

MEETING DATE 10/24/05

AGENDA ITEM A proposed City-initiated Zoning Code Amendment (ZCA-P2004133) to establish Mixed Use Development Standards Live/Work Development Standards in the C-1 C-2 and C-3 Zones excluding the East Washington Overlay Zone

ATTACHMENTS

		<u>Pages</u>
1	City Council Ordinance No 2005-R_____ and Exhibits A and B	1-43

ORDINANCE NO 2005-_____

AN ORDINANCE OF THE CITY OF CULVER CITY CALIFORNIA, AMENDING
TITLE 17, ZONING OF THE CULVER CITY MUNICIPAL CODE (CCMC), TO
ESTABLISH THE FOLLOWING (1) MIXED USE DEVELOPMENT
STANDARDS AND (2) LIVE/WORK DEVELOPMENT STANDARDS

(Zoning Code Amendment P-2004133)

WHEREAS, on January 26, 2004 the City Council directed staff to consider
methods to enhance mixed use and live/work developments on Culver City's commercial
corridors, and

WHEREAS, on March 24, 2004 the Planning Commission held a Study
Session during which staff presented the general approach for the overall Zoning Code
Update, highlighting the land use and development characteristics of particular areas,
specific issues related to the mixed use development standards and live/work development
standards and discussed concentrating street level uses in specific areas along the City's
commercial corridors, and

WHEREAS Zoning Code Amendment ZCA P-2004133 was initiated by the City
to establish Mixed Use Development Standards and Live/Work Development Standards, and

WHEREAS, on June 9, 2004 the Planning Commission held a Study Session
where staff presented and received comment on draft versions of the proposed Mixed Use
Development Standards and the proposed Live/Work Development Standards and

WHEREAS, on July 14, 2004, the Planning Commission held a Panel
Discussion/Study Session with representatives of local real estate development companies
to obtain feedback on issues related to mixed use and live/work development projects and

1 WHEREAS on October 13, 2004, the Planning Commission held an additional
2 Study Session where staff presented and received comment on the updated draft versions of
3 the proposed Mixed Use Development Standards and the proposed Live/Work Development
4 Standards, and

5 WHEREAS, on November 10, 2004, the Planning Commission conducted a
6 duly noticed public hearing on City-initiated Zoning Code Amendment, ZCA P-2004133 fully
7 considering all reports, studies, testimony, and environmental information presented, and

8 WHEREAS, on January 24, 2005 May 16, 2005, and October 10, 2005 the
9 City Council conducted duly noticed public hearings on City-initiated ZCA P-2004133 fully
10 considering all reports, studies testimony, and environmental information presented, and

11 WHEREAS pursuant to Section 15162 and 15168 of the California
12 Environmental Quality Act, (CEQA), the Planning Commission recommends that the City
13 Council determine the Zoning Code Amendment P-2004133 are within the scope of the
14 Culver City General Plan Update Program EIR approved on September 24 1996 (PEIR 1)
15 and the Culver City Redevelopment Plan Amendment and Merger Program Subsequent EIR
16 approved on November 16, 1998 (PEIR 2), the circumstances under which PEIR 1 and PEIR
17 2 were prepared have not significantly changed and no new significant information has been
18 found that would impact either PEIR 1 or PEIR 2 and no new environment analysis is
19 required,
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1 NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CULVER CITY
2 CALIFORNIA RESOLVES AS FOLLOWS
3

4 SECTION 1 Pursuant to the foregoing, the following findings are hereby
5 made
6

7 1 The proposed Zoning Code Amendments (ZCA P-2004133) are
8 consistent with Land Use Element Policy 2 B which directs the City to continue to allow
9 and encourage multiple family housing opportunities in areas designated for such
10 development because ZCA P-2004133 increase the residential density permitted on
11 commercial corridors where multiple-family residential uses are currently permitted
12

13 2 ZCA P-2004133 is consistent with Land Use Element Policy 2 E
14 which directs the City to develop standards and guidelines for residential unit
15 development in appropriate commercial areas because ZCA P-2004133 establishes
16 specific standards for residential unit developments on commercial corridors
17

18 3 ZCA P-2004133 is consistent with Land Use Element Policy 2 H
19 which directs the City to explore the development of residential uses and/or mixed uses in
20 non-residential areas through the drafting of development standards that protect tenants
21 from adjacent uses and reinforce the primary character and use of the areas and requires
22 that street facing ground floor development is maintained in that ZCA P-2004133 creates
23 standards that permits residential units above and behind required ground floor
24 commercial development ZCA P-2004133 also includes specific design standards to
25 ensure neighborhood compatibility
26
27
28
29

1 4 ZCA P-2004133 is consistent with Land Use Element Objective 5
2 Economic Diversity, which states that the City should encourage new business
3 opportunities that expand Culver City's economic base and serve the needs of the City's
4 residential and business community because ZCA P-2004133 adds live/work as a new
5 commercial use to support small business development increases the permitted
6 residential density as part of mixed use projects and requires that the ground floor
7 portions of mixed use projects be dedicated to commercial uses
8

9 5 ZCA P-2004133 is consistent with Land Use Element Objective 6
10 Commercial Corridors which directs the City to revitalize the physical character and
11 economic well-being of the City's commercial corridors because ZCA P-2004133 includes
12 specific design standards and permits residential densities that will support ground level
13 commercial development
14

15 6 ZCA P-2004133 is consistent with the City's Redevelopment Plan
16 and the Redevelopment Plan expressed goals, objectives, and policies as specific
17 statements and also within the descriptive text because ZCA P-2004133 encourages
18 commercial boulevard development and implements the General Plan policies described
19 above
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22 SECTION 2 Pursuant to the foregoing recitations and findings, the City
23 Council of the City of Culver City, California, hereby approves Zoning Code Amendment
24 (ZCA P-2004133) as set forth in Exhibits A and B attached hereto and thereby made a
25 part thereof
26

27 SECTION 3 This Ordinance shall take effect thirty (30) days from the date
28 of its adoption and, as required by Section 512 of the City Charter, prior to the expiration
29

1 of fifteen (15) days from the adoption hereof the City Clerk shall cause this Ordinance to
2 be published in the Culver City News Additionally, the City Clerk shall post this
3 Ordinance or a summary thereof in at least three public places within the City pursuant to
4 Section 517 of the City Charter

5 SECTION 4 The City Council hereby declares that, if any provision, section,
6 subsection, paragraph, sentence phrase or word of this ordinance is rendered or declared
7 invalid or unconstitutional by any final action in a court of competent jurisdiction or by
8 reason of any preemptive legislation then the City Council would have independently
9 adopted the remaining provisions, sections subsections, paragraphs, sentences, phrases
10 or words of this ordinance and as such they shall remain in full force and effect
11

12 APPROVED and ADOPTED this _____ day of _____, 2005
13
14
15

16 _____
17 ALBERT VERA, Mayor
18 City of Culver City, California

19 ATTEST

20 APPROVED AS TO FORM
21

22 _____
23 CHRISTOPHER ARMENTA,
24 City Clerk

25 _____
26 CAROL A SCHWAB,
27 City Attorney
28
29

Exhibit A

ARTICLE 4 STANDARDS FOR SPECIFIC LAND USES

Section 17 400 065 Mixed Use Development Standards

A Purpose This Section provides location, development, and performance standards for mixed use developments in compliance with Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Development Standards)

B Applicability

- 1** The provisions in this Section shall regulate the conversion of existing buildings to include mixed uses as defined herein, and/or new construction of mixed use projects, where allowed by the applicable zoning districts
- 2** The Mixed Use Development Standards supersede the Commercial Zero Setback Overlay (-CZ), where applicable
- 3** The Mixed Use Development Standards do not supersede the provisions of the Commercial Downtown District (CD) or the East Washington Boulevard Overlay (-EW)
- 4** Except as specifically provided in this Section, mixed use projects shall be in compliance with the regulations of Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Development Standards)
- 5** Where an Owner-Participation Agreement, Disposition and Development Agreement and/or Development Agreement with the City and/or Redevelopment Agency applies to a land parcel and the provisions of such agreement differ from the Mixed Use Development Standards, the provisions of the agreement shall prevail

C Definitions

Architectural feature Soffit, column, wing wall, canopy, roof eave, balcony and any other similar element that does not create an interior floor space

Arterial street As used in this Section, arterial streets include primary and secondary arterial streets Primary arterial streets are major cross-town thoroughfares Secondary arterial streets connect primary arterial streets to smaller streets and residential neighborhoods Primary and secondary arterial streets are defined in the General Plan Circulation Element

Blank wall Any wall that is not enhanced by architectural detailing, artwork, landscaping, windows, doors, or similar features Solid and mechanical doors and glass with less than 80% transparency are considered blank wall areas

Exhibit A

Ornamental feature A statue, fountain, sculpture or any other similar freestanding decorative element which does not provide shelter, and which is not a sign, and which serves an aesthetic purpose

Street wall The wall of a building facing the street at or near the property line The street wall may include arcades, colonnades, recessed pedestrian entrances, decorative stairs, public art and other features deemed pedestrian oriented

D Use Regulations

- 1 Uses permitted** All uses permitted in the underlying zone are permitted in mixed use developments
- 2 Residential uses** Residential uses other than live/work units are prohibited on the ground floor adjacent to arterial streets Residential entrances and lobbies are permitted on the ground floor adjacent to arterial streets
- 3 Commercial uses** Commercial uses are required on the ground floor adjacent to arterial streets and at all corners adjacent to arterial streets
- 4 Covenant** A City-approved covenant shall be executed by the owner of each residential unit within a mixed use development, and shall include statements that the occupant(s) understand(s) and accept(s) he/she is living in a mixed use development and that commercial activities are permitted pursuant to the regulations of the Culver City Municipal Code
- 5 Feasibility Study** At the Director's discretion, an economic feasibility study evaluating the viability of the proposed commercial uses within the mixed use development may be required

