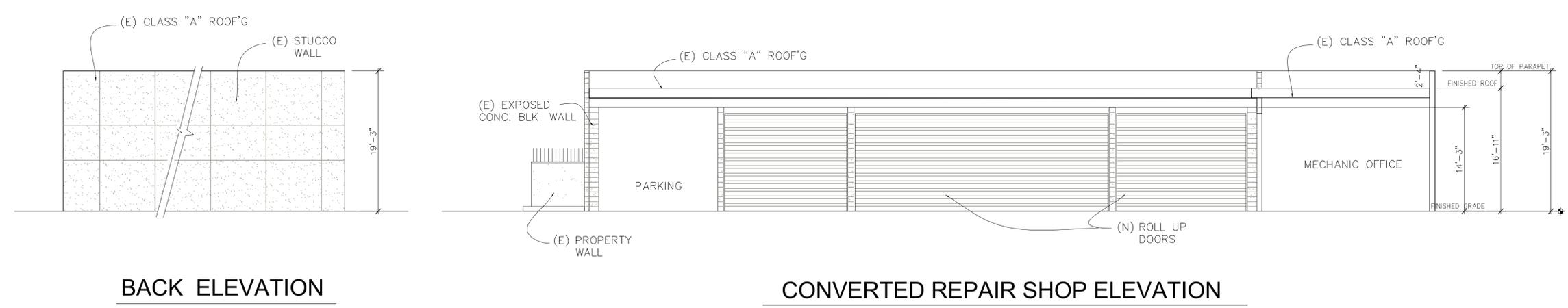
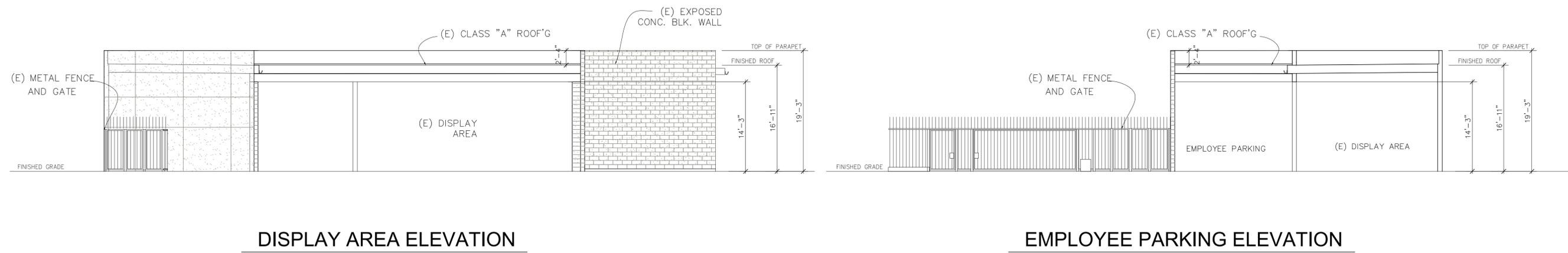
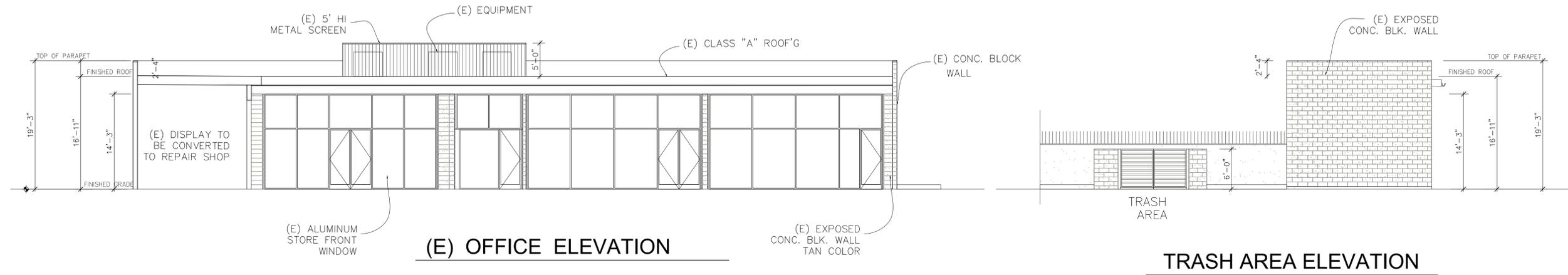
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**AUTO MECHANIC SHOP**  
 2926 LA CIENEGA BLVD., CULVER CITY, CA.  
**PROPOSED PLAN**

**BETON CONSTRUCTION**  
 architecture  
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date: MARCH 2018  
 scale: 3/32" = 1'  
 drawn: R.S.  
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 sheet:  
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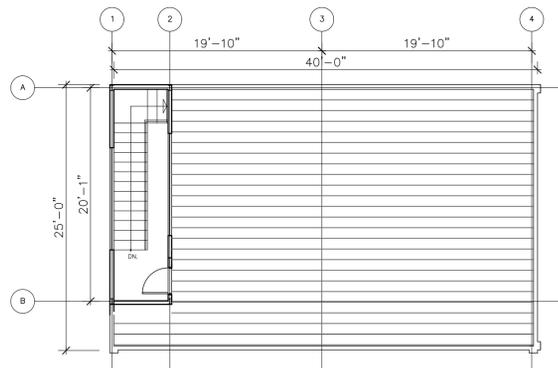
AUTO MECHANIC SHOP  
2926 LA CIENEGA BLVD., CULVER CITY, CA.  
ELEVATIONS

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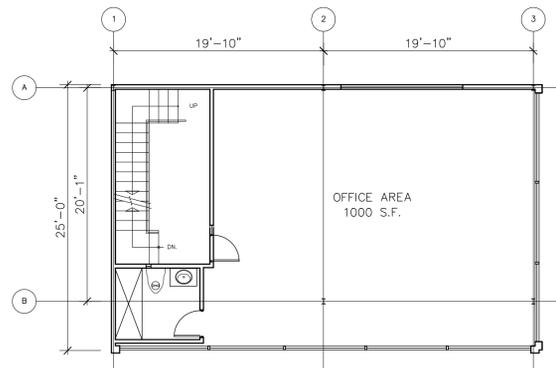
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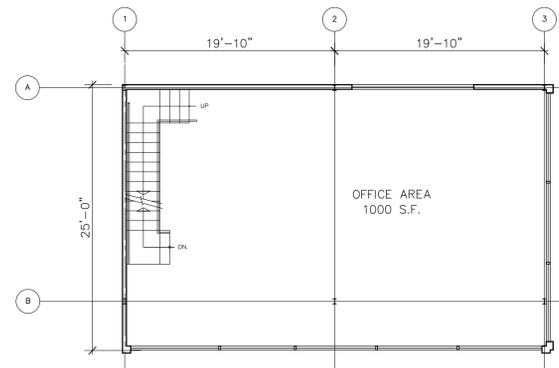
AUTO MECHANIC SHOP  
 2926 LA CIENEGA BLVD., CULVER CITY, CA.  
 (N) OFFICE PLANS & ELEVATIONS



