

ATTACHMENT NO. 7

	Car and bicycle parking spaces assigned to each unit							
	BLDG A	BLDG B	BLDG C	BLDG D	BLDG E	BLDG F	BLDG G	BLDG H
Building	Unit 1	Unit 2	Unit 3	Unit 4	Unit 5	Unit 6	Unit 7	Unit 8
Bicycle parking	86, 46	76, 36	86, 106	116, 126	16, 26	176, 186	56, 66	136, 146

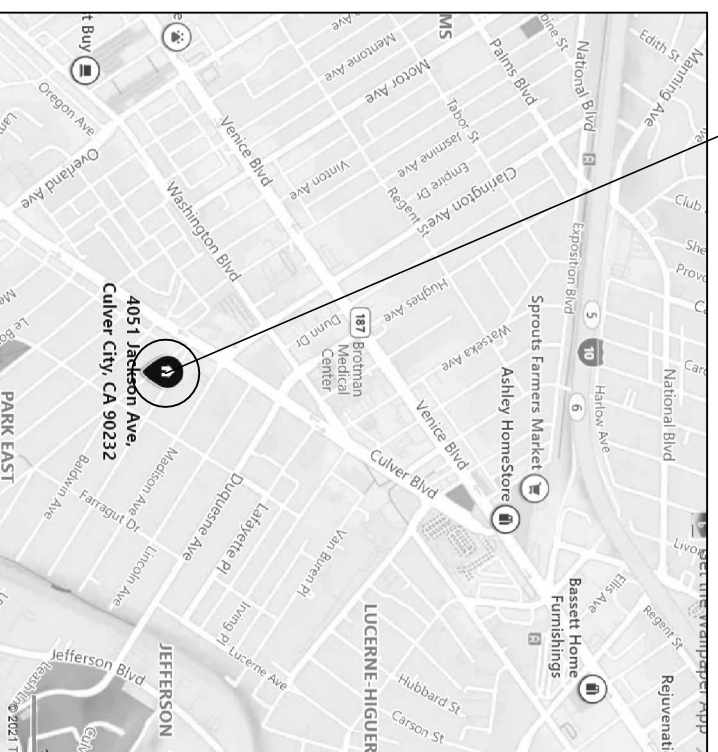
PARKING SPACES ASSIGNED TABLE

Condition Variable	Project 1	Average	Proposed
Lot Coverage	50%	44%	41.66%
Unit Pattern	9	2.7 (5.4)	1 (2)
Front Setback at Side Right	17 ft	22 ft	25 ft
Building Height	58.0' / 2	22 ft	25 ft
Building Height to parapet walls	21' / 2	17 ft	1 story
Building Height to Parapet walls	58' 0' / 2	17 ft	1 story

COMPARISON TABLE

PARKING CALCULATIONS:
2 STANDARD PARKING SPACES PER UNIT (8 PARKING SPACES ENCLOSED)
1 VAN ACCESSIBLE PARKING SPACE FOR ACCESSIBLE UNIT
2 STANDARD GUEST PARKING SPACES
TOTAL:
19 STANDARD PARKING SPACES (including 2 guest parking spaces)
1 - VAN ACCESSIBLE PARKING SPACE

Project Site



VICINITY MAP

3

PROJECT DATA
OWNER: Siltem Property Holdings, LLC TEL: 310 915-9525
PROPERTY ADDRESS: 4051 / 4055 Jackson Ave, Culver City, CA 90232
ZONING DESIGNATION: CCR4 RMD (residential medium density multiple family dwelling)
GENERAL PLAN LAND USE: Medium density multiple family residential
ASSESSOR PARCEL NUMBER: 429-001-010 & 429-001-011
PARCEL SIZE: 13,500 (sq ft)

(E) FLOOR AREA:
EXISTING STRUCTURES: LOT 10 - 2,357 s.f. Residence; LOT 11 - 584 s.f. - Residence, 208 s.f. Garage
PROPOSED STRUCTURES: 42,255 s.f.
CURRENT USE: SINGLE FAMILY RESIDENCES
LEGAL DESCRIPTION: LOT 10 & 11, BLOCK 4 OF TRACT 175
OCCUPANCY GROUP: R2 (townhomes), S-2 (subterranean parking garage)
CONSTRUCTION TYPE: V-B - DWELLING UNITS, IIA - PARKING GARAGE
NUMBER OF STORIES: 1 subterranean - 2-story above ground. Rooftop patios
SETBACKS:
FRONT YARD 15'-0" (required), 17'-0" (provided)
REAR YARD 10'-0" (required), 10'-0" (provided)
SIDE YARD 5'-0" (required), 5'-0" (provided)
HEIGHT 24'-0" Max. (to roof), plus 5'-0" (parapet), plus 13'-6" max. for roof equipment
FIRE HAZARD SEVERITY ZONE No

SPRINKLERS Provide fire sprinkler system in accordance with NFPA 13D or Section R313.3
ARCHITECT: KAZAKOV DESIGN, INC. TEL: 310-441-7710
DMITRY KAZAKOV FAX: 310-441-0568
STRUCTURAL: TBD
CIVIL ENGINEERING: ARCA PERFECTO TEL: 310-628-9101
SOILS REPORT: Byer Geotechnical TEL: 818-549-9959
PROJECT DESCRIPTION: 2 STORY 9 UNIT CONDOS WITH SUBTERRANEAN GARAGE AND ROOF PATIOS
PROPOSED FLOOR AREAS:
FLOOR AREAS: S.F.

Basement	Unit 1	Unit 2	Unit 3	Unit 4	Unit 5	Unit 6	Unit 7	Unit 8	Unit 9
Basement	439	213	112	415	322	281	166	283	645
1st floor	737	729	725	729	719	653	608	795	676
2nd floor	707	707	704	705	741	697	823	786	666
Garage	1,835	1,601	1,829	1,782	1,611	1,597	1,894	1,987	1,987
Storage (sq ft)	5,266	2,256	1,344	4,980	3,864	3,322	1,192	3,596	17,240
Balconies	133	84	28	84	68	89	63	78	28
Patios	47	47	32	25	36	40	32	29	42
TOTAL	2,901	3,517	350	2,882	3,531	3,531	4,603	4,073	27,019

PROVIDED - 5,300 s.f.
Avenue (s.f.) BLDG A BLDG B BLDG C BLDG D BLDG E
2,149 s.f. 3,623 s.f.

LANDSCAPE AREA:
HARDSCAPE AREA:
2,149 s.f.
3,623 s.f.
INTENT TO COMPLY
PROJECT SHALL COMPLY WITH 2019 CBC, CRC, CAL Green, CAL Energy codes. ALL CONSTRUCTION SHALL CONFORM TO ALL CURRENT BUILDING CODES, INCLUDING ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, AND ALL APPLICABLE OTHER STATE, COUNTY, AND CITY ORDINANCES AND REGULATIONS.
NOTICE TO OWNER, CONTRACTOR, BUILDER, INSTALLER
NEW CONSTRUCTION - NOTICE TO OWNER, CONTRACTOR, BUILDER, INSTALLER
VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION INSTALLATION. CONTACT TENNER, ARCHITECT FOR ANY DIMENSIONAL CONCERNS. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. QUESTION OR REFERENCE ARISES ABOUT CONSTRUCTION INSTALLATION THEN MAY VARY FROM THE PERMITTED PLANS.
*AS-BUILT - NOTICE TO OWNER, CONTRACTOR, BUILDER, INSTALLER
ANY CONSTRUCTION INSTALLATION PRIOR TO THE ISSUANCE OF A BUILDING PERMIT SHALL BE VERIFIED AND MODIFIED TO CONFORM TO THE PERMITTED PLANS, SEE "NEW CONSTRUCTION" ABOVE.
SITE PLAN - NOTICE TO OWNER, CONTRACTOR, BUILDER, INSTALLER
PROPERTY LINE LOCATIONS ARE BASED ON INFORMATION FROM PUBLIC GOVERNMENT RECORDS. THE LOCATION OF THE PROPERTY LINE SHALL BE VERIFIED BY SURVEYOR. ANY DISCREPANCY IS SUSPECTED ON IF MORE ACCURATE LOCATIONS ARE REQUIRED BY ANY AFFECTED PARTY.

PROJECT DATA

2

4051 JACKSON CONDOS

4051 JACKSON AVE, CULVER CITY, CA 90232

ARCHITECTURAL	Planning Department Submittal		Planning Department	
	1/11/21	06/09/22	08/19/22	09/29/22
0.0 COVER SHEET - PROJECT DATA	•	•	•	•
1.0 SITE PLAN	•	•	•	•
1.0A SITE IMPROVEMENTS PLAN	•	•	•	•
1.0B LANDSCAPE PLAN	•	•	•	•
1.0C COLORED SITE PLAN	•	•	•	•
2.0 PARKING PLAN	•	•	•	•
2.1 1ST FLOOR PLAN	•	•	•	•
2.2 2ND FLOOR PLAN	•	•	•	•
2.3 ROOF PLAN	•	•	•	•
3.1 ELEVATIONS	•	•	•	•
3.1A COLORED ELEVATIONS	•	•	•	•
3.2 ELEVATIONS	•	•	•	•
3.2A COLORED ELEVATIONS	•	•	•	•
3.3 RENDERINGS	•	•	•	•
3.4 NEIGHBORING ELEVATIONS	•	•	•	•
4.0 CROSS SECTIONS	•	•	•	•
CIVIL				
0.0 TENTATIVE TRACT MAP				
0.01 BOUNDARY/ TOPO SURVEY				
0.01 GRADING TITLE SHEET				
C1.01 1ST FLOOR PLAN GRADING PLAN				
C1.02 PARKING GRADING PLAN				
C2.01 GRADING DETAILS				
C3.01 EROSION CONTROL PLAN				