E General Development Standards

- 1 Minimum lot size and dimensions**
 - a** All lots less than 10,000 square feet shall have a minimum width of 50 feet with alley access or access from a non primary arterial street
 - b** Lots 10,000 square feet or larger shall have a minimum width of 100 feet
 - c** Mixed use projects located on parcels that are less than 5,000 square feet shall not be permitted unless combined with one or more abutting lots to create a total site development area that is at least 5,000 square feet, subject to the above access requirements
- 2 Building height** The height of structures shall not exceed the standard established by the applicable zoning district in Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Standards), unless a modification is granted pursuant to Section 17 300 025 C

Exhibit A

- 3 Density** Residential density shall not exceed 65 dwelling units per acre or 1 unit per 670 square feet of lot area (43,560 sq ft divided by 65 units = 670)
- 4 Building setbacks** Building setbacks are provided in Table 4-2 (Building Setbacks)

**Table 4-2
Building Setbacks**

		Setbacks (1)			
		Street Wall	Side and Rear Adjacent to Residential Zone	Side and Rear Adjacent to Non residential Zone	Adjacent to an Alley
Building Height	Underground	None required			
	Less than or equal to 15 -0	The Street Wall shall have a zero setback but may be setback up to 5 feet from the property line if the setback area is enhanced with high quality paving material landscaping or other similar features See Figure 4-4 (Section of Street Wall Setback)	A 10 foot setback is required Adequate screening and landscaping shall be provided	No setback is required	2 0 (2)
	Greater than 15 -0	The upper level may be setback greater than the street wall or up to the property line	A 60 degree clear-zone angle must be maintained measured from 15 feet above the existing grade and from 10 feet from the rear property line See Figure 4 5 (Section of Rear Setback)	No setback is required	2 0 (2)
(1) Screening landscaping or greater setback than prescribed herein may be required where necessary to comply with visual clearance requirements for driveways and where the reviewing authority under a site plan review may condition the use necessary to protect the public interest due to lot site plan or building configuration and operations					
(2)The width of an alley may be credited toward the setback requirement for properties adjacent to residential zones					

Exhibit A

Figure 4-4
Section of Street Wall Setback

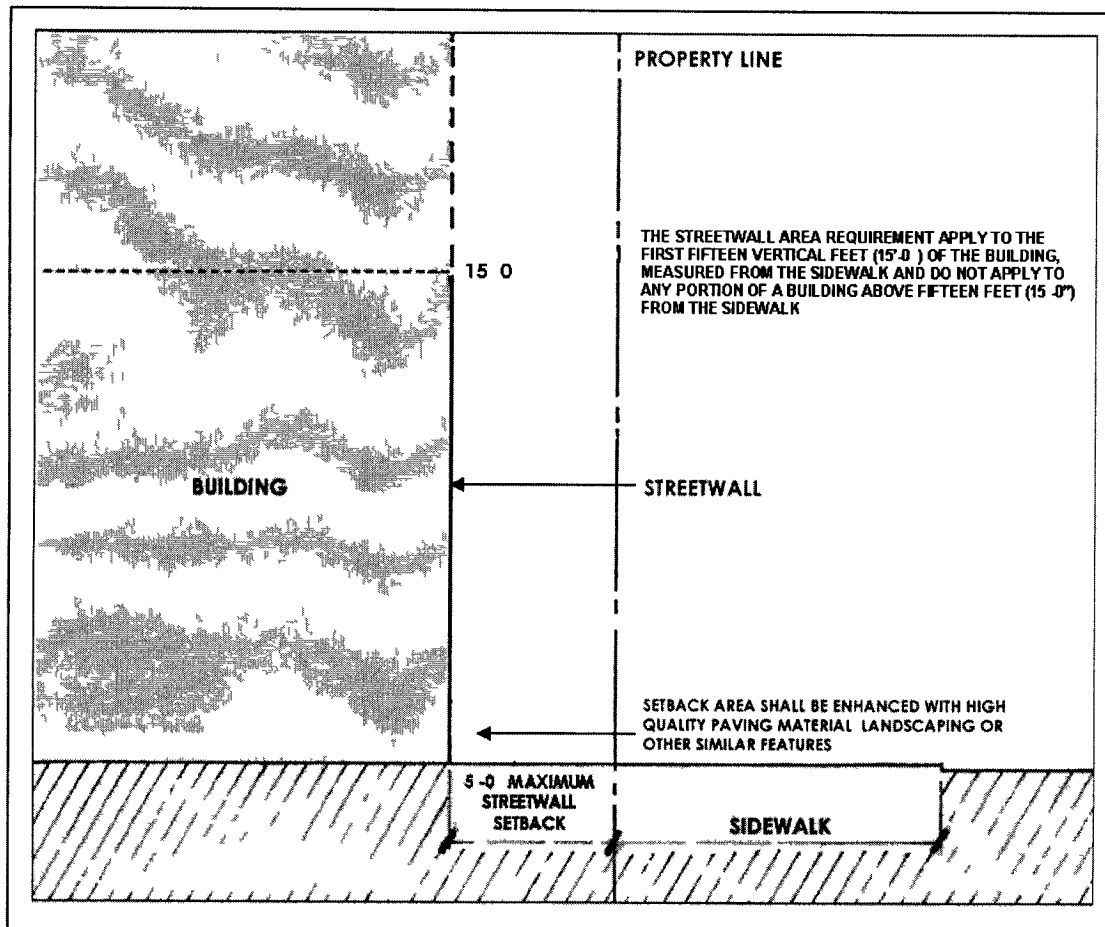
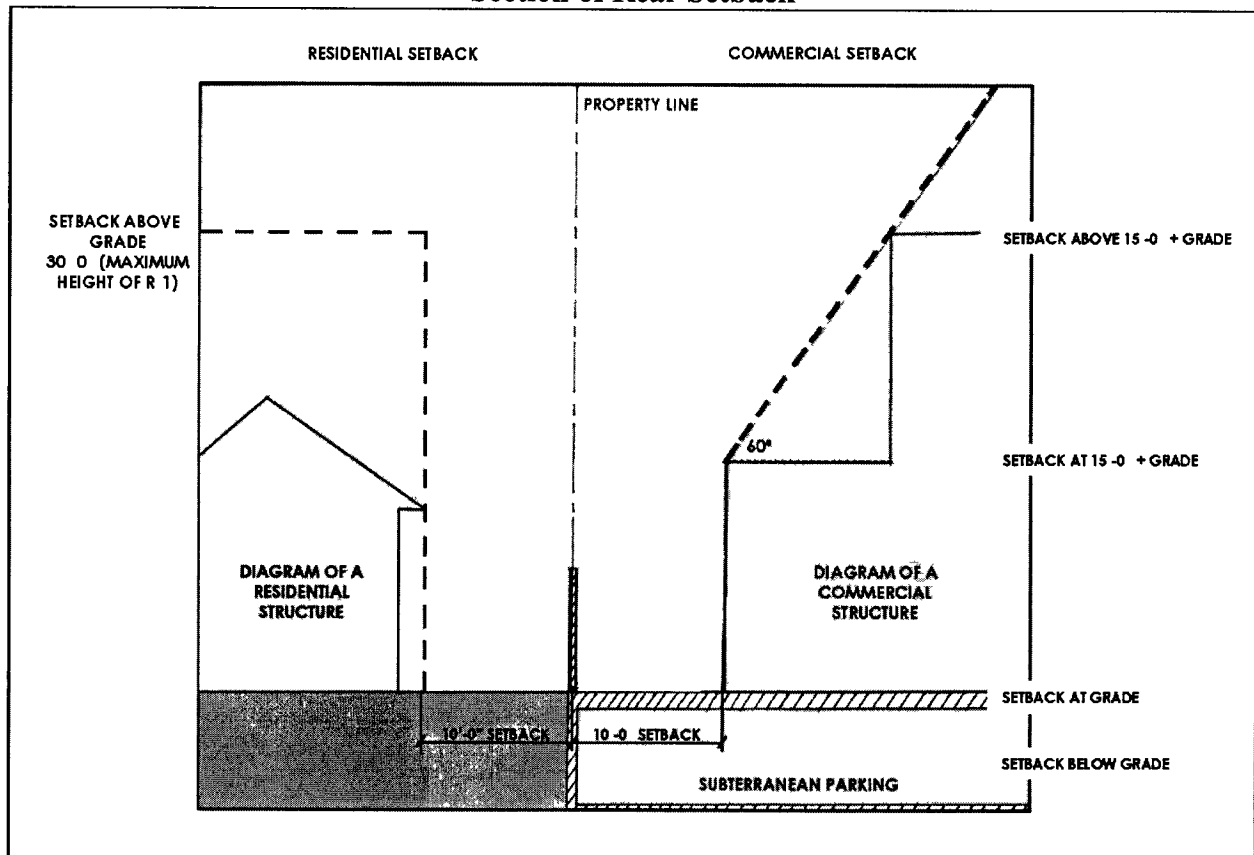


Exhibit A

Figure 4-5
Section of Rear Setback



F Site Planning and Design Standards

- 1 **Building bulk** Projects shall be designed to achieve interesting, graceful and articulated buildings by the use of varied rooflines and vertical attachments, clearly defining the base, middle and top of each building and other architectural features See Figure 4-6 (Building Elevation Composition)
- 2 **Building tops** The top of the building shall be visually terminated through the use of cornices, parapets, domes, towers, or other forms or features
- 3 **Street wall requirements**
 - a The street wall shall be architecturally modulated to create visual interest and shall include architectural features and pedestrian amenities such as recessed entries, arcades, colonnades, stairs, art and other architectural features deemed pedestrian-oriented by the Director, subject to the following
 - 1) Passageways in arcades and colonnades are, at minimum, 5 feet wide See Figure 4-7 (Section of Street Wall)
 - 2) Architectural and Ornamental features do not impede pedestrian routes
 - 3) Stairs are decorative and attractive