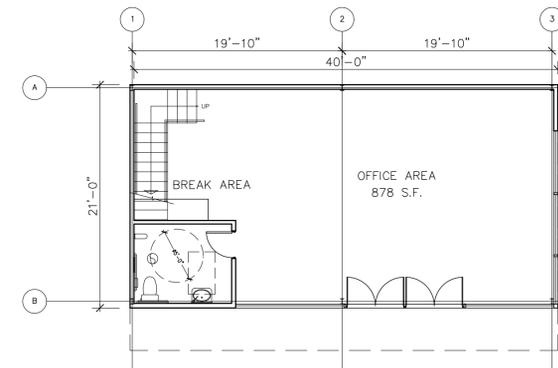
ROOF PLAN



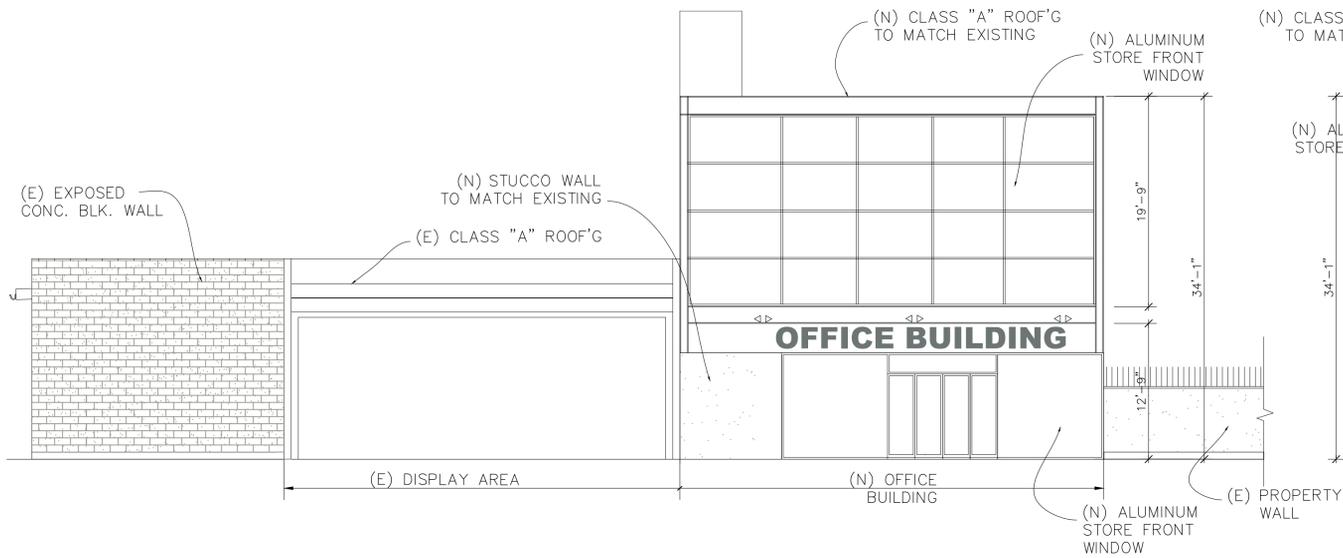
THIRD FLOOR PLAN



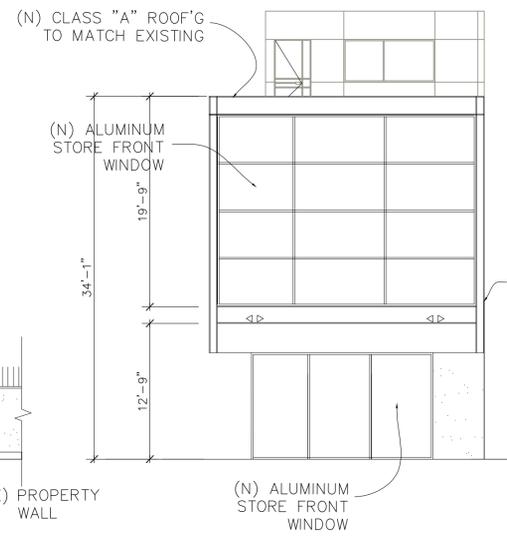
SECOND FLOOR PLAN



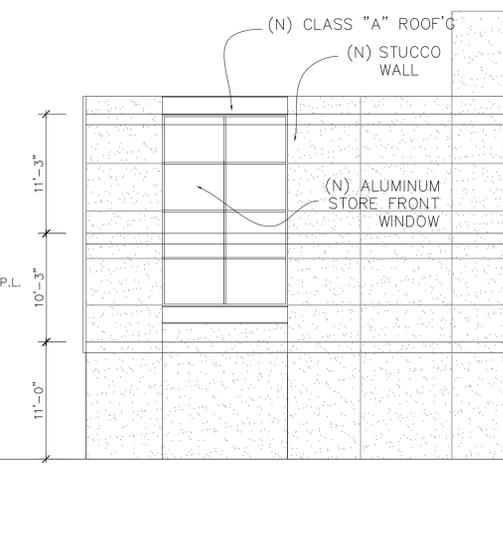
FIRST FLOOR PLAN



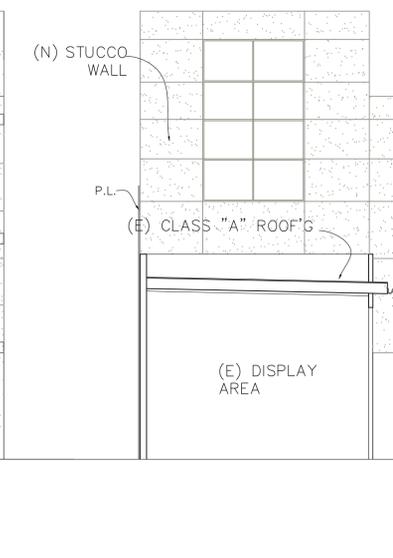
(N) OFFICE BUILDING FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

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 interior design

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 job:  
 sheet:

A 5.0

REVISION	BY

OWNER  
CALIFORNIA RENT-A-CAR  
2926 LA CIENEGA BLVD,  
CULVER CITY, CA 90232

PROJECT  
2926 LA CIENEGA BLVD,  
CULVER CITY, CA 90232

DRAWING TITLE  
LANDSCAPE PLANTING PLAN

DATE: JUNE 17 2017  
SCALE: 3/32"=1'-0"  
DRAWN: SA  
APPROVED:  
JOB : 17-019  
SHEET:  
**L-1**  
OF 5 SHEETS

**TREE LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	RRG. REQ.	MULCHS PF.	SIZE AT MATURITY	YEARS	REMARKS
(L)	Lagerstroemia indica x fauriei 'Tuscarora'	Tuscarora Crape Myrtle	5	24"BOX	2	M	15'x 15'	15yrs.	
(P)	Pedacarpus gracilior	Fern Pedacarpus	4	36"BOX	2	L	35'x 20'	12yrs.	

**SHRUBS AND GROUND COVER LEGEND**

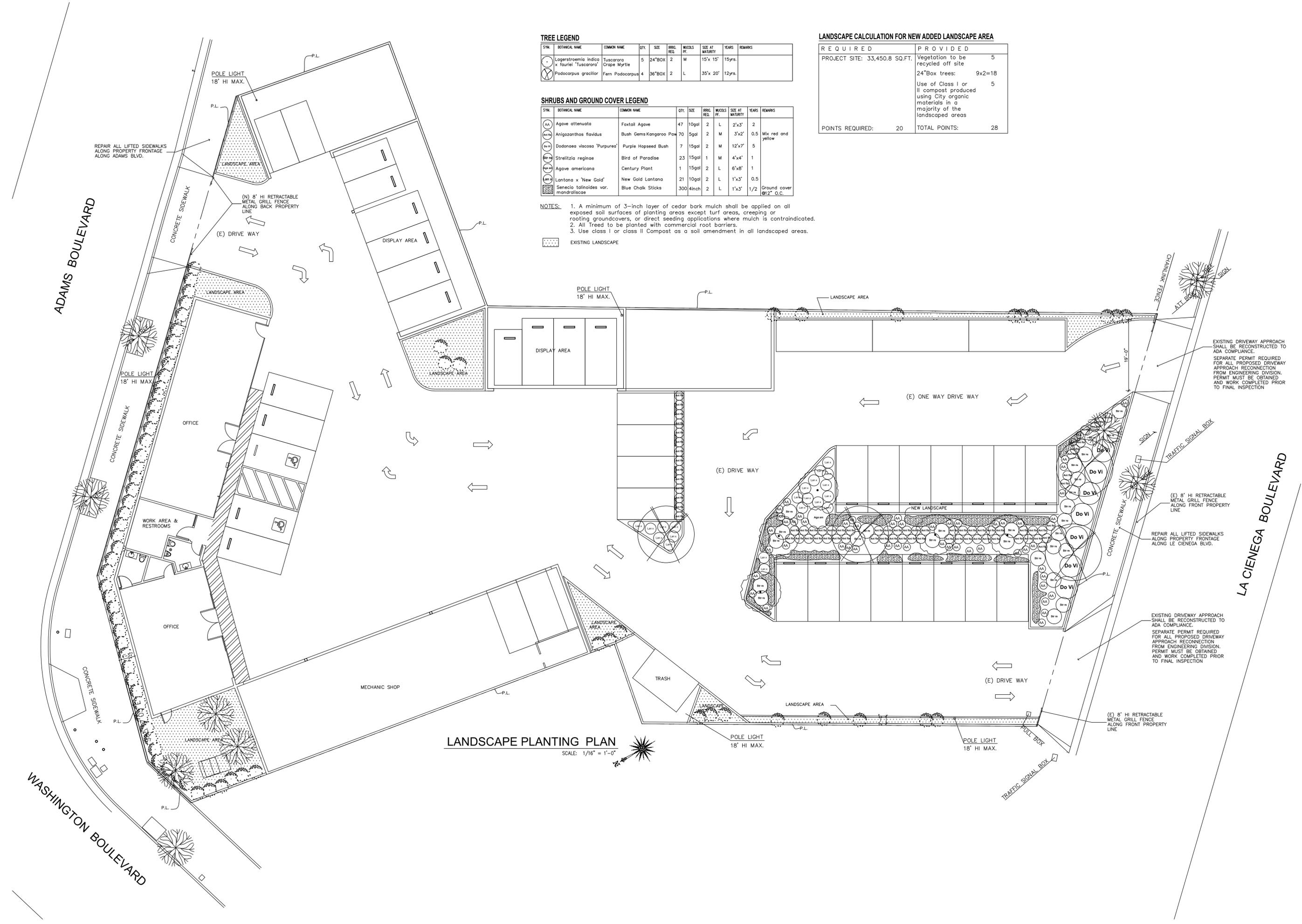
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	RRG. REQ.	MULCHS PF.	SIZE AT MATURITY	YEARS	REMARKS
(AA)	Agave attenuata	Foxtail Agave	47	10gal	2	L	2'x3'	2	
(AN)	Anigazanthos flavidus	Bush Gems Kangaroo Paw	70	5gal	2	M	3'x2'	0.5	Mix red and yellow
(DV)	Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	7	15gal	2	M	12'x7'	5	
(BR)	Strelitzia reginae	Bird of Paradise	23	15gal	1	M	4'x4'	1	
(AG)	Agave americana	Century Plant	1	15gal	2	L	6'x8'	1	
(LA)	Lantana x 'New Gold'	New Gold Lantana	21	10gal	2	L	1'x3'	0.5	
(SC)	Senecio talinoides var. mandraliscae	Blue Chalk Sticks	300	4inch	2	L	1'x3'	1/2	Ground cover @12" O.C.

- NOTES:**
1. A minimum of 3-inch layer of cedar bark mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
  2. All Trees to be planted with commercial root barriers.
  3. Use class I or class II Compost as a soil amendment in all landscaped areas.

EXISTING LANDSCAPE

**LANDSCAPE CALCULATION FOR NEW ADDED LANDSCAPE AREA**

REQUIRED	PROVIDED
PROJECT SITE: 33,450.8 SQ.FT.	Vegetation to be recycled off site
	24"Box trees: 9x2=18
	Use of Class I or II compost produced using City organic materials in a majority of the landscaped areas
POINTS REQUIRED: 20	TOTAL POINTS: 28

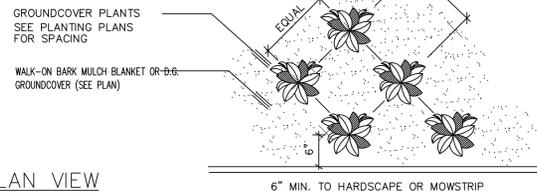
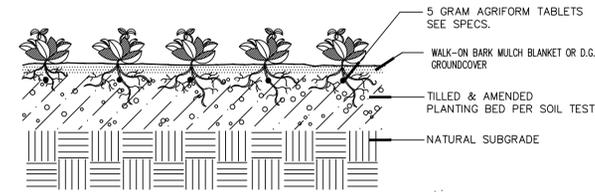


**LANDSCAPE PLANTING PLAN**

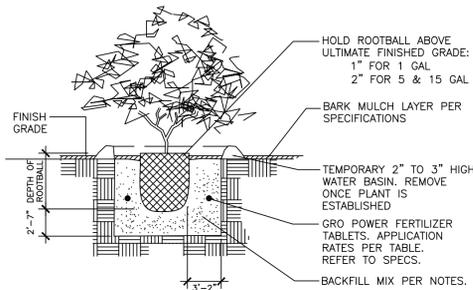
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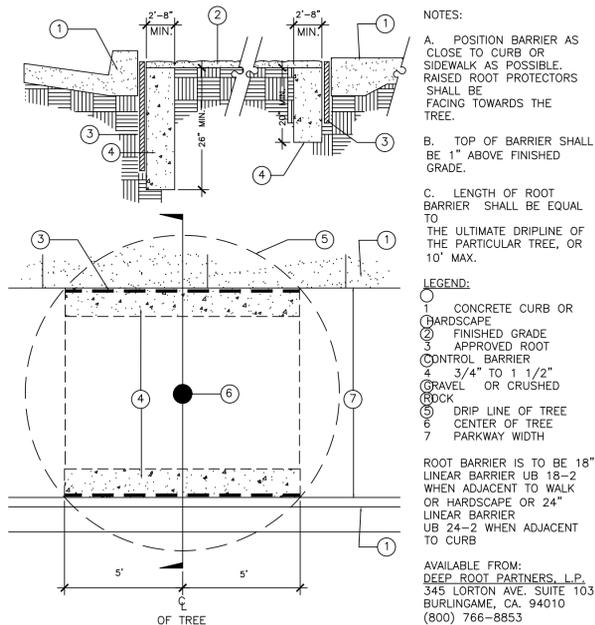
SECTION