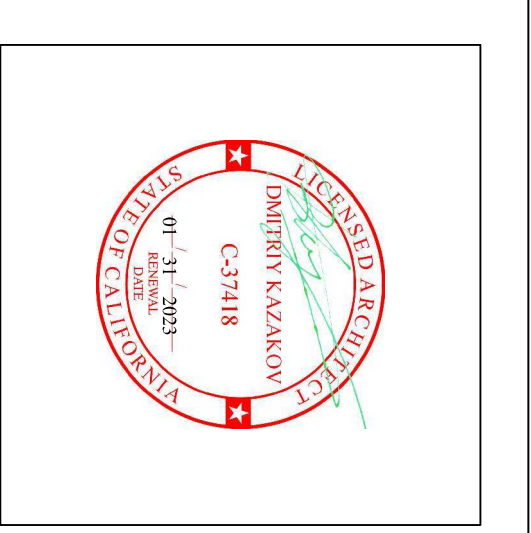
STRUCTURAL				
S1 FOUNDATION PLAN				
S2 2ND FLOOR FRAMING PLAN				
S3 ROOF FRAMING PLAN				
S4 STRUCTURAL DETAILS				

SHEET INDEX

1

Kazakov design
1433 N BEVERLY GLEN BLVD
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fax (310) 441-0568
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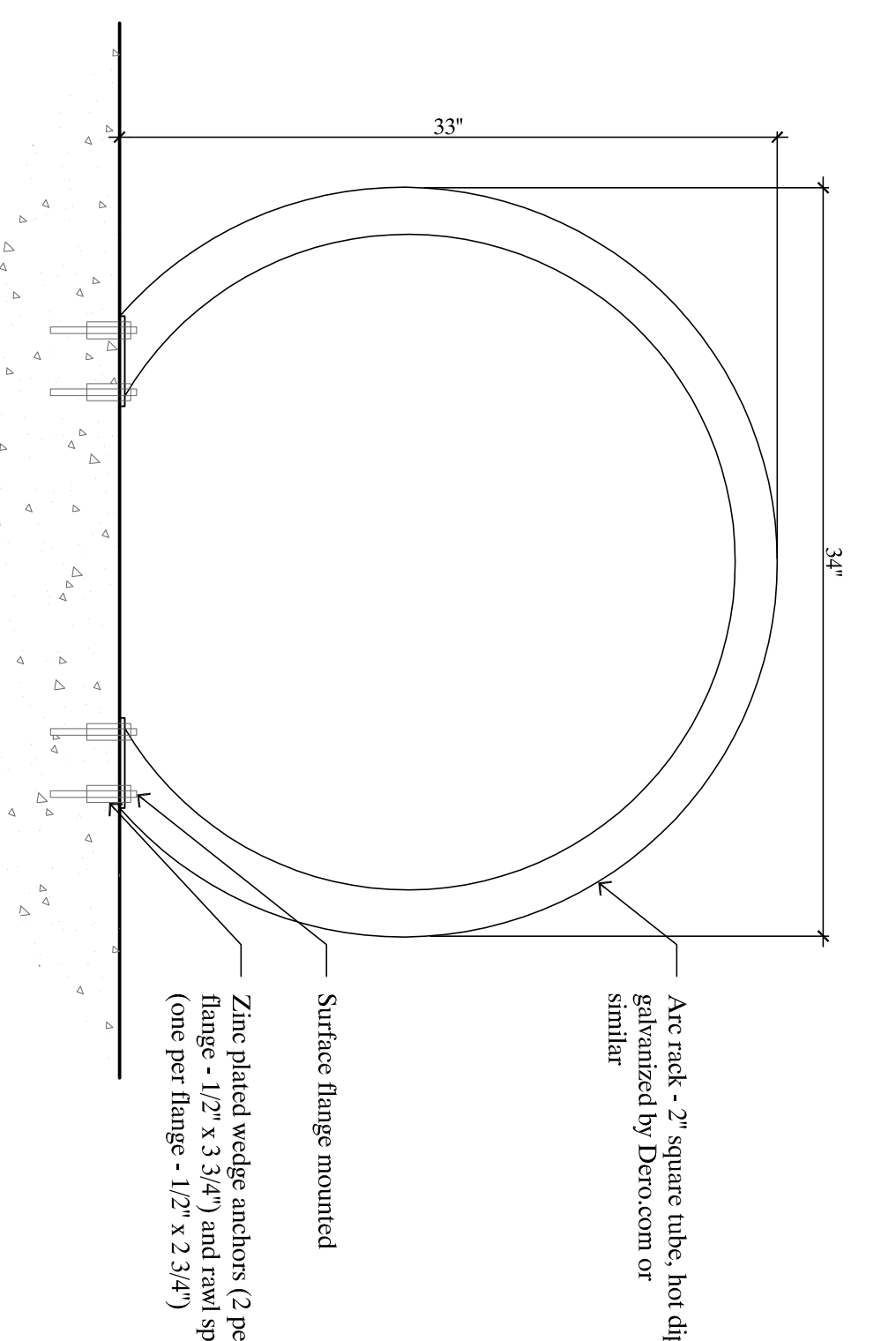
Type of Issuance	Date
Planning Submittal 1	08/19/22
Planning Submittal 2	09/29/22
Progress	03/09/22
Planning Submittal	11/11/21

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Printed - 09/29/22
TITLE SHEET
0.0

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LEGEND:
— (E) topo
— 1396'-0" — (N) topo
--- (N) topo

WT Irrigation water timer
WM Water meter
EM Electrical meter



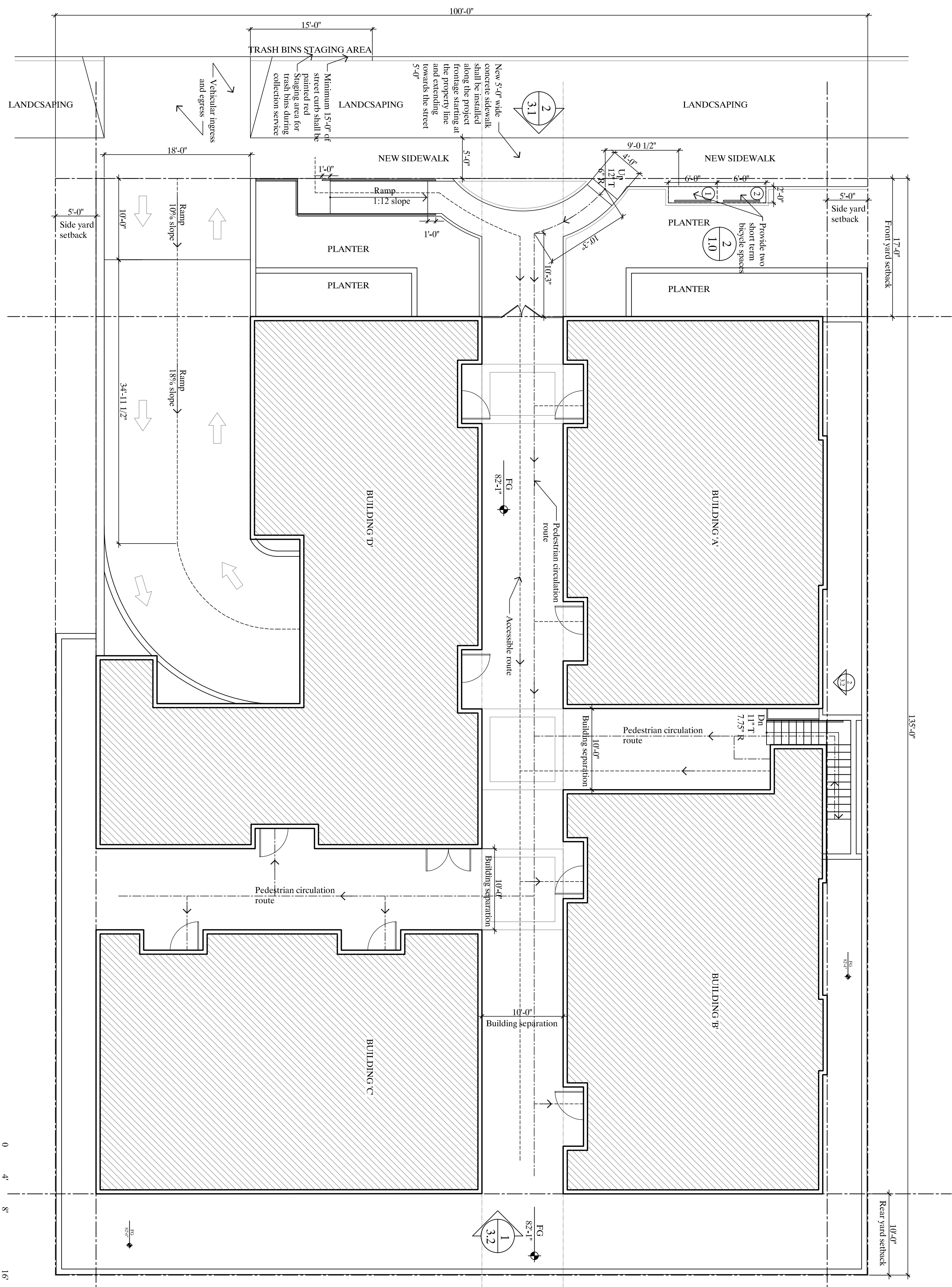
Bike rack
DETAIL
SCALE: 1/2" = 1'-0"

2

SHORT TERM BICYCLE PARKING:
Short term bicycle parking shall be provided within 50' (150'-0" distance measured) walking distance of the main pedestrian entrance to the building.