Exhibit A

- b** Street wall façade requirements shall apply to the portion of the street wall that is within 15 vertical feet above the sidewalk parallel to arterial streets
- c** The street wall is required along 100 percent of the total linear property line parallel to arterial streets
- d** No blank wall area is permitted in the street wall area
- e** On corner lots, where one of the adjacent streets is a non-arterial street, the street wall requirements shall apply to the first 25 percent of the building depth immediately adjacent to the non-arterial street See Figure 4-8 (Corner Building Street Wall Requirement)
- f** Major entrances and corners of buildings shall be articulated within the street wall façade

Figure 4-6
Building Elevation Composition



Exhibit A

Figure 4-7
Section of Street Wall

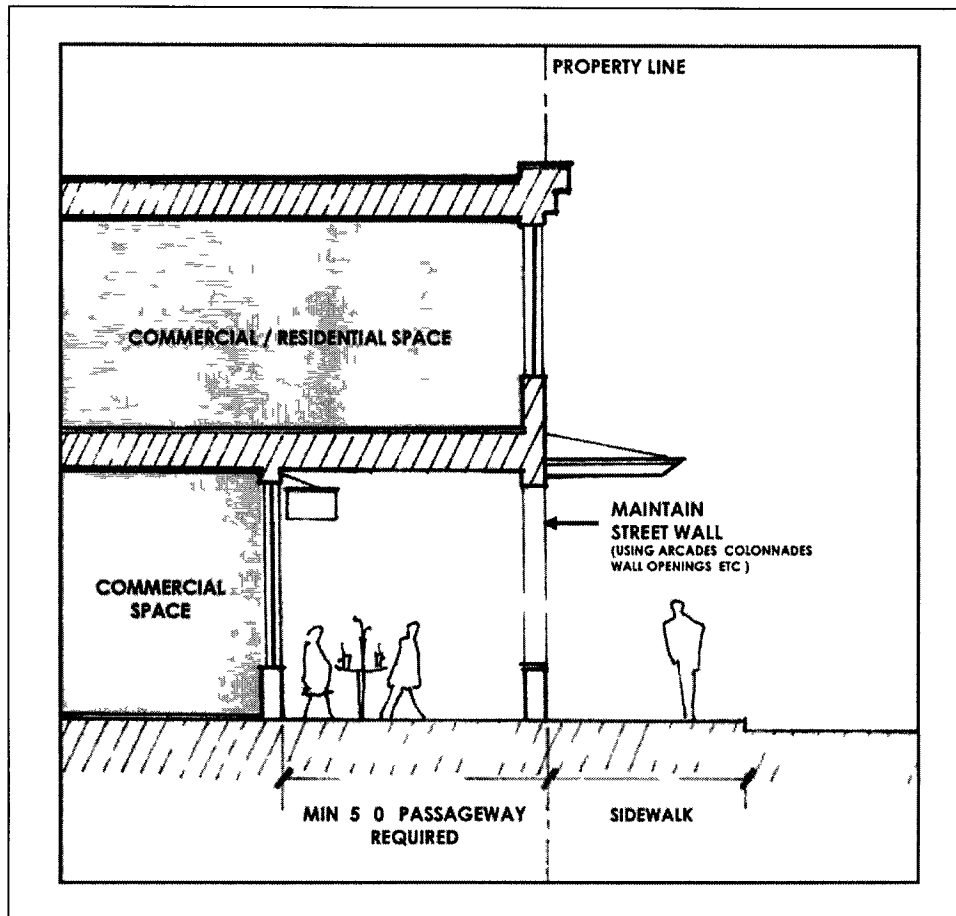
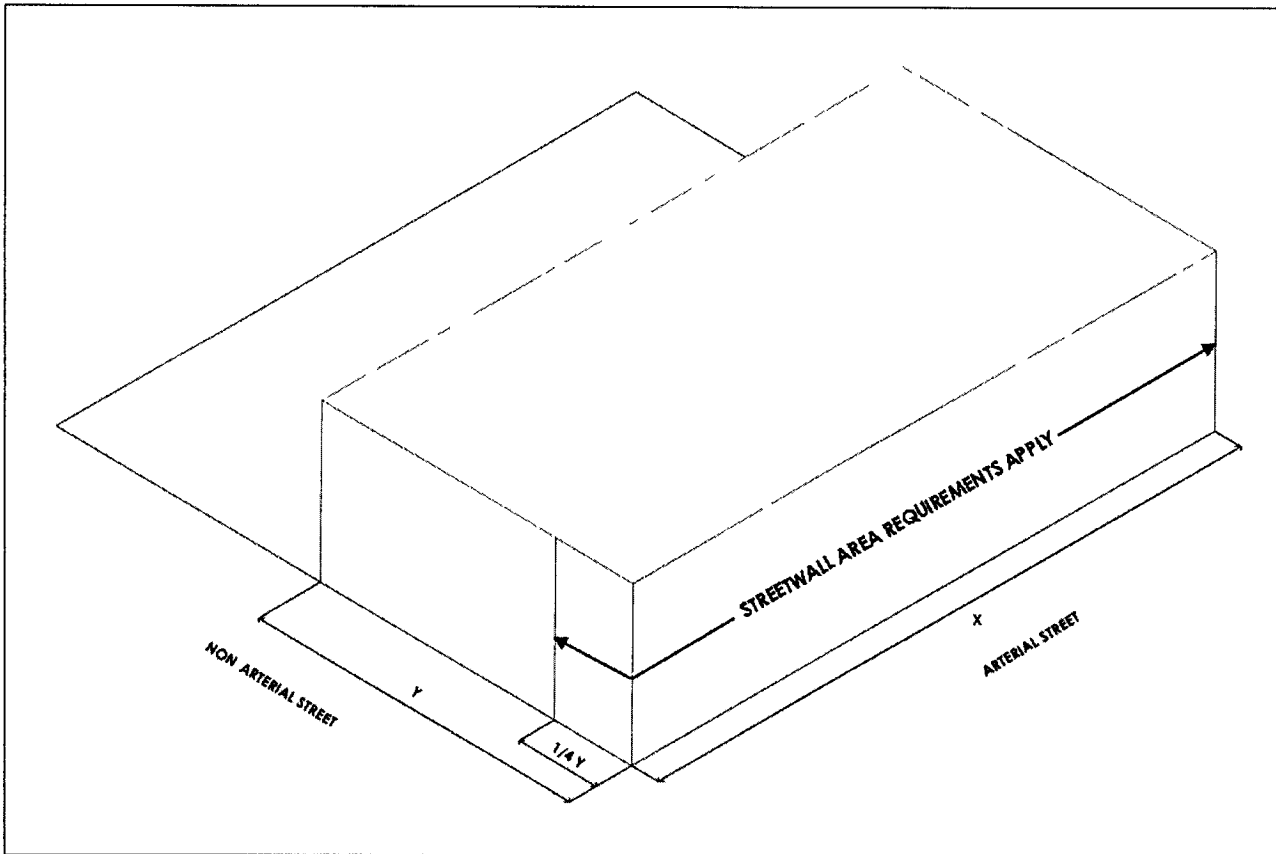


Exhibit A

Figure 4-8
Corner Building Street Wall Requirement



4 Blank wall

- a** Blank wall area is not permitted in the street wall area
- b** Blank wall area shall be minimized on all building elevations
- c** The maximum width of any continuous blank wall shall be no more than 15 feet

5 360° Architecture

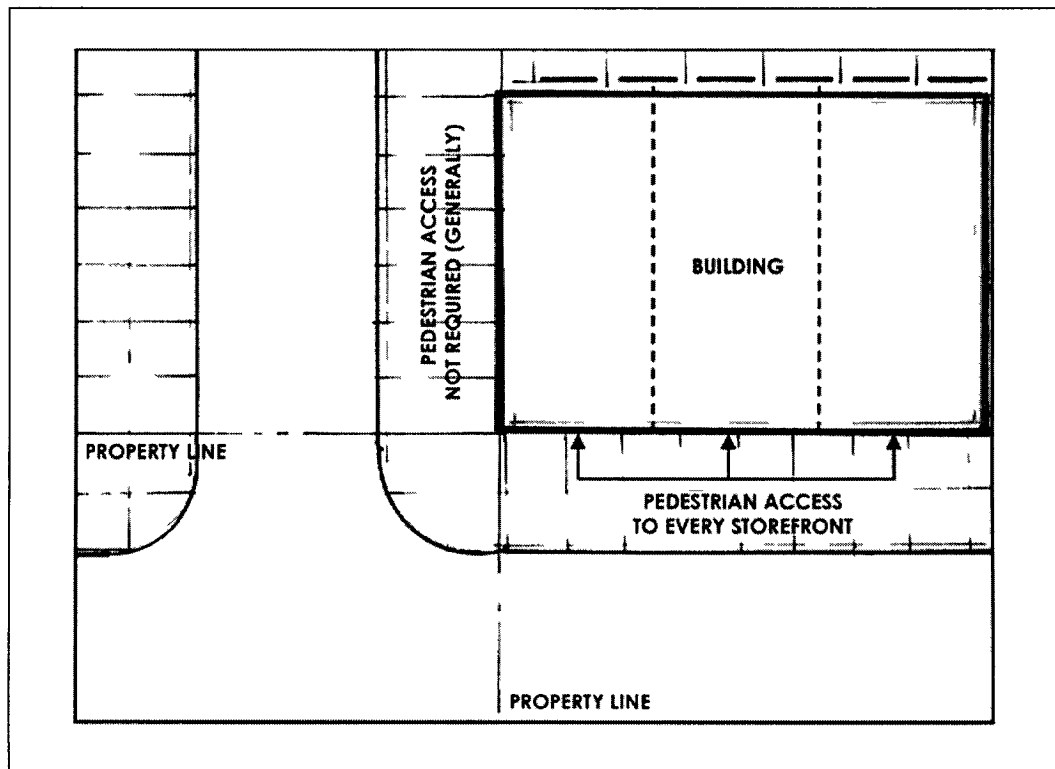
- a** Similar architectural and design features shall be incorporated on all sides of the building
- b** Building elevations clearly visible from adjoining residential areas should not negatively impact the character and atmosphere of the adjacent residential areas. Design elements, materials, colors, surfaces and finishes that complement the residential areas shall be used as deemed appropriate by the Director

Exhibit A

6 Building entrances

- a Pedestrian entrances shall be provided for all ground floor uses adjacent to arterial streets. Pedestrian entrances are not required on non-arterial streets. See Figure 4-9 (Plan of Pedestrian Entrances)
- b Pedestrian entrances shall be directly accessible from the public right-of-way and shall have direct access from the sidewalk grade
- c Commercial uses and residential uses shall have separate exterior entrances, elevators, and lobbies. The Director may waive this requirement based on site constraints

Figure 4-9
Plan of Pedestrian Entrances



- 7 **Signage and lighting** Signs must be developed pursuant to Chapter 17.330 (Signs). Exterior lighting shall comply with the requirements of Section 17.300.040 (Outdoor Lighting).