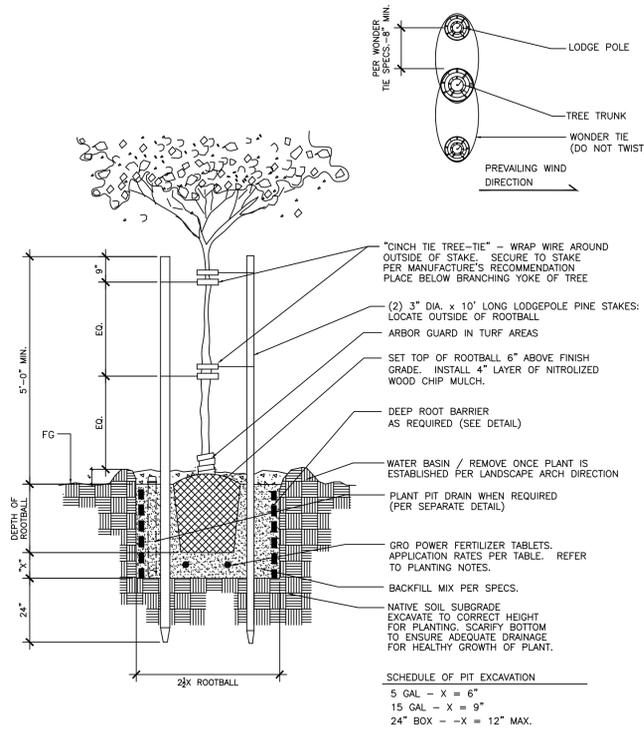
1 GROUND COVER PLANTING



2 SHRUB PLANTING DETAIL



3 ROOT BARRIER



4 DOUBLE STAKED TREE

PLANTING INSTALLATION NOTE

ADJUSTMENTS TO PLANT LAYOUT MAY BE REQUIRED IN THE FIELD DURING INSTALLATION BY THE LANDSCAPE ARCHITECT OR CITY REPRESENTATIVE TO ADDRESS SITE SPECIFIC SOLAR ORIENTATIONS OR MICROCLIMATIC CONDITIONS NOT REFLECTED IN THESE TYPICAL PLANS.

PLANTING NOTES

**WEED CONTROL**  
 WHERE PERENNIAL WEEDS EXIST ON SITE AT THE BEGINNING OF WORK, CLEAN AND REMOVE THESE EXISTING WEEDS BY MOWING OR GRUBBING OFF ALL PLANT MATERIAL. UPON COMPLETION OF SOIL PREPARATION AND PLANTING OF ALL SPECIMEN TREES, BEGIN WEED ABATEMENT PROGRAM BY APPLYING 100 POUNDS OF A COMMERCIAL FERTILIZER, 46-0-0, PER ACRE AND PER MANUFACTURER'S SPECIFICATIONS. WATER ALL AREAS FOUR (4) TIMES DAILY FOR FOURTEEN (14) CONSECUTIVE DAYS UNTIL WEED SEEDS HAVE GERMINATED. CEASE WATERING FOR THREE (3) DAYS. SPRAY A NON-SELECTIVE, NON-RESIDUAL, SYSTEMIC HERBICIDE TO ERADICATE GERMINATED WEEDS. LET THE WEEDS DIE WITHOUT IRRIGATION FOR A MINIMUM DEPTH OF 1/4" INCH BELOW THE SURFACE OF THE SOIL. IF STUBBORN AND RESIDUAL WEEDS (I.E. BERMUDA) SHOULD PERSIST ERADICATION PROCEDURE SHOULD BE REPEATED. THE TYPE OF WEEDS THAT EXIST SHOULD BE IDENTIFIED AND COORDINATED WITH AN APPROVED LICENSED PEST CONTROL ADVISOR TO ENSURE COMPATIBILITY WITH CHEMICAL AND SEASON OF APPLICATION. DO NOT USE MATERIAL OR METHOD THAT WOULD ADVERSELY AFFECT NEW PLANTINGS, SLOPE STABILIZATION OR HYDROSEEDING.

**SOIL TEST**  
 AFTER ALL SOIL HAS BEEN IMPORTED TO THE SITE AND ROUGH GRADING COMPLETED BUT PRIOR TO SOIL PREPARATION, THE CONTRACTOR SHALL FURNISH A COPY OF THE SOIL TEST FOR AGRICULTURAL SUITABILITY AND FERTILITY (PREPARED BY A CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES MEMBER) TO THE CONTRACTING OFFICER. UPON REVIEWING THE SOILS REPORT THE CONTRACTING OFFICER MAY MAKE SPECIES SUBSTITUTIONS TO THE PLANT LIST.

**SOIL PREPARATION**  
 MACHINE ROTOTILL THE FOLLOWING AMENDMENTS INTO THE SOIL AT RATES INDICATED PER 1000 SF: (THESE RATES ARE FOR BID PURPOSES ONLY. ACTUAL RATES TO CORRESPOND TO CONTRACTOR'S SOILS REPORT).  
 4 CU. YDS. NITROGEN STABILIZED SAWDUST  
 150 LBS. GYPSUM  
 125 LBS. STANDARD FERTILIZER

**DEEP ROOT BARRIERS**  
 ALL TREES WITHIN 6 FEET OF ANY PERMANENT HARDSCAPE ELEMENT SUCH AS CONCRETE WALKS, WALLS OR BUILDINGS SHALL BE PLANTED WITH AN APPROPRIATE SIZED LINEAR ROOT BARRIER (SEE DETAIL ON THIS SHEET).

**SHRUB PLACEMENT NOTES:**  
 \*HOLD ALL SHRUBS A MIN. OF 30" AWAY FROM FACE OF STUCCO WALLS AS MEASURED FROM THE CENTER OF THE ROOTBALL TO FACE-OF-WALL.  
 \*HOLD ALL GROUND COVER 18" AWAY FROM FACE-OF-WALL

NOTE: BLOCK WALLS ARE EXCLUDED FOR THE ABOVE CRITERIA

REVISION	BY

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PROJECT  
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 CULVER CITY, CA 90232

DRAWING TITLE  
 LANDSCAPE PLANTING  
 DETAILS AND NOTES

DATE:	JUNE 17 2017
SCALE:	N.T.S.
DRAWN:	SA
APPROVED:	
JOB :	17-019
SHEET:	L-2
OF	5 SHEETS

REVISION	BY

OWNER  
CALIFORNIA RENT-A-CAR  
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CULVER CITY, CA 90232

PROJECT  
2926 LA CIENEGA BLVD,  
CULVER CITY, CA 90232

DRAWING TITLE  
LANDSCAPE PLANTING PLAN

DATE: JUNE 17 2017  
SCALE: 3/32"=1'-0"  
DRAWN: SA  
APPROVED:  
JOB #: 17-019  
SHEET:  
**L-3**  
OF 5 SHEETS

**IRRIGATION LEGEND**

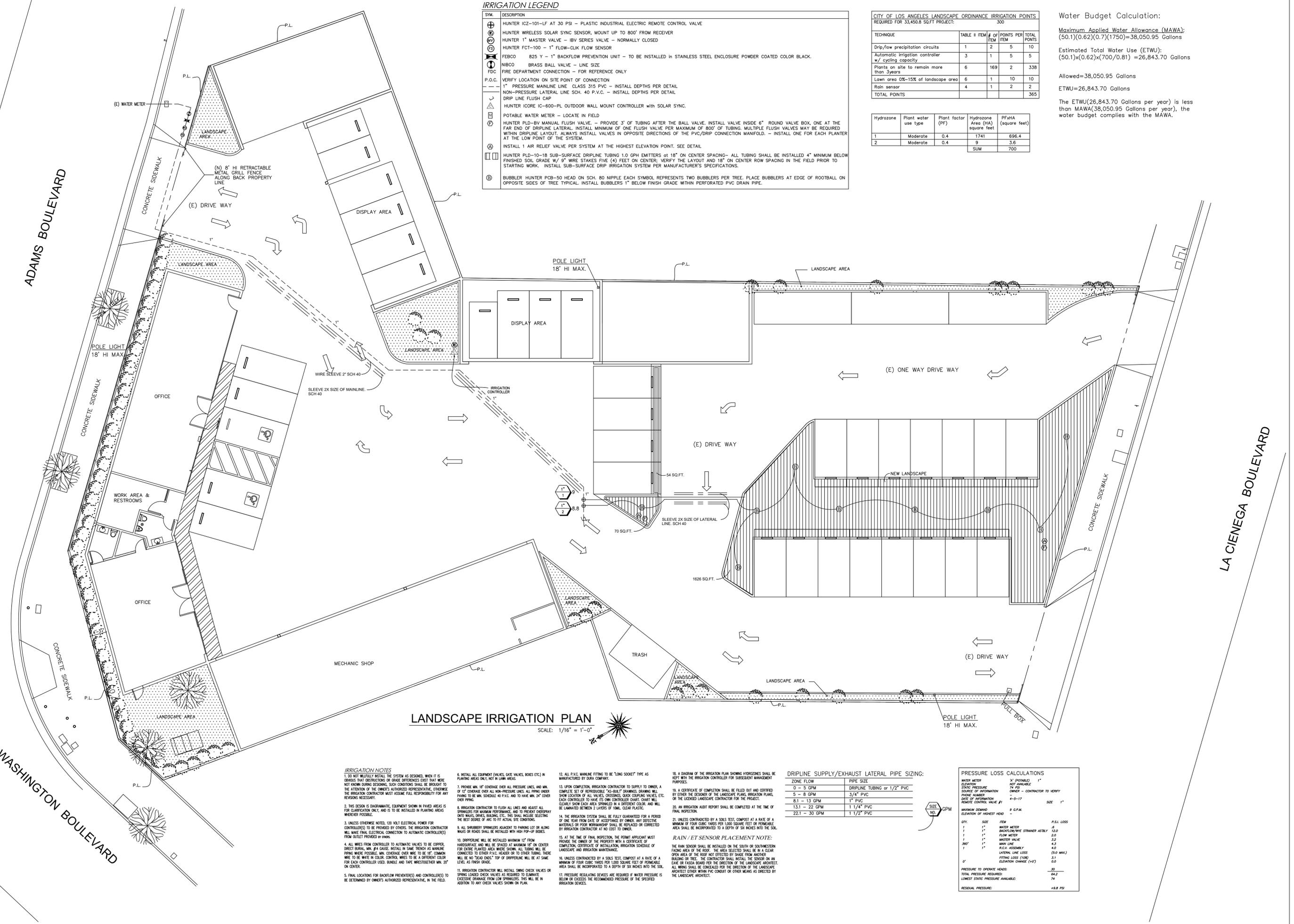
SYM.	DESCRIPTION
⊕	HUNTER ICZ-101-LF AT 30 PSI - PLASTIC INDUSTRIAL ELECTRIC REMOTE CONTROL VALVE
⊖	HUNTER WIRELESS SOLAR SYNC SENSOR, MOUNT UP TO 800' FROM RECEIVER
⊕	HUNTER 1" MASTER VALVE - IBV SERIES VALVE - NORMALLY CLOSED
⊖	HUNTER FCT-100 - 1" FLOW-CLK FLOW SENSOR
⊕	FEBCO 825 Y - 1" BACKFLOW PREVENTION UNIT - TO BE INSTALLED IN STAINLESS STEEL ENCLOSURE POWDER COATED COLOR BLACK.
⊖	NIBCO BRASS BALL VALVE - LINE SIZE
⊕	FDC FIRE DEPARTMENT CONNECTION - FOR REFERENCE ONLY
P.O.C.	VERIFY LOCATION ON SITE POINT OF CONNECTION
—	1" PRESSURE MAINLINE LINE CLASS 315 PVC - INSTALL DEPTHS PER DETAIL
---	NON-PRESSURE LATERAL LINE SCH. 40 P.V.C. - INSTALL DEPTHS PER DETAIL
⊕	DRIP LINE FLUSH CAP
⊖	HUNTER ICORE IC-600-PL OUTDOOR WALL MOUNT CONTROLLER WITH SOLAR SYNC.
⊕	POTABLE WATER METER - LOCATE IN FIELD
⊖	HUNTER PLD-BV MANUAL FLUSH VALVE. - PROVIDE 3' OF TUBING AFTER THE BALL VALVE. INSTALL VALVE INSIDE 6" ROUND VALVE BOX, ONE AT THE FAR END OF DRIFLINE LATERAL. INSTALL MINIMUM OF ONE FLUSH VALVE PER MAXIMUM OF 800' OF TUBING. MULTIPLE FLUSH VALVES MAY BE REQUIRED WITHIN DRIFLINE LAYOUT. ALWAYS INSTALL VALVES IN OPPOSITE DIRECTIONS OF THE PVC/DRIP CONNECTION MANIFOLD. - INSTALL ONE FOR EACH PLANTER AT THE LOW POINT OF THE SYSTEM.
⊕	INSTALL 1 AIR RELIEF VALVE PER SYSTEM AT THE HIGHEST ELEVATION POINT. SEE DETAIL
⊖	HUNTER PLD-10-18 SUB-SURFACE DRIFLINE TUBING 1.0 GPH EMITTERS AT 18" ON CENTER SPACING- ALL TUBING SHALL BE INSTALLED 4" MINIMUM BELOW FINISHED SOIL GRADE W/ 9" WIRE STAKES FIVE (4) FEET ON CENTER; VERIFY THE LAYOUT AND 18" ON CENTER ROW SPACING IN THE FIELD PRIOR TO STARTING WORK. INSTALL SUB-SURFACE DRIP IRRIGATION SYSTEM PER MANUFACTURER'S SPECIFICATIONS.
⊕	BUBBLER HUNTER PCB-50 HEAD ON SCH. 80 NIPPLE EACH SYMBOL REPRESENTS TWO BUBBLERS PER TREE. PLACE BUBBLERS AT EDGE OF ROOTBALL ON OPPOSITE SIDES OF TREE TYPICAL. INSTALL BUBBLERS 1" BELOW FINISH GRADE WITHIN PERFORATED PVC DRAIN PIPE.