PLANCHCK NOTES:

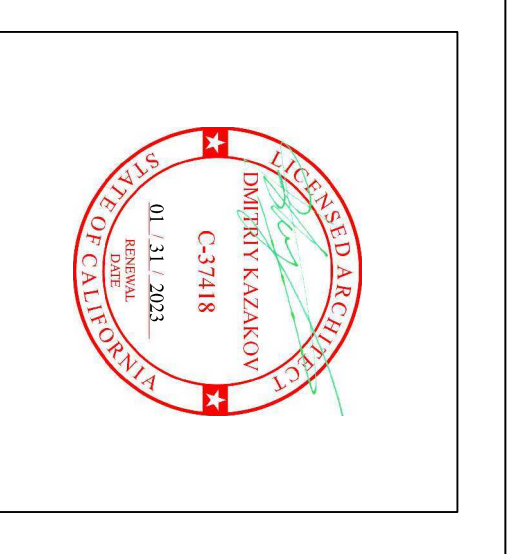
1. Prior to issuance of any Public Works Department/ Engineering Division permit of the Project, the developer shall obtain a determination for the Public Works Department/ Administration staff that the final bicycle parking layout is in compliance with the bicycle parking requirements.
2. Prior to issuance of any Public Works Department / Engineering Division Permit for offsite improvements, the developer shall submit, for review and approval of the City Engineer or his designee, a bicycle handling plan for the work zone in the public right-of-way and detailing the type and content of bicycle related construction warning signage and location. The bicyling handling plan may be incorporated into traffic handling plan submitted for the same work zone.
3. All bicycle parking required shall be stabled, maintained, and managed by the developer or their successors, and approved by the Public Works Director or their designee prior to issuance of any Certificate of Occupancy.
4. Solid waste, recyclable waste material, and organic waste handling shall be performed exclusively by the City or its authorized agents. The City shall not be responsible for resolution, aspects of solid or recyclable waste handling, or the handling, or the disposal of hazardous waste. The location and extent of providing solid waste handling services, transportation, level of services, charges, fees, and nature, location and extent of providing solid waste handling services.
5. The City of Culver City shall provide waste disposal and recycling services for all construction & demolition projects within city limits in accordance with CCMC 5.01.010.
6. Prior to issuance of any Certificate of Occupancy, the applicant shall submit a plan to the City Engineer regarding the repair or replacement of any damage to the public right-of-way that results from the construction of the proposed project. Such repair or replacement is to be completed to the satisfaction of the City Engineer. The applicant shall be responsible for all expenses.
7. Drainage devices, concrete curb and gutter, sidewalk, and drive approach, roadway pavement shall be designed to the latest edition of the American Public Works Association (APWA) Standard Plans.
8. Dirt hauling and construction material deliveries or removal are prohibited during the morning (7:00 AM to 9AM) and afternoon (3:00 PM to 5:00 PM) hours.
9. All signs and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The applicant shall obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.
10. Prior to commencement of any excavation, the applicant shall install a temporary construction fence around the site. The height and fence material are subject to approval by the City Engineer.
11. The construction contractor shall advise the Public Works Inspector of the schedule and shall meet with the inspector prior to commencement of work.
12. Replace curb and gutter at proposed existing driveway removal per the latest edition of American Public Works Association (APWA) Standard Plans and ADA compliant. Separate permit will be required through Engineering Division. Operations manager for the site, location and type of equipment needed for the adequate storage and disposal of all solid and recyclable waste generated by the project.
13. Vehicular and pedestrian access along Jackson Avenue shall always be maintained during construction activities.
14. Vehicular and pedestrian protection plans shall be submitted to and approved by the Building Official. Such plan shall identify all areas of pedestrian protection and indicate the method of pedestrian protection or pedestrian diversion is required. When pedestrian diversion is required, the Pedestrian Protection Plan must also be approved by the Public Works Director.
15. A Pedestrian protection plan shall be submitted to and approved by the Building Official. Such plan shall identify all areas of pedestrian protection and indicate the method of pedestrian protection or pedestrian diversion is required. When pedestrian diversion is required, the Pedestrian Protection Plan must also be approved by the Public Works Director.
16. A Construction management plan prepared by the construction contractor, which identifies the areas of construction staging, temporary power, portable toilet, and trash and material storage locations, shall be submitted to and approved by the Building Official. The plan shall include information regarding off-site truck and construction related parking and include 24 hours a day construction staging and staging areas. The construction contractor shall advise the Public Works Inspector and the Building Inspector ("Inspectors") of the construction schedule and shall meet with the inspectors.
17. A Construction Traffic management Plan shall be prepared by a traffic or civil engineer registered in State of California. The Construction Traffic management Plan shall be submitted to the City's Public Works Department to review and be approved by the City Engineer prior to the issuance of any Project demolition, grading, or excavation permit. The Construction Traffic Management Plan shall also be reviewed by the City's Fire and Public Departments. The Construction Traffic management Plan shall contain but not be limited to the following:
a. The name and telephone number of a contact person who can be reached 24 hours a day regarding construction traffic complaints or emergency situations.
b. Fire and emergency response organizations and procedures for the continuous coordination of construction site related incidents, and any alerts related to unannounced road closure or delays with local police, fire, and emergency response agencies. Coordination shall include the assignment of any alternative access routes that might be required through the Project Site, and maps showing access to and within the Project Site and to adjacent properties.
c. Procedures for the training and certification of the flag persons used in implementation of the Construction Traffic management Plan.
d. The location, types, and estimated duration of any roadway closures, traffic delays, use of protective devices, warning signs, and staging or queuing areas.
e. The location and travel routes of off-site staging and parking locations.
18. Flag persons with certified training shall be provided for work site traffic control to minimize impacts to traffic flow and to ensure the safe movement of vehicles and pedestrians through the Project Site.
19. The site may be closed to traffic and to the public. The contractor shall have the responsibility to provide adequate signage or block access to adjacent businesses. Off-site staging locations shall be approved by the City Engineer and be sufficient length to accommodate large trucks without being unduly disruptive to traffic operations. The drivers of these trucks shall be in radio or phone communication with on-site personnel who shall advise the drivers when to proceed from the staging location to the site.
20. Construction-related vehicles shall not be permitted to park on public streets.
21. A Construction Replacement parking plans shall be prepared and submitted to the Culver City planning Division for review and approval prior to issuance of any Project demolition, grading or excavation permit. The Construction Replacement Parking Plan shall identify the off-site parking facilities and their parking space allocations that will be used for replacement parking during Project construction as well as the procedures that will be followed for safe pedestrian and vehicular movement between the off-site location and the Project Site. The Construction Replacement Parking Plan shall also include parking fees and site maintenance and site control of Project ownership and a standby service plan for transporting persons parking more than one-fourth mile from the site.
22. All Project related solid and recyclable waste material handling shall be in accordance with CCMC Section 5.01.010 - "Solid Waste management", which outlines the Environmental Programs and Operation Division's exclusive franchise for services.
23. Project shall provide adequate trash and recycling capacity and shall comply with Assembly Bill 939, 1826, and SB 1383 waste diversion goals.



SITE PLAN
SCALE: 1/8" = 1'-0"

1

HARDSCAPE AREAS:
Total front yard hardscape area - 503 s.f.
Total front yard area - 1,700 s.f.
503 / 1,700 = 0.30 - 30% < 45% of hardscape area



Type of Issuance	Date

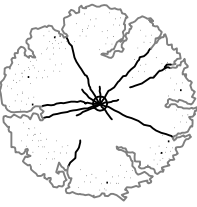
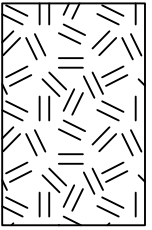
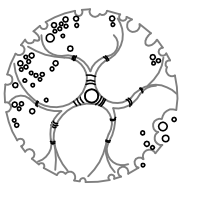
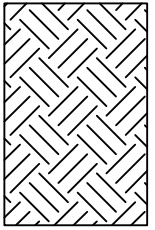
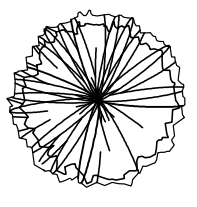
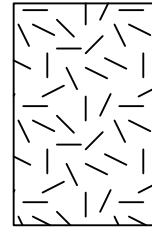
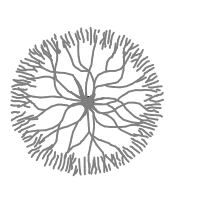
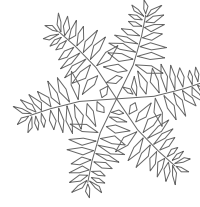
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Planning Substantial 1	08/19/22
Progress	03/09/22
Progress	03/02/22
Planning Substantial	11/11/21

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SITE PLAN
SCALE: 1/8" = 1'-0"