8 Parking and vehicular access

- a Street level parking facilities and lots shall be screened from view from the adjoining arterial street(s) by ornamental walls or fences, at least 4 feet high above street grade

Exhibit A

- b Two-way vehicular ingress/egress areas on arterial streets shall only be permitted on development sites with a minimum of 100 feet of street frontage on the street where the vehicular ingress/egress area is located The Director may waive this requirement based on site constraints
 - c One-way vehicular ingress/egress areas on arterial streets shall only be permitted on development sites with a minimum of 75 feet of street frontage on the street where the ingress/egress area is located The Director may waive this requirement based on site constraints
 - d Vehicular ingress/egress areas are prohibited on arterial streets where the street frontage of the development site adjacent to the arterial street is less than 75 feet The Director may waive this requirement based on site constraints
- 9 **Refuse storage and collection areas** The commercial and residential components of the project shall maintain separate refuse storage and collection areas, the refuse storage and collection areas shall be clearly marked for separate uses

G Residential Development Standards

- 1 Minimum unit size** Residential minimum unit sizes are detailed in Table 4-3 (Minimum Residential Unit Size)

Table 4 3
Minimum Residential Unit Size

No. of Bedrooms	Minimum Unit Size (Gross Floor Area)
Studio	500
1 Bedroom	700
2 Bedrooms	900
3 Bedrooms	1 100
4 Bedrooms	150 additional gfa/bedroom

- 2 **Unit size mix** No more than 25 percent of the total number of residential units shall have less than 700 square feet of gross floor area
- 3 **Open space**
 - a Each unit shall have a minimum of 75 square feet of common and/or private open space
 - b Common open space areas shall have a minimum dimension of 15 feet which may include a combination of open space and adjacent setback area
 - c Private open space areas shall be at least 30 square feet and 5 feet in any direction, to the extent feasible

Exhibit A

- d** Private and common open space requirements may be satisfied by a selection or combination of the following atriums, balconies, courtyards, decks, gardens, gyms/exercise rooms, patios, playgrounds/tot lots, rooftop decks, patios and gardens, and swimming pools. The Director may approve similar amenities not listed above.

H Live/Work Development Standards

In addition to the standards detailed in this Section, live/work units within a mixed use development shall meet all applicable standards contained in Section 17 400 060 (Live/Work Development Standards)

I Parking Standards Mixed use developments shall comply with all requirements contained in Chapter 17 320 (Off-Street Parking and Loading) and the following additional standards

1 Parking access and circulation standards

- a Commingled parking** A mixed use project may have a commingled parking area for all uses, subject to the following conditions

- 1) Residential, live/work and commercial parking spaces are designated with signs
- 2) Residential, live/work and commercial components require 10 or fewer parking spaces each
- 3) One use requires 10 or fewer parking spaces and a second use requires more than 10 parking spaces, and the Director determines that site conditions make it infeasible to provide gated or separated parking

- b Gated parking** A mixed use project shall have a gated parking area for residents of residential units and live/work units, if the requirements allowing commingled parking are not met. The regulations governing gated parking areas are provided below

- 1) Common ingress areas to residential, live/work, and commercial parking are permitted
- 2) If a separated residential and live/work egress lane(s) is/are not provided, non-residential parking shall be free of charge
- 3) The parking layout shall be designed so that residents are not significantly inconvenienced by non-residential parking demands, as determined by the Director

Exhibit A

c Residential guest parking location

- 1) Residential guest parking may be located in the commercial parking area
- 2) Residential guest parking shall be accessible 24 hours per day
- 3) Residential guest parking shall be free of charge
- 4) Residential guest parking shall be appropriately signed

J Performance Requirements All mixed use projects shall be designed to meet the following performance standards

- 1 Walls on all sides of residential and live/work units shall be constructed to minimize the transmission of noise and vibration. A minimum impact insulation class (IIC) of 60 shall be required for all residential and live/work walls, floors, and ceilings
- 2 Shared elevators shall have security code access for residents to reach residential floors and to use the elevators during late evening and early morning hours. Security code access is not required for live/work access areas. Separate commercial and residential elevators are encouraged
- 3 No commercial use, activity or process shall be operated in an objectionable manner due to fumes, noxious odor, dust, smoke, gas, noise or vibrations which may be detrimental to any other uses and occupants on the same property
- 4 Residential and live/work units shall be designed to allow for cross-ventilation and have high quality HVAC systems, to the extent feasible
- 5 Parking areas shall be illuminated so as to provide appropriate visibility and security as determined by the Director
- 6 Parking access and circulation design shall minimize vehicle circulation through residential neighborhood streets as determined by the Director
- 7 Commercial loading areas and outdoor storage areas shall be designed and located away from residential units and shall be screened from view at ground level from the residential portion of the project and from adjacent residential developments
- 8 Commercial loading areas shall not significantly and/or negatively impact the pedestrian environment
- 10 Adequate lighting must be provided adjacent to sidewalks and other public spaces to preserve the amenity and safety of those spaces for night-time pedestrian use, as determined by the Director

Exhibit A

ARTICLE 4 STANDARDS FOR SPECIFIC LAND USES

Section 17 400 065 Mixed Use Development Standards

A Purpose This Section provides location, development, and performance standards for mixed use developments in compliance with Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Development Standards)

B Applicability

- 1** The provisions in this Section shall regulate the conversion of existing buildings to include mixed uses as defined herein, and/or new construction of mixed use projects, where allowed by the applicable zoning districts
- 2** The Mixed Use Development Standards supersede the Commercial Zero Setback Overlay (-CZ), where applicable
- 3** The Mixed Use Development Standards do not supersede the provisions of the Commercial Downtown District (CD) or the East Washington Boulevard Overlay (-EW)
- 4** Except as specifically provided in this Section, mixed use projects shall be in compliance with the regulations of Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Development Standards)
- 5** Where an Owner-Participation Agreement, Disposition and Development Agreement and/or Development Agreement with the City and/or Redevelopment Agency applies to a land parcel and the provisions of such agreement differ from the Mixed Use Development Standards, the provisions of the agreement shall prevail

C Definitions

Architectural feature Soffit, column, wing wall, canopy, roof eave, balcony and any other similar element that does not create an interior floor space

Arterial street As used in this Section, arterial streets include primary and secondary arterial streets Primary arterial streets are major cross-town thoroughfares Secondary arterial streets connect primary arterial streets to smaller streets and residential neighborhoods Primary and secondary arterial streets are defined in the General Plan Circulation Element

Blank wall Any wall that is not enhanced by architectural detailing, artwork, landscaping, windows, doors, or similar features Solid and mechanical doors and glass with less than 80% transparency are considered blank wall areas

Exhibit A

Ornamental feature A statue, fountain, sculpture or any other similar freestanding decorative element which does not provide shelter, and which is not a sign, and which serves an aesthetic purpose

Street wall The wall of a building facing the street at or near the property line. The street wall may include arcades, colonnades, recessed pedestrian entrances, decorative stairs, public art and other features deemed pedestrian oriented

D Use Regulations

- 1 **Uses permitted** All uses permitted in the underlying zone are permitted in mixed use developments
- 2 **Residential uses** Residential uses other than live/work units are prohibited on the ground floor adjacent to arterial streets. Residential entrances and lobbies are permitted on the ground floor adjacent to arterial streets
- 3 **Commercial uses** Commercial uses are required on the ground floor adjacent to arterial streets and at all corners adjacent to arterial streets
- 4 **Covenant** A City-approved covenant shall be executed by the owner of each residential unit within a mixed use development, and shall include statements that the occupant(s) understand(s) and accept(s) he/she is living in a mixed use development and that commercial activities are permitted pursuant to the regulations of the Culver City Municipal Code
- 5 **Feasibility Study** At the Director's discretion, an economic feasibility study evaluating the viability of the proposed commercial uses within the mixed use development may be required

E General Development Standards

- 1 **Minimum lot size and dimensions**
 - a All lots less than 10,000 square feet shall have a minimum width of 50 feet with alley access or access from a non primary arterial street
 - b Lots 10,000 square feet or larger shall have a minimum width of 100 feet
 - c Mixed use projects located on parcels that are less than 5,000 square feet shall not be permitted unless combined with one or more abutting lots to create a total site development area that is at least 5,000 square feet, subject to the above access requirements
- 2 **Building height** The height of structures shall not exceed the standard established by the applicable zoning district in Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Standards), unless a modification is granted pursuant to Section 17 300 025 C