CITY OF LOS ANGELES LANDSCAPE ORDINANCE IRRIGATION POINTS  
REQUIRED FOR 33,450.8 SQ.FT PROJECT: 300

TECHNIQUE	TABLE II ITEM #	# OF ITEM	POINTS PER ITEM	TOTAL POINTS
Drip/low precipitation circuits	1	2	5	10
Automatic irrigation controller w/ cycling capacity	3	1	5	5
Plants on site to remain more than 3 years	6	169	2	338
Lawn area 0%-15% of landscape area	6	1	10	10
Rain sensor	4	1	2	2
<b>TOTAL POINTS</b>				<b>365</b>

Hydrozone	Plant water use type	Plant factor (PF)	Hydrozone Area (HA) square feet	PFxHA (square feet)
1	Moderate	0.4	1741	696.4
2	Moderate	0.4	9	3.6
			<b>SUM</b>	<b>700</b>

Water Budget Calculation:  
Maximum Applied Water Allowance (MAWA):  
(50.1)(0.62)(0.7)(1750)=38,050.95 Gallons  
Estimated Total Water Use (ETWU):  
(50.1)(0.62)(700/0.81) =26,843.70 Gallons  
Allowed=38,050.95 Gallons  
ETWU=26,843.70 Gallons  
The ETWU(26,843.70 Gallons per year) is less than MAWA(38,050.95 Gallons per year), the water budget complies with the MAWA.



**LANDSCAPE IRRIGATION PLAN**  
SCALE: 1/16" = 1'-0"

**IRRIGATION NOTES**

- DO NOT WILLFULLY INSTALL THE SYSTEM AS DESIGNED, WHEN IT IS OBSERVED THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING DESIGNING, SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. OTHERWISE, THE IRRIGATION CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THIS DESIGN IS DIAGRAMMATIC. EQUIPMENT SHOWN IN PAVED AREAS IS FOR CLARIFICATION ONLY, AND IS TO BE INSTALLED IN PLANTING AREAS WHENEVER POSSIBLE.
- UNLESS OTHERWISE NOTED, 120 VOLT ELECTRICAL POWER FOR CONTROLLERS) TO BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR WILL MAKE FINAL ELECTRICAL CONNECTION TO AUTOMATIC CONTROLLERS) FROM OUTLET PROVIDED BY OTHERS.
- ALL WIRES FROM CONTROLLER TO AUTOMATIC VALVES TO BE COPPER. DIRECT BURIAL, MIN. #14 GAUGE. INSTALL IN SAME TROUGH AS MAINLINE PIPING WHERE POSSIBLE. MIN. COVERAGE OVER WIRE TO BE 18" COMMON WIRE TO BE WHITE IN COLOR. CONTROL WIRES TO BE A DIFFERENT COLOR FOR EACH CONTROLLER USED. BUNDLE AND TAPE MISCELLANEOUS MIN. 2" ON CENTER.
- FINAL LOCATIONS FOR BACKFLOW PREVENTERS) AND CONTROLLERS) TO BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE, IN THE FIELD.

- INSTALL ALL EQUIPMENT (VALVES, GATE VALVES, BOXES ETC) IN PLANTING AREAS ONLY, NOT IN LAWN AREAS.
- PROVIDE MIN. 18" COVERAGE OVER ALL PRESSURE LINES, AND MIN. OF 12" COVERAGE OVER ALL NON-PRESSURE LINES. ALL PIPING UNDER PAVING TO BE MIN. SCHEDULE 40 P.V.C. AND TO HAVE MIN. 2" COVER OVER PIPING.
- IRRIGATION CONTRACTOR TO FLUSH ALL LINES AND ADJUST ALL SPRINGHEADS FOR MAXIMUM PERFORMANCE, AND TO PREVENT OVERSPRAY ONTO WALLS, DRIVES, BUILDING, ETC. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT ACTUAL SITE CONDITIONS.
- ALL SPRINGHEAD SPRINGHEADS ADJUSTMENT TO PARKING LOT ON ALONG WALLS OR FENCES SHALL BE INSTALLED WITH HIGH COP-UP ROSES.
- DRIFTLINES WILL BE INSTALLED MAXIMUM 12" FROM HARDWARE AND WILL BE SPACED AT MAXIMUM 18" ON CENTER FOR ENTIRE PLANTED AREA UNLESS SHOWN. ALL TUBING WILL BE CONNECTED TO OTHER P.V.C. HEADER OR TO OTHER BEING. THERE WILL BE NO "DEAD ENDS" TOP OF DRIFTLINE WILL BE AT SAME LEVEL AS FINISH GRADE.
- IRRIGATION CONTRACTOR WILL INSTALL SPRING CHECK VALVES OR SPRING LOADED CHECK VALVES AS REQUIRED TO ELIMINATE EXCESSIVE DRAINAGE FROM LOW SPRINGHEADS. THIS WILL BE IN ADDITION TO ANY CHECK VALVES SHOWN ON PLAN.
- INSTALL ALL P.V.C. MAINLINE TUBING TO BE "LONG SOCKET" TYPE AS MANUFACTURED BY DURA COMPANY.
- UPON COMPLETION, IRRIGATION CONTRACTOR TO SUPPLY TO OWNER A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. DRAWING WILL SHOW LOCATION OF ALL VALVES, CROSSINGS, QUICK COUPLING VALVES, ETC. EACH CONTROLLER TO HAVE ITS OWN CONTROLLER CHART. CHART WILL CLEARLY SHOW EACH AREA SPRINGHEAD IN A DIFFERENT COLOR, AND WILL BE LAMINATED BETWEEN 2 LAYERS OF DUAL CLEAR PLASTIC.
- THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY IRRIGATION CONTRACTOR AT NO COST TO OWNER.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- UNLESS CONTRACTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF FERTILIZABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
- UNLESS CONTRACTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF FERTILIZABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

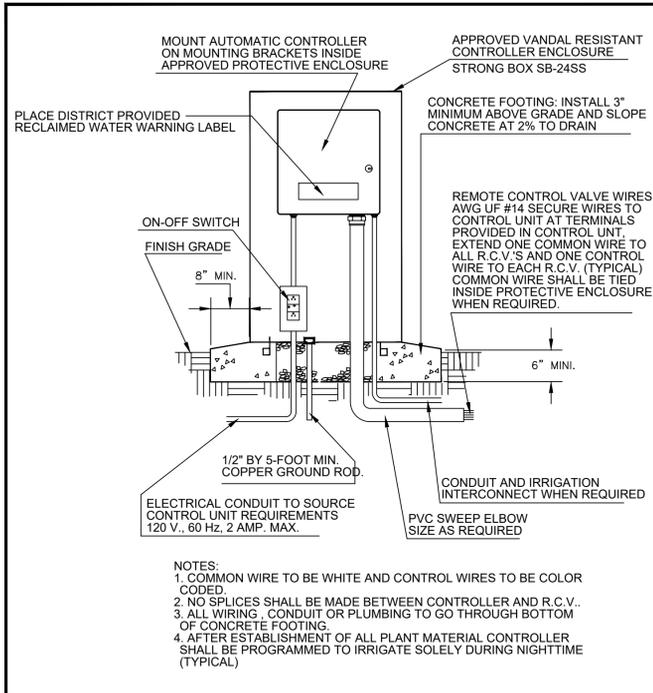
**DRIFTLINE SUPPLY/EXHAUST LATERAL PIPE SIZING:**

ZONE FLOW	PIPE SIZE
0 - 5 GPM	DRIFTLINE TUBING or 1/2" PVC
5 - 8 GPM	3/4" PVC
8.1 - 13 GPM	1" PVC
13.1 - 22 GPM	1 1/4" PVC
22.1 - 30 GPM	1 1/2" PVC

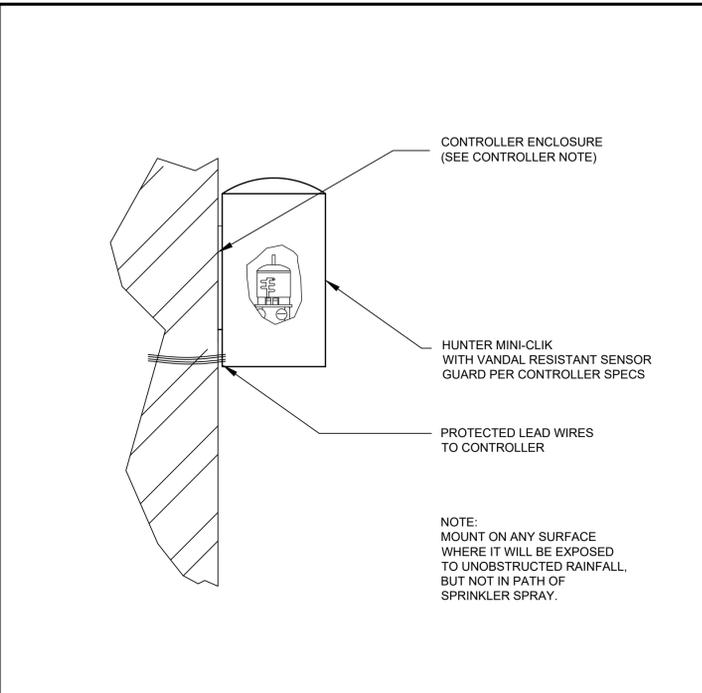
**RAIN / ET SENSOR PLACEMENT NOTE:**  
THE RAIN SENSOR SHALL BE INSTALLED ON THE SOUTH OR SOUTHWESTERN FACING AREA OF THE ROOF. THE AREA SELECTED SHALL BE IN A CLEAR OPEN AREA OF THE ROOF NOT SHADDED BY SHADE FROM ADJACENT BUILDING OR TREE. THE CONTRACTOR SHALL INSTALL THE SENSOR ON AN EAVE OR FASCIA BOARD FOR THE DIRECTION OF THE LANDSCAPE ARCHITECT. ALL WIRING SHALL BE CONCEALED PER THE DIRECTION OF THE LANDSCAPE ARCHITECT EITHER WITHIN PVC CONDUIT OR OTHER MEANS AS DIRECTED BY THE LANDSCAPE ARCHITECT.