1.0

TREE, SHRUB AND GROUNDCOVER SCHEDULE

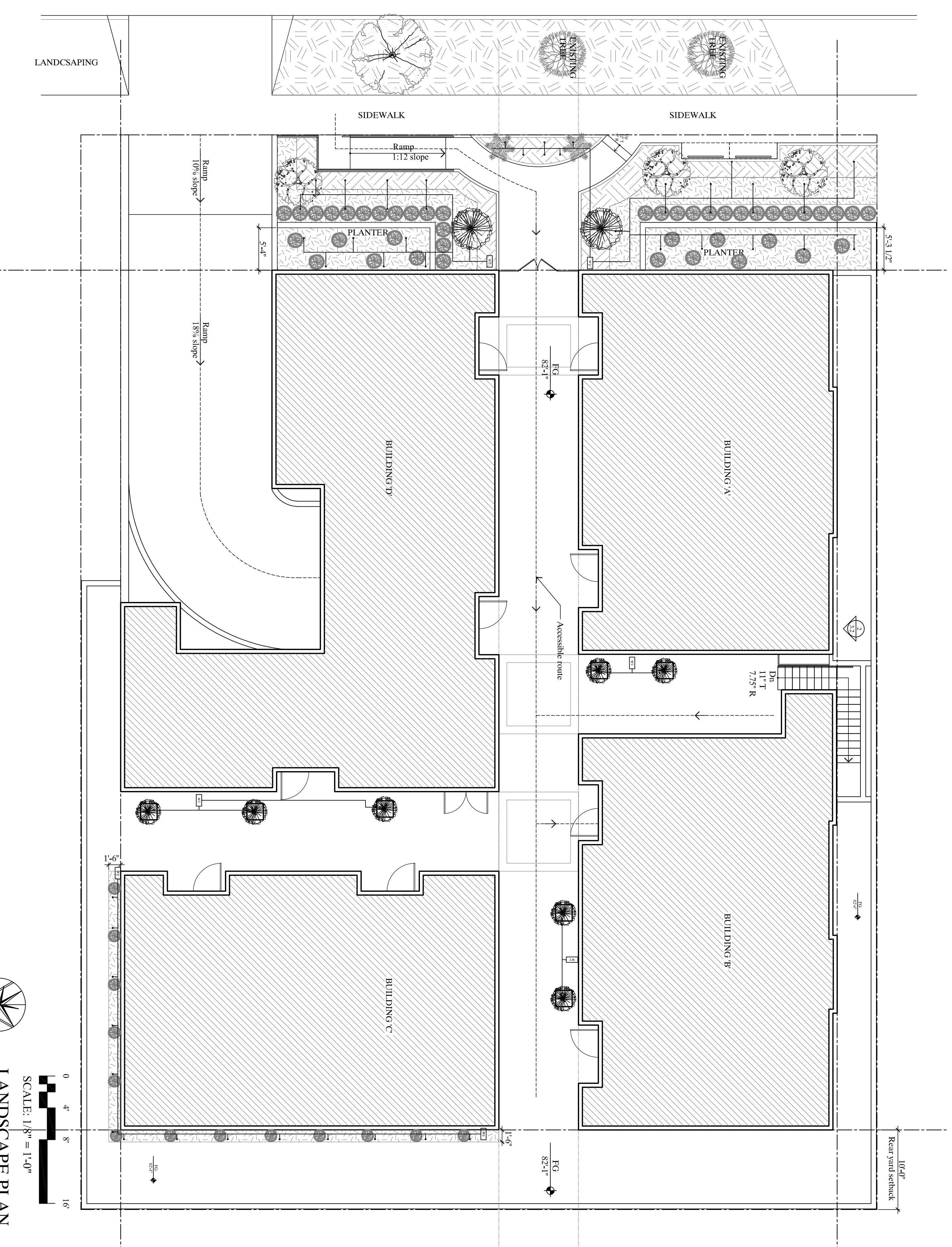
	STREET TREE - PINUS CANARIENSIS, CANARY ISLAND PINE 24" BOX, DOUBLE STAKE, STANDARD TRUNK		ROSMARINUS PROSTRATUS, PROSTRATE ROSMARY, 1 GAL @ 24" OC
	LAGERSTROEMIA MUSKOGEE, GRAPE WYRTILE, 15 GAL		DIANELLA REVOLUTA/VARIEGATED, VARIEGATED FLUX LILY, 1 GAL @ 24" OC
	ACCENT TREE - ARBUTUS X MARINA - MARINA STRAWBERRY TREE, 24" BOX, DOUBLE STAKE, MULTI TRUNK (IN COURTYARD PLACED IN PLANTERS)		SALVIA GREGGII, AUTUMN SAGE, 1 GAL @ 24" OC
	COTONEASTER LACTEUS, RED CLUSTER BERRY COTONEASTER, 5 GAL		
	SMALL MULTI TRUNK PHOENIX DACTYLIPHERA PYGMY DATE PALM, 24" BOX		

HARDSCAPE AREAS:
Total front yard landscape area - 503 s.f.
Total front yard area - 1,700 s.f.
503 / 1,700 = 0.30 - 30% ~ 45% of landscape area

LANDSCAPING NOTES:
1. All planted areas shall be provided with a permanent automatic irrigation system. This watering system shall consist of piped water lines containing an appropriate number of sprinklers or emitters to provide the amount of water for plants within the planted area.
2. The minimum width of planters containing trees shall be 4 feet clear, interior dimensions, exclusive of curbs, walls, and footing below.
3. Street trees: 1' per 25 foot length of street footage. The Director may modify this requirement, based on speed of tree at maturity.
4. Ground cover and shrubs:
a. All planted areas should emphasize drought tolerant species.
b. Artificial shrubs, ground cover, or turf shall not be allowed.
c. Crushed rock, railroad chips, pebbles, stone, and similar materials may be allowed up to 10% of the total required landscape area.
d. All shrubs shall be planted from a minimum 5-gallon-size containers. One-gallon-size containers may be allowed for shrubs that are not commonly available in 5-gallon-size containers.
5. a. All ground cover shall be generally spaced at a maximum of 6 to 8 inches on center. When used as ground cover, minimum 1-gallon-size shrubs may be planted 18 to 24 inches on center.

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LEGEND:
— (E) topsoil
— (N) topsoil
— (N) topsoil
WT Irrigation water timer
— Sprinkler head

Kazakov design
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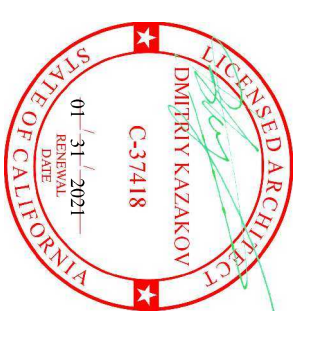


True North
N Project North
LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"
SCALE: 1/8" = 1'-0"
1

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LANDSCAPE PLAN
1.0B

Type of issuance	Date
Planning Substantial 2	09/29/22
Planning Substantial 1	08/19/22
Progress	03/09/22
Planning Substantial	11/11/21

Printed - 09/29/22



DMITRIY KAZAKOV
C37418
STATE OF CALIFORNIA
PROFESSIONAL ENGINEER

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LEGEND

- Shear wall, 1/4" p.
- Smoke detector
- Carbon monoxide alarm
- Bath fan, see electrical plan
- Downspout

MAXIMUM EXIT ROUTE:

3-9' 1/2" + 23'-1 1/4" + 33'-4" + 23'-2" +
3'-3" + 7'-1 1/4" = 97'-0 1/2" < 100'-0"

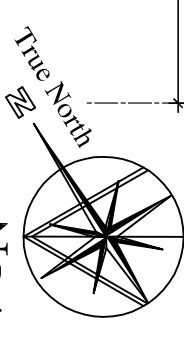
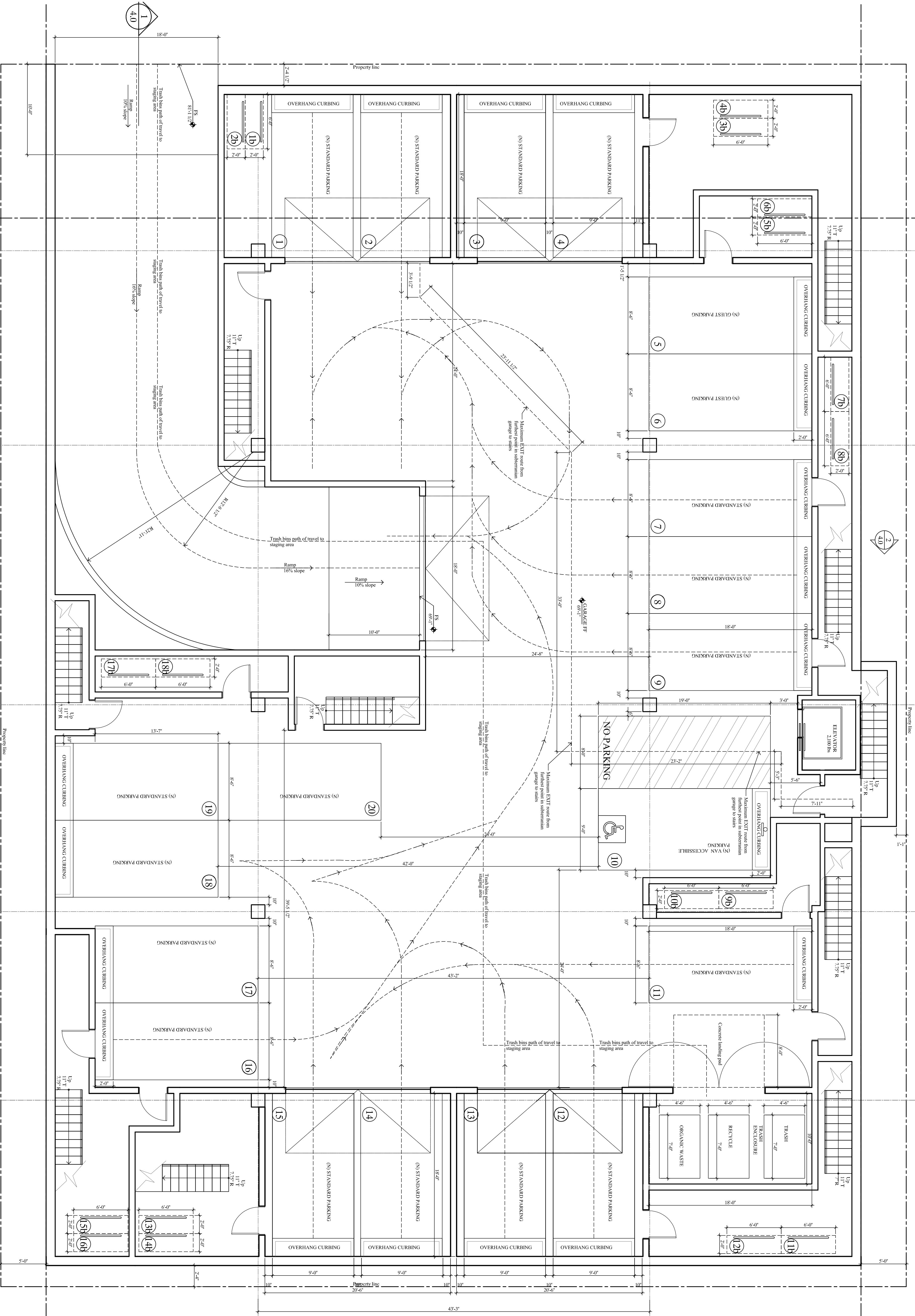
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Progress	03/02/22
Progress	02/23/22
Progress	02/21/22
Planning Submittal	11/11/21
Progress	07/08/21
Progress	07/06/21
Progress	05/21/21
Progress	05/15/21
Progress	05/14/21
Progress	05/12/21
Progress	05/04/21
Progress	04/30/21
Progress	04/29/21