Exhibit A

- 3 **Density** Residential density shall not exceed 65 dwelling units per acre or 1 unit per 670 square feet of lot area (43,560 sq ft divided by 65 units = 670)
- 4 **Building setbacks** Building setbacks are provided in Table 4-2 (Building Setbacks)

**Table 4-2
Building Setbacks**

		Setbacks (1)			
		Street Wall	Side and Rear Adjacent to Residential Zone	Side and Rear Adjacent to Non residential Zone	Adjacent to an Alley
Building Height	Underground	None required			
	Less than or equal to 15 0	The Street Wall shall have a zero setback but may be setback up to 5 feet from the property line if the setback area is enhanced with high quality paving material landscaping or other similar features See Figure 4-4 (Section of Street Wall Setback)	A 10 foot setback is required Adequate screening and landscaping shall be provided	No setback is required	2 0 (2)
	Greater than 15 0	The upper level may be setback greater than the street wall or up to the property line	A 60 degree clear zone angle must be maintained measured from 15 feet above the existing grade and from 10 feet from the rear property line See Figure 4 5 (Section of Rear Setback)	No setback is required	2 0 (2)
(1) Screening landscaping or greater setback than prescribed herein may be required where necessary to comply with visual clearance requirements for driveways and where the reviewing authority under a site plan review may condition the use necessary to protect the public interest due to lot site plan or building configuration and operations					
(2)The width of an alley may be credited toward the setback requirement for properties adjacent to residential zones					

Exhibit A

Figure 4-4
Section of Street Wall Setback

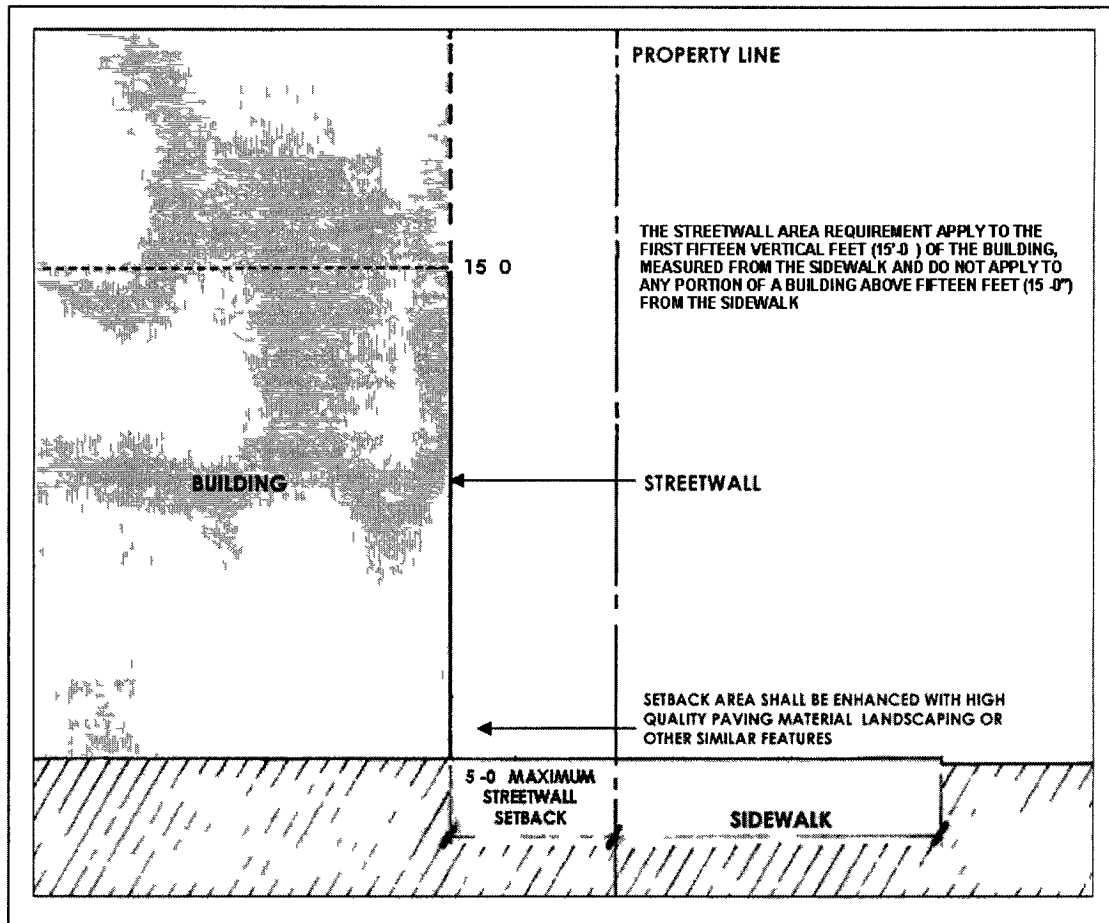


Figure 4-5
Section of Rear Setback

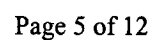


Exhibit A

- b** Street wall façade requirements shall apply to the portion of the street wall that is within 15 vertical feet above the sidewalk parallel to arterial streets
- c** The street wall is required along 100 percent of the total linear property line parallel to arterial streets
- d** No blank wall area is permitted in the street wall area
- e** On corner lots, where one of the adjacent streets is a non-arterial street, the street wall requirements shall apply to the first 25 percent of the building depth immediately adjacent to the non-arterial street See Figure 4-8 (Corner Building Street Wall Requirement)
- f** Major entrances and corners of buildings shall be articulated within the street wall façade

Figure 4-6
Building Elevation Composition



Exhibit A

Figure 4-7
Section of Street Wall

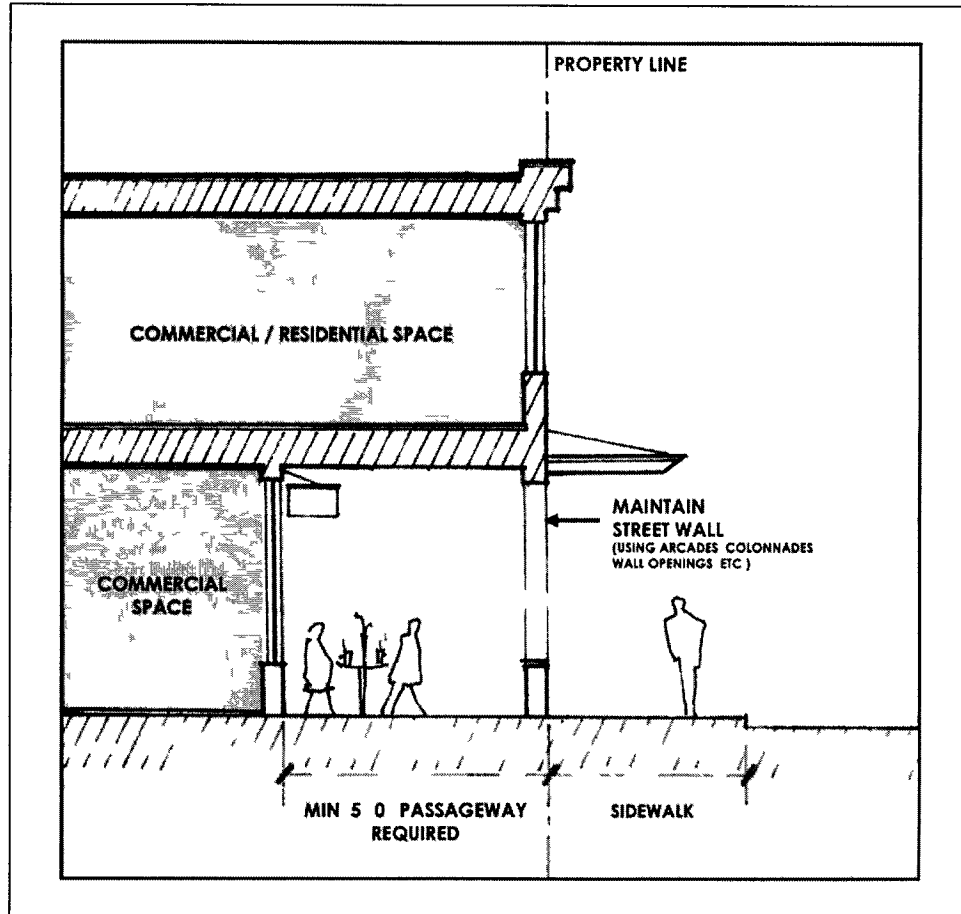
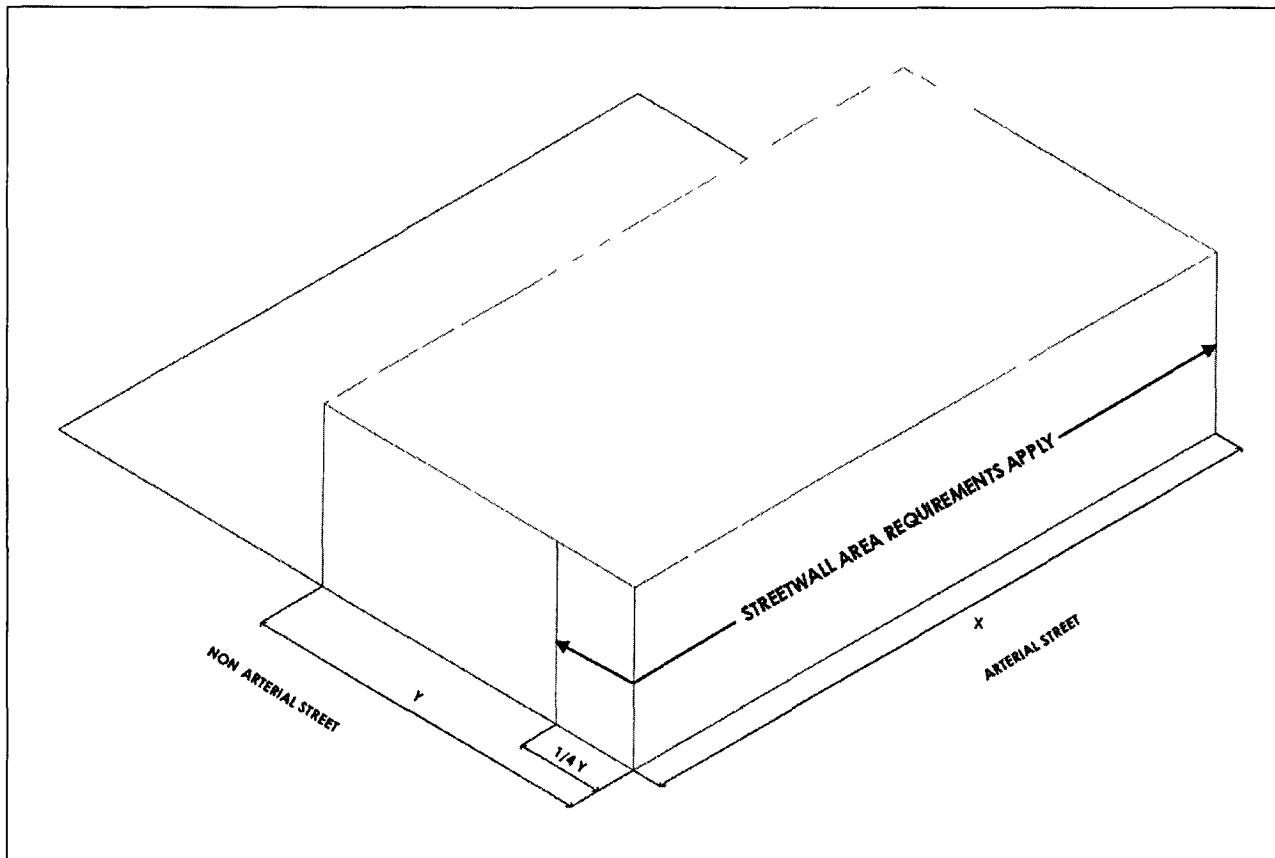