**PRESSURE LOSS CALCULATIONS**

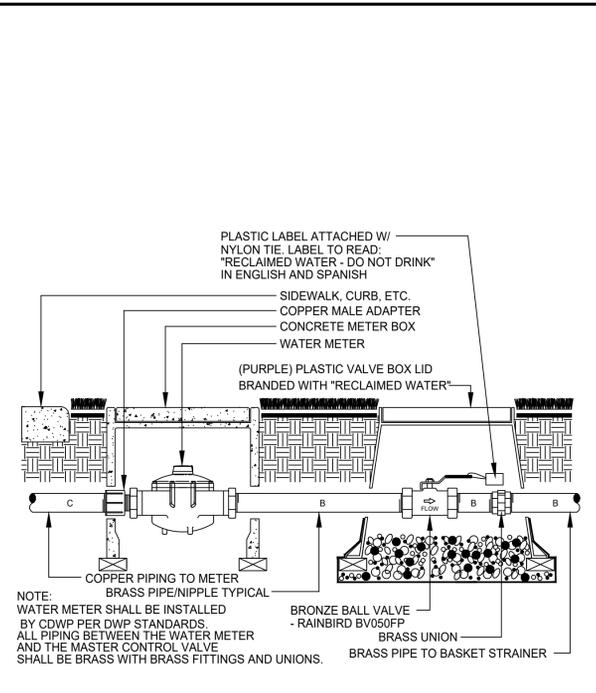
TYPE	SIZE	ITEM	PSI LOSS
1	1"	WATER METER	8
1	1"	BACKFLOW PREVENTER STRAINER ASSEMBLY	12.0
1	1"	FLOW METER	2.0
1	1"	MASTER VALVE	3.2
300'	1"	MAIN LINE	4.3
1	1"	P.V.C. ASSEMBLY	4.0
		LATERAL LINE LOSS (50.0 MAX.)	3.1
		FITTING LOSS (100' ELEVATION CHANGE (+/-))	0.0
<b>PRESSURE TO OPERATE HEADS:</b>			<b>30</b>
<b>TOTAL PRESSURE REQUIRED:</b>			<b>64.2</b>
<b>LOWEST STATED PRESSURE AVAILABLE:</b>			<b>74</b>
<b>RESIDUAL PRESSURE:</b>			<b>+9.8 PSI</b>