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PARKING PLAN

2.0

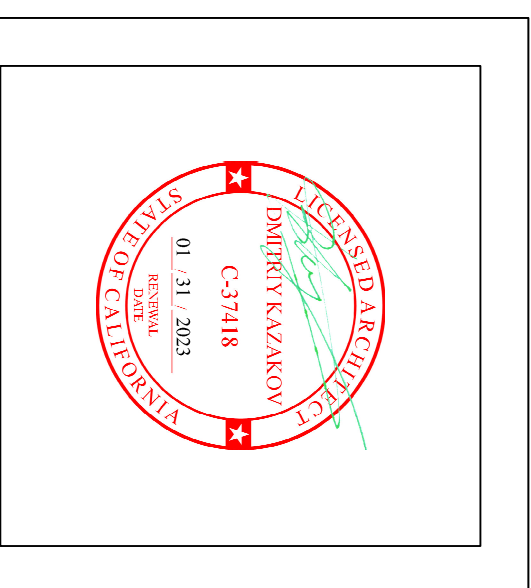


SCALE: 3/32" = 1'-0"

PARKING PLAN

SCALE: 3/16" = 1'-0"

1



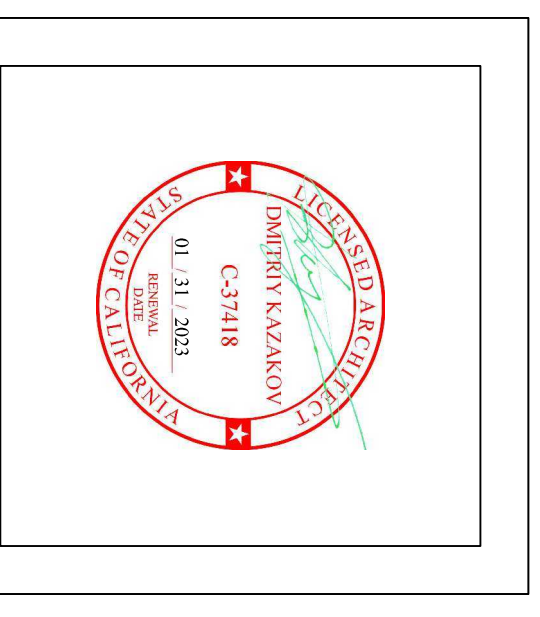
Type of issuance

Date

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LEGEND

- Shear wall, 1/4"
- Hose bib
- ⊙ Smoke detector
- ⊙ Carbon monoxide alarm
- ⊞ Bath fan, see electrical plan
- ⊞ Downspout
- ⊞ Gas meter
- ⊞ Water meter
- ⊞ Electrical panel with meter
- ⊞ Electrical meter with meter
- ⊞ Wood post per structural
- ⊞ Centerline door or window at room
- ⊞ Electrical vehicle charging station
- ⊞ Hardie frame



Type of Issuance	Date
Planning Substantial 2	09/29/22
Planning Substantial 1	08/19/22
Progress	03/09/22
Progress	03/07/22
Progress	03/02/22
Progress	02/23/22
Planning Substantial	11/11/21
Progress	07/08/21
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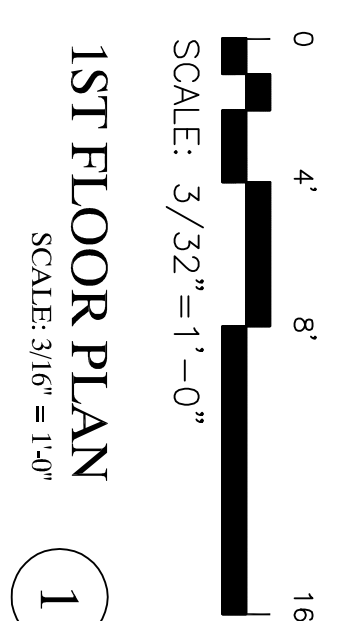
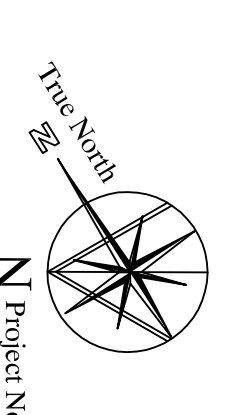
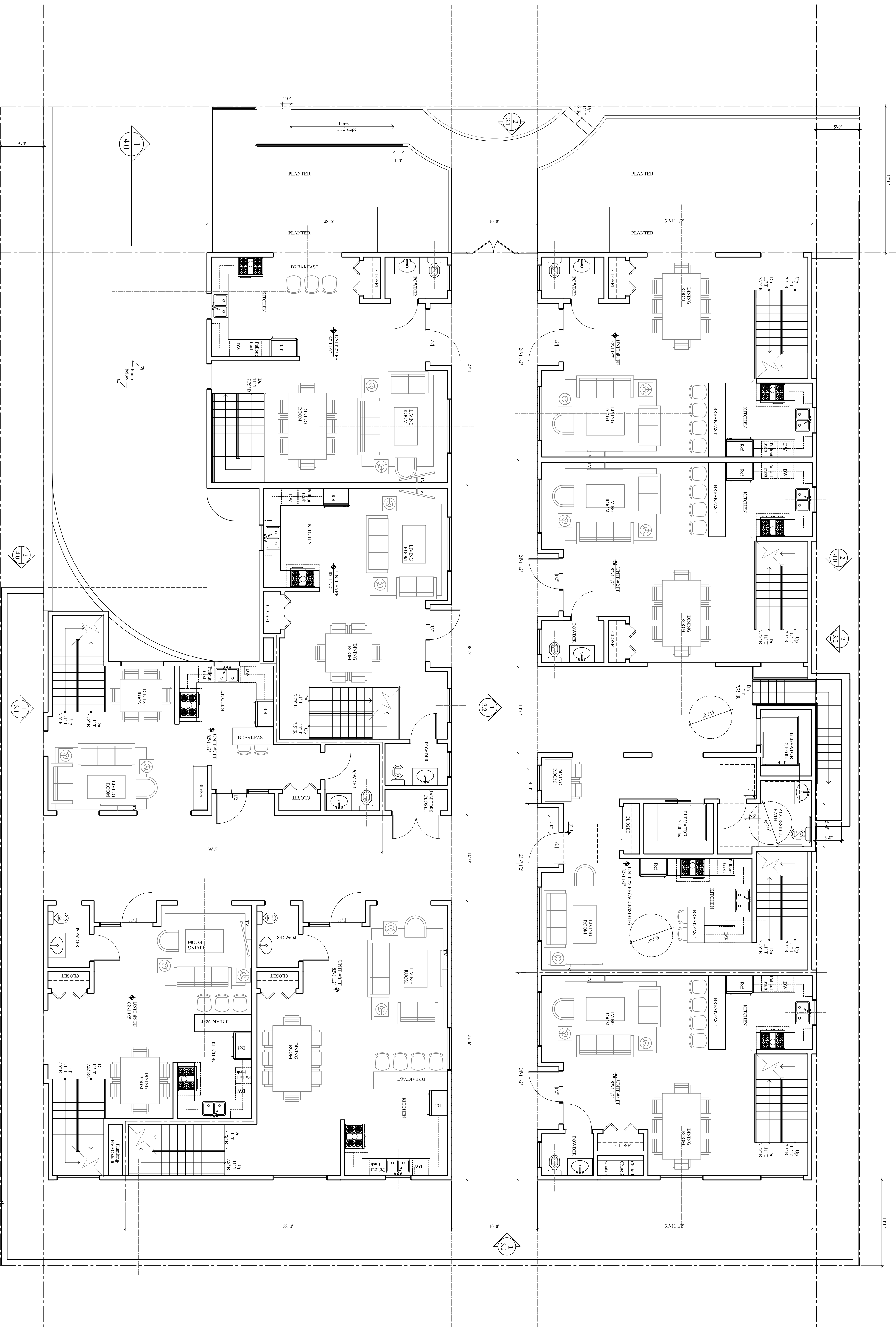
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CONDOS

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CLIVER CITY, CA 90232

GROUND FLOOR
PLAN

2.1



1

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LEGEND

- Sheer wall, typ.
- New framing
- Hose bib
- Smoke detector
- Carbon monoxide alarm
- Bath fan, see electrical plan
- Downspout
- Gas meter
- Water meter
- Electrical panel with meter
- Wood post per structural
- Centerline door or window at room