Exhibit A

Figure 4-8
Corner Building Street Wall Requirement



4 Blank wall

- a** Blank wall area is not permitted in the street wall area
- b** Blank wall area shall be minimized on all building elevations
- c** The maximum width of any continuous blank wall shall be no more than 15 feet

5 360° Architecture

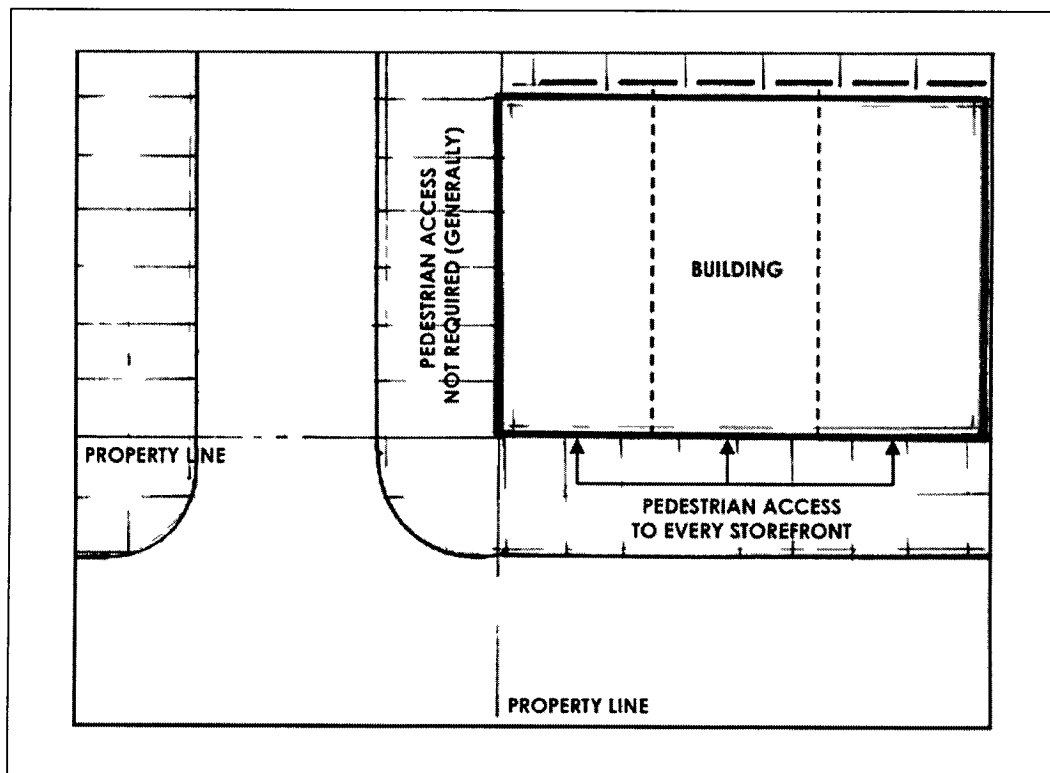
- a** Similar architectural and design features shall be incorporated on all sides of the building
- b** Building elevations clearly visible from adjoining residential areas should not negatively impact the character and atmosphere of the adjacent residential areas. Design elements, materials, colors, surfaces and finishes that complement the residential areas shall be used as deemed appropriate by the Director

Exhibit A

6 Building entrances

- a Pedestrian entrances shall be provided for all ground floor uses adjacent to arterial streets. Pedestrian entrances are not required on non-arterial streets. See Figure 4-9 (Plan of Pedestrian Entrances)
- b Pedestrian entrances shall be directly accessible from the public right-of-way and shall have direct access from the sidewalk grade
- c Commercial uses and residential uses shall have separate exterior entrances, elevators, and lobbies. The Director may waive this requirement based on site constraints

**Figure 4-9
Plan of Pedestrian Entrances**



- 7 **Signage and lighting** Signs must be developed pursuant to Chapter 17.330 (Signs). Exterior lighting shall comply with the requirements of Section 17.300.040 (Outdoor Lighting)

8 Parking and vehicular access

- a Street level parking facilities and lots shall be screened from view from the adjoining arterial street(s) by ornamental walls or fences, at least 4 feet high above street grade

Exhibit A

- b Two-way vehicular ingress/egress areas on arterial streets shall only be permitted on development sites with a minimum of 100 feet of street frontage on the street where the vehicular ingress/egress area is located The Director may waive this requirement based on site constraints
 - c One-way vehicular ingress/egress areas on arterial streets shall only be permitted on development sites with a minimum of 75 feet of street frontage on the street where the ingress/egress area is located The Director may waive this requirement based on site constraints
 - d Vehicular ingress/egress areas are prohibited on arterial streets where the street frontage of the development site adjacent to the arterial street is less than 75 feet The Director may waive this requirement based on site constraints
- 9 Refuse storage and collection areas The commercial and residential components of the project shall maintain separate refuse storage and collection areas, the refuse storage and collection areas shall be clearly marked for separate uses

G Residential Development Standards

- 1 Minimum unit size** Residential minimum unit sizes are detailed in Table 4-3 (Minimum Residential Unit Size)

Table 4 3
Minimum Residential Unit Size

No. of Bedrooms	Minimum Unit Size (Gross Floor Area)
Studio	500
1 Bedroom	700
2 Bedrooms	900
3 Bedrooms	1 100
4 Bedrooms	150 additional gfa/bedroom

- 2 **Unit size mix** No more than 25 percent of the total number of residential units shall have less than 700 square feet of gross floor area
- 3 **Open space**
 - a Each unit shall have a minimum of 75 square feet of common and/or private open space
 - b Common open space areas shall have a minimum dimension of 15 feet which may include a combination of open space and adjacent setback area
 - c Private open space areas shall be at least 30 square feet and 5 feet in any direction, to the extent feasible

Exhibit A

- d Private and common open space requirements may be satisfied by a selection or combination of the following atriums, balconies, courtyards, decks, gardens, gyms/exercise rooms, patios, playgrounds/tot lots, rooftop decks, patios and gardens, and swimming pools. The Director may approve similar amenities not listed above.

H Live/Work Development Standards

In addition to the standards detailed in this Section, live/work units within a mixed use development shall meet all applicable standards contained in Section 17 400 060 (Live/Work Development Standards)

- I **Parking Standards** Mixed use developments shall comply with all requirements contained in Chapter 17 320 (Off-Street Parking and Loading) and the following additional standards

1 Parking access and circulation standards

- a **Commingled parking** A mixed use project may have a commingled parking area for all uses, subject to the following conditions
 - 1) Residential, live/work and commercial parking spaces are designated with signs
 - 2) Residential, live/work and commercial components require 10 or fewer parking spaces each
 - 3) One use requires 10 or fewer parking spaces and a second use requires more than 10 parking spaces, and the Director determines that site conditions make it infeasible to provide gated or separated parking
- b **Gated parking** A mixed use project shall have a gated parking area for residents of residential units and live/work units, if the requirements allowing commingled parking are not met. The regulations governing gated parking areas are provided below
 - 1) Common ingress areas to residential, live/work, and commercial parking are permitted
 - 2) If a separated residential and live/work egress lane(s) is/are not provided, non-residential parking shall be free of charge
 - 3) The parking layout shall be designed so that residents are not significantly inconvenienced by non-residential parking demands, as determined by the Director

Exhibit A

c Residential guest parking location

- 1) Residential guest parking may be located in the commercial parking area
- 2) Residential guest parking shall be accessible 24 hours per day
- 3) Residential guest parking shall be free of charge
- 4) Residential guest parking shall be appropriately signed

J Performance Requirements All mixed use projects shall be designed to meet the following performance standards

- 1 Walls on all sides of residential and live/work units shall be constructed to minimize the transmission of noise and vibration. A minimum impact insulation class (IIC) of 60 shall be required for all residential and live/work walls, floors, and ceilings.
- 2 Shared elevators shall have security code access for residents to reach residential floors and to use the elevators during late evening and early morning hours. Security code access is not required for live/work access areas. Separate commercial and residential elevators are encouraged.
- 3 No commercial use, activity or process shall be operated in an objectionable manner due to fumes, noxious odor, dust, smoke, gas, noise or vibrations which may be detrimental to any other uses and occupants on the same property.
- 4 Residential and live/work units shall be designed to allow for cross-ventilation and have high quality HVAC systems, to the extent feasible.
- 5 Parking areas shall be illuminated so as to provide appropriate visibility and security as determined by the Director.
- 6 Parking access and circulation design shall minimize vehicle circulation through residential neighborhood streets as determined by the Director.
- 7 Commercial loading areas and outdoor storage areas shall be designed and located away from residential units and shall be screened from view at ground level from the residential portion of the project and from adjacent residential developments.
- 8 Commercial loading areas shall not significantly and/or negatively impact the pedestrian environment.
- 10 Adequate lighting must be provided adjacent to sidewalks and other public spaces to preserve the amenity and safety of those spaces for night-time pedestrian use, as determined by the Director.