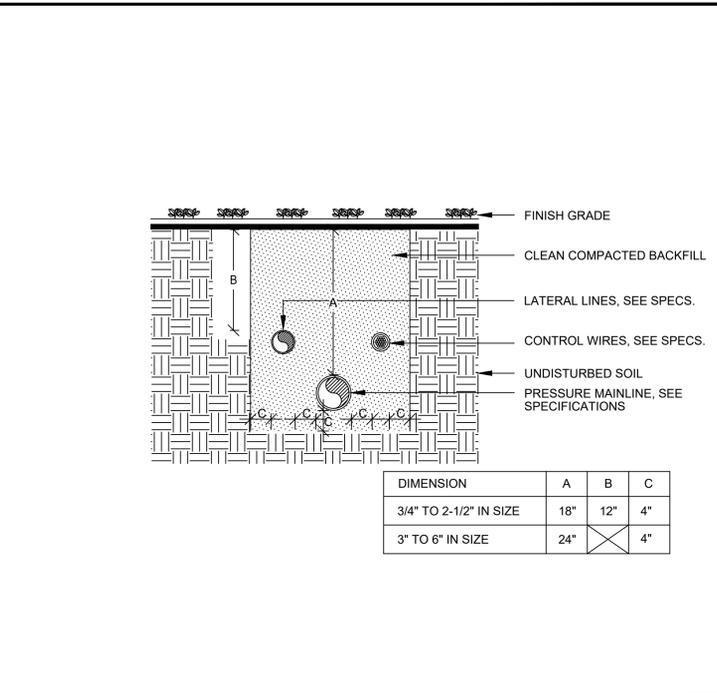
(D) CONTROLLER



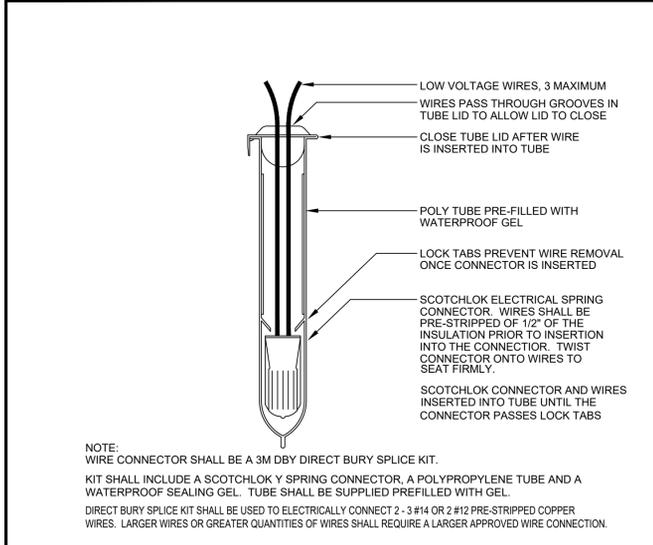
(C) WIRELESS RAIN/FREEZE SENSOR



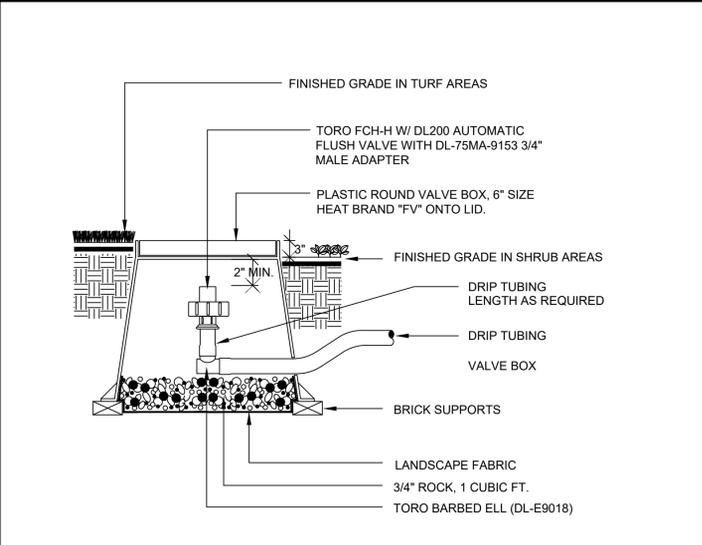
(B) TYPICAL POINT OF CONNECTION



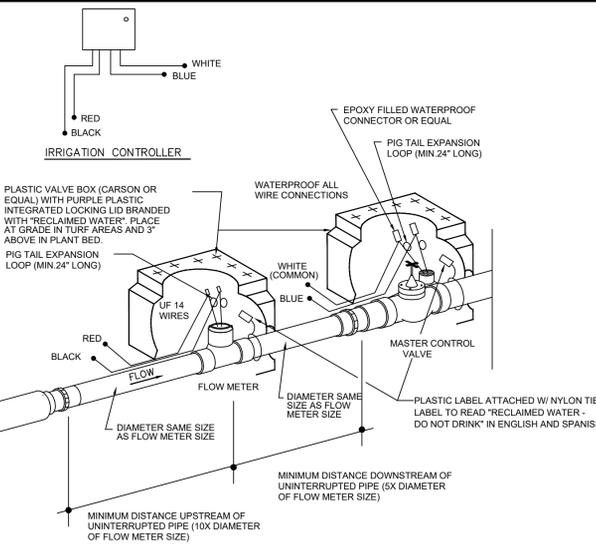
(A) PIPE INSTALLATION



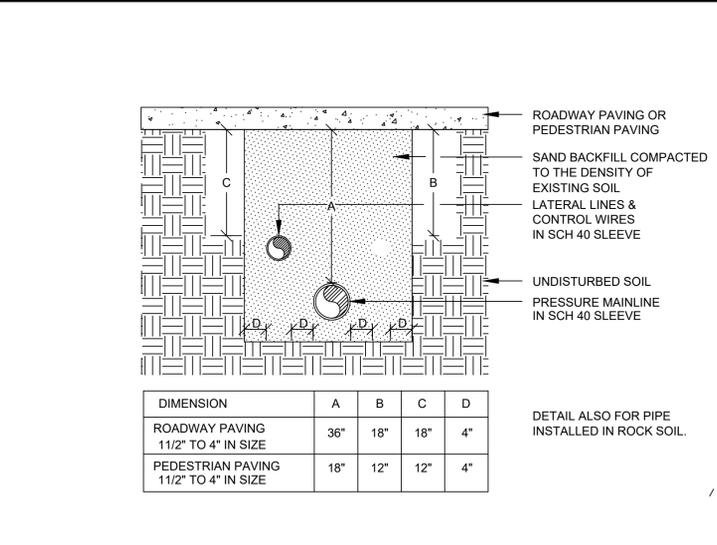
(H) WIRE CONNECTION



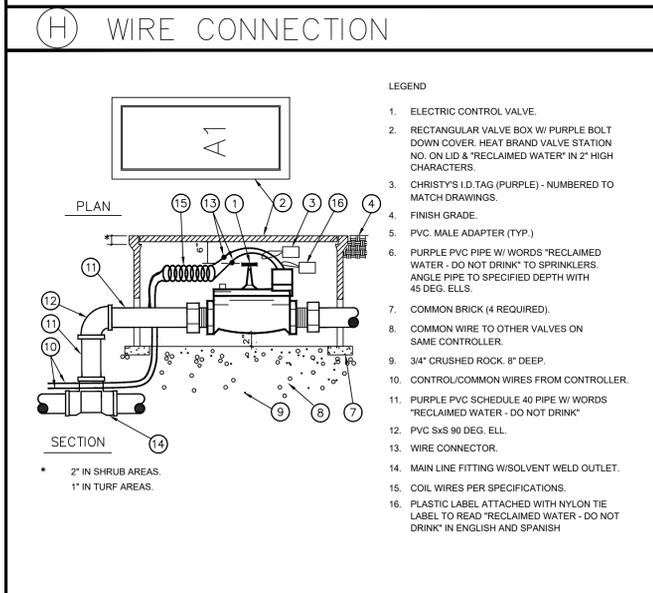
(G) FLUSH VALVE



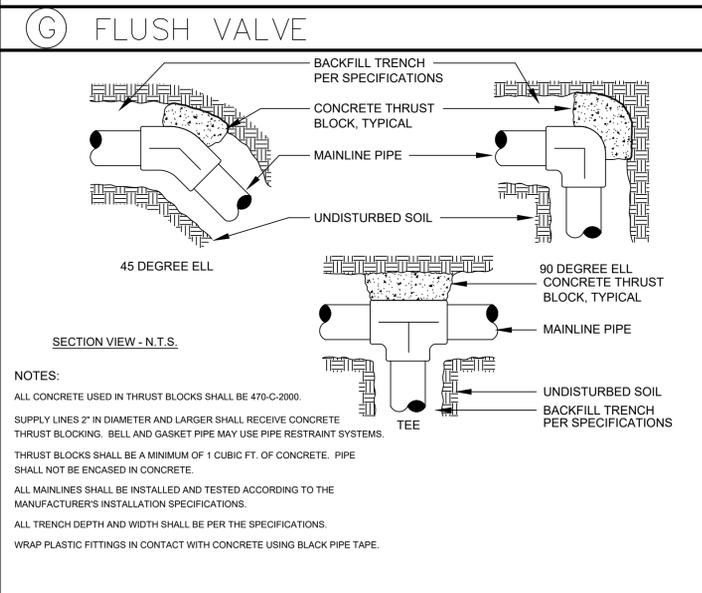
(F) FLOW METER



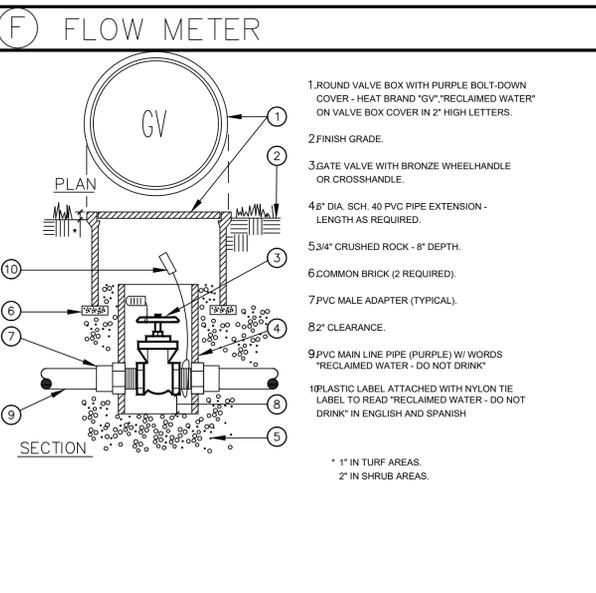
(E) SLEEVE INSTALLATION



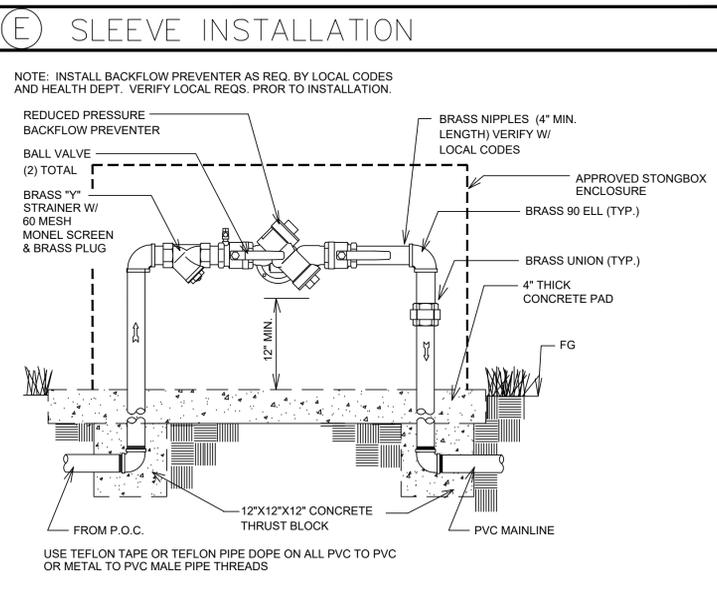
(L) REMOTE CONTROL VALVE



(K) THRUST BLOCKS



(J) GATE VALVE



(I) BACKFLOW PREVENTOR

REVISION	BY

OWNER  
CALIFORNIA RENT-A-CAR  
2926 LA CIENEGA BLVD,  
CULVER CITY, CA 90232

PROJECT  
2926 LA CIENEGA BLVD,  
CULVER CITY, CA 90232

DRAWING TITLE  
LANDSCAPE PLANTING PLAN

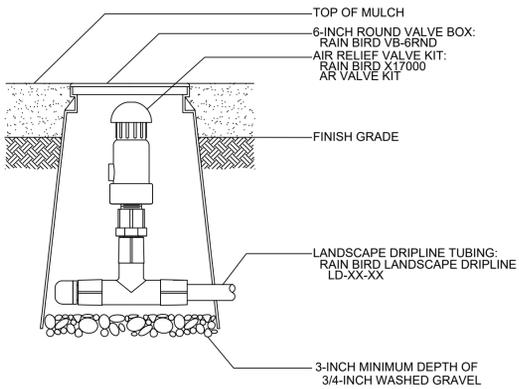
REVISION	BY

OWNER  
CALIFORNIA RENT-A-CAR  
2926 LA CIENEGA BLVD,  
CULVER CITY, CA 90232

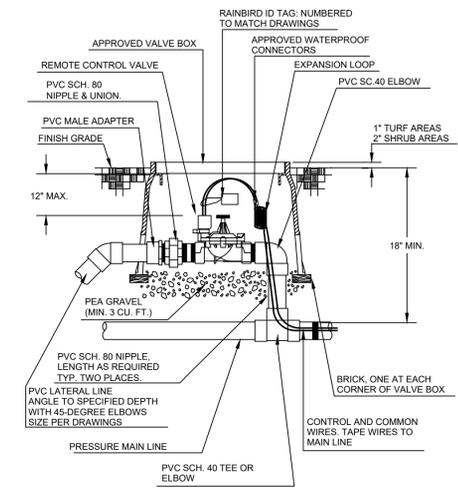
PROJECT  
2926 LA CIENEGA BLVD,  
CULVER CITY, CA 90232

DRAWING TITLE  
LANDSCAPE  
IRRIGATION DETAILS

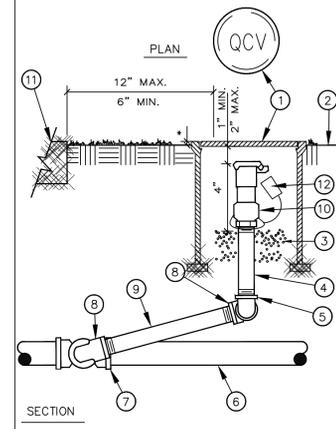
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DRAWN: SA  
APPROVED:  
JOB : 17-019  
SHEET:



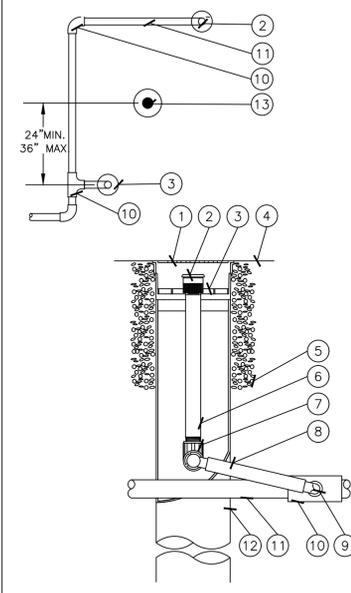
(D) AIR RELIEF VALVE



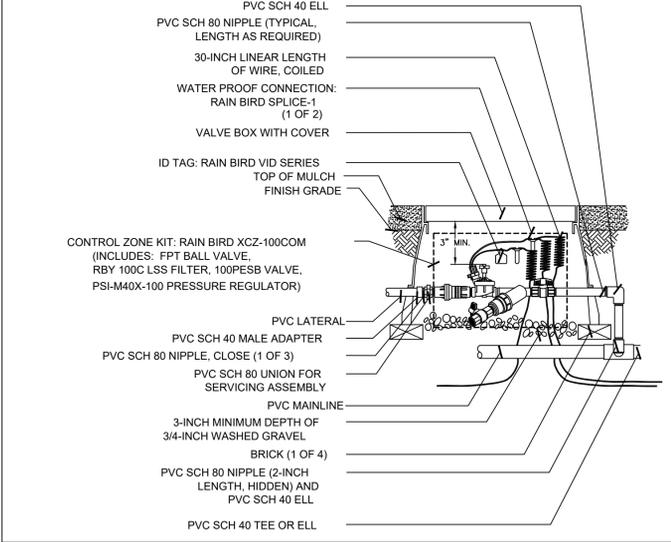
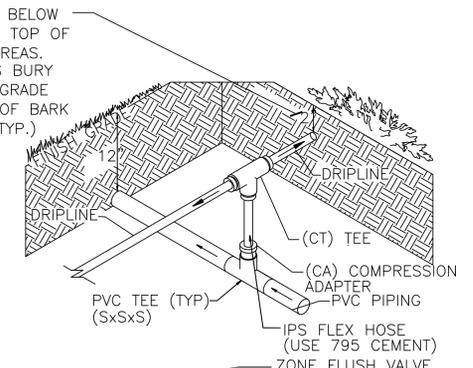
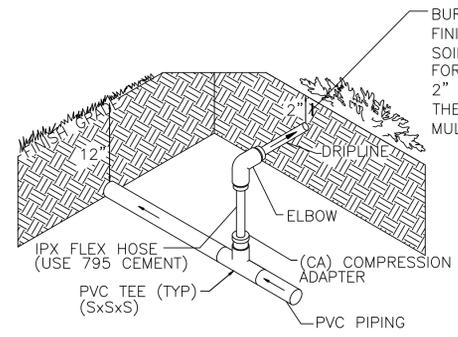
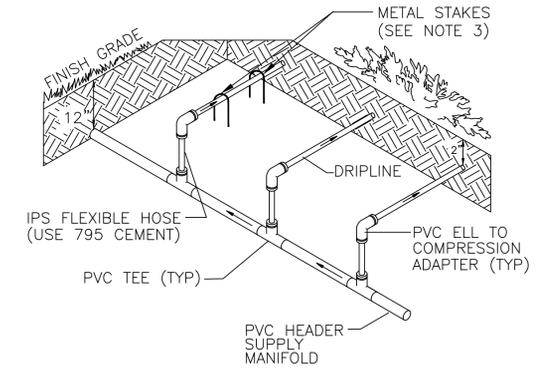
(C) REMOTE CONTROL VALVE