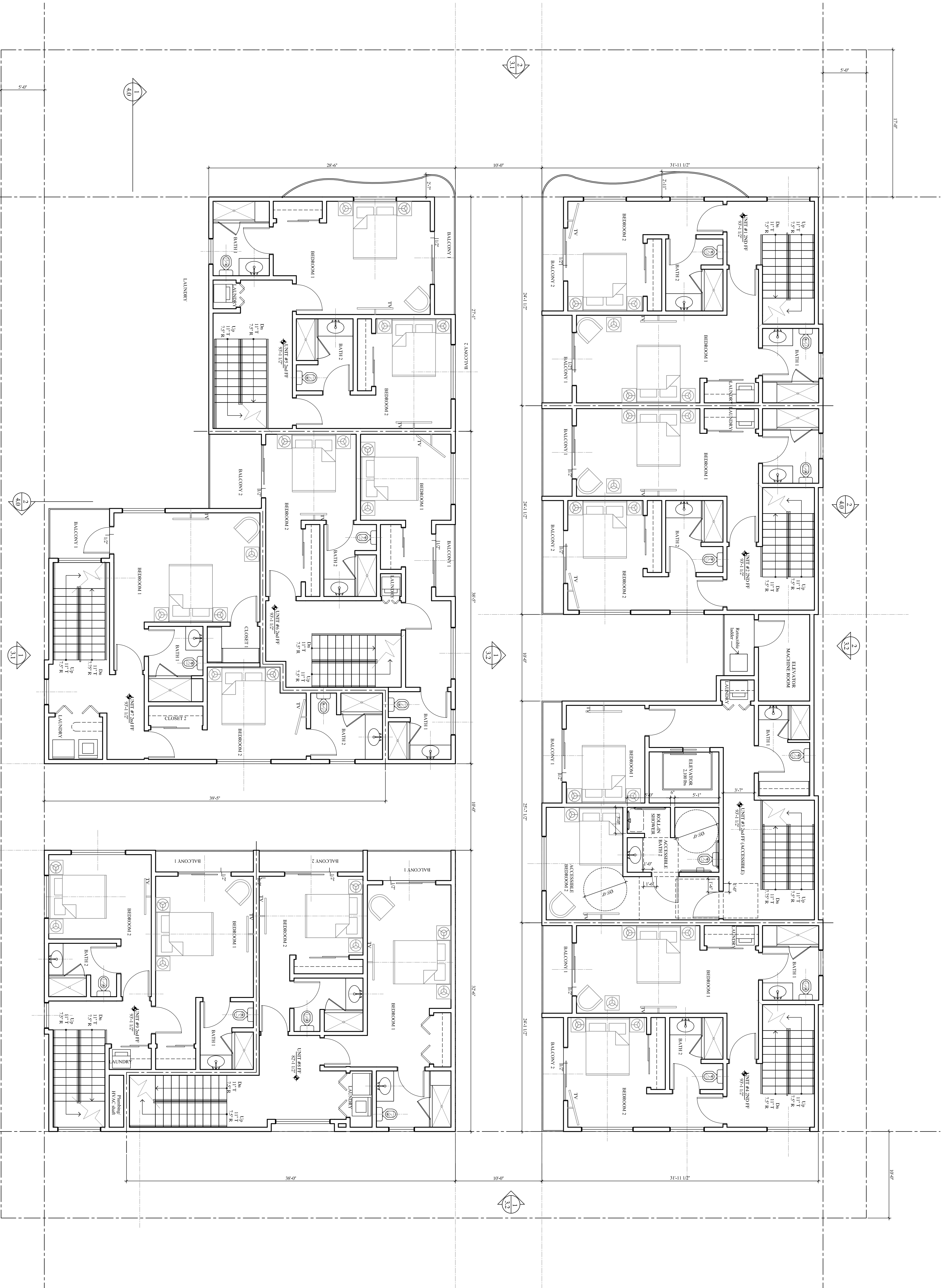
Type of Issuance	Date
Planning Submittal 2	09/29/22
Planning Submittal 1	08/19/22
Progress	03/09/22
Progress	03/07/22
Progress	03/02/22
Progress	02/23/22
Planning Submittal	11/11/21
Progress	07/08/21
Progress	07/06/21
Progress	05/21/21
Progress	05/15/21
Progress	05/14/21

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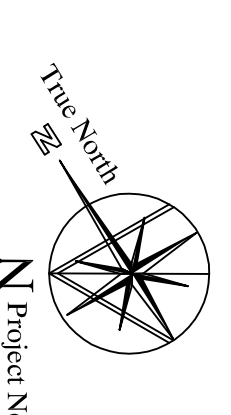
1451 JACKSON AVE
CULVER CITY, CA 90232

2ND FLOOR
PLAN



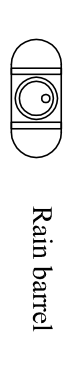
0 4' 8' 16'
SCALE: 3/32"=1'-0"
SCALE: 3/16"=1'-0"

2ND FLOOR PLAN
1

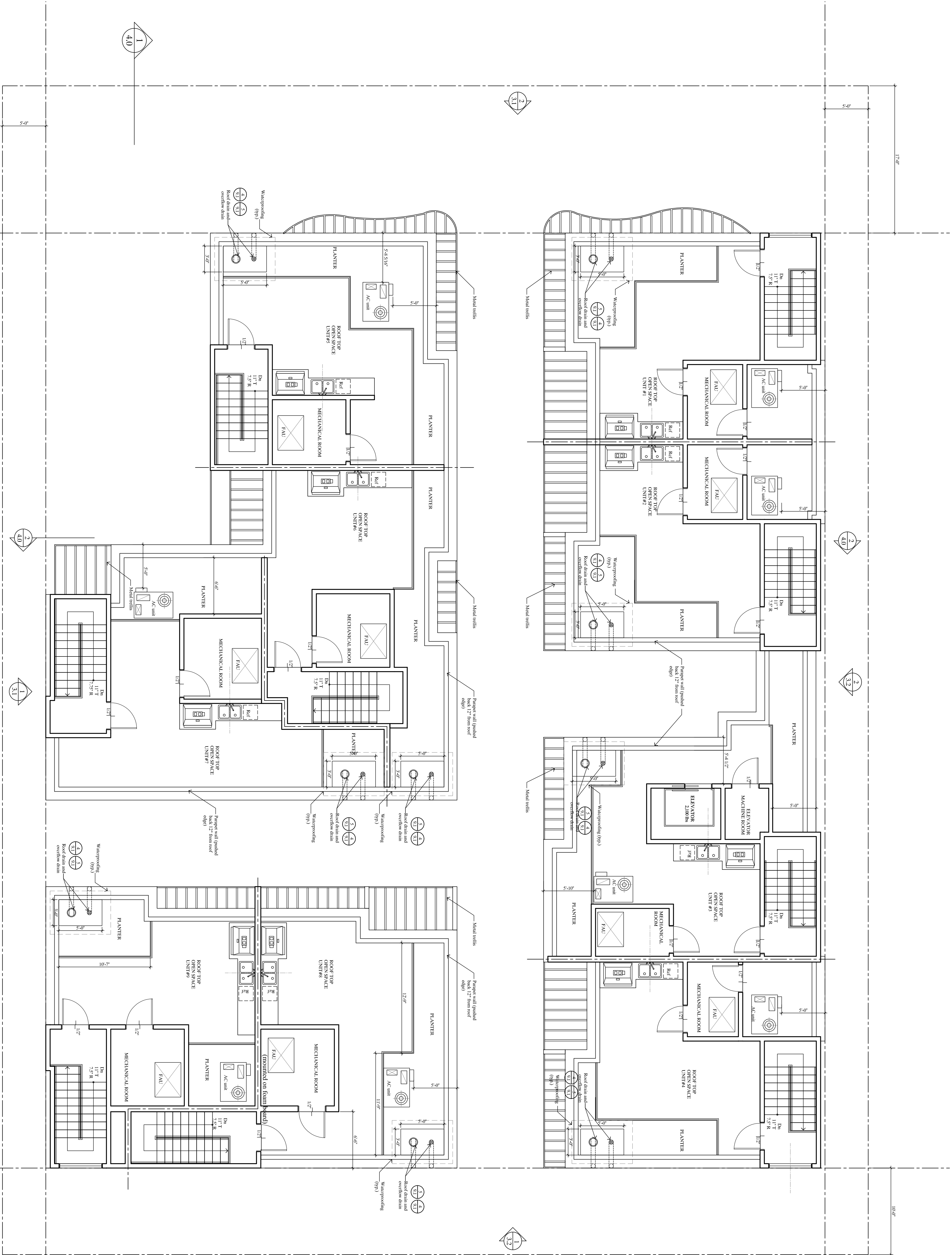


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LEGEND:



Rain barrel



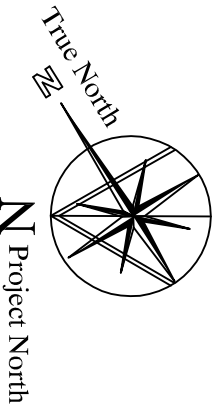
Type of Issuance	Date
Planning Substantial 2	09/29/22
Planning Substantial 1	08/19/22
Progress	03/09/22
Progress	03/02/22
Progress	02/23/22
Planning Substantial	11/11/21

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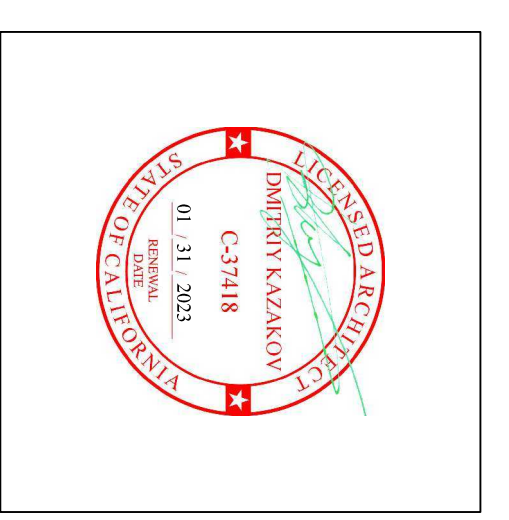
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ROOF PLAN



SCALE: 3/32" = 1'-0"

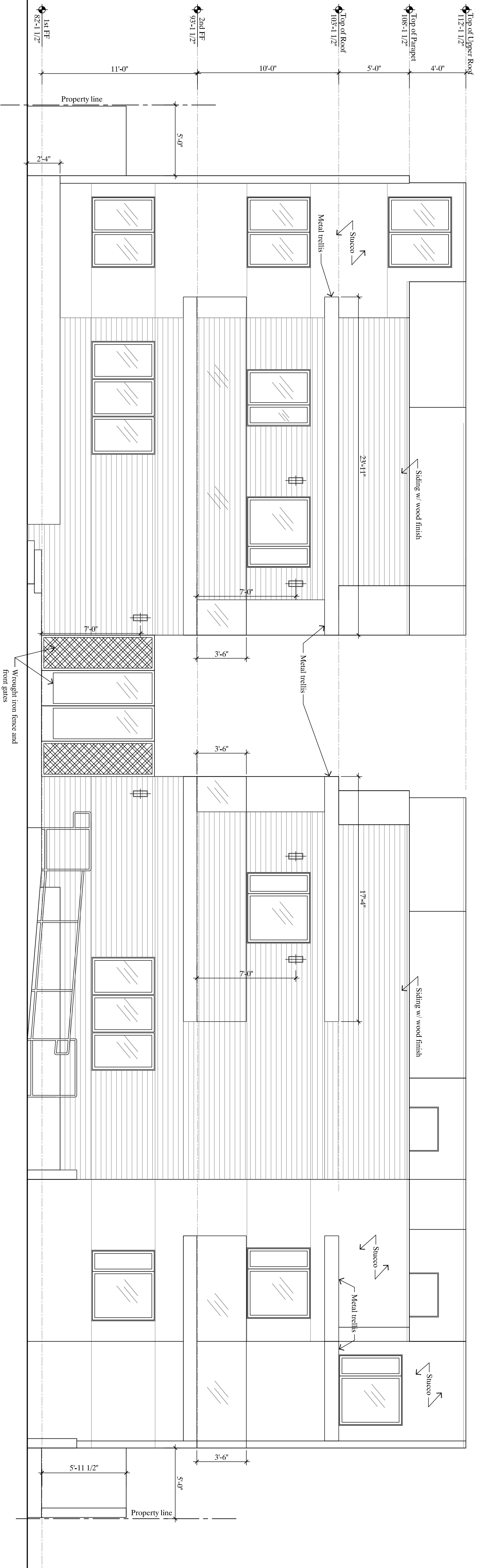
ROOF PLAN
SCALE: 3/16" = 1'-0"