Exhibit B**ARTICLE 4 STANDARDS FOR SPECIFIC LAND USES****Section 17 400 060 Live/Work Development Standards**

A Purpose This Section provides location, development, and performance standards for mixed use developments in compliance with Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Development Standards)

B Applicability

- 1** The provisions in this Section shall regulate the conversion and new construction of live/work uses where allowed by the applicable zoning districts
- 2** Except as specifically provided in this Section, live/work projects shall be in compliance with the regulations of Article 2 (Zoning Districts, Allowable Land Uses and Zone-Specific Development Standards)
- 3** When live/work units are constructed as part of a mixed use development, the Mixed Use Development Standards (MUDS) shall supersede the regulations detailed in this Section
- 4** Where an Owner-Participation Agreement, Disposition and Development Agreement or Development Agreement with the City and/or Redevelopment Agency applies to a land parcel and the provisions of such agreement differ from the Live/Work Development Standards, the provisions of the agreement shall prevail

C Use Regulations

- 1 Permitted Uses/Occupations** The following uses/occupations are permitted in live/work units
 - a** Accountant
 - b** Architect
 - c** Artist and artisan
 - d** Attorney
 - e** Computer software and multimedia related professional
 - f** Engineer
 - g** Fashion, graphic, interior and other designer
 - h** Insurance, real estate and travel agent

Exhibit B

- i** Photographer
- j** Psychologist/Psychiatrist
- k** Other similar uses/occupations as determined by the Director may be permitted provided that the allowed uses/occupations are permitted by the underlying zone

2 Occupancy and Employees

- a** At least one of the full-time employees of the live work unit must be a full-time resident of the live/work unit and shall possess a valid Business Tax Certificate
- b** Only one residential area per unit shall be allowed
- c** The residential area shall not be rented separately from the working space
- d** No more than one employee, other than the resident(s) of the unit shall be permitted on site at any given time in units that are less than or equal to 1,499 square feet
- e** No more than two employees, other than the resident(s) of the unit, shall be permitted on site at any given time in units that are greater than or equal to 1,500 square feet

- 3 Business Activity** None of the uses permitted shall be operated in an objectionable manner due to fumes, odor, dust, smoke, gas, noise or vibrations, which are or may be detrimental to properties and occupants in the neighborhood and/or to any other uses and occupants on the same property

- 4 Special and/or Temporary Events** Special and/or temporary events in live/work units shall be required to follow the permit process for special and/or temporary events contained in Chapter 17 520 (Temporary Use and Special Event Permits)

- 5 Covenant** A City-approved covenant shall be executed by the owner of each live/work unit, and shall include statements that the occupant(s) understand(s) and accept(s) he/she is living in a live/work unit and must operate a business from said unit. The covenant shall also set forth the required use conditions as described in this Section

- a** The residential component shall be contiguous with and integral to the working space with direct access between the two areas and not as a separate stand-alone dwelling unit

Exhibit B

- b** Only one residential component per unit shall be allowed. The residential component space and the business component space shall only be used as one contiguous habitable space and, if rented, shall only be rented together as one tenant space.
- c** Any lease between the owner and a tenant, or between a tenant and a subtenant, shall refer to the fact that the unit is subject to the above referenced covenant.
- d** A resident in any live/work unit shall operate a business from the unit and shall possess a Culver City Business Tax Certificate in good standing for business activities conducted within the unit.

D Development Standards

- 1 Unit Size and Dimension** The minimum square footage of a live/work unit shall be 700 square feet.
- 2 Floor Plans** A live/work unit may include a single level floor plan or a multi-level floor plan. See Figures 4-2 and 4-3.