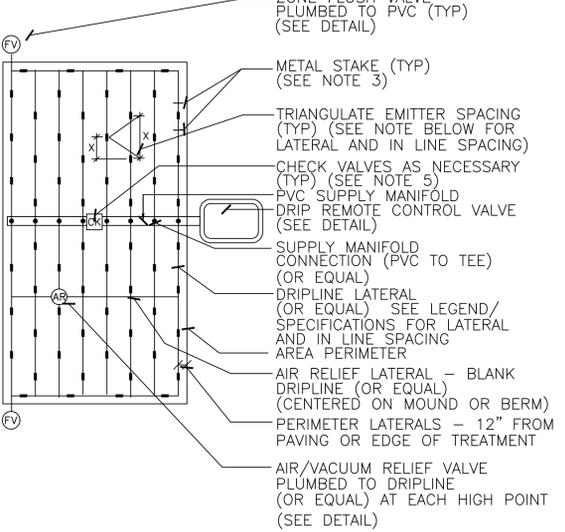
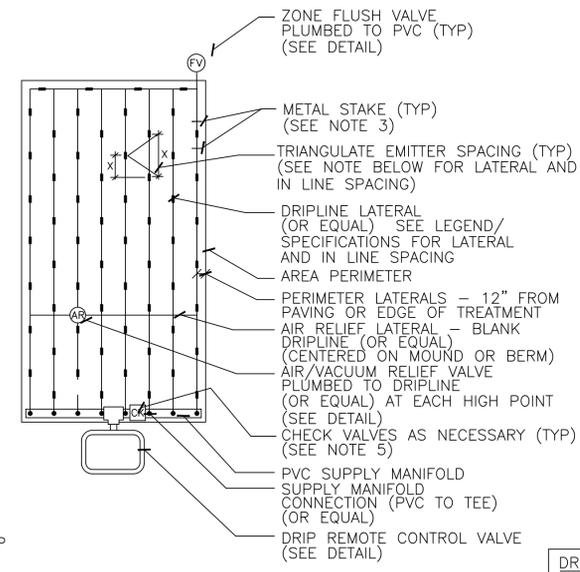
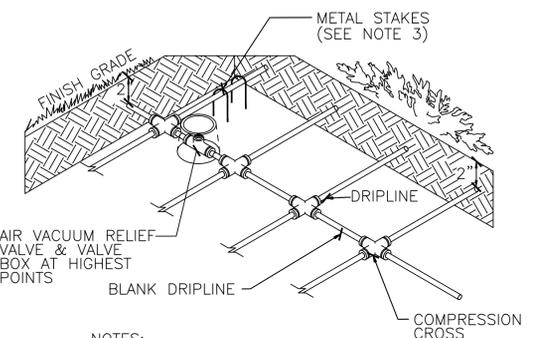
(B) QUICK COUPLER



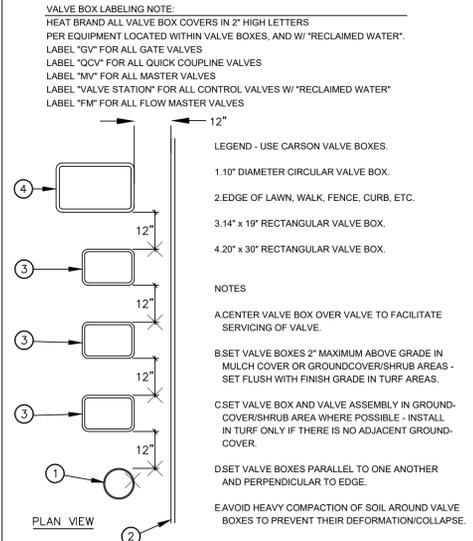
(A) ROOT WATERING SYSTEM



(E) DRIP VALVE

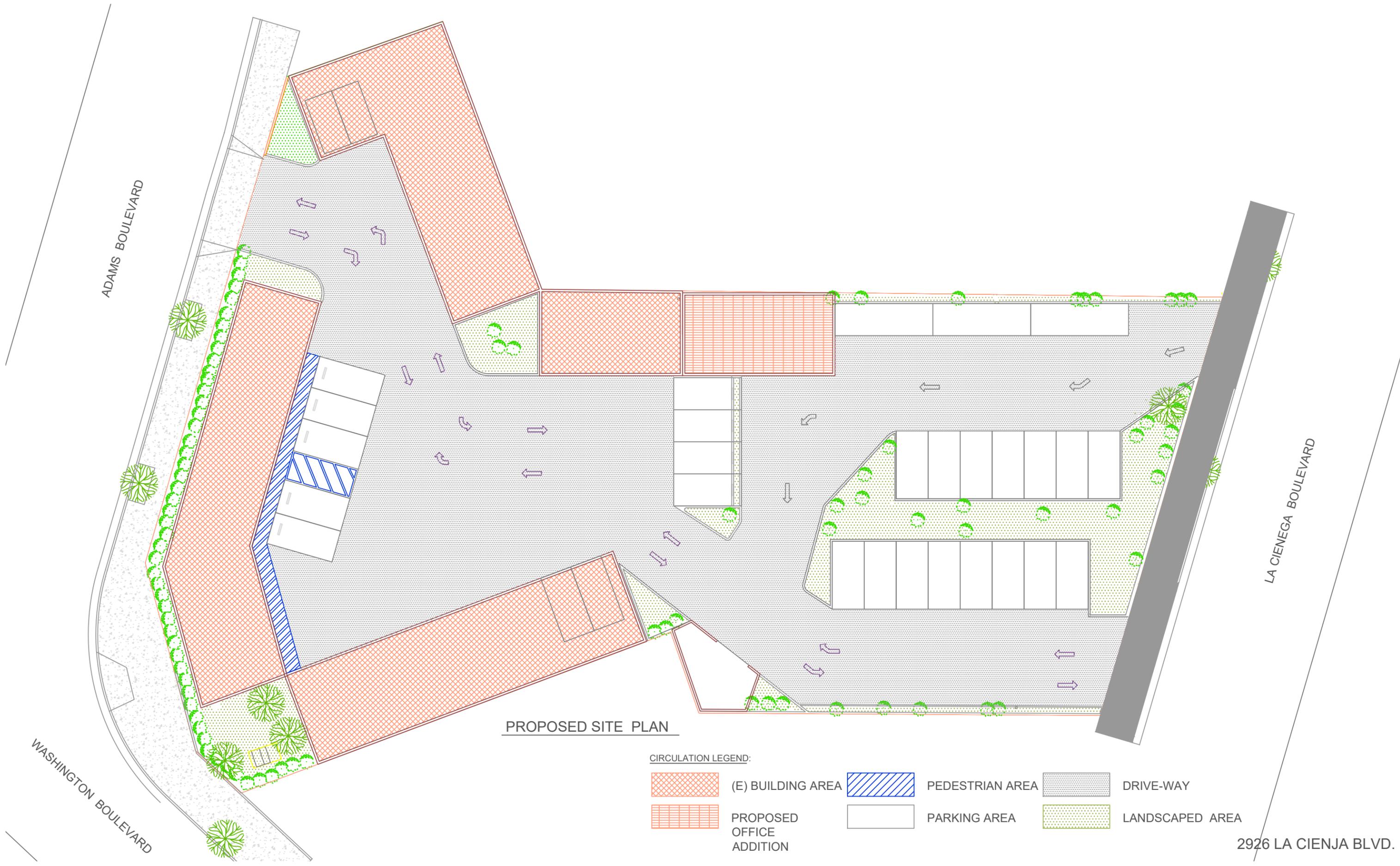


DRIPLINE SPACING NOTE:  
DRIPLINE LATERALS WITHIN SHRUB/GROUND COVER AREAS ARE TO BE SPACED AT 18" O.C.



(F) VALVE BOX INSTALLATION

(G) XERIGATION CONTROL ZONE KIT



ADAMS BOULEVARD

WASHINGTON BOULEVARD

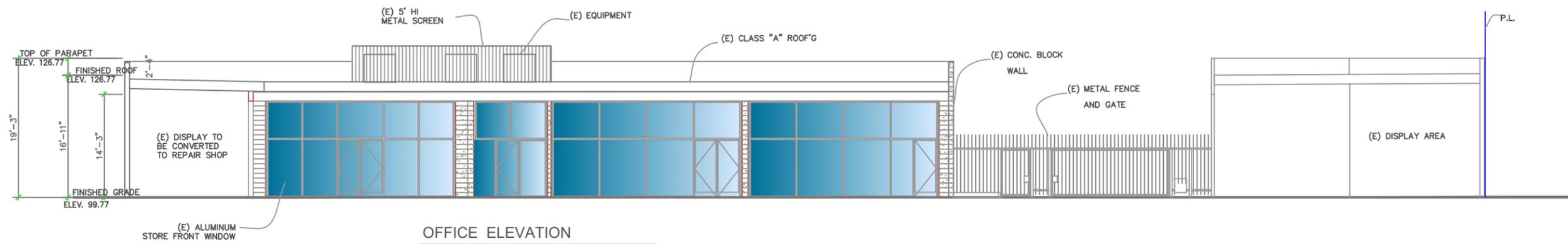
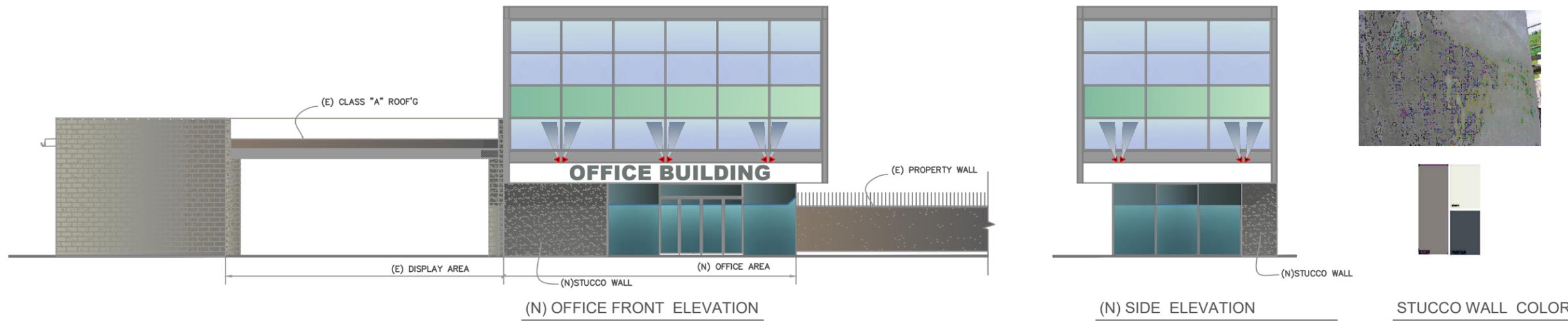
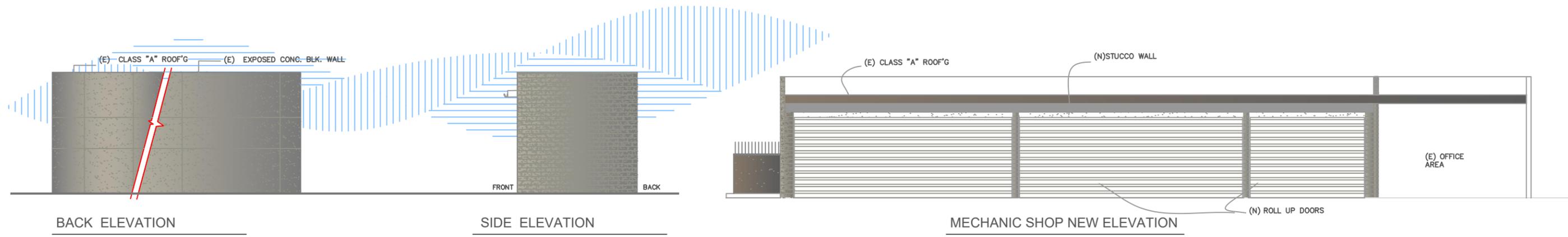
LA CIENEGA BOULEVARD

PROPOSED SITE PLAN

CIRCULATION LEGEND:

- |   |                          |   |                 |   |                 |
|---|--------------------------|---|-----------------|---|-----------------|
|  | (E) BUILDING AREA        |  | PEDESTRIAN AREA |  | DRIVE-WAY       |
|  | PROPOSED OFFICE ADDITION |  | PARKING AREA    |  | LANDSCAPED AREA |

2926 LA CIENJA BLVD.





VIEW 1



VIEW 2



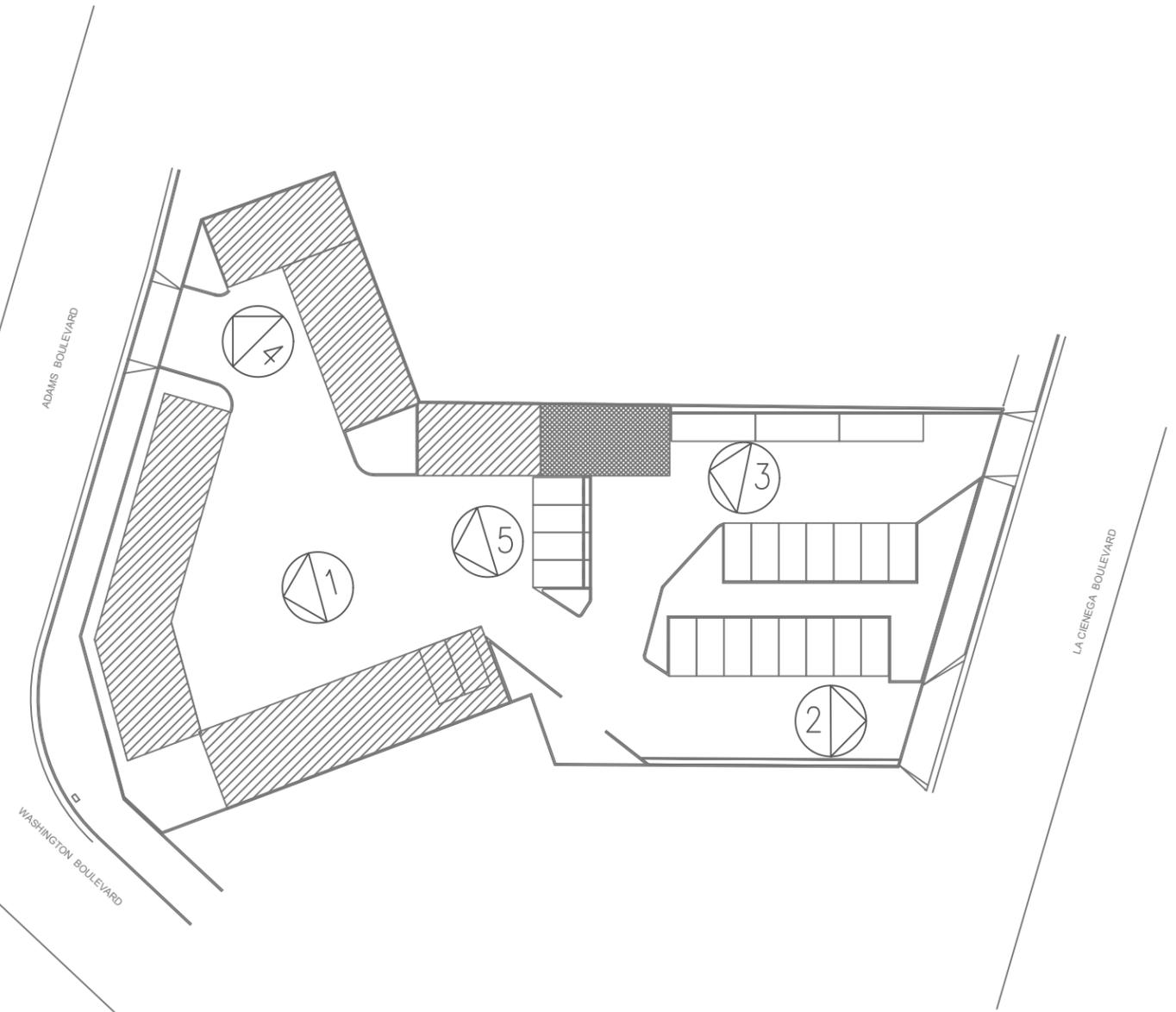
VIEW 3



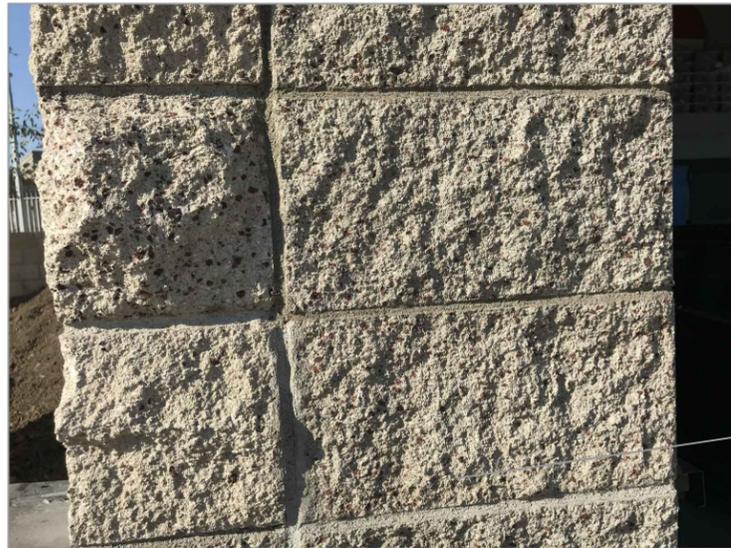
VIEW 4



VIEW 4



(E)  
EXPOSED  
CONC. BLOCK  
WALL



EXISTING FACADE



VIEW 1



VIEW 2

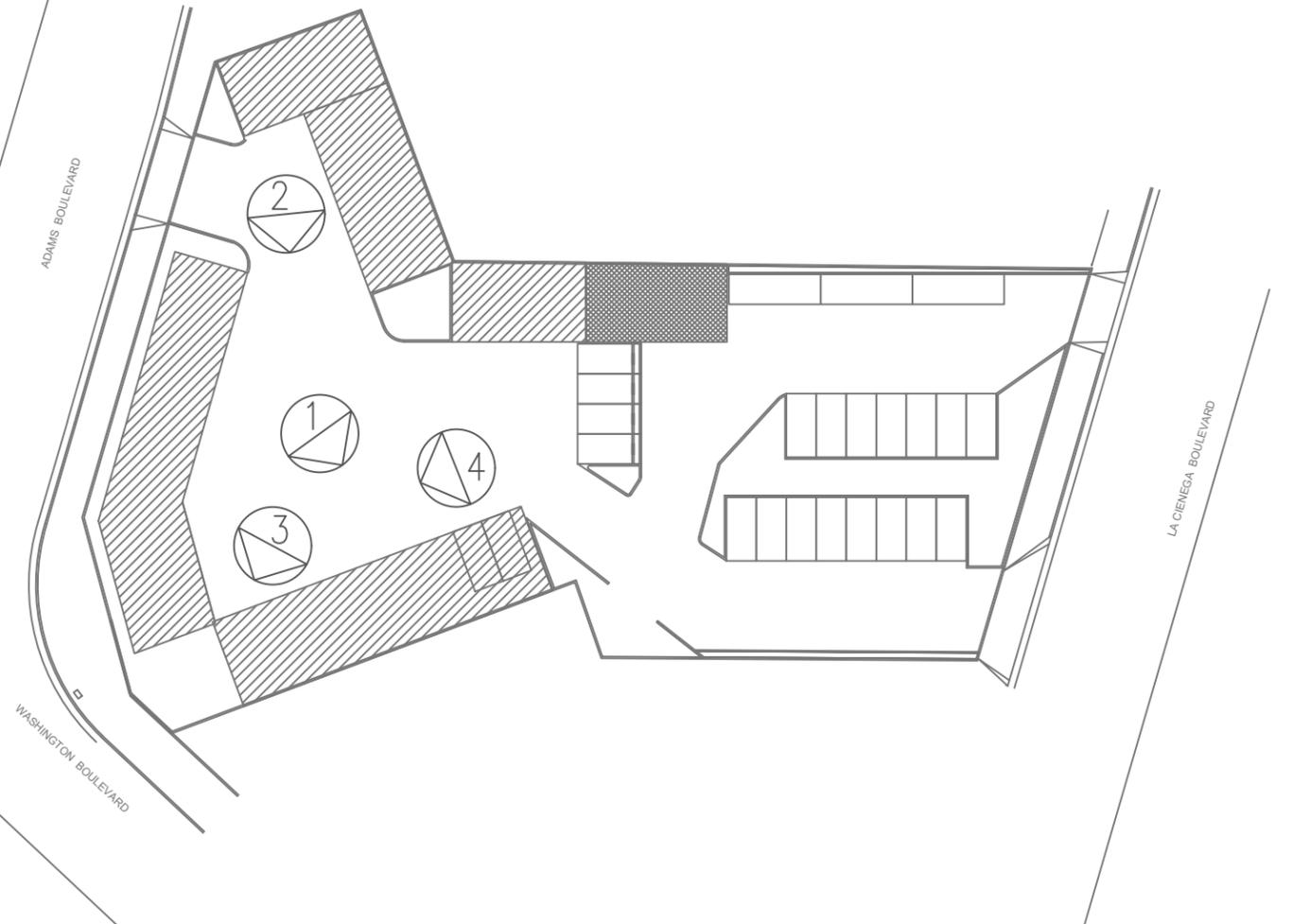


VIEW 3



VIEW 4

- (E) STUCCO
- (E) EXPOSED STEEL BEAM
- (E) EXPOSED CONC. BLOCK WALL



- (E) GLAZING