Type of Issuance

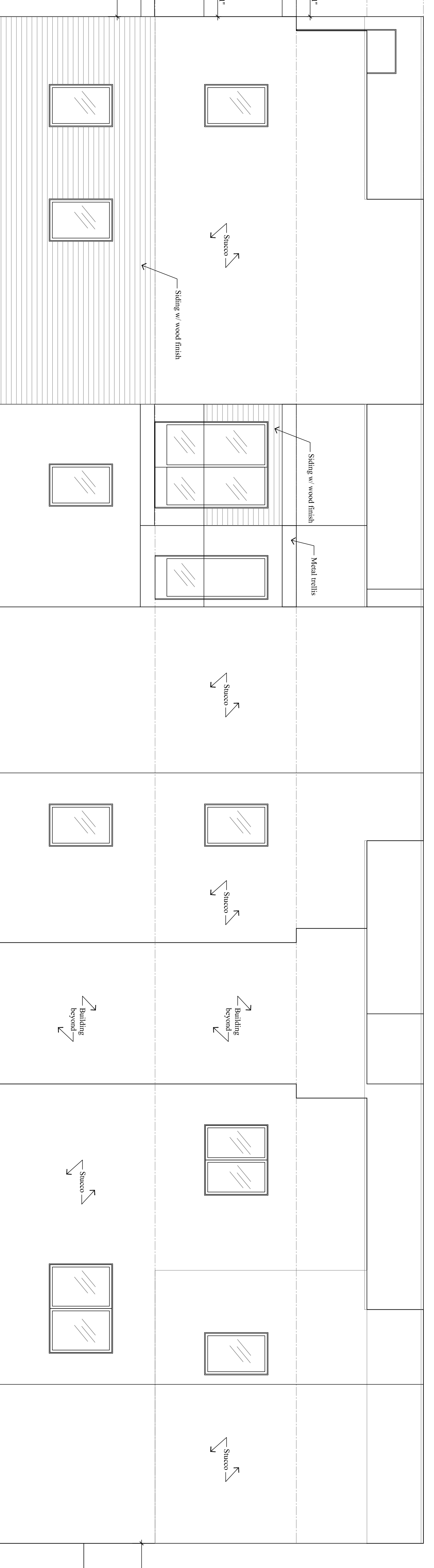
Date

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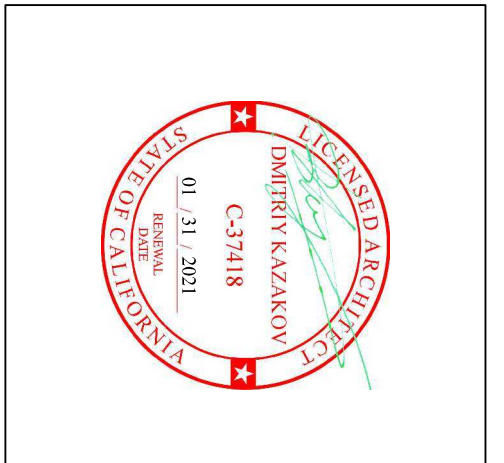
EAST ELEVATION
1/4"=1'-0"

2



NORTH ELEVATION
1/4"=1'-0"

1



Type of Issuance	Date
Planning Submittal 2	09/29/22
Planning Submittal 1	08/19/22
Progress	03/09/22
Progress	03/02/22
Planning Submittal	11/11/21
Progress	07/08/21
Progress	07/06/21

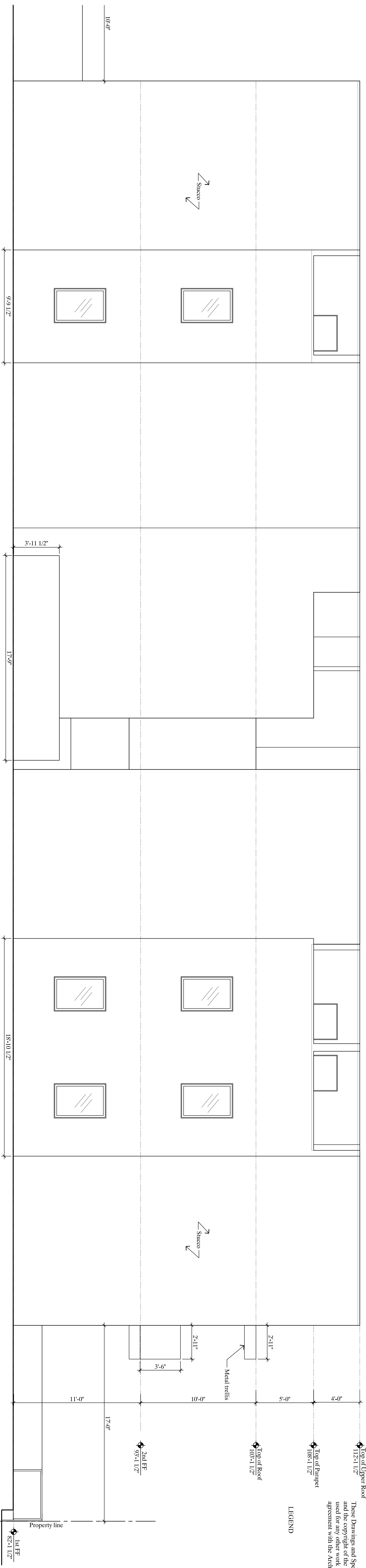
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ELEVATIONS

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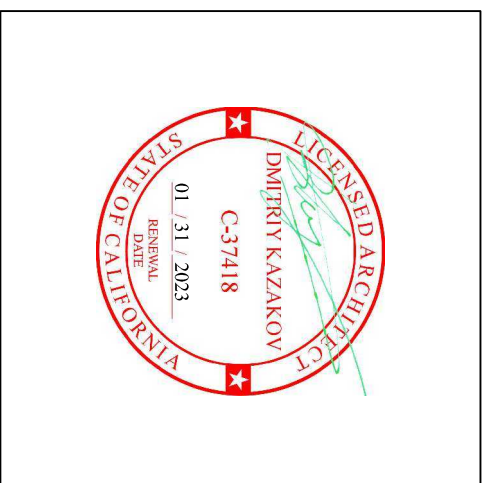
LEGEND



SOUTH ELEVATION

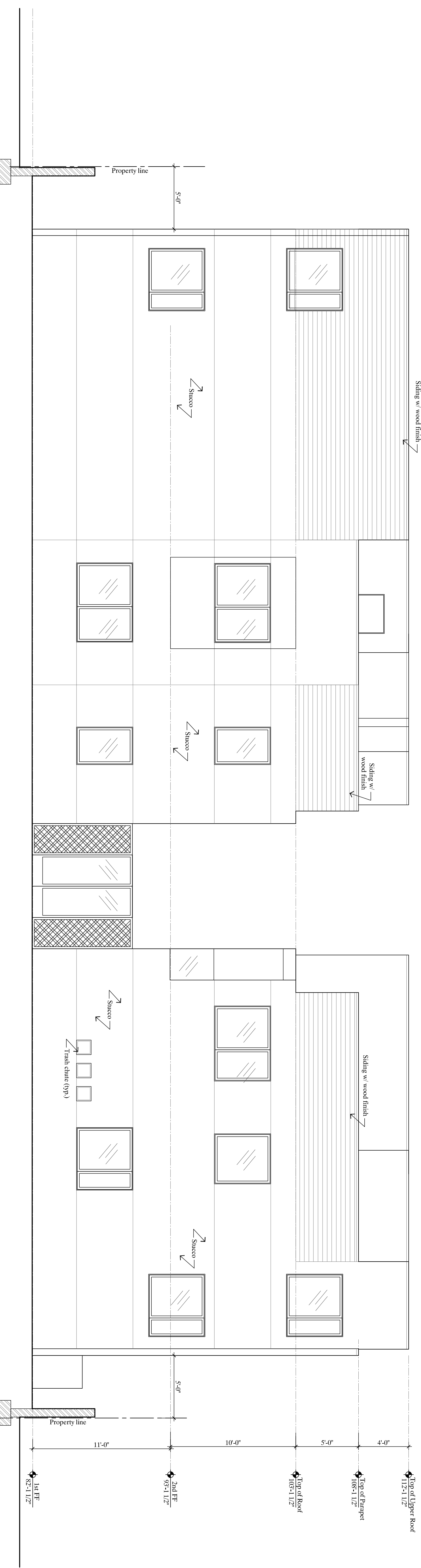
1/4" = 1'-0"

2



Type of Issuance	Date
Planning Submittal 2	09/29/22
Planning Submittal 1	08/19/22
Progress	03/09/22
Progress	03/02/22
Planning Submittal	11/11/21
Progress	07/08/21
Progress	07/06/21

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WEST ELEVATION

1/4" = 1'-0"