Exhibit B

Figure 4-2 Typical Live/Work Layout 1

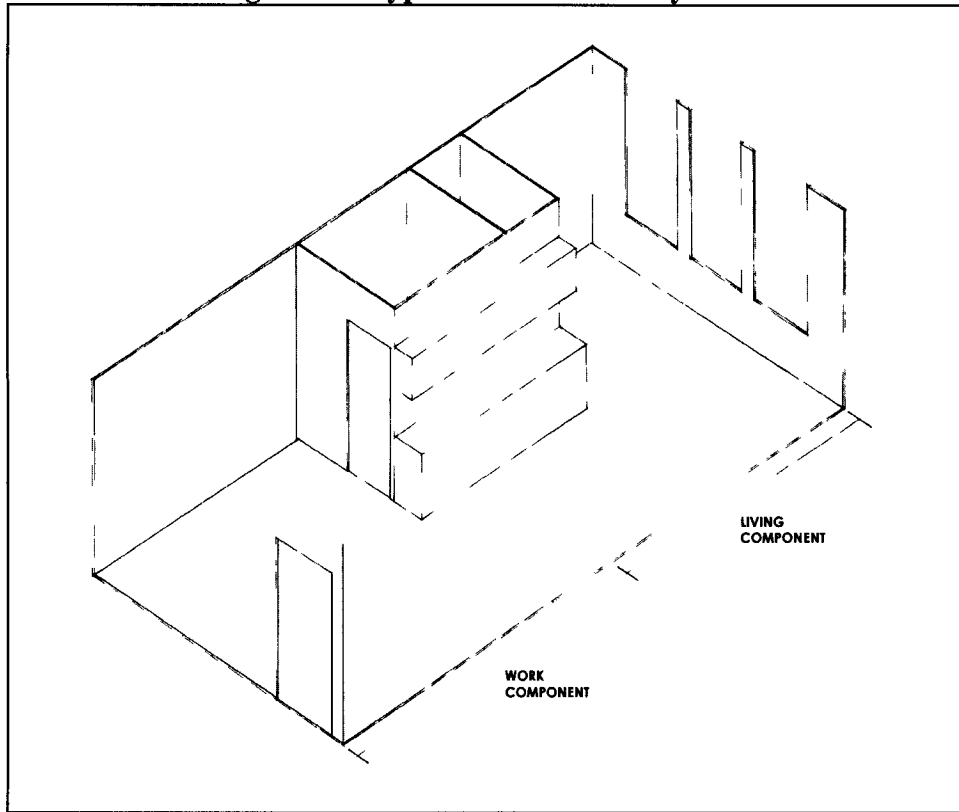


Figure 4-2 Typical Live/Work Layout 2

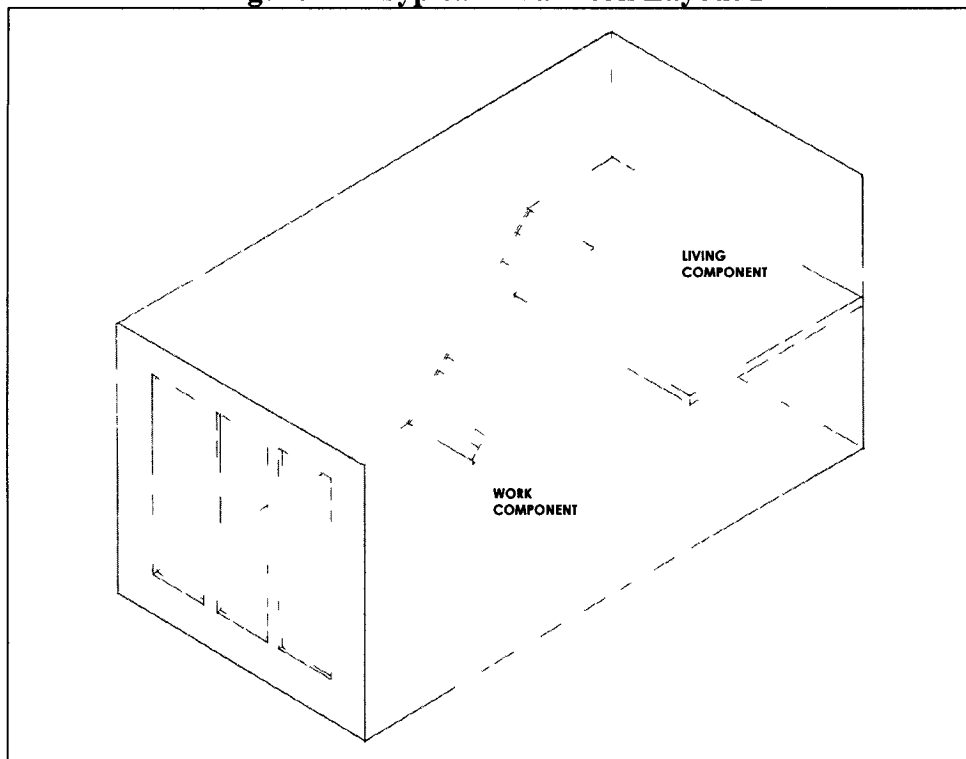


Exhibit B

- 3 Building Setbacks** Same as those required by the underlying zone
- 4 Building Heights** Same as those required by the underlying zone
- 5 Parking Standards** Live/Work developments shall comply with all requirements contained in Chapter 17 320 (Off-Street Parking and Loading)
- 6 Density** The density of a live/work project shall not exceed 35 units per acre or 1 unit per 1,245 square feet of lot area (43,560 sq ft divided by 35 units = 1,245)
- 7 Open Space**
 - a** Each unit shall have a minimum of 50 square feet of common and/or private open space
 - b** Common open space areas shall have a minimum dimension of 15 feet which may include a combination of open space and adjacent setback area
 - c** Private open space areas shall be at least 30 square feet and 5 feet in any direction, to the extent feasible
 - d** Private and common open space requirements may be satisfied by a selection or combination of the following atriums, balconies, courtyards, decks, gardens, gyms/exercise rooms, patios, playgrounds/tot lots, rooftop decks, patios and gardens, and swimming pools The Director may approve similar amenities not listed above
- 8 Signage** Signage for live/work units shall be limited to the following
 - a Window Signs**
 - 1)** One window sign with a maximum dimension of one foot by two feet shall be permitted
 - 2)** No sign permit shall be required for the one permitted window sign
 - 3)** A glass door sign shall be considered a window sign
 - 4)** Window signs shall be limited to individual letters and logos placed on the surface of the window or glass door
 - 5)** No window sign on the outside of the window shall extend onto or over the perimeter window frames, mullions or building façade divisions of the window on which it is displayed

Exhibit B

b Projecting/hanging signs

- 1) One projecting/hanging sign with a maximum dimension of one foot by two feet shall be permitted
- 2) A sign permit shall be required for the one permitted projecting/hanging sign
- 3) Projecting/hanging signs shall be displayed perpendicular to the wall to which it is affixed
- 4) The maximum distance between the wall and the outer edge of the sign shall be 3 feet, or if a paved sidewalk is below, 50 percent of the width of the sidewalk, whichever is less
- 5) The minimum vertical clearance from the bottom of the sign to grade or to the sidewalk below, if applicable, shall be 8 feet unless a greater clearance is required by the Building Official
- 6) The maximum height of the sign shall be 15 feet above grade or from the sidewalk below, if applicable

F Performance Standards

- 1 **Light and Ventilation** Adequate light and ventilation shall be provided for and meet the California Building Code regulations in effect at the time of conversion or construction, as determined by the Building Official
- 2 **Sound Transmission** Common walls and ceilings of live/work units shall be constructed or upgraded using techniques to limit sound transmission as specified for residential uses by the California Building Code for new construction or equivalent in effect at the time of conversion or construction, as determined by the Building Official
- 3 **Minimum Facilities** Each live/work unit shall have adequate kitchen facilities (sink, stove, and refrigerator hook-ups) and bathroom facilities (shower or bathtub, sink, and toilet)
- 4 **Fire Suppression and Fire Ratings for Occupancy Separations**
 - a Permanently wired smoke detectors shall be installed as required per the California Building Code or equivalent in effect at the time of conversion or construction

Exhibit B

- b** Additional fire suppression equipment (e.g. alarm systems, sprinklers, extinguishers) shall also be provided as required by the Building Official and the Culver City Fire Department
- c** There shall be a two-hour occupancy separation between units

5 Hazardous Materials

- a** Flammable liquids, welding, open flame work or similar hazardous operations shall not be permitted in live/work units without specific written approval by the Culver City Fire Department
- b** Storage of hazardous materials necessary for work activities in live/work spaces may be stored in control areas per the California Building and Fire Codes or equivalent in effect at the time of conversion or construction, as determined by the Building Official and the Culver City Fire Department
- c** Exterior signage announcing said materials shall be installed and maintained per the California Building and Fire Codes or equivalent in effect at the time of conversion or construction, as determined by the Building Official and the Culver City Fire Department
- d** The control areas shall be approved as to construction and location by the Culver City Fire Department

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Exhibit B

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Exhibit B

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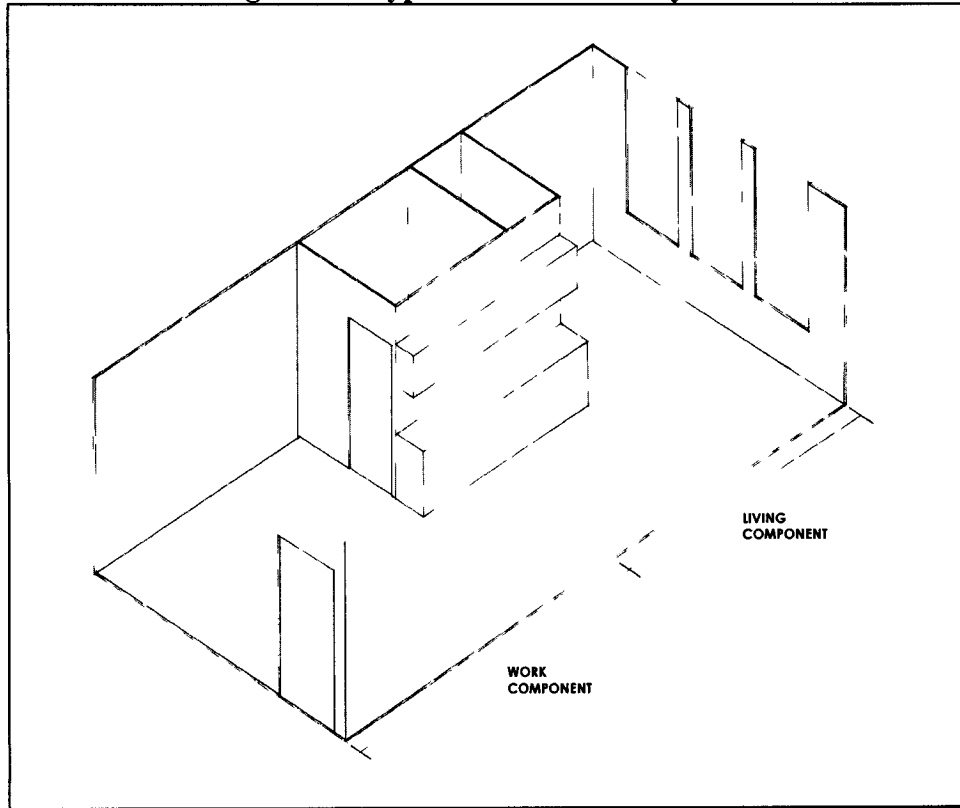


Figure 4-2 Typical Live/Work Layout 2

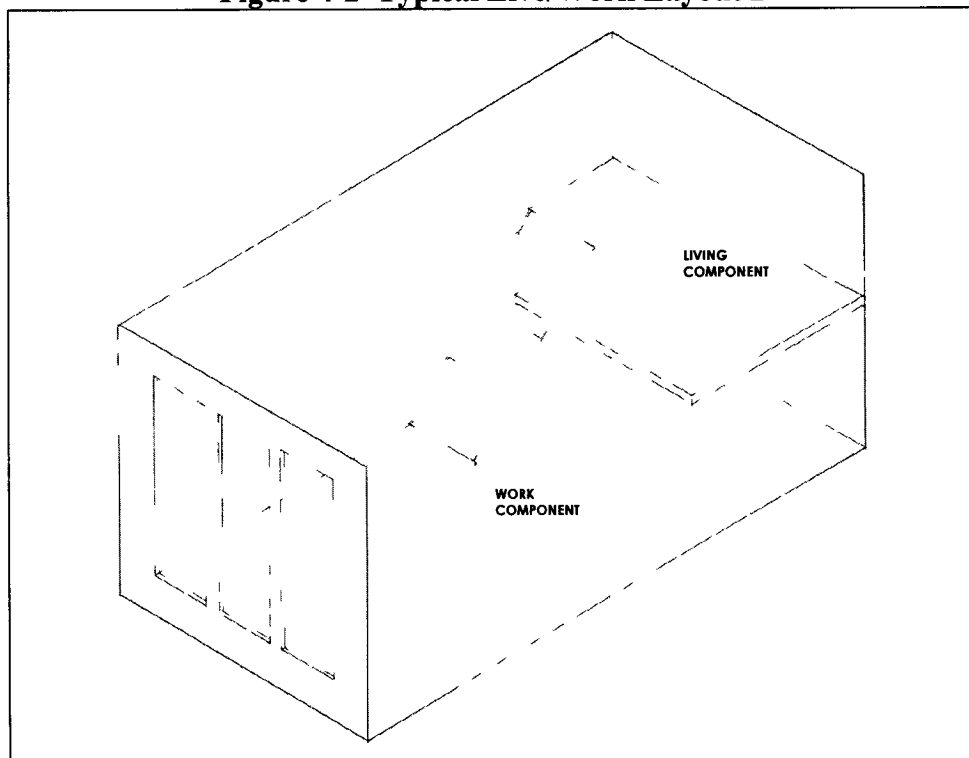


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Exhibit B

- ~~6) The text of the window sign shall be limited to the business name and a brief message identifying the type of product or service and contact information~~

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Exhibit B

4 Fire Suppression and Fire Ratings for Occupancy Separations

- a** Permanently wired smoke detectors shall be installed as required per the California Building Code or equivalent in effect at the time of conversion or construction
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- c** There shall be a two-hour occupancy separation between units

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- b** Storage of hazardous materials necessary for work activities in live/work spaces may be stored in control areas per the California Building and Fire Codes or equivalent in effect at the time of conversion or construction, as determined by the Building Official and the Culver City Fire Department
- c** Exterior signage announcing said materials shall be installed and maintained per the California Building and Fire Codes or equivalent in effect at the time of conversion or construction, as determined by the Building Official and the Culver City Fire Department
- d** The control areas shall be approved as to construction and location by the Culver City Fire Department