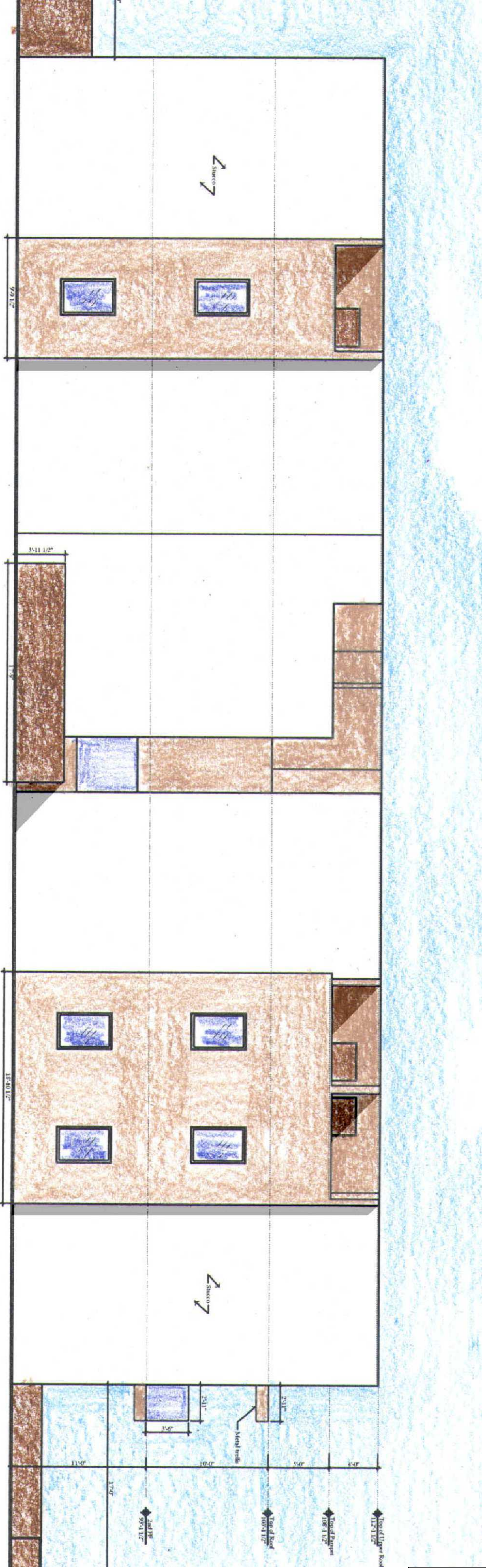
1

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ELEVATIONS

3.2

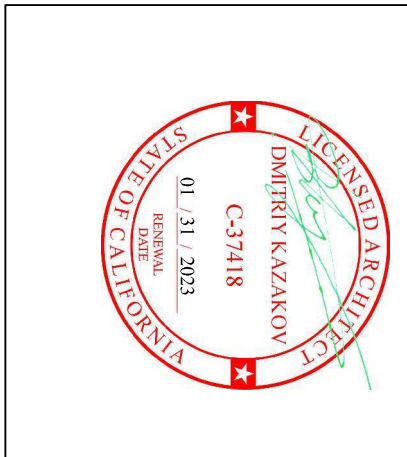
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SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



Type of Issuance	Date
Planning Submittal 2	09/29/22
Planning Submittal 1	08/19/22
Planning Submittal	11/11/21
Progress	07/08/21
Progress	07/07/21

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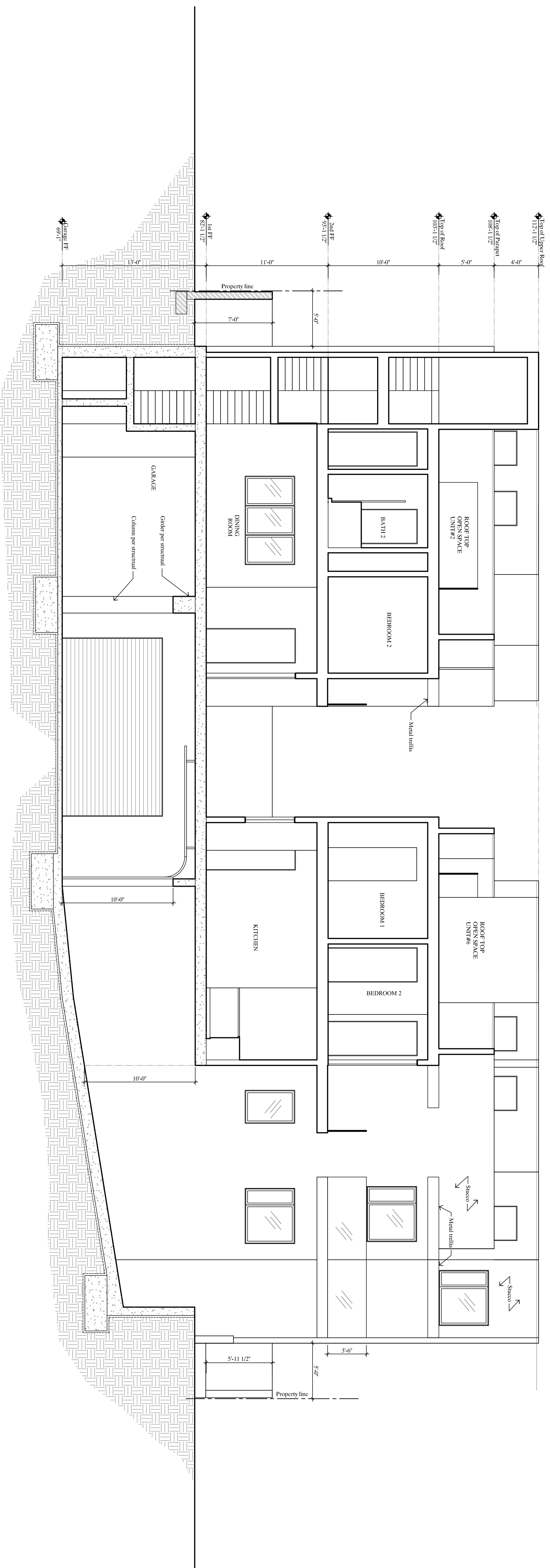
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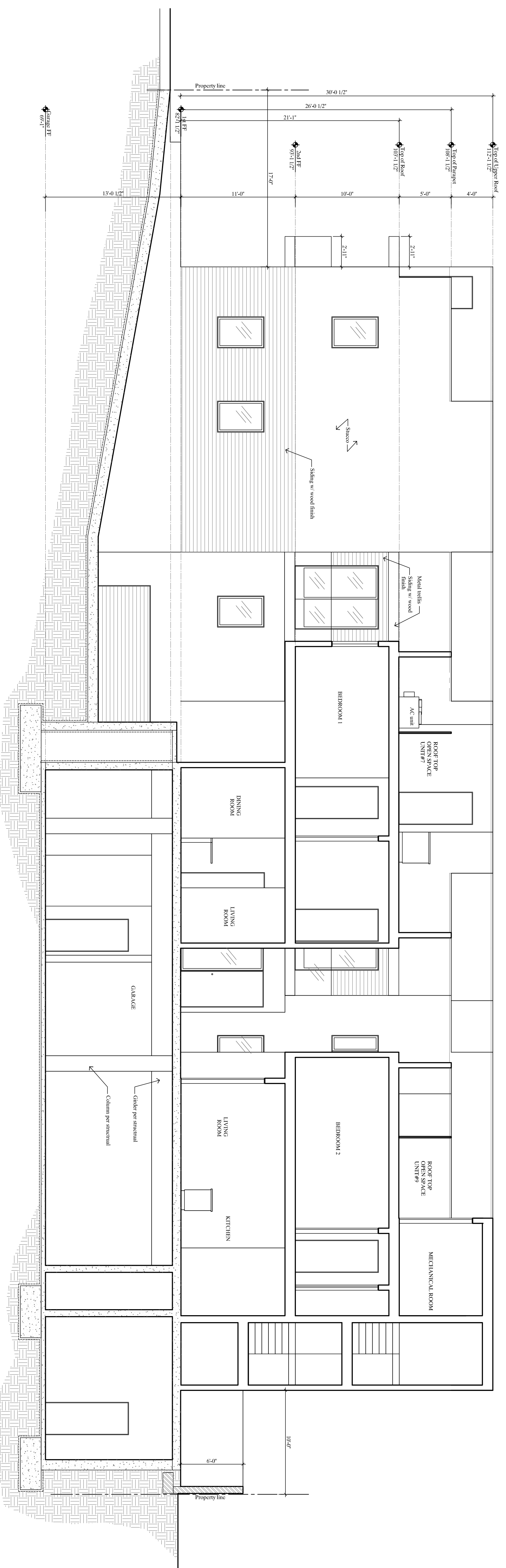
COLORED
ELEVATIONS

3.2A

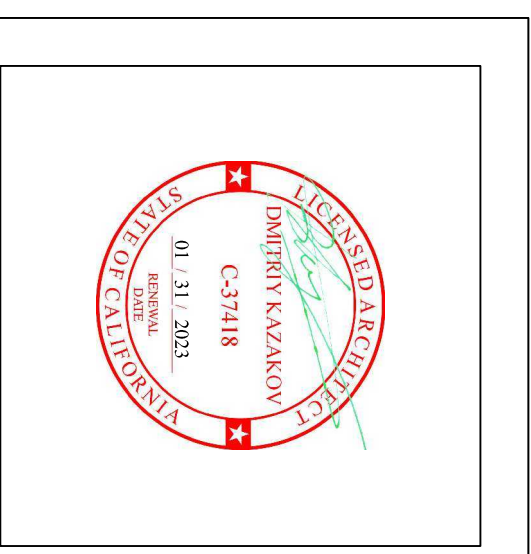
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CROSS SECTION 2
3/16" = 1'-0"



CROSS SECTION 1
3/16" = 1'-0"



Type of Issuance	Date
Progress	01/23/20
Planning Substantial 1	01/23/20
Progress	03/02/22
Planning Substantial 2	09/29/22
Progress	08/19/22
Planning Substantial 1	03/09/22
Progress	03/02/22
Planning Substantial 1	03/16/20
Progress	01/23/20